

Meeting Agenda

Metropolitan Area Planning Commission

Tuesday, October 8, 2024		5:30 PM	Municipal Center, 300 S. Church
1. Call to order			
2. Roll Call			
3. Approval of minutes			
<u>MIN-24:092</u>	MAPC Minutes <u>Attachments:</u>	: September 24, 2024 9.24.24 MAPC Minutes	
4. Miscellaneous Items			
<u>COM-24:049</u>	Sidewalk In Lie	eu: 3109 Dr. Martin Luther King Jr. Drive	
	approval to pay Martin Luther I	neering, PLLC, on behalf of Nomad's Pit y a sidewalk in lieu payment of \$25,808.3 King Jr. Drive. The current rate is \$96.54	6 for 401 linear feet along Dr.
	<u>Attachments:</u>	<u>Sidewalk Waiver Letter</u> <u>Site Plan</u>	
5. Preliminary Subdivis	<u>ions</u>		
<u>PP-24-15</u>	Preliminary Su	bdivision: Greensborough Heights Phase	ə II
	preliminary sul	gineering, on behalf of JTown Developme odivision approval for Greensborough He e is located at Greensboro Road and Cha	ights Phase II; 40 lots on 12.4

TC-O, town center overlay district.

 Attachments:
 22120-005 - RECORD PLAT - 2024-09-23

 22120-SDP-RP2 - TREE REMOVAL PLAN

 Application Greensborough Heights Phase II

 Staff Report

6. Final Subdivisions

PP-24-16 Final Subdivision: Southwest Village Phase I

Mark Morris Homes is requesting final subdivision approval for Southwest Village Phase I; 64 lots on 27.7 acres. This site is located south of Flemon Road and north of Adam Drive and is zoned, R-1, single family medium density.

Attachments: SOUTHWEST VILLAGE PHS 1 FINAL SIGNED Southwest Village Phase 1 - Final Plat App. Staff Report

7. Conditional Use

RZ-24-15

8. Rezonings

Rezoning: 280	Rezoning: 2800 & 2809 Greensboro Road	
family medium and is located	Hammerhead Contracting & Development LLC is requesting a rezoning from R-1, single family medium density, to TC-O, town center overlay. This rezoning is for 33.28 acres and is located at 2800 & 2809 Greensboro Road. This site will be added to the existing Greensborough Village development.	
Attachments:	2800-2809 Greensboro Road Rezoning Application	
	2800-2809 GreensboroRd Rezoning Plat	
	Updated - 2800-2809 Greensboro Rd-OpenSpaceMap-092624	

CertifiedMailReceipts

Deed-2024R-011826

RezoningSignPictures

Staff Summary

Original Pattern Book for Greensborough Village Town Center

9. Staff Comments

10. Adjournment

City of Jonesboro



300 S. Church Street Jonesboro, AR 72401

Text File File Number: MIN-24:092

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Minutes

MAPC Minutes: September 24, 2024



Meeting Minutes Metropolitan Area Planning Commission

Tuesday, September 24, 2024	5:30 PM	Municipal Center, 300 S. Church
1. Call to order		
<u>2. Roll Call</u>		
	 Lonnie Roberts Jr.;Jimmy Cooper;Kevin Nelson;Jeff Steiling;Jim Little and Dennis Paul Ford 	-
3. Approval of minutes		
MIN-24:091 MAPC Mi	nutes: September 10th, 2024	
Attachme	nts: 09.10.24 MAPC Minutes	
	was made by Dennis Zolper, seconded b Approved . The motion PASSED with the	-
Aye: 7	 Jimmy Cooper;Kevin Bailey;Monroe Poin Steiling;Jim Little and Dennis Zolper 	nter;Stephanie Nelson;Jeff
Absent: 1	- Paul Ford	
4. Miscellaneous Items		
5. Preliminary Subdivisions		
PP-24-14 Prelimina	ry Subdivision: Reedmont Replat	
requestin located at	ed Engineering, on behalf of Hammerhead C g preliminary subdivision approval for 6 lots t McClellan Drive and Browns Lane Access ial, and PD-M, mixed use planned developr	on 29.18 acres. This site is Road and zoned C-3, general

 Attachments:
 22133-001 Replat - Preliminary

 Reedmont Replat Application

 Staff Report

Lonnie Roberts (Chair): Do we have the proponent for this item? John Easley (Proponent): John Easley with Associated Engineering representing Hammerhead, requesting preliminary approval on a subdivision it's what was left over from the Center Park development back in the old hotel days. You got Hammerhead which is doing Reedmont proper plus the property to the south out to the access road. We're just asking for preliminary approval. Lonnie Roberts: Okay Monica, do you have the city staff comments on this? Monica Pearcy (City Planner): Yes, we reviewed it and it does meet all of our stipulations for a preliminary plan so, we would recommend approval. Lonnie Roberts: Now, I'll open up for commissioner questions or comments. Mr. Bailey did you get an adequate explanation? Kevin Bailey (Commission): Yes, sir. John, this is completely different from the development to the north. John Easley: That was a sportsplex? Yeah, it's totally separate. Kevin Bailey: Okay, so this was not part of the planned development that we approved? Lonnie Roberts: Talking about Reedmont. This is the lots outside of the planned development. Some of it is the planned development though isn't it? John Easley: Yeah, lot 4 is the planned development. Lots 1, 2, and 3 are C-3 which are left over from the Center Park subdivision. Michael Morris (City Engineer): And if you remember they had to build the fire access road to the south, and when they started building the road, that's when they started subdividing property and that's when we said, hey, we probably need to put through MAPC and then the road to the east is going around connecting to. John Easley: That was part of the Sportsplex development. Michael Morris: Right. John Easley: To give Champions Drive out to the east and then, once we develop the minor plat for the Sportsplex it'll connect up to it. It's like a two-part process. Commission: Alright, to brings you up date. Now, you're going east but you're going to tie in to the Sportsplex development or what kind of? John Easley: Yes, we'll tie in to it, at the end of the day when it's all said and done Champions Drive will go east to the east line of this plat. Turn and go north up into the Sportsplex part of the property. Well, in fact, the property to the east is Sportsplex property. That's AMP Commission, property. Commission: So John, lot 4 is the actual Reedmont development? John Easley: Lot 4 is Reedmont Development. Commission: So, Champions is going to run over to the east where the current detention pond is planned and then turn north and go tie in to the road for the Sportsplex? John Easley: The new road for the Sportsplex will go up to the east line between lot 4 and lot 3 and the detention pond. Commission: Between there and the detention pond, okay. John Easley: There will be a 60-foot wide right away and then easement the drainage for the detention pond. It'll be on a different document. Commission: Okay. Kevin Bailey: I'm a little clearer. Jimmy Cooper (Commission): I'm a little slow, so they're going to go through the Sports complex Michael Morris: No, they're just tying too, when the sports complex comes to replat their property they're going to have to plat their street going back to the north. Lonnie Roberts: So, this street will terminate at the end of lot 4, is that correct? John Easley: Yeah the right of way will end at lot 4, the north line of lot 4. Lonnie Roberts: So, Mr. Cooper, the sports complex will take it from there on

their property.

Jimmy Cooper: But this road and the traffic will still go through the Sportsplex? Lonnie Roberts: That's part of one of their accesses. Correct. (Unable to transcribe) Jimmy Cooper: I just want to make sure there's an agreement with the sports complex that there can be traffic docked on their street or road. John Easley: Right. There will be right of way. Jimmy Cooper: Not if they don't finish it. Michael Morris: There's a bond, they'll have to finish it. Jimmy Cooper: If they don't show it on their plan they don't have to bond it. John Easley: We need to bond it to get the plat filed or we'll finish it to get the plat filed. One way or another, I wish they were here. Michael Morris: We actually have plans from Sportsplex from there all the way to Browns or to I guess Ray Street, we already got those plans turned in. Jimmy Cooper: Alright, I don't wanna run out here and into a dead-end street. Michael Morris: No, that's not. John Easley: You can go from the access road all the way to Ray Street when it's all said and done. Or you can go to McClellan drive if you want to. Lonnie Roberts: Okay, commissioners have any more questions for Mr. Easley or city staff? Anyone ready to make a motion?

A motion was made by Dennis Zolper, seconded by Jim Little, that this matter be Approved . The motion PASSED with the following vote.

- Aye: 7 Jimmy Cooper;Kevin Bailey;Monroe Pointer;Stephanie Nelson;Jeff Steiling;Jim Little and Dennis Zolper
- Absent: 1 Paul Ford

6. Final Subdivisions

7. Conditional Use

8. Rezonings

- 9. Staff Comments
- 10. Adjournment

City of Jonesboro



300 S. Church Street Jonesboro, AR 72401

Text File File Number: COM-24:049

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Other Communications

Sidewalk In Lieu: 3109 Dr. Martin Luther King Jr. Drive

McAlister Engineering, PLLC, on behalf of Nomad's Pit Stop Inc., is requesting MAPC approval to pay a sidewalk in lieu payment of \$25,808.36 for 401 linear feet along Dr. Martin Luther King Jr. Drive. The current rate is \$96.54 per square yard.



September 26, 2024

<u>Via Email</u> Derrel Smith Planning Director City of Jonesboro, Arkansas

RE: Sidewalk Waiver – Gas Station Expansion 3109 Dr. Martin Luther King Jr. Drive

Mr. Smith,

McAlister Engineering, PLLC, on behalf of Nomad's Pit Stop Inc., is requesting a waiver to the Sidewalk Ordinance based on the exceptions listed in the Ordinance (Section 117-330.b, Item 4): "Other unusual circumstances make the sidewalk installation requirement unreasonable or inappropriate."

The Arkansas Department of Transportation (ARDOT) will install sidewalks along the entirety of this property's street frontage on Dr. Martin Luther King Jr. Drive – Job No. 100657 – as part of roadway improvements. Because ARDOT will install sidewalks along the property frontage, it has been deemed unreasonable to install sidewalks as part of Gas Station Expansion development.

A preliminary Site Plan has been submitted concurrently with this application as part of the Gas Station Expansion development. Current price of concrete sidewalk per 2024 ARDOT Weighted Averages is \$96.54 / SY. The total frontage of the parcel is 401 LF, and with a sidewalk width of 6 feet, this results in a payment of \$25,808.36.

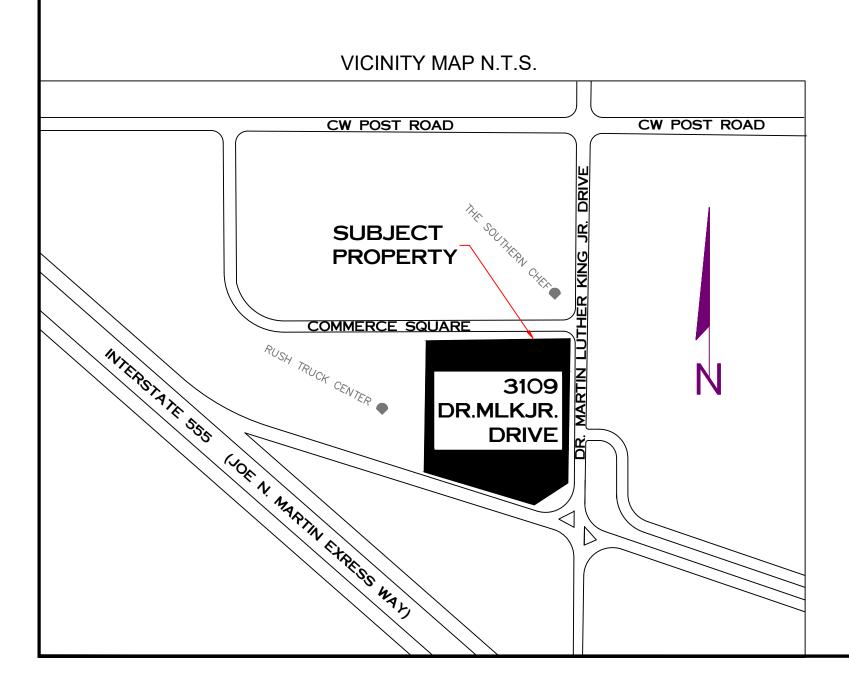
If there are any questions or if you need additional information, please reach out to Megan McAlister with McAlister Engineering, PLLC. (megan.mcengr@gmail.com, office: (870) 931-1420).

Sincerely,

Megan McAlister Administrator

McAlister Engineering PLLC. 4508 Stadium Blvd. Suite D

3109 DR. MARTIN LUTHER KING JR. DRIVE



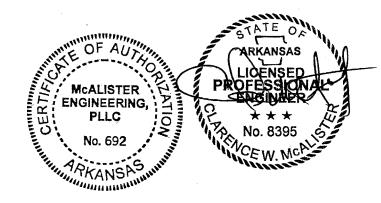
JONESBORO "C" STORE **EXPANSION PROJECT**

JONESBORO, ARKANSAS

DECEMBER 14TH, 2023

INDEX TO SHEETS

- 1 OF 6 TITLE SHEET/INDEX
- 2 OF 6 EXISTING CONDITION/DEMO
- 3 OF 6 EROSION CONTROL PLAN
- 4 OF 6 GRADING AND DRAINAGE
- 5 OF 6 PARKING/LANDSCAPING LAYOUT
- 6 OF 6 DETAIL SHEET



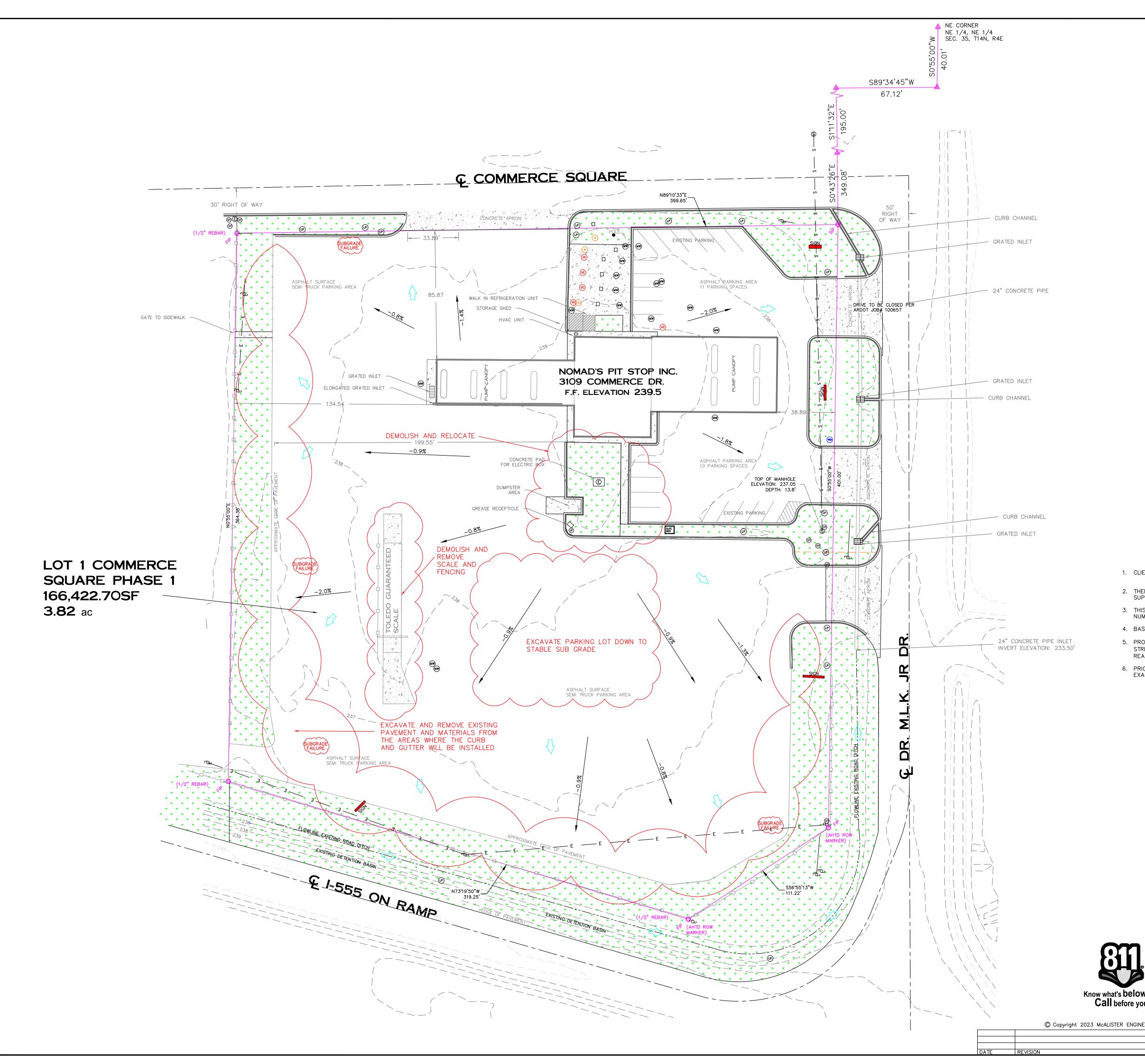


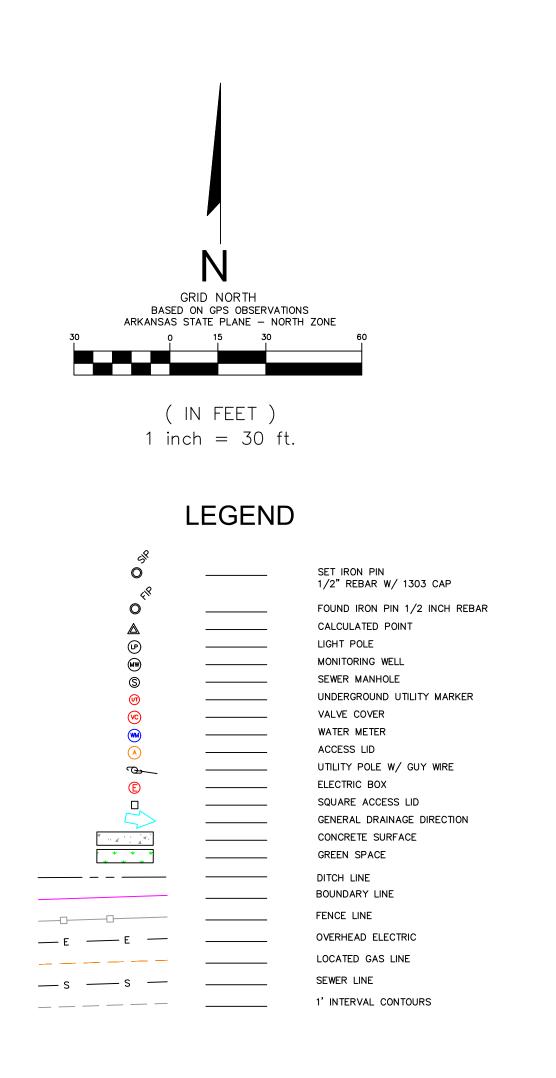
	9-18-24	REMOVED DRMLK SIDEWALKS ADDED NOTE	TM
1	9-11-24	ADDED DRIVE THRU	TM
NUMBER	DATE	REVISION	ΒY

GENERAL NOTES:

- 1. CLIENT: MIRZALI LAHKANI
- 2. THERE WAS NO SUBSURFACE UTILITY INVESTIGATION, UTILITIES REFERENCED HEREON WERE MADE FROM ABOVE GROUND LOCATES AND UTILITY MAPS PROVIDED BY CITY WATER AND LIGHT.
- 3. ALL SEWER, ELECTRIC, WATER, AND COMMUNICATION LINES ARE TO BE CONSTRUCTED TO THE RESPECTIVE UTILITY COMPANY SPECIFICATIONS. CONTRACTOR TO COORDINATE ALL UTILITY CONNECTIONS WITH LOCAL SERVICE PROVIDERS.
- 4. CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE SAFETY LAWS AND REGULATIONS OF THE RELEVANT GOVERNING AUTHORITIES, THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL NECESSARY BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL
- MEASURES WITHIN AND AROUND THE CONSTRUCTION SITE. 5. EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND REPAIRED AND REPLACED AS NECESSARY.
- 6. ALL MATERIAL PLACED AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE PER THE STANDARD PROCTOR METHOD (ASTM D 698)
- 7. ALL CUT SLOPES SHALL BE STABILIZED BY HYDROSEEDING/ SOD OR OTHER ACCEPTABLE METHODS UPON COMPLETION.
- 8. THIS PROJECT IS LOCATED ALONG DR. MARTIN LUTHER KING JR DRIVE WHICH WILL BE SUBJECT TO ARDOT JOB #100657. THE NORTHERN MOST DRIVE ALONG DR. MLK JR DRIVE IS TO BE CLOSED PER THIS JOB AND ARDOT WILL BE INSTALLING SIDEWALKS ALONG THE ENTIRETY OF THE DR. MLK JR. DRIVE STREET FRONTAGE OF THIS PROPERTY AS PART OF THE ROADWAY IMPROVEMENTS. IN LIEU SIDEWALK FEE TO BE PAID BY OWNER.

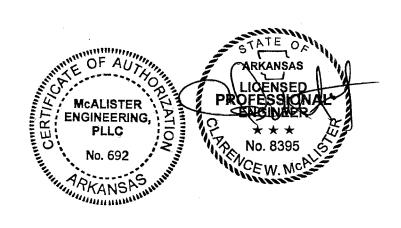
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JONESBORO, ARKA	ANSAS	
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MCALISTER ENGINEERING, PLLC CIVIL ENGINEERING AND LAND SURVEYING	SCALE : 1" = 40'	DATE: 14DEC23
4508 STADIUM BLVD STE D JONESBORO, AR 72404	CAD FILE LOTICOMME	ERCESQUARE
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CLARENCE W. "MAC" MCALICTER RE RS	JOB NO. 23132398	SHEET 1/6
CLARENCE W. "MAC" MCALISTER, PE, PS	FILE: PROJECTS	2023





NOTES:

- 1. CLIENT: MIRZA LAKHANI
- 2. THERE WERE NO SUBSURFACE INVESTIGATIONS MADE, UNDERGROUND REFERENCES ARE MADE FROM UTILITY MAPS SUPPLIED BY CWL AND ABOVE GROUND UTILITY MARKERS OBSERVED IN THE PROCESS OF THE FIELD WORK.
- 3. THIS PROPERTY SHOWN HEREON IS PARTIALLY LOCATED IN A SPECIAL FLOOD HAZARD AREA BASED ON FEMA FIRM MAP NUMBER 05031C0151 C, EFFECTIVE DATE SEPTEMBER 27, 1991.
- 4. BASIS OF BEARING GPS OBSERVATION, NAD83, THIRD ORDER CLASS ARKANSAS SPC NORTH ZONE.
- PROPERTY ZONED C-3 (GENERAL COMMERCIAL DISTRICT) STREET SETBACK 25' REAR SETBACK – 20'
- 6. PRIOR TO DEMOLITION THE CONTRACTOR WILL COORDINATE WITH ALL UTILITY COMPANIES SERVICING THE SITE TO FIND EXACT LOCATIONS OF UNDERGROUND UTILITIES BEFORE EXCAVATING.

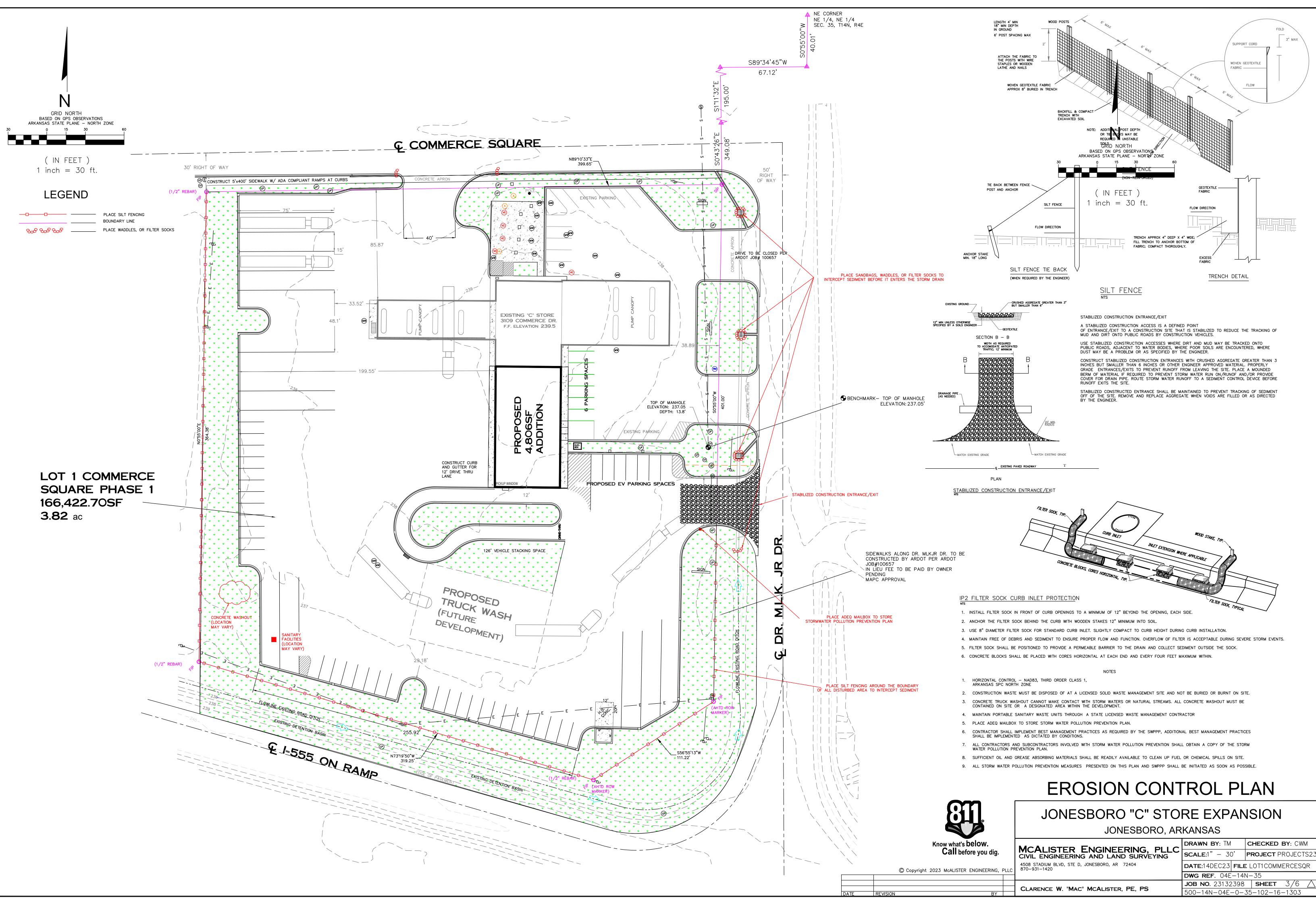


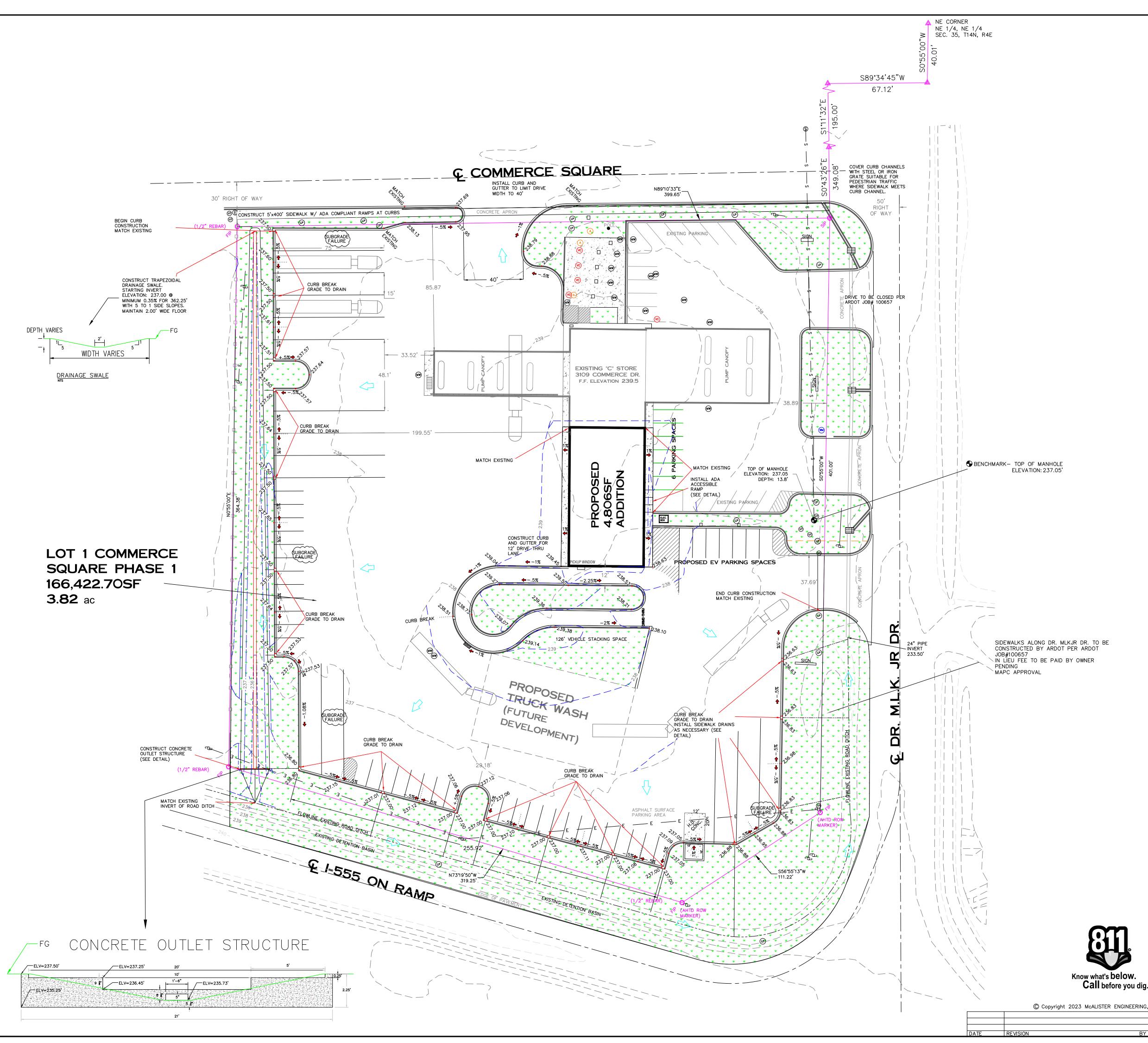
EXISTING CONDITION - DEMO PLAN

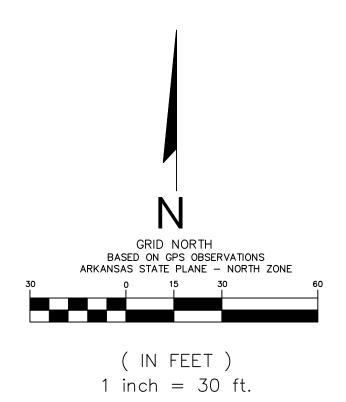
JONESBORO "C" STORE EXPANSION



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			JOB NO. 23132398 SHEET 2/6 🛆
BY		CLARENCE W. "MAC" MCALISTER, PE, PS	500-14N-04E-0-35-102-16-1303







LEGEND

• 237.50	
4 - .5%	
\bigtriangledown	
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— TOP OF CURB OR SIDEWALK SPOT ELEVATION — DRAINAGE DIRECTION — GRADE BREAK BENCHMARK - FINISH CONTOUR EXISTING GROUND CONTOUR

CONSTRUCTION NOTES:

- 1. THE SUB-GRADE HAS FAILED AT MANY LOCATIONS ALONG THE PERIMETER OF THE EXISTING PARKING LOT CAUSING MAJOR CRACKING AND DEFORMATION. THESE AREAS TO BE REMOVED DOWN TO STABLE SUB-GRADE AND REPLACED AND COMPACTED WITH CLASS 7 AGGREGATE BASE COURSE AND SURFACE COURSE ACHM AND SEALED WITH HEAVY DUTY ASPHALT SEALER TO MATCH EXISTING GRADES. (SEE DETAIL)
- 2. ROUGHLY 800 LINEAR FEET OF CURB AND GUTTER TO BE INSTALLED ALONG PERIMETER OF EXISTING PARKING LOT WITH 2' CURB BREAKS EVERY 60 +/- FEET, AND 514 LINEAR FEET OF CURB AND GUTTER TO BE CONSTRUCTED FOR THE DRIVE-THRU LANE.
- 3. ALL FILL SHOULD BE PLACED IN THIN, HORIZONTAL LOOSE LIFTS (MAXIMUM 6-INCH) AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698)
- 4. MAINTAIN MINIMUM 3' TO 1' SIDE SLOPES, STABILIZE ALL CUT SLOPES WITH SEEDING OR SOD.
- 5. (ADA COMPLIANCE) ACCESSIBLE PARKING AND ROUTE MINIMUM SLOPES CROSS SLOPES 1:50 (2%) ACCESSIBLE ROUTE 1:20 (5%) RAMPS 1:12 (1"/1')
- 6. TOTAL IMPERVIOUS AREA FOR THIS SITE WILL BE REDUCED BY 6,159SF+/- WITH THE PROPOSED EXPANSION.

NOTES:

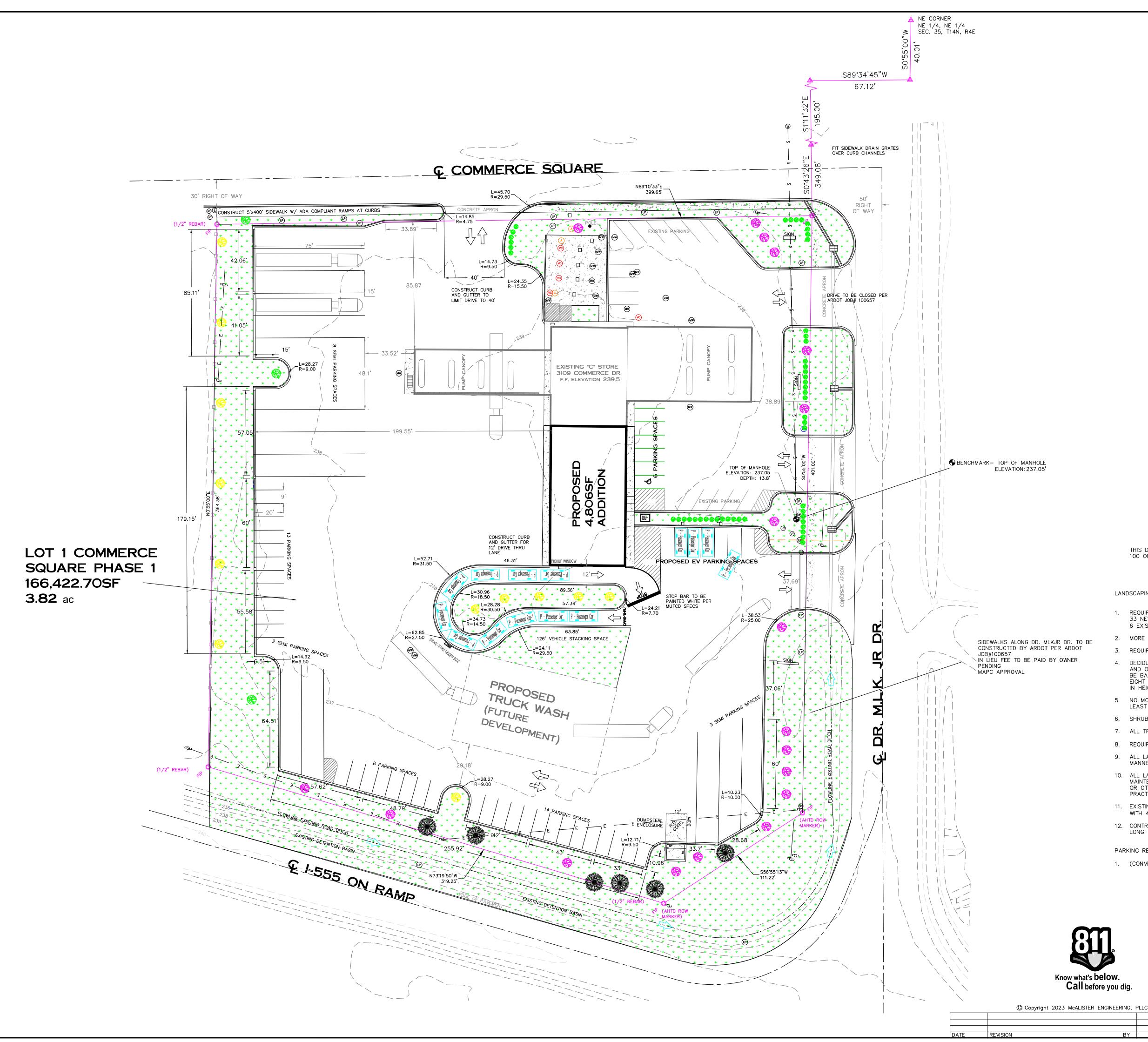
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- 3. THIS PROPERTY SHOWN HEREON IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA BASED ON FEMA FIRM MAP NUMBER 05031C0151 C, EFFECTIVE DATE SEPTEMBER 27, 1991.
- 4. BASIS OF BEARING -GPS OBSERVATION, NAD83, THIRD ORDER CLASS ARKANSAS SPC NORTH ZONE.
- 5. PROPERTY ZONED C-3 (GENERAL COMMERCIAL DISTRICT) STREET SETBACK - 25' REAR SETBACK – 20'

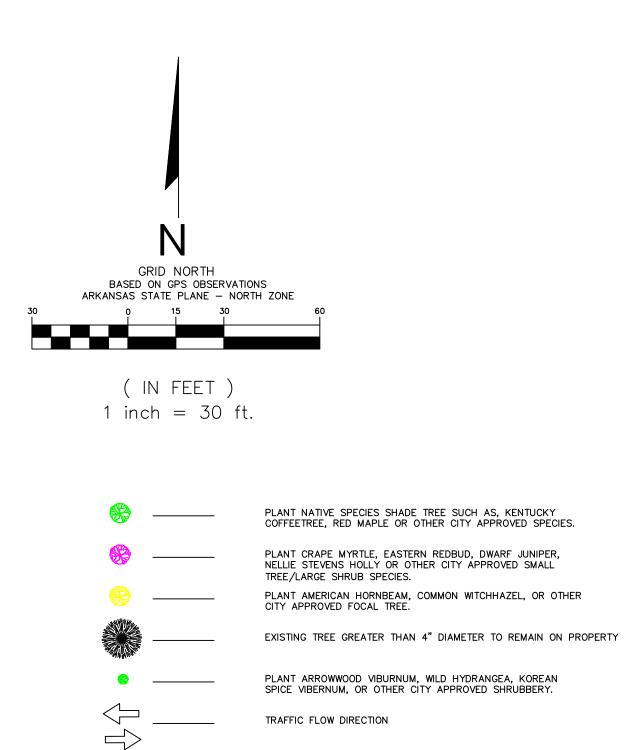


GRADING AND DRAINAGE JONESBORO "C" STORE EXPANSION

JONESBORO, ARKANSAS

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\rightarrow		CLARENCE W. "MAC" MCALISTER, PE, PS	500-14N-04E-	-0-3	5-102-16-1303





THIS DEVELOPMENT IS NOT EXPECTED TO CREATE 100 OR MORE PEAK HOUR TRIPS.

LANDSCAPING REQUIREMENTS

- 1. REQUIRED TREES 3.82 ACRES (43650)/2000 = 83.19 TREES 33 NEW TREES PROVIDED, 50 NEW SHRUBS 6 EXISTING TREES 4" OR GREATER = 95 TREE CREDITS
- 2. MORE THAN REQUIRED 25% OF FOLIAGE ARE TREES
- 3. REQUIRED 40% OF TREES TO BE A NATIVE SPECIES
- 4. DECIDUOUS ORNAMENTAL TREES MUST BE BALLED AND BURLAPPED, HAVE AT LEAST TWO AND ONE-HALF INCH CALIPER, AND BE AT LEAST EIGHT FEET TALL. DECIDUOUS SHADE TREES MUST BE BALLED AND BURLAPPED, HAVE AT LEAST TWO AND ONE-HALF INCH CALIPER BY AT LEAST EIGHT FEET TALL. EVERGREEN TREES MUST BE BALLED AND BURLAPPED AND BE AT LEAST TEN FEET IN HEIGHT ABOVE NATURAL GRADE.
- 5. NO MORE THAN 25 PERCENT OF THE TOTAL NUMBER OF TREES MAY BE ORNAMENTAL TREES, AND AT LEAST 10 PERCENT OF THE TREES SHALL BE EVERGREEN.
- 6. SHRUBS TO BE FIVE GALLON SIZE, MINIMUM.

LONG TERM LANDSCAPING MAINTENANCE.

- 7. ALL TREES USED FOR CREDIT ARE OF GOOD HEALTH.
- 8. REQUIRED 20% GREEN SPACE (54.15% OF THIS DEVELOPED PROPERTY WILL BE GREEN SPACE.)
- 9. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND IN A MANNER DESIGNED TO ENCOURAGE VIGOROUS GROWTH.
- 10. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER. THIS MAINTENANCE SHALL INCLUDE WEEDING, WATERING, FERTILIZING, PRUNING, MOWING, EDGING, MULCHING OR OTHER MAINTENANCE, AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES.
- 11. EXISTING TREES TO BE COUNTED FOR TREE CREDITS SHALL BE PROTECTED DURING CONSTRUCTION WITH 4' CHAIN LINK, POLYETHYLENE LAMINAR SAFETY FENCING OR SIMILIAR MATERIAL.
- 12. CONTRACTOR TO COORDINATE WITH OWNER ON IRRIGATION DESIGN AND CONSTRUCTION AND

PARKING REQUIREMENTS

1. (CONVENIENCE STORE) 1 PER 200SF, 14,204SF/200= 71 REQUIRED - 71 PROVIDED

CLARENCE W. "MAC" MCALISTER, PE, PS

PARKING/LANDSCAPING LAYOUT

	JONESBORO, AR	KANSAS	
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	MCALISTER ENGINEERING, PLLC CIVIL ENGINEERING AND LAND SURVEYING	SCALE :1" – 30'	PROJECT PROJECTS23
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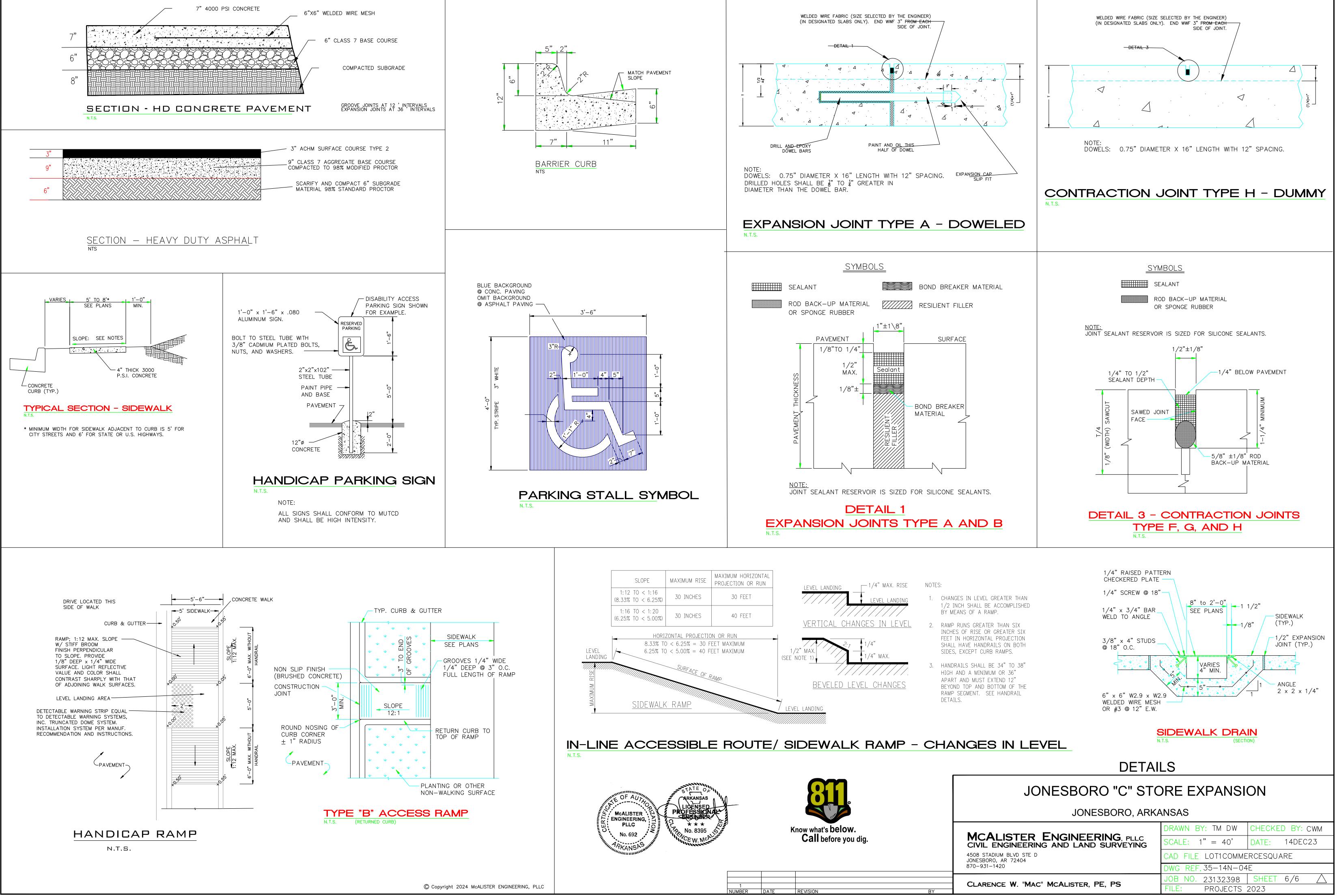
DWG REF. 04E-14N-35

JOB NO. 23132398 | **SHEET** 5 / 6 /

500-14N-04E-0-35-102-16-1303

JONESBORO "C" STORE EXPANSION

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City of Jonesboro



300 S. Church Street Jonesboro, AR 72401

Text File File Number: PP-24-15

Agenda Date:

Version: 1

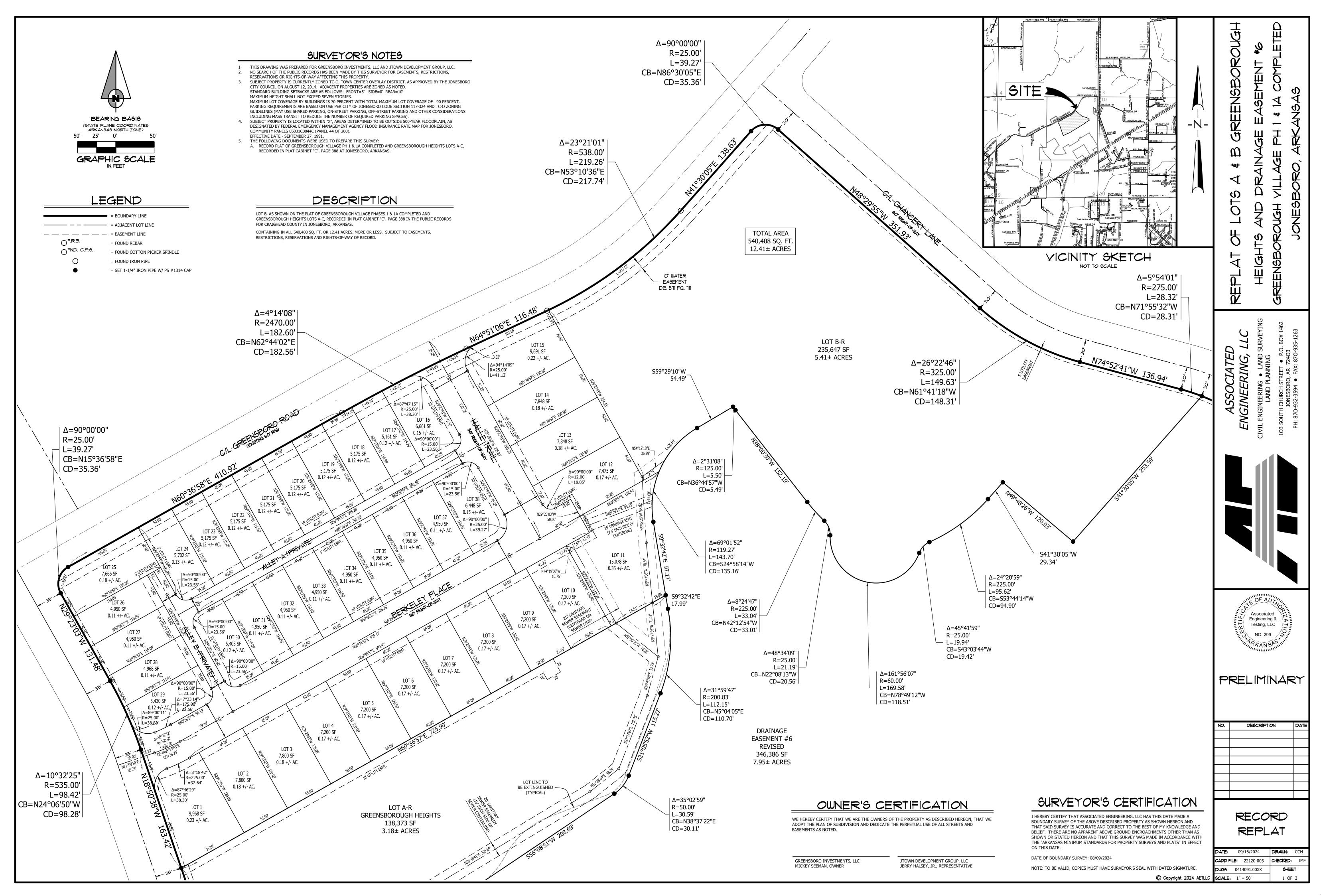
Status: To Be Introduced

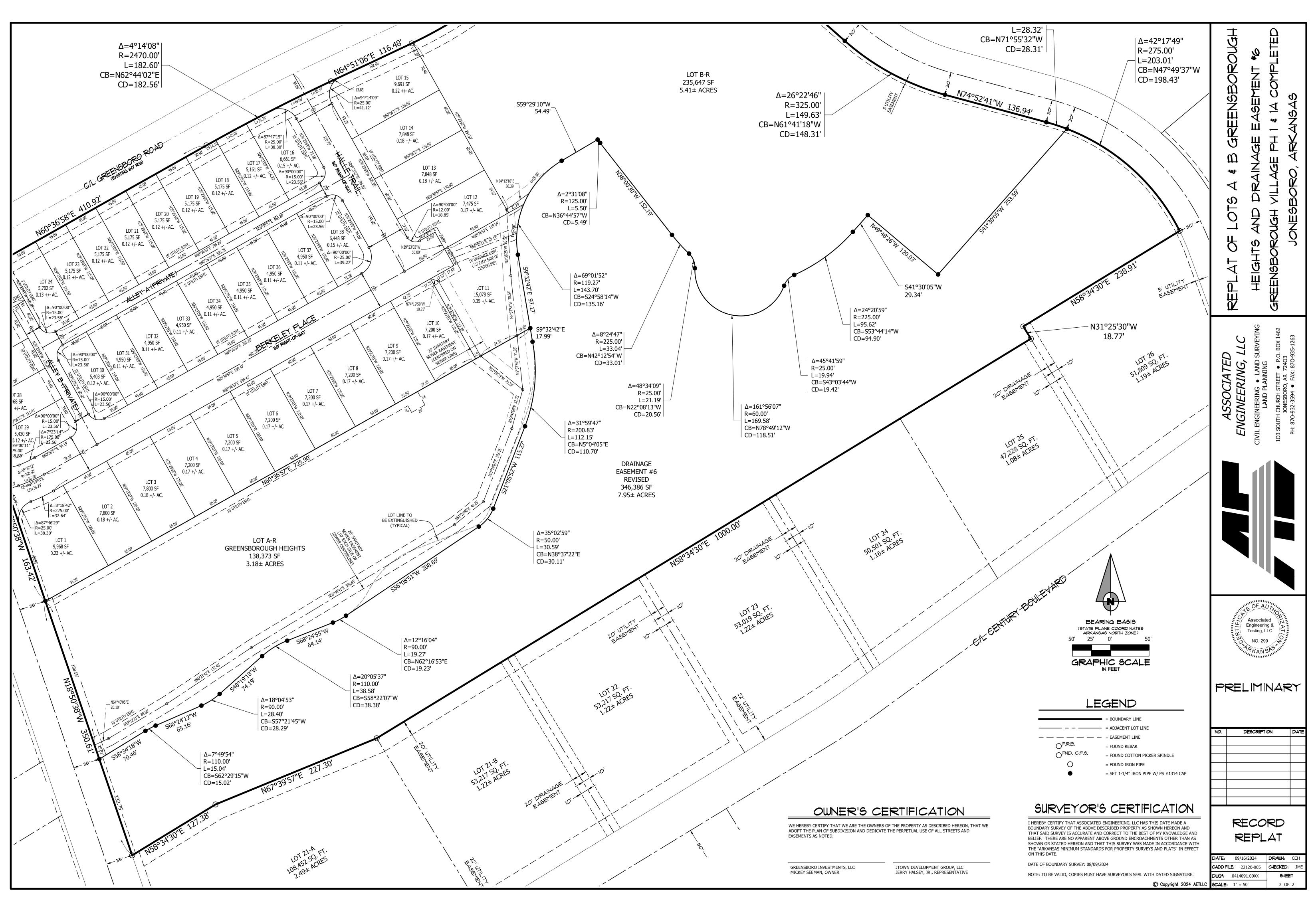
In Control: Metropolitan Area Planning Commission

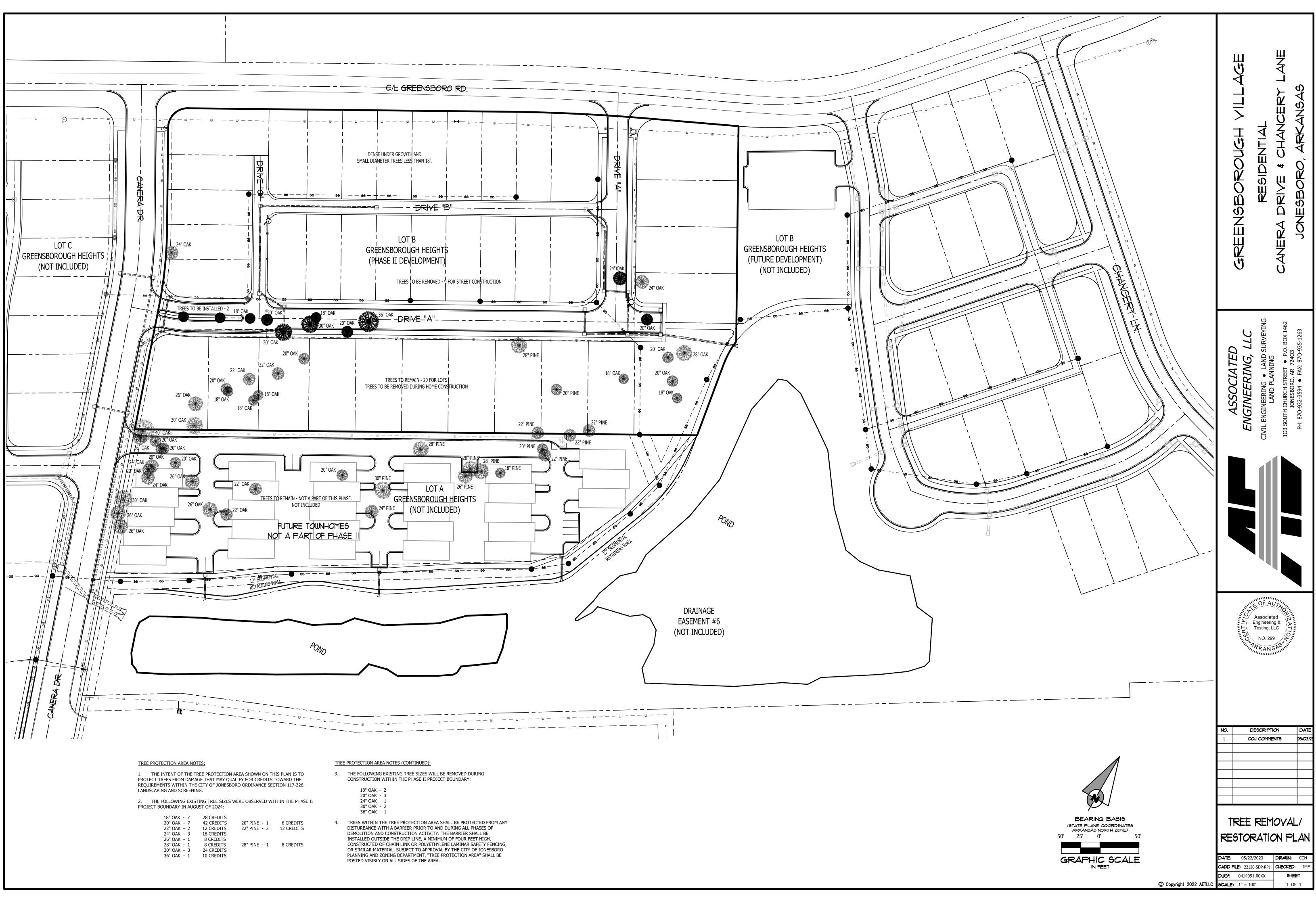
File Type: Subdivisions

Preliminary Subdivision: Greensborough Heights Phase II

Associated Engineering, on behalf of JTown Development Group LLC, is requesting preliminary subdivision approval for Greensborough Heights Phase II; 40 lots on 12.4 acres. This site is located at Greensboro Road and Chancery Lane and located within a, TC-O, town center overlay district.







Home Profile

Monica Pearcy Admin Logout

INCOMPLETE

Application History

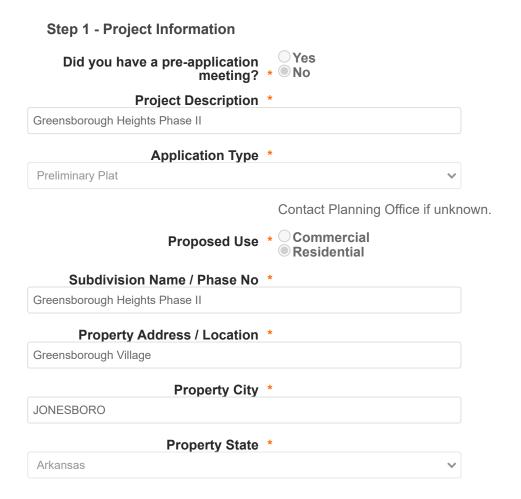
7/24/2024 17:44:20 pm - Application started 7/24/2024 17:48:37 pm - Status Update: SubmitStart 7/24/2024 17:48:38 pm - Permit created in PDox 7/24/2024 17:48:38 pm - Status Update: Complete 7/24/2024 17:48:37 pm - Application submitted

Request Name: Greensborough Heights Phase II

SUBDIVISION AND PLATS APPLICATION

CITY OF JONESBORO

300 S Church St Jonesboro, AR 72401



5 AM	Greensborough Heights Pr
Property Zip Code	*
72404	
Zoning Classification	*
Zoning Classification	~
	•
Select total acreage range	 < 1 Acre > 1 and < 5 Acres > 5 and < 20 Acres > 20 and < 40 Acres > 40 Acres
Total Acres	*
Total Number of Lots	*
Here were filled out and simpled the	Yes
Have you filled out and signed the Stormwater Pollution Prevention	No
Plan, and submitted it to ADEQ?	* OYes
Is the property located in a floodplain?	
Step 2: Applicant Information	
Select if the Applicant is the curre	ently logged in user.
Applicant First Name	*
John	
Applicant Last Name	*
Easley	
Lastey	
Applicant Address	*
103 SChurch	
Applicant Address Line 2	
Applicant Address Line 2	
Applicant City	*
Jonesboro	
Applicant State	*
Arkansas	~
Applicant Zip Code	*
72401	
Applicant Phone Number	*
(870) 243-7632	
Applicant Email Address	*
john.easley@associatedengineering.com	

COMPLETE

Step 3: Owner Information (optional)

Select if the Owner is the same as the Applicant.

Owner First Name
JTown Development Group LLC
Owner Last Name
Owner Address
301 West Washington Avenue
Owner Address Line 2
Owner City JONESBORO
Owner State
Arkansas 🗸
Owner Zip Code
72401
Owner Phone Number
(870) 919-5618
Owner Email Address
JOHN.EASLEY@ASSOCIATEDENGINEERING.COM

Step 4: Submittal Requirements (optional)

Preliminary Plat Requirements

The preliminary plat shall give the following information when possible:

- 1. A key map showing the tract and its relation to the subdivision area. Submission shall include overall vicinity map of nearest adjacent platted subdivisions at scale.
- 2. The proposed subdivision name and location, the bearings and distances of its boundaries, the name and address of the owner and the name of the designer.
- 3. The date, north arrow and the graphic scale.
- 4. The location of existing and platted property lines, streets, railroads, buildings, bridges, culverts, drain pipes, water mains, sewers, public utility easements, wooded areas, marshes and the zoning classification, of the proposed subdivision and of the adjacent area.
- 5. The proposed utility layouts, sewers, water, electricity, gas, etc., showing feasible connections to the existing or proposed utility systems. When such connections are not feasible, any individual water supply or sewage disposal system must meet the requirements of the state board of health.
- 6. Contour intervals of two feet or as required by the city planning commission and the city engineer.
- The names, rights-of-way and surface widths, approximate grades and locations of all proposed streets and alleys. The location and dimensions and use of proposed easements, lots, parks, reservations and other open spaces.
- 8. The acreage of the land to be divided.
- 9. A draft or form of any protective covenants proposed by the subdivider.
- 10. Proposed profile of street grades.
- 11. Acreage of each lot in the subdivision.

Greensborough Heights Phase II

- 12. Within 30 days after submission of the preliminary plat, the city planning commission shall indicate its approval, disapproval or approval with conditions. If disapproved, the reasons for disapproved shall be stated in writing. If approved with conditions, these conditions shall be stated in writing. In its review, the city planning commission shall submit the proposed plat to the city water and light plat for consideration and report and may further submit copies of the plat to the state health department or any other interested city, county, state or federal independent agency for consultation and advice.
- 13. Approval, conditional approval or disapproval of the preliminary plat by the planning commission shall be so noted, both on the preliminary plat and planning commission records.
- 14. Failure of the planning commission to act on the preliminary plat within thirty 30 days will be deemed approval of the preliminary plat.
- 15. The approval of the preliminary plat shall lapse unless a final plat based thereon is submitted within one year of such approval, unless an extension of time is applied for and granted by the planning commission.
- 16. A receipt from the city acknowledging payment of a filing fee. The city shall collect a fee per lot in the amount established by the city. The plat will not be reviewed until the fee has been collected.

Signature

INCOMPLETE

I hereby declare that I am the owner or the applicant acting on behalf of the owner with their permission to proceed forward with this application. I hereby declare that I have read and understood the above, and the information contained in this application, attached schedules, attached plans and specifications, and other documentation is true to the best of my knowledge.

Applicant: John Easley

Signature date: 2024-07-24 05:48 PM

Payment Details

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Preliminary Subdivision: Greensborough Heights Phase II

For consideration by Metropolitan Planning Commission on October 8, 2024.

Applicant/Owner: Associated Engineering, LLC / JTown Development Group LLC *Engineer*: Associated Engineering, LLC *Surveyor*: Associated Engineering, LLC

Property Location: Greensboro Road and Canera Drive

Total Acres: 12.4 Proposed Lots: 40

Zoning:

District: TC-O, Town Center Overlay Required Min. TC-O Lot Size: N/A. ft., Min. Lot Width: N/A ft. Proposed Min. Lot Size: 0.11 acres 4,950 sq. ft. Proposed Max. Lot Size: 5.41 acres 235,647 sq. ft Special Conditions: N/A Water/Sanitary Sewerage: Public Sidewalks: Required Public Streets: Halle Trail and Berkeley Place Compliance with Address Policy: Pending

Other Departmental Reviews: Pending

Findings:

The subdivision complies with all requirements for preliminary subdivision plan approval, Chapter 113, Subdivisions of the City of Jonesboro, Code of Ordinances.

The preliminary plan complies with the purposes, standards and criteria for subdivision design and site protection. Setbacks and minimum square footage requirements are properly depicted and satisfied by the applicant as required in the TC-O, town center overlay.

Planning & Zoning • Municipal Center

City of Jonesboro



300 S. Church Street Jonesboro, AR 72401

Text File File Number: PP-24-16

Agenda Date:

Version: 1

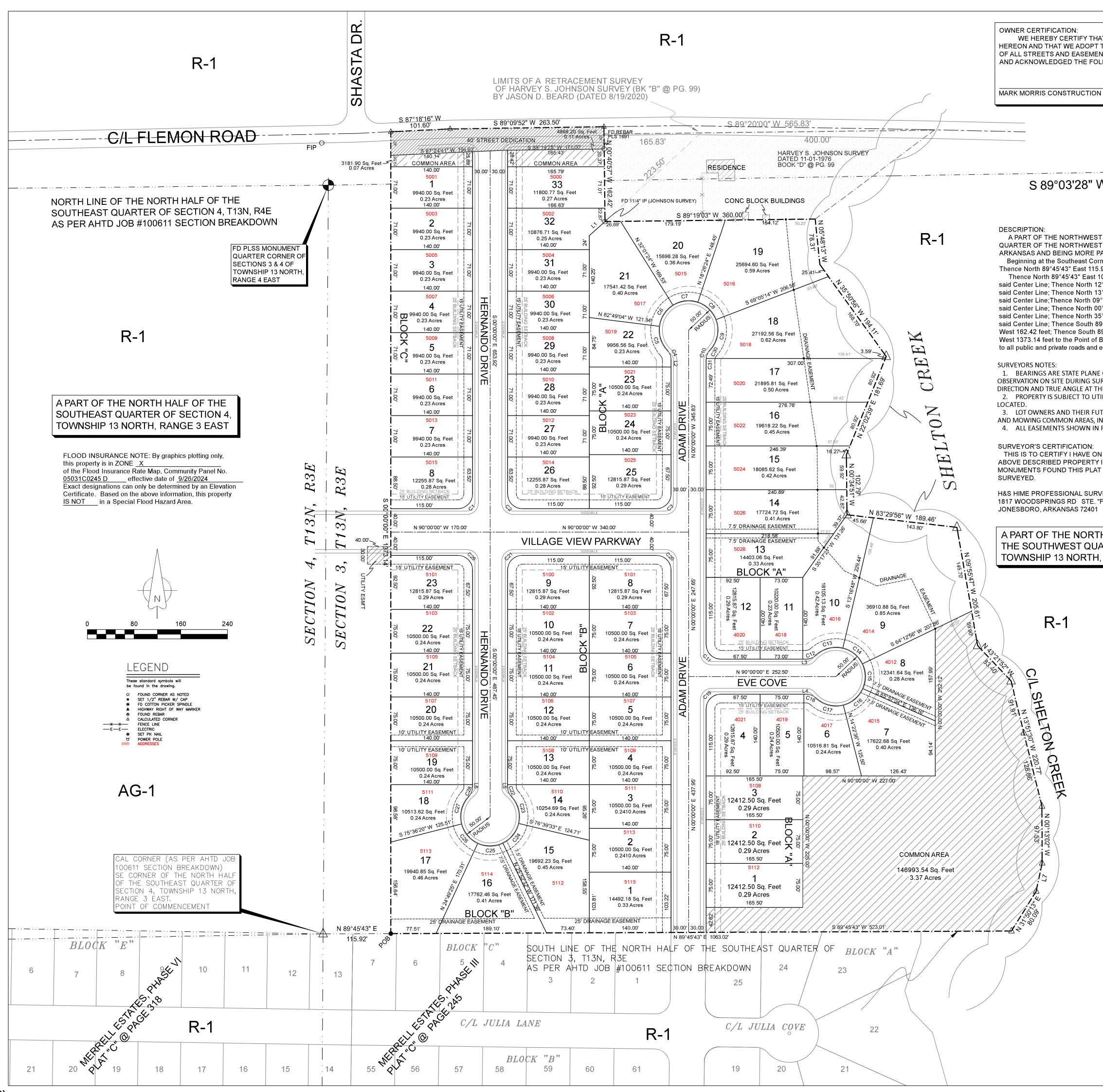
Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Subdivisions

Final Subdivision: Southwest Village Phase I

Mark Morris Homes is requesting final subdivision approval for Southwest Village Phase I; 64 lots on 27.7 acres. This site is located south of Flemon Road and north of Adam Drive and is zoned, R-1, single family medium density.



AND ACKNOWLEDGED THE FOLLOWING STATEMENT

TOWNSHIP 13 NORTH, RANGE 3 EAST

A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 3.

H&S HIME PROFESSIONAL SURVEYING SERVICES 1817 WOODSPRINGS RD STE. "F"

THIS IS TO CERTIFY I HAVE ON THIS DATE SURVEYED THE ABOVE DESCRIBED PROPERTY IN ACCORDANCE WITH MONUMENTS FOUND THIS PLAT CONFORMS TO THAT

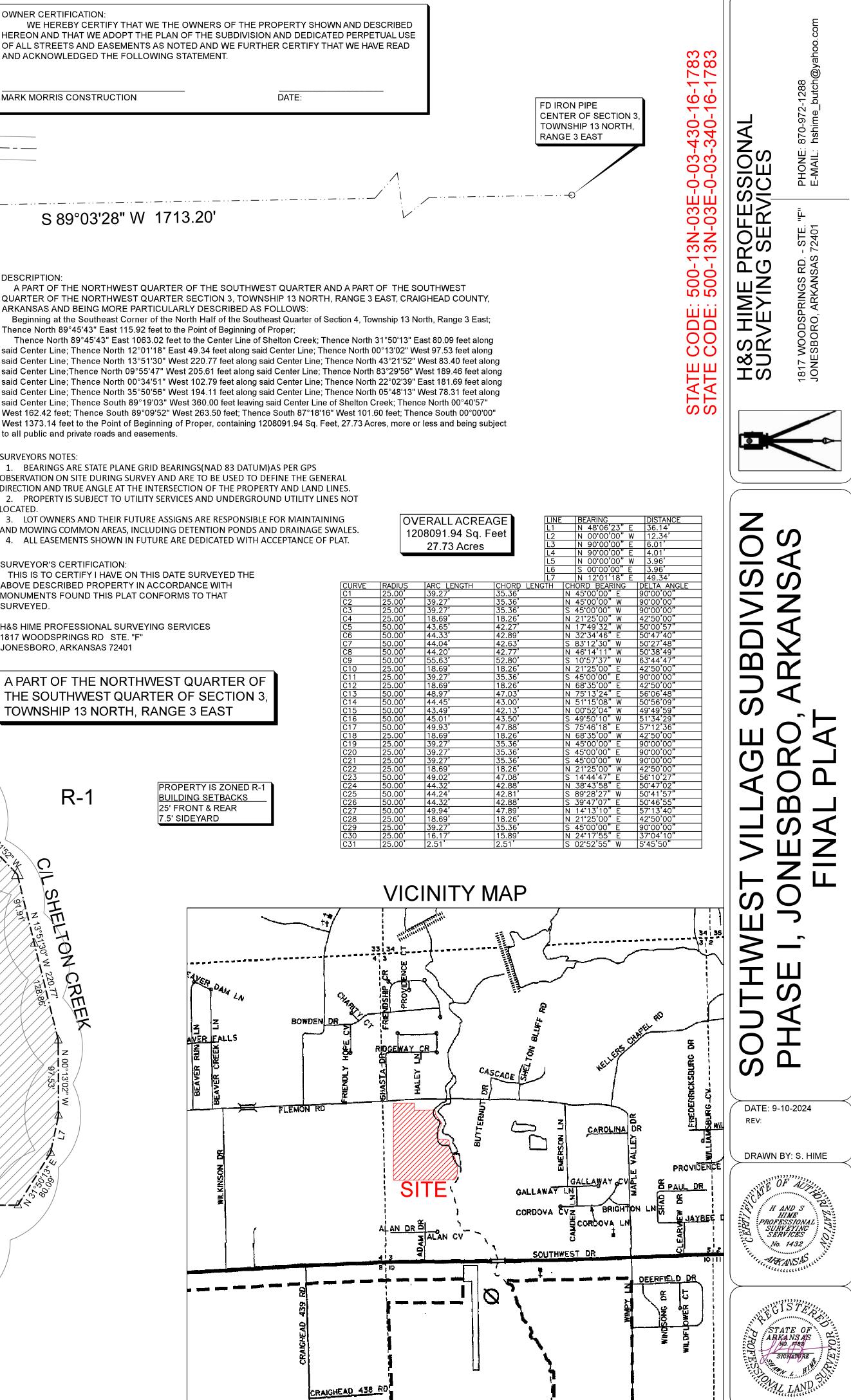
DIRECTION AND TRUE ANGLE AT THE INTERSECTION OF THE PROPERTY AND LAND LINES. 2. PROPERTY IS SUBJECT TO UTILITY SERVICES AND UNDERGROUND UTILITY LINES NOT 3. LOT OWNERS AND THEIR FUTURE ASSIGNS ARE RESPONSIBLE FOR MAINTAINING AND MOWING COMMON AREAS, INCLUDING DETENTION PONDS AND DRAINAGE SWALES.

to all public and private roads and easements. 1. BEARINGS ARE STATE PLANE GRID BEARINGS(NAD 83 DATUM)AS PER GPS OBSERVATION ON SITE DURING SURVEY AND ARE TO BE USED TO DEFINE THE GENERAL

Thence North 89°45'43" East 115.92 feet to the Point of Beginning of Proper;

ARKANSAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

S 89°03'28" W 1713.20'



Home Profile

Monica Pearcy Admin Logout

INCOMPLETE

Application History

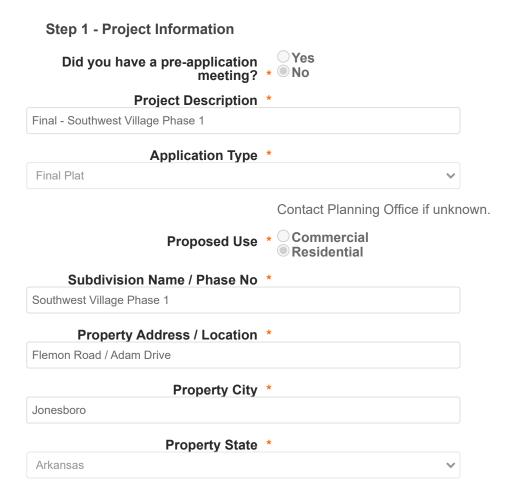
9/19/2024 10:27:25 am - Application started 9/19/2024 10:29:28 am - Status Update: SubmitStart 9/19/2024 10:29:29 am - Permit created in PDox 9/19/2024 10:29:29 am - Status Update: Complete 9/19/2024 10:29:28 am - Application submitted

Request Name: Southwest Village Phase 1 - Final Plat

SUBDIVISION AND PLATS APPLICATION

CITY OF JONESBORO

300 S Church St Jonesboro, AR 72401



Property Zip Code	*
72404	
Zoning Classification	*
R-1 – SINGLE-FAMILY MEDIUM DENSITY	DISTRICT V
Select total acreage range	 < 1 Acre > 1 and < 5 Acres > 5 and < 20 Acres > 20 and < 40 Acres > 40 Acres
Total Acres	*
Total Number of Lots	*
Have you filled out and signed the Stormwater Pollution Prevention Plan, and submitted it to ADEQ? Is the property located in a floodplain?	<pre>Yes No Yes No</pre>
Step 2: Applicant Information	
Select if the Applicant is the curre	ently logged in user.
Applicant First Name	*
Mark	
Applicant Last Name	*
Morris	
Applicant Address	*
6011 Southwest Drive	
Applicant Address Line 2	
Applicant City	*
Jonesboro	
Applicant State	*
Annligant Zin Coda	*
Applicant Zip Code	
Applicant Phone Number	*
(870) 919-7700	
Applicant Email Address	*
engineering@markmorrishomes.com	

COMPLETE

Step 3: Owner Information (optional)

Select if the Owner is the same as the Applicant.

Owner First Name	
Owner Last Name	
Owner Address	
6011 Southwest Drive	
Owner Address Line 2	
Owner City	
Jonesboro	
Owner State	
Arkansas	~
Owner Zip Code	
72404	
Owner Phone Number	
(870) 919-7700	
Owner Email Address	

Step 4: Submittal Requirements (optional)

Final Plat Requirements

The final plat and plans shall show when applicable the following:

- 1. The names and lines of all streets and roads, alleys lines, lot lines, building setback lines, block and lot numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations. Location and names of the nearest streets and/or alignments should be altered to match existing streets. Submission shall include overall vicinity map of nearest adjacent platted subdivisions at scale.
- 2. Sufficient data to determine readily and reproduce on the ground, the location, bearing and length of every street line, lot line, boundary line, block line and building line whether curved or straight and including true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets and curved property lines that are not the boundary of curved streets.
- 3. Profiles of all streets with natural and finished grades drawn to a scale of one inch equals 50 feet horizontal and one inch equals ten feet vertical or larger when required by the planning commission.
- 4. All dimensions to the nearest one-tenth of a foot and angles to the nearest minute.
- 5. Location and description of monuments.
- 6. The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining unsubdivided property.
- 7. Date, title, name and location of subdivision, graphic scale and true north point.
- 8. Certificate of dedication by landowner.

Southwest Village Phase 1 - Final Plat

- 9. The names and seal of the registered land surveyor, in the state, responsible for the survey and contour formation on the plat.
- 10. The plan shall provide for all proposed utility lines in accord with existing policies, rules or regulations of the utilities, the city or other applicable regulations, and approval of the city water and light plant as to proposed sanitary sewer, water and electric lines, shall accompany the final plan.
- 11. Adequate provisions for drainage of surface water shall be made by the subdivider and shown on the plan and he shall file with the city planning commission a description, specifications and drawings prepared by a registered civil engineer in the state, which shall be adequate to provide drainage for area subdivided and/or adjacent areas attached by drainage across or from such tract. The minimum size pipe used in the subdivision shall not be less than 18 inches inside diameter. If proposed subdivision is a portion of a tract which is later to be subdivided in its entirety, then a tentative master plan of the entire subdivision should be submitted with the plat of the portion first to be subdivided.
- 12. A development permit where required in accordance with section 113-49 as amended, before final approval of final plat.

Signature

INCOMPLETE

 \checkmark

I hereby declare that I am the owner or the applicant acting on behalf of the owner with their permission to proceed forward with this application. I hereby declare that I have read and understood the above, and the information contained in this application, attached schedules, attached plans and specifications, and other documentation is true to the best of my knowledge.

Applicant: Mark Morris Signature date: 2024-09-19 10:29 AM

Payment Details

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Final Subdivision: Southwest Village Phase 1

For consideration by Metropolitan Planning Commission on October 8, 2024.

Applicant/Agent/ Owner: Mark Morris

Engineer: Mark Morris *Surveyor*: H&S Hime Professional Surveying Services

Property Location:

Total Acres: 27.73 Proposed Lots: 64

Zoning:

District: R-1, Single-family medium density district Required Min. R-1 - Lot Size: 8,000 sq. ft., Min. Lot Width: 60 ft. Proposed Min. Lot Size: 0.23 acres – 9,940 sq. ft. Proposed Max. Lot Size: 0.85 acres – 36,910 sq. ft. Special Conditions: N/A Water/Sanitary Sewerage: Public Sidewalks: Required Public Streets: Hernando Drive, Adam Drive, Village View Parkway and Eve Cove Compliance with Address Policy: Yes

Other Departmental Reviews: Pending

Findings:

The subdivision complies with all requirements for final subdivision plan approval, Chapter 113, Subdivisions of the City of Jonesboro, Code of Ordinances.

The final plan complies with the purposes, standards and criteria for subdivision design and site protection. Setbacks and minimum square footage requirements are properly depicted and satisfied by the applicant as required in the R-1, single-family residential district.

Planning & Zoning • Municipal Center

City of Jonesboro



300 S. Church Street Jonesboro, AR 72401

Text File File Number: RZ-24-15

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Rezonings

Rezoning: 2800 & 2809 Greensboro Road

Hammerhead Contracting & Development LLC is requesting a rezoning from R-1, single family medium density, to TC-O, town center overlay. This rezoning is for 33.28 acres and is located at 2800 & 2809 Greensboro Road.

This site will be added to the existing Greensborough Village development.

ALE PRIDE OPROV	
1080RO - ARKAL	

Application for a Zoning Ordinance Map Amendment

METROPOLITAN AREA PLANNING COMMISSION				Date Received:	9/16/24	
Jonesboro, Arkansas				Case Number:		
LOCATION: Site Address:	2800 & 2	2809 Greenst	ooro Road			
Side of Street: <u>N & S</u>	between	Virgil Lane	and Can	era Drive	-	
Quarter:NW	Section: _	09	Township:14 N	Range: 04 E		
Attach a survey plat and legal description of the property proposed for rezoning. A Registered Land Surveyor must prepare this plat.						
SITE INFORMATION Existing Zoning:	: R-1		Proposed Zoning: TC-O (Tc	own Center Overla	ay)	
Size of site (square feet a	nd acres):	1,449,72	4 sq.ft., 33.28 acres Street front	age (feet):	+/- 545'	
Existing Use of the Site:						
Character and adequacy of	of adjoining	g streets:	Asphalt street			
Does public water serve	the site? Y	'es				
If not, how would water	service be p	provided?				
Does public sanitary sewer serve the site?		Yes on the south side				
If not, how would sewer	service be j	provided?				
Use of adjoining properties:		North	Agricultural			
		South	Greensborough Village (Residential)			
		East	Residential			
		West	Residential & Agricultural			
Physical characteristics of the	Rolling terrain wooded					
Characteristics of the neigh	oorhood:	Residential & commercial, Greensborough Village master planned development.				

Applications will not be considered complete until all items have been supplied. Incomplete applications will not be placed on the Metropolitan Area Planning Commission agenda and will be returned to the applicant. The deadline for submittal of an application is 18 days prior to the next MAPC meeting. The Planning staff must determine that the application is complete and adequate before it will be placed on the MAPC agenda. Page 1 of 2

REZONING INFORMATION:

The applicant is responsible for explaining and justifying the proposed rezoning. *Please prepare an attachment to this application answering each of the following questions in detail:*

- (1). How was the property zoned when the current owner purchased it?
- (2). What is the purpose of the proposed rezoning? Why is the rezoning necessary?
- (3). If rezoned, how would the property be developed and used?
- (4). What would be the density or intensity of development (e.g. number of residential units; square footage of commercial, institutional, or industrial buildings)?
- (5). Is the proposed rezoning consistent with the Jonesboro Comprehensive Plan and the Future Land Use Plan?
- (6). How would the proposed rezoning be the public interest and benefit the community?
- (7). How would the proposed rezoning be compatible with the zoning, uses, and character of the surrounding area?
- (8). Are there substantial reasons why the property cannot be used in accordance with existing zoning?
- (9). How would the proposed rezoning affect nearby property including impact on property value, traffic, drainage, visual appearance, odor, noise, light, vibration, hours of use or operation and any restriction to the normal and customary use of the affected property.
- (10). How long has the property remained vacant?
- (11). What impact would the proposed rezoning and resulting development have on utilities, streets, drainage, parks, open space, fire, police, and emergency medical services?
- (12). If the rezoning is approved, when would development or redevelopment begin?
- (13). How do neighbors feel about the proposed rezoning? Please attach minutes of the neighborhood meeting held to discuss the proposed rezoning or notes from individual discussions. *If the proposal has not been discussed with neighbors, please attach a statement explaining the reason. Failure to consult with neighbors may result in delay in hearing the application.*
- (14). If this application is for a Limited Use Overlay (LUO), the applicant must specify all uses desired to be permitted.

OWNERSHIP INFORMATION:

All parties to this application understand that the burden of proof in justifying and demonstrating the need for the proposed rezoning rests with the applicant named below.

Owner of Record:

I certify that I am the owner of the property that is the subject of this rezoning application and that I represent all owners, including spouses, of the property to be rezoned. I further certify that all information in this application is true and correct to the best of my knowledge.

Applicant:

If you are not the Owner of Record, please describe your relationship to the rezoning proposal:

Name: Ha	mmerhead Contracting +]	Dev/elaoment	Name [.]		
Address:	3791 Hwy 351	LLC	Address:		
City, State:		ZIP 12405	City, State:	ZIP	
Telephone:			Telephone:		
Facsimile:			Facsimile:		
Signature:	-1SC /		Signature:		

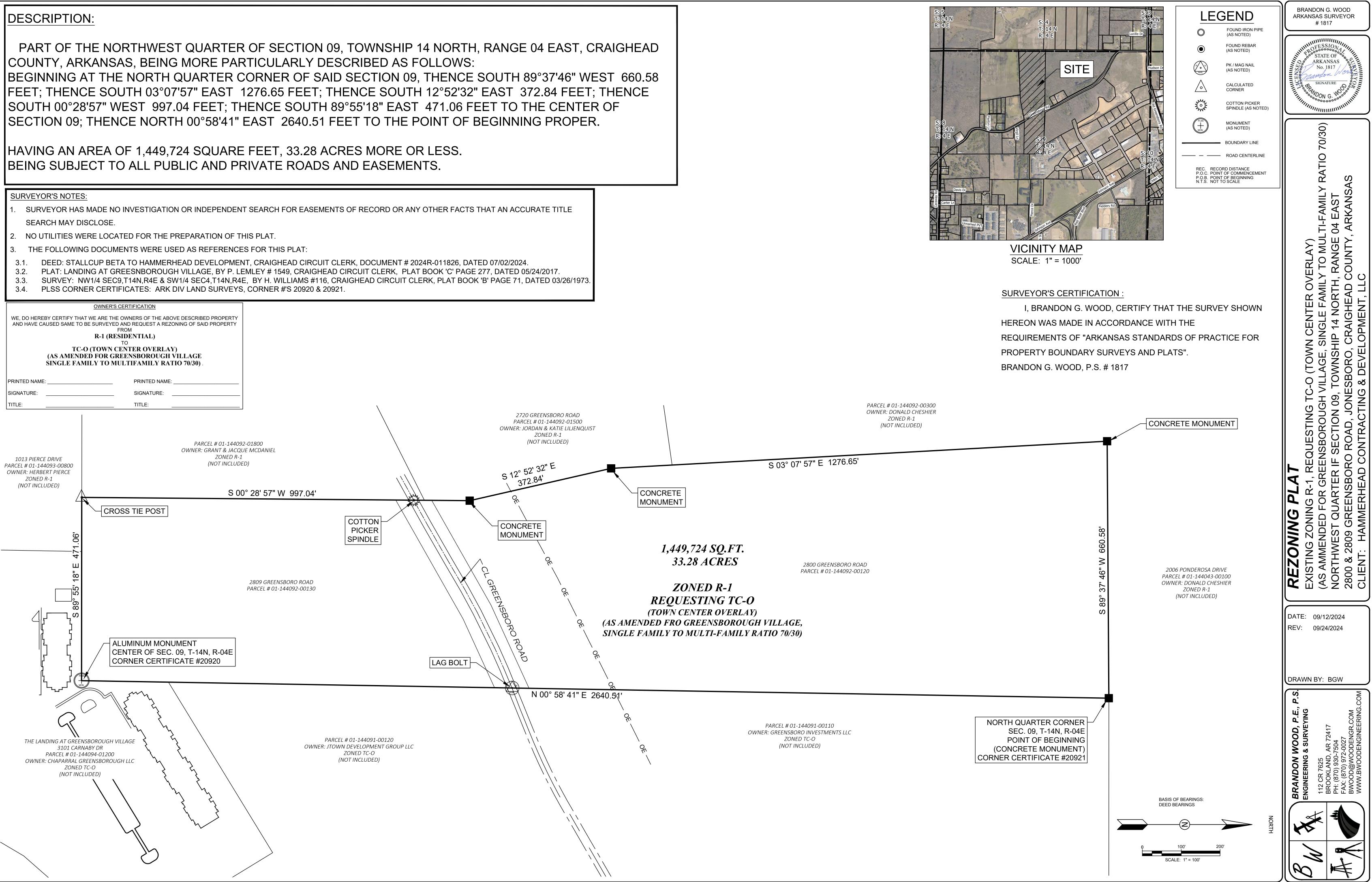
Deed: Please attach a copy of the deed for the subject property.

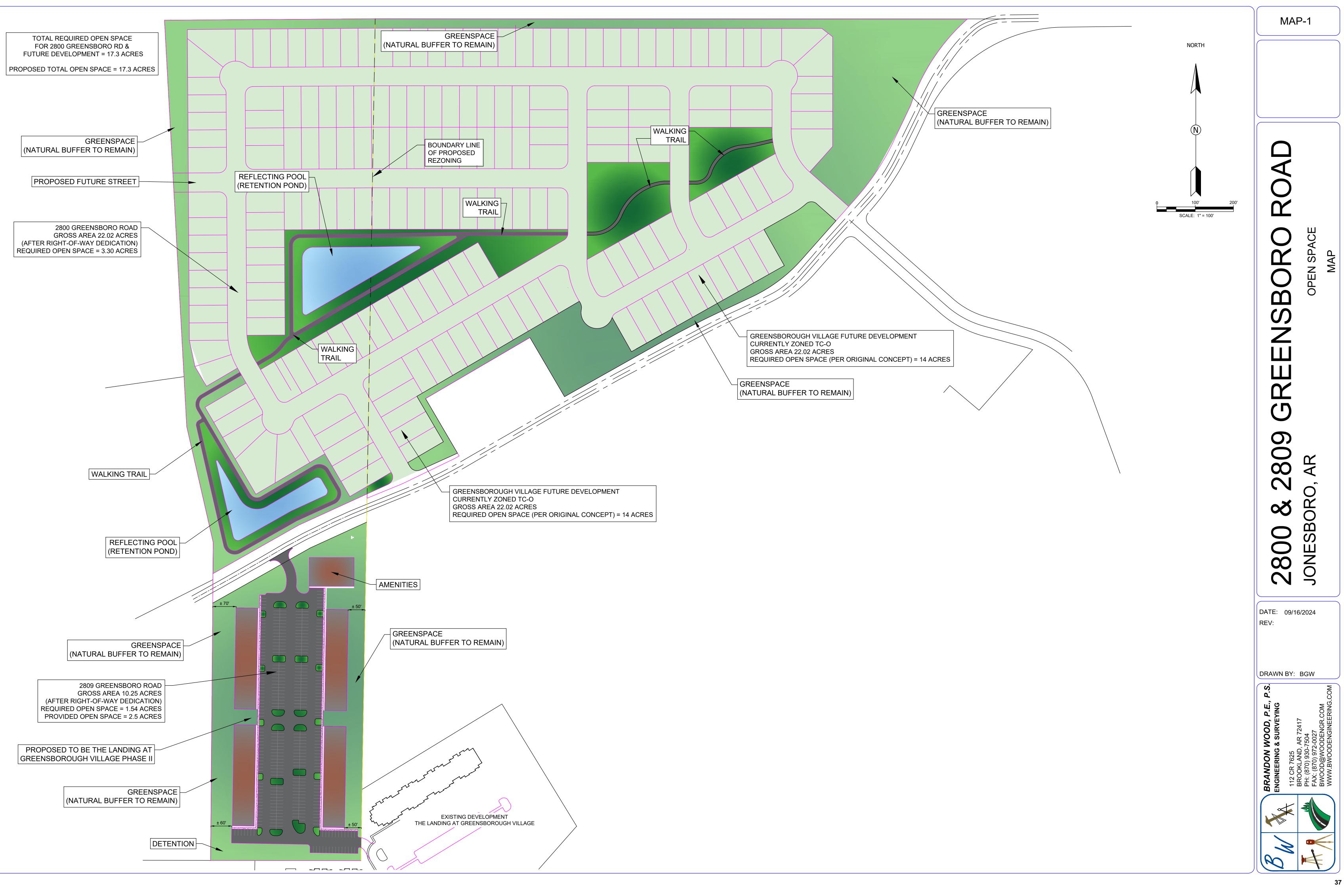
Applications will not be considered complete until all items have been supplied. Incomplete applications will not be placed on the Metropolitan Area Planning Commission agenda and will be returned to the applicant. The deadline for submittal of an application is 18 days prior to the next MAPC meeting. The Planning staff must determine that the application is complete and adequate before it will be placed on the MAPC agenda. Page 2 of 2

Rezoning Information Response:

- (1). How was the property zoned when the current owner purchased it?
 - R-1
- (2). What is the purpose of the proposed zoning? Why is the rezoning necessary?
 - To add additional residential development into Greensborough Village. The Rezoning is necessary to be able to match the characteristics of the existing development and to bring it under the development standards of the Town Center Overlay and the Greensborough Village Development Guidelines.
- (3). If rezoned, how would the property be developed and used?
 - Residential development.
- (4). What would be the density or intensity of development (e.g. number of residential units; square footage of commercial, institutional, or industrial buildings)?
 - We would bring it in under the special 70/30 single family to multifamily restrictions established for Greensborough Village. The site plan shows ______ single family attached and detached dwellings and 4 buildings of multifamily developed as Phase II of the The Landing at Greensborough Village totaling 192 units.
- (5). Is the proposed rezoning consistent with the Jonesboro Comprehensive Plan and the Future Land Use Plan?
 - Yes. Land Use Map has the area listed as "Moderate Intensity Growth Sector" which includes multifamily.
- (6). How would the proposed rezoning be in the public interest and benefit the community?
 - The availability of housing options in one of the fastest growing areas of the community; developed under some of the highest standards and strictest development codes in the city.
- (7). How would the proposed rezoning be compatible with the zoning, uses, and character of the surrounding area?
 - It will be integrated into the largest master planned development into the city. The standards and codes adopted ensure that the usage and character will conform to the area.
- (8). Are there substantial reasons why the property cannot be used in accordance to the existing zoning?
 - Yes...current zoning will not allow the type of development needed. This Rezoning will require higher standards of building and more green space. Current zoning does not allow the type of density required to develop under those higher standards.
- (9). How would the proposed zoning affect nearby property including impact on property value, traffic, drainage, visual appearance, odor, noise, light, vibration, hours of use or operation and any restriction to the normal and customary use of the affected property?
 - It will have no adverse affect and will increase property value. It will also justify bringing city sewer all the way to Hwy 351, making it available to a large area in the city currently not being served by city sewer.

- (10). How long has the property remained vacant?
 - Other than a small cabin and mobile home, this land has never been occupied.
- (11). What impact would the proposed rezoning and resulting development have on utilities, streets, drainage, parks, open space, fire, police, and emergency medical services?
 - It will open up an entire large area of Jonesboro to sanitary sewer that has never been served before. It will improve drainage, preserve more open space than traditional development, and have no negative impact on emergency services.
- (12). If the rezoning is approved, when would the development or redevelopment begin?
 - The parts that are served by current utilities would be designed and submitted for approval. This process would take a few months. The balance would be designed and submitted for approval but actual construction would not happen until the main sewer trunk line is extended to this part of the city. Preliminary work on the sewer line has been done, and that process would start immediately and take 6 to 9 months to complete.
- (13). How do neighbors feel about the proposed rezoning? Please attach minutes of the neighborhood meeting held to discuss the proposed rezoning or notes from individual discussions. *If the proposal has not been discussed with neighbors, please attach a statement explaining the reason. Failure to consult with neighbors may result in delay in hearing the application.*
 - Follow up meetings with neighbors are being scheduled. The largest adjoining landowner (Greensboro Investments LLC) is in favor and demonstrated by their support of this application. Minutes/notes will be provided on or before the MAPC hearing.
- (14). If this application is for Limited Use Overlay (LUO), the applicant must specify all uses desired to be permitted.
 - Not Applicable







ELECTRONIC RECORDING **2024R-011826** CERTIFICATE OF RECORD JONESBORO DISTRICT CRAIGHEAD COUNTY, ARKANSAS DAVID VAUGHN, CLERK & RECORDER 07/02/2024 02:03:48 PM RECORDING FEE: 35.00 PAGES: 5

WARRANTY DEED (LLC)

KNOW ALL PERSONS BY THESE PRESENTS:

THAT Stallcup Beta, LLC, an Arkansas limited liability company, hereinafter referred to as "Grantor," for and in consideration of Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, the receipt and sufficiency of which is hereby acknowledged, does hereby grant, bargain, sell, and convey unto Hammerhead Contracting & Development, LLC, an Arkansas limited liability company, hereinafter "Grantee," and unto Grantee's successors and assigns forever the following land, lying in Craighead County, Arkansas, to-wit:

SEE EXHIBIT A

TO HAVE AND TO HOLD same unto Grantee, and unto Grantee's successors and assigns forever, with all appurtenances thereunto belonging. Also, Grantor hereby covenants with the said Grantee, that Grantor will forever warrant and defend the title to said lands against all claims.

WITNESS Grantor's hand(s) this the 15 day of _____, 20___.

Prepared under the supervision of: Brian Blackman, PLC 1450 E. Zion Road, Suite 7 Fayetteville, AR 72703 Stallcup Beta, LLC, an Arkansas limited liability company

By: Name: James W. Stalleup III

Its: Manager

STATE OF ARKANSAS COUNTY OF WASHINGTON

BE IT REMEMBERED, that on this day came before me, the undersigned Notary Public, within and for the County aforesaid, duly commissioned and acting, James W. Stallcup III, who stated that he was the Manager of Stallcup Beta, LLC, an Arkansas limited liability company, and that he was to me well known (or satisfactorily proven) to be the duly authorized representative of the Grantor in the foregoing Deed, and acknowledged that he had executed the same for the consideration, uses, and purposes therein mentioned and set forth.

WITNESS my hand and seal as such Notary Public on this / <+ day-of-211 . 20 2. NOTARY PUBLIC

After recording return to: Brian Blackman, PLC 1450 E. Zion Road, Suite 7 Fayetteville, AR 72703

EXHIBIT A

TRACT 1:

A PART OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 14 NORTH, RANGE 4 EAST AND A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 14 NORTH, RANGE 4 EAST, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 14 NORTH, RANGE 4 EAST AFORESAID; THENCE SOUTH 89°35'0211 WEST, ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 1,639.28 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 00°36'1211 WEST, DEPARTING FROM SAID NORTH LINE, A DISTANCE OF 1,975.21 FEET TO A POINT; THENCE NORTH 88°36'5711 WEST, A DISTANCE OF 30.00 FEET TO A POINT; THENCE SOUTH 53°58'1211 WEST, A DISTANCE OF 418.76 FEET TO A POINT; THENCE NORTH 34°16'4611 WEST, A DISTANCE OF 210.46 FEET TO A POINT: THENCE SOUTH 55°59'2411 WEST, A DISTANCE OF 417.62 FEET TO A POINT; THENCE SOUTH 55°43'14" WEST, A DISTANCE OF 208.70 FEET TO A POINT; THENCE SOUTH 34°16'4611 EAST, A DISTANCE OF 254.74 FEET TO A POINT: THENCE SOUTH 49°50'36" WEST, A DISTANCE OF 37.24 FEET TO A POINT LYING ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 9, THENCE SOUTH 89°54'1311 WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 154.10 FEET TO A POINT BEING THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 9; THENCE NORTH 01 °00'5711 EAST, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECI'ION 9, A DISTANCE OF 2,625.70 FEET TO A POINT BEING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 9 AND THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 4 AFORESAID; THENCE NORTH 01 °26'0411 EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4, A DISTANCE OF 47.10 FEET TO A POINT; THENCE NORTH 89°35'0211 EAST, PARALLEL WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 9 AND DEPARTING FROM SAID WEST LINE, A DISTANCE OF 988.48 FEET TO A POINT; THENCE SOUTH 00°36'1211 WEST, A DISTANCE OF 47.08 FEET TO A POINT LYING ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 9; THENCE NORTH 89°35'0211 EAST, ALONG SAID NORTH LINE, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING. CONTAINING IN ALL 2,297,835 SO. FT. OR 52.75 ACRES, MORE OR LESS, SUBJECT TO ALL RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

TRACT 2:

A PART OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 14 NORTH, RANGE 04 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTH QUARTER CORNER OF SAID SECTION 9, TOWNSHIP, 14 NORTH, RANGE 04 EAST; THENCE SOUTH 89°37'46" WEST, 660.58 FEET TO A CONCRETE MONUMENT; THENCE SOUTH 03°07'57" EAST, 1276.65 FEET TO A CONCRETE MONUMENT; THENCE SOUTH 12°52'32" EAST, 372.84 TO A CONCRETE MONUMENT FEET; THENCE SOUTH 00°28'57" WEST, 143.87 FEET TO A COTTON PICKER SPINDLE IN GREENSBORO ROAD; THENCE MEANDERING WITH THE CENTERLINE OF GREENSBORO ROAD AS FOLLOWS: THENCE NORTH 60°57'07" EAST, 73.41 FEET; THENCE NORTH 60°12'47" EAST, 105.59 FEET; THENCE NORTH 59°40'18" EAST, 85.41 FEET; THENCE NORTH 61 °31 '38" EAST, 66.12 FEET; THENCE NORTH 63°52'09" EAST, 104.25 FEET; THENCE NORTH 66°04'32" EAST, 57.50 FEET; THENCE NORTH 67°46'36" EAST, 52.85 FEET TO A LAG BOLT; THENCE NORTH 00°58'40" EAST, LEA YING GREENSBORO ROAD, 1534.60 FEET TO THE POINT OF BEGINNING PROPER, CONTAINING 22.52 ACRES (980,836 SQ. FT.), MORE OR LESS, SUBJECT TO ALL RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

TRACT 3:

A PART OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 14 NORTH, RANGE 04 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 9, TOWNSHIP, 14 NORTH, RANGE 04 EAST; THENCE SOUTH 89°37'46" WEST, 660.58 FEET TO A CONCRETE MONUMENT; THENCE SOUTH 03°07'57" EAST, 1276.65 FEET TO A CONCRETE MONUMENT; THENCE SOUTH 12°52'32" EAST, 372.84 TO A CONCRETE MONUMENT FEET; THENCE SOUTH 00°28'57" WEST, 143.87 FEET TO A COTTON PICKER SPINDLE IN GREENSBORO ROAD, BEING THE POINT OF BEGINNING FOR TRACT 2; THENCE MEANDERING WITH THE CENTERLINE OF GREENSBORO ROAD AS FOLLOWS: THENCE NORTH 60°57'07" EAST, 73.41 FEET; THENCE NORTH 60°12'47" EAST, 105.59 FEET; THENCE NORTH 59°40'18" EAST, 85.41 FEET; THENCE NORTH 61 °31'38" EAST, 66.12 FEET; THENCE NORTH 63°52'09" EAST, 104.25 FEET; THENCE NORTH 66°04'32" EAST, 57.50 FEET; THENCE NORTH 67°46'36" EAST, 52.85 FEET TO A LAG BOLT; THENCE SOUTH 00°58'40" WEST, LEAVING GREENSBORO ROAD, 1105.91 FEET TO A STATE MONUMENT; THENCE NORTH 89°55'18" WEST, 471.06 FEET TO A CROSSTIE FENCE CORNER; THENCE NORTH 00°28'57" EAST, 853.17 FEET THE POINT OF BEGINNING PROPER, CONTAINING 10.76 ACRES (468,888 SQ. FT.), MORE OR LESS.

ALL TRACTS SUBJECT TO ALL EASEMENTS, RIGHTS-OF-WAY, AND PROTECTIVE COVENANTS OF RECORD. ALSO SUBJECT TO ALL OIL, GAS AND MINERAL RESERVATIONS OF RECORD.



STATE OF ARKANSAS DEPARTMENT OF FINANCE AND ADMINISTRATION MISCELLANEOUS TAX SECTION P.O. BOX 896, LITTLE ROCK, AR 72203-0896

Real Estate Transfer Tax Stamp

Proof of Tax Paid



File Number: 2024-1165

Grantee: Mailing Address: HAMMERHEAD CONTRACTING & DEVELOPMENT, LLC 534 S MAIN ST SULPHUR ROCK AR 725799766

Property Purchase	Price:
Tax Amount:	

\$870,000.00 \$2,871.00

County: Date Issued: Stamp ID: CRAIGHEAD 07/02/2024 863565824

I certify under penalty of false swearing that documentary stamps or a documentary symbol in the legally correct amount has been placed on this instrument

Grantee or Agent	Name (printed): Professional Title As Agent	
	Name (signature): Kendra Goggett Date: 7-2-2024	
Address:	534 S. Main St.	
cracity/State/Zip:	Subohy 52024 Borsto, A.R. 7235029	













City of Jonesboro Metropolitan Area Planning Commission Staff Report – RZ 24-15, 2800 & 2809 Greensboro Road 300 S. Church Street/Municipal Center For Consideration by Planning Commission on October 8, 2024		
REQUEST:	To consider a rezoning of two tracts of land containing 33.28+/- acres	
PURPOSE:	A request to consider recommendation to Council for a rezoning from "R-1", single family medium density district, to "TC-O", town center overlay.	
APPLICANT:	Hammerhead Contracting & Development LLC, 3791 Hwy 351, Jonesboro, AR, 72405	
OWNER:	Same	
LOCATION:	2800 & 2809 Greensboro Road	
SITE DESCRIPTION:	Tract Size: Approx. 33.28 Acres Street Frontage: Approx. 545 ft. (each lot) on Greensboro Road	

Existing Development: Small cabin and mobile home, unoccupied

SURROUNDING CONDITIONS:

ZONE	LAND USE
North	R-1 – Vacant
South	TC-O – Greensborough Village
East	TC-O – Greensborough Village
West	R-1 –Residential

HISTORY: Vacant

ZONING ANALYSIS:

City Planning Staff has reviewed the proposed Zone Change and offers the following findings:

Comprehensive Plan Land Use Map:

The Current/Future Land Use Map recommends this location as a **Low Intensity** (2800 Greensboro Rd) and **High Intensity** (2809 Greensboro Rd) Growth Sectors.

Low Intensity - Low intensity uses take place in areas where transportation arteries are fewer and services like sewer are more sparse. Additionally, many Jonesboro residents have moved to areas of low intensity development because they like it that way, so that one of the major intents of this sector is to preserve the more laid-back feel to residential life. As a result, limited commercial development, primarily at the crossroads of arterials and collectors, is allowed. Where commercial development is allowed, it should be of higher quality construction materials and design. Also, limits on hours of operation, lighting standards, screening from residential uses, etc. are appropriate.

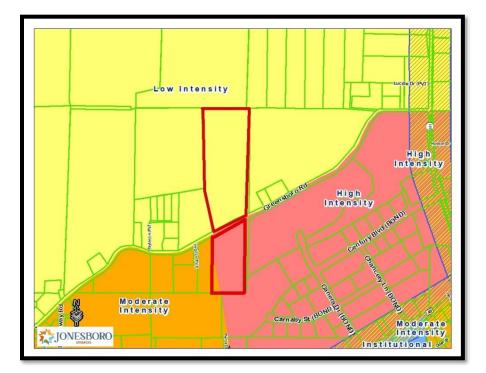
Typical Land Uses:

- Moderate to large lot single family residential developments Neighborhood markets
- Neighborhood convenience stores
- Neighborhood services (dry cleaners, carwashes, small banks) Senior Living Centers/Nursing Homes, etc.
- Stable

Density: Single Family Residential on 1/5 to 5 acre lots

Height: 40 feet

Traffic: Approximately 100 peak hour trips (Commercial Only)



High Intensity - A wide range of land uses is appropriate in the high intensity zone, from multifamily to fast food to Class A office space to outdoor display/highway oriented businesses like automotive dealerships, because they will be located in areas where sewer service is readily available and transportation facilities are equipped to handle the traffic.

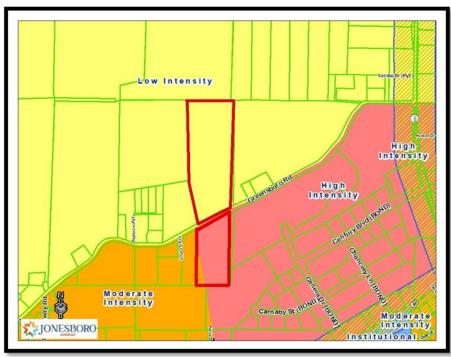
Typical Land Uses:

- Regional Shopping Centers
- Automotive Dealerships
- Outdoor Display Retail
- Fast Food Restaurants
- Multi-family
- Service Stations
- Commercial and Office
- Call Centers
- Research and Development
- Medical
- Banks
- Big Box Commercial
- Hotel

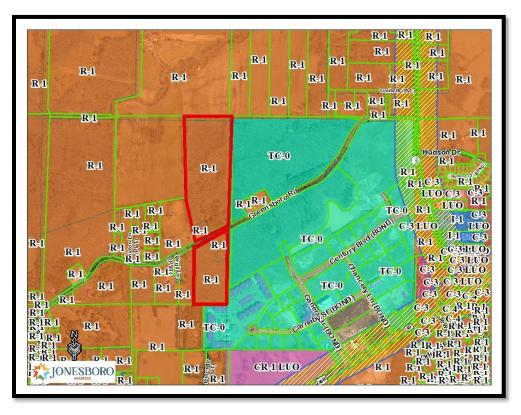
Density: Multi-family 8-14 Dwelling Units per acre

Height: 150 feet

Traffic: This will be located along arterial streets with high traffic volume.



Land Use Map 3



Zoning Map

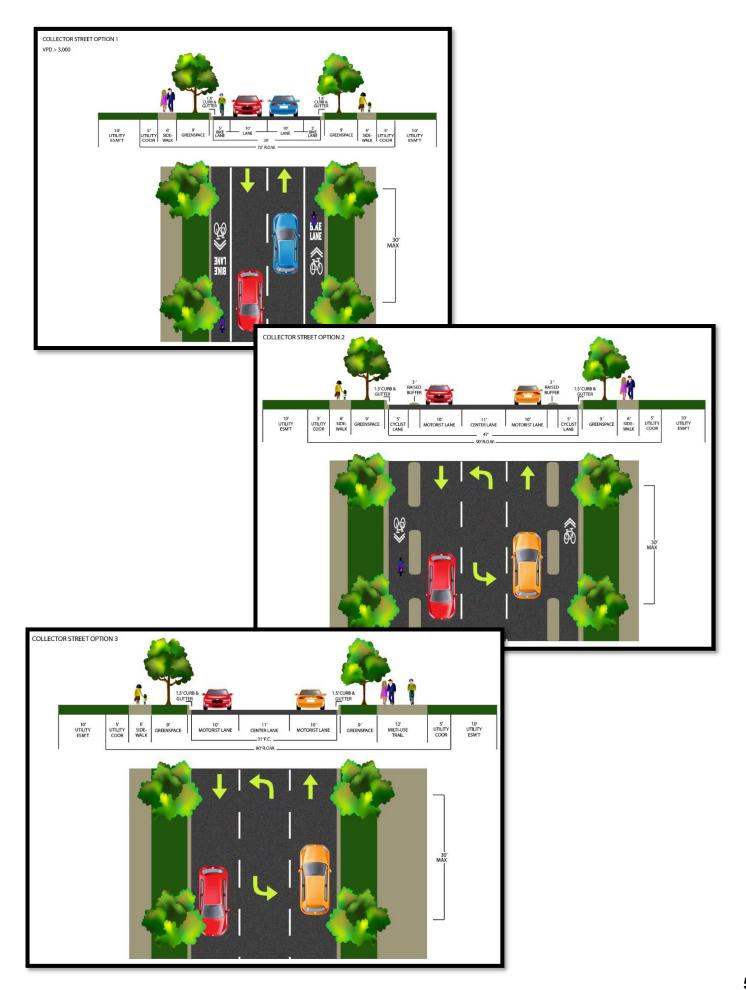
Master Street Plan/Transportation

The subject property will be served by Greensboro Road. The Master Street Plan classifies this road as a Collector.

Collectors provide for traffic movement between arterials and local streets. They carry moderate traffic volumes over moderate distances and have a higher degree of property access than arterials.

FUNCTION: A Collector Street is the traffic connection from Local Streets to Arterials, with the secondary function of providing access to adjoining property. The Collector system should not be continuous but should direct traffic to Arterials. This class of road is generally at a spacing of a quarter mile. At the time of the subdivision, the exact location and additional need for Collectors will be determined by the MAPC upon advice of the City Staff.

DESIGN: Cross-section selection shall be based on anticipated traffic volume and speed limit, or traffic impact analysis, if applicable. Design in accordance with AASHTO policy on Geometric design of highways and streets (current edition).



<u>Approval Criteria- Chapter 117 - Amendments:</u> The criteria for approval of a rezoning are set out below. Not all of the criteria must be given equal consideration by the MAPC or City Council in reaching a decision. The criteria to be considered shall include, but not be limited to the following.

Criteria	Explanations and Findings	Comply Y/N
(a) Consistency of the proposal with the Comprehensive Plan/Land Use Map	The proposed district rezoning is consistent with the Adopted Land Use Plan. The property is located in the low and high intensity growth sector.	1
(b) Consistency of the proposal with the purpose of Chapter 117-Zoning.	The proposal will achieve consistency with the purpose of Chapter 117, with compliance of all District standards.	V
(c) Compatibility of the proposal with the zoning, uses and character of the surrounding area.	Compatibility is achieved with this rezoning considering the surrounding area includes residential and town center overlay districts.	V
(d) Suitability of the subject property for the uses to which it has been restricted without the proposed zoning map amendment;	Without the proposed zoning map amendment, this property cannot develop as a town center overlay.	V
(e) Extent to which approval of the proposed rezoning will detrimentally affect nearby property including, but not limited to, any impact on property value, traffic, drainage, visual, odor, noise, light, vibration, hours of use/operation and any restriction to the normal and customary use of the affected property;	With proper planning there should not be any adverse effects caused by the property.	\
(f) Impact of the proposed development on community facilities and services, including those related to utilities, streets, drainage, parks, open space, fire, police, and emergency medical services	Minimal impact if rezoned due to the fact that the area is already equipped to handle residential uses.	V

Staff Findings:

Applicant's Purpose

The proposed area is currently classified as "R-1" single family medium density. The applicant is applying for a rezoning to allow a town center overlay at this location.

Rezoning this property is consistent with the *Jonesboro Comprehensive Plan* and the *Future Land Use Plan*.

Chapter 117 of the City Code of Ordinances/Zoning defines TC-O as follows:

TC-O—Town center overlay district.

(1) *General purpose*. The purpose of the TC-O, town center overlay district, is to promote the development of a pedestrian oriented, mixed use district in which a variety of complementary retail, commercial, office, civic, and residential uses are permitted. The intent of the TC-O regulations are to:

a. Preserve, enhance, or create many forms of publicly accessible open space, such as parks, plazas, water features, tree-lined streets and community gathering areas.

b. Create a compact concentration of land uses within each development through multiple uses in a single building, or in the same general area.

c. Encourage a sense of place through street level activity by allowing the imaginative and efficient utilization of land and to develop a sense of community by promoting year-round pedestrian and outdoor activities at the street level.

d. Reduce the dependence upon and dominance of the automobile through street design, shared parking, pedestrian scaled buildings and pedestrian pathways and spaces.

e. Achieve a unique aesthetic design through high quality architecture and construction with attention to placement, relationship and orientation of structures to provide a greater compatibility with surrounding land uses.

Departmental/Agency Reviews:

The following departments and agencies were contacted for review and comments. Note that this table will be updated at the hearing due to reporting information that will be updated in the coming days:

Department/Agency	Reports/ Comments	Status
Engineering	No issues were reported	
Streets/Sanitation	No issues were reported	
Police	No issues were reported	
Fire Department	No issues were reported	
МРО	No issues were reported	
Jets	No issues were reported	
Utility Companies	No issues were reported	CWL
Code Enforcement	No issues were reported	

Conclusion:

The Planning Department Staff finds that the requested zone change submitted for the subject parcel should be evaluated based on the above observations and criteria of Case RZ 24-15 a request to rezone property "R-1", single family medium density, to "TC-O" town center overlay; the following conditions are recommended:

- 1. The proposed site shall satisfy all requirements of the City Engineer, all requirements of the current Stormwater Drainage Design Manual and Flood Plain Regulations regarding any new construction.
- 2. A final site plan subject to all ordinance requirements shall be submitted, reviewed, and approved by the Planning Department, prior to any redevelopment of the property.
- 3. Any change of use shall be subject to Planning Department approval in the future.
- 4. The site shall comply with the existing Greensborough Village Town Center Development Guidelines and the 70/30 single family to multifamily restrictions established for Greensborough Village.

Respectfully Submitted for Planning Commission Consideration, The Planning and Zoning Department

Sample Motion:

I move that we place Case: RZ 24-15 on the floor for consideration of recommendation by MAPC to the City Council with the noted conditions, and we, the MAPC find that to rezone property from "R-1", single family medium density, to "TC-O" town center overlay, will be compatible and suitable with the zoning, uses, and character of the surrounding area.



GREENSBOROUGH VILLAGE TOWN CENTER

JONESBORO, ARKANSAS

DEVELOPMENT GUIDELINES GREENSBOROUGH INVESTMENTS, LLC FEBRUARY 2015







GREENSBOROUGH VILLAGE

JONESBORO, ARKANSAS Greensborough Investments, LLC February 2015

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SECTION 1 - SITE LOCATION & ANALYSIS

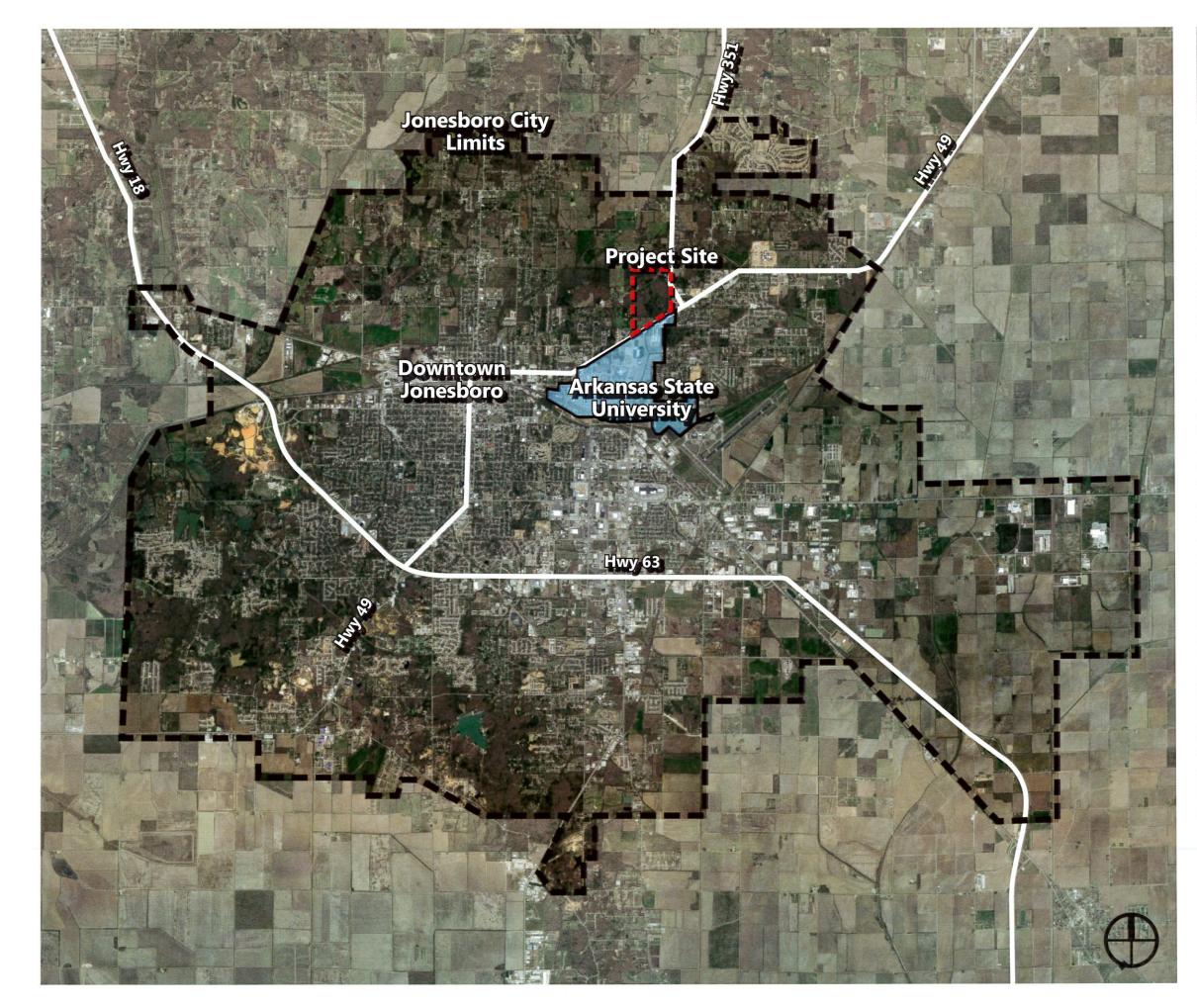
Surrounding Region Site Characteristics Site Analysis



2 3 4







SURROUNDING REGION

A college town, Jonesboro, Arkansas, is the largest city in northeastern Arkansas and the fifth most populated city in the state. Jonesboro is located approximately 70 miles from Memphis, Tennessee and 132 miles from Littlerock, Arkansas. In 2010, the estimated population of the City of Jonesboro was 67,263. Jonesboro is the principal city of and is included in the Jonesboro MSA with an estimated population in 2010 in the MSA of 121,026 and an estimated population of 163,116 in the Jonesboro-Paragould Combined Statistical Area. Jonesboro is home to Arkansas State University and is a regional center for manufacturing, agriculture, and healthcare.

Greensborough Village is located northeast of downtown Jonesboro inside the corporate limits of the City of Jonesboro. Jonesboro is the county seat of Craighead County. The site is located on the northern side of East Johnson Avenue (U.S. Highway 49) across from the main campus of Arkansas State University and is situated in close proximity to downtown Jonesboro and the Jonesboro Airport. This site is surrounded by a mix of commercial and residential land uses along with the main campus of Arkansas State University.



GREENSBOROUGH **V**ILLAGE

JONESSORC, ARKANSAS GFEENSSCROIGH IN 'ESTMENT, LLC FEBRUARY 2015



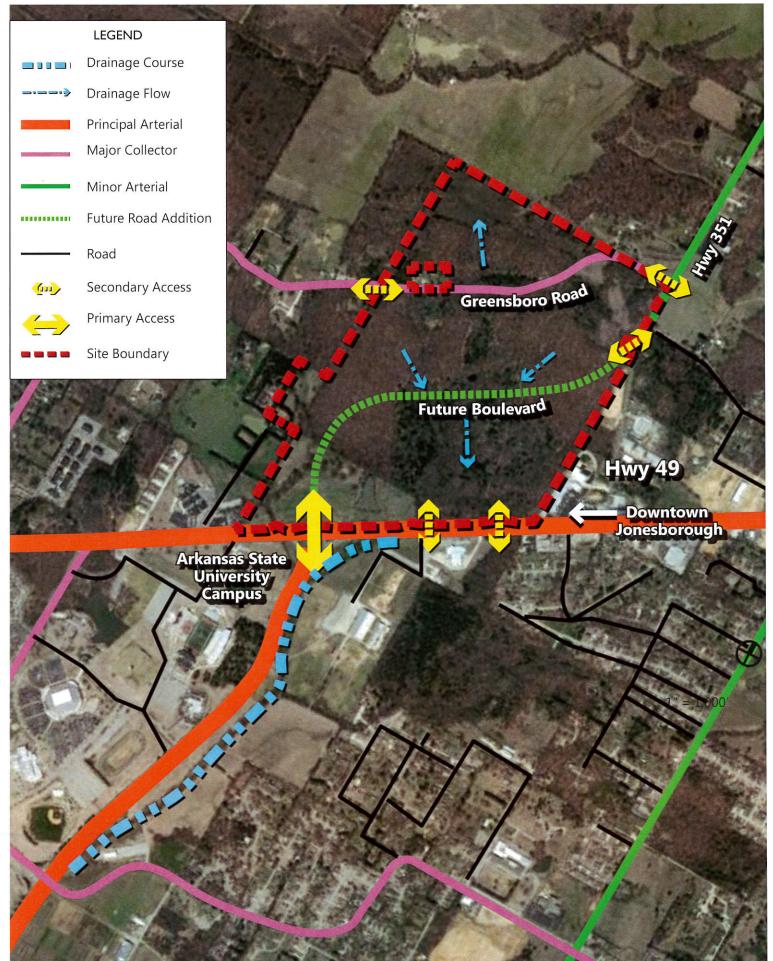
Johnson Avenue - View to East Johnson Avenue



Johnson Avenue - View to East



Greensboro Road - View to West



Site Characteristics

The Greensborough Village site is located within the City of Jonesboro, Arkansas. The site is accessible from East Johnson Avenue (U.S. Highway 49) along the southern boundary of the property, Old Greensboro Road (SR-351) along the western boundary, and Greensboro Road which bisects the northern portion of the site. Greensborough Village is located across from the Main Entrance (Red Wolf Boulevard) of Arkansas State University and approximately 2.5 miles from Downtown Jonesboro. The site contains approximately 201 acres of contiguous land area.

The site has frontage upon East Johnson Avenue (U.S. Highway 49) which is classified as a "major arterial" road and Old Greensboro Road (SR-351) which is classified as a "collector" road. Greensboro Road which bisects the northern portion of the site is classified as a local street.

GREENSBOROUGH VILLAGE

JONESJORC, ARKANSAS GFEENSSCRUIGH III (ESTMENT, LLC FEBRUARY 2015

LEGEND





University

SITE ANALYSIS

Before undertaking the master planning process for Greensborough Village the entire site and surrounding area was toured and photographed to document existing conditions and adjoining land use and development patterns. Adjoining land uses were documented to gain a better understanding of past development trends and emerging trends in development patterns. A site analysis diagram was prepared to illustrate the findings of the site investigation process and features of the site and surrounding area taken into consideration during the master planning process.

Consideration was given to the various characteristics of the site and surrounding land use and development patterns. In order to create a place where people want to live, work, play and be entertained, the design team paid careful attention to site features, accessibility to surrounding arterial and collector roads, and proximity and orientation to surrounding land uses including most prominently the Arkansas State University campus.

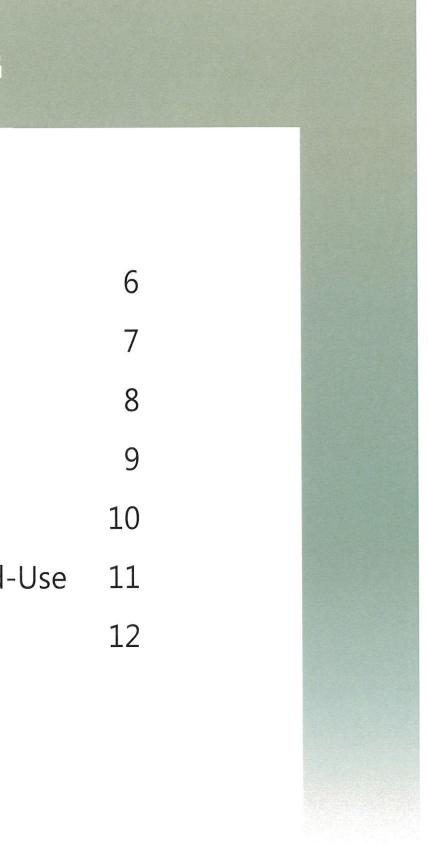
The site provides gentle rolling topography and contains a variety of high points and views toward surrounding areas including the campus of Arkansas State University. In 2014, the southernmost portion of the site was cleared of existing vegetation and graded. The northernmost portion of the site remains undisturbed. The close proximity of Greensborough Village to the ASU campus provides an opportunity to leverage campus activities and a growing student population with retail and residential development within the Town Center. Frontage along Johnson Avenue and the Old Greensboro Road (Hwy 351) provide opportunities for a variety of retail and office development to serve the surrounding while also providing entryways into the Town Center. Surrounding land use patterns will provide an opportunity to develop complementary development along the perimeter of the Town Center.

GREENSBOROUGH VILLAGE

JUNESJORC, ARKANSAS GFEENS 3C RO IGH THE 'ES MENT , LLC FEBRUARY 2015

SECTION II - LAND USE & ZONING

Land Use Analysis Town Center Overlay District Permitted Uses Retail, Office, & Mixed-Use Residential, Retail, Office, & Mixed-Use Single-Family Attached & Multi-Family Residential/ Mixed-Use Single Family Attached & Detached Residential









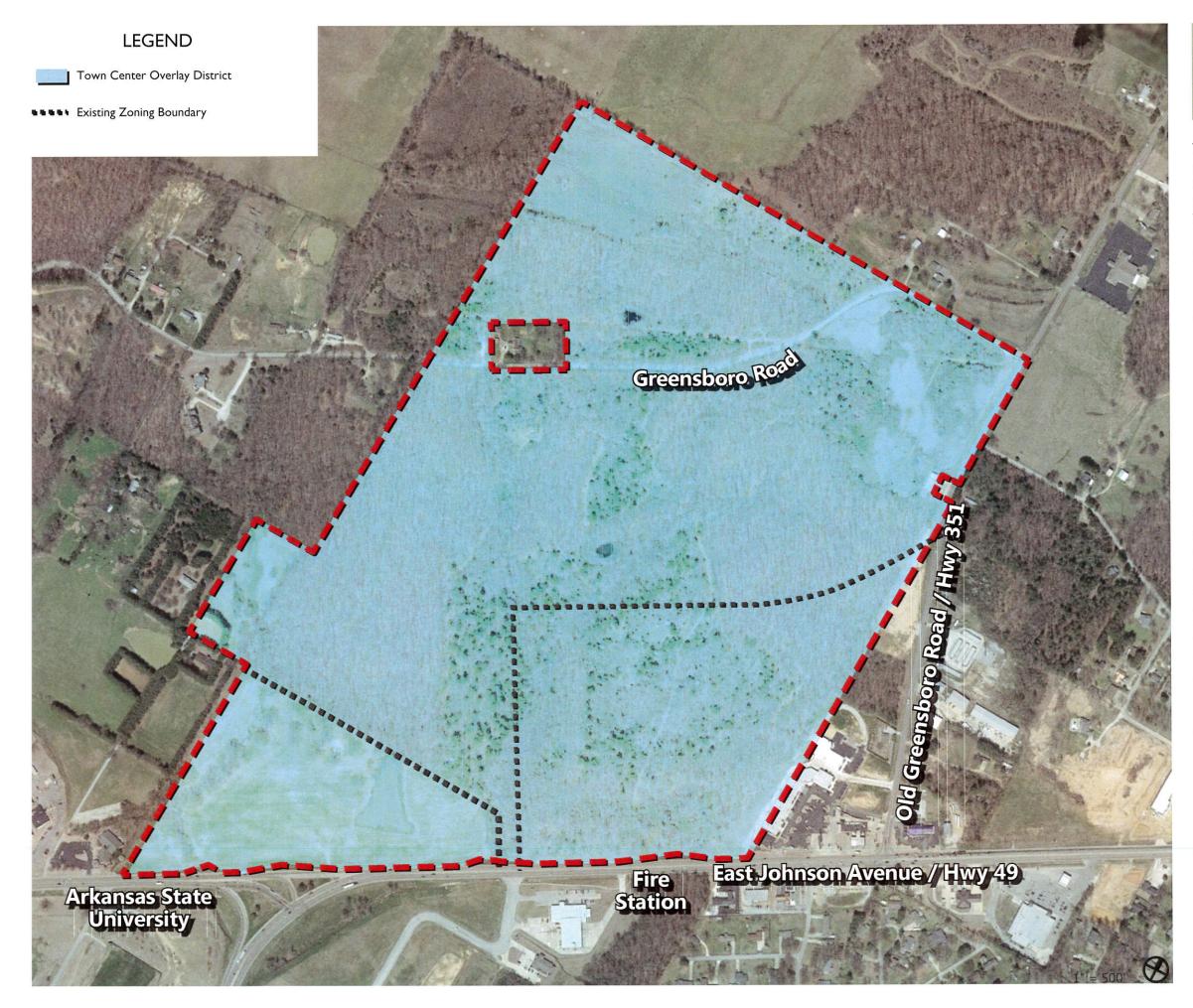
Land Use Analysis

According to the adopted Land Use Plan for the City of Jonesboro, the southernmost portion of the Greensborough Village site is designated as "Commercial Node" and the northernmost portion is designated as "Single Family Low Density". The site is surrounded by a variety of land use designations that include "Single Family Low Density" to the north, "Single Family Low Density" and "Neighborhood Commercial NR" to the west, "Public Semi-Public Semi PSI" to the south, and "Commercial Node" to the east. The surrounding land uses are compatible with the development of a Town Center and the master plan is responsive to surrounding land uses in support of the long-term vision for this area.

GREENSBOROUGH VILLAGE

JUNESBURD, ARKANSAS CREEP SE DKDUCH IVI STMENTS, LLC FEBRUARY 2015

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TOWN CENTER OVERLAY DISTRICT

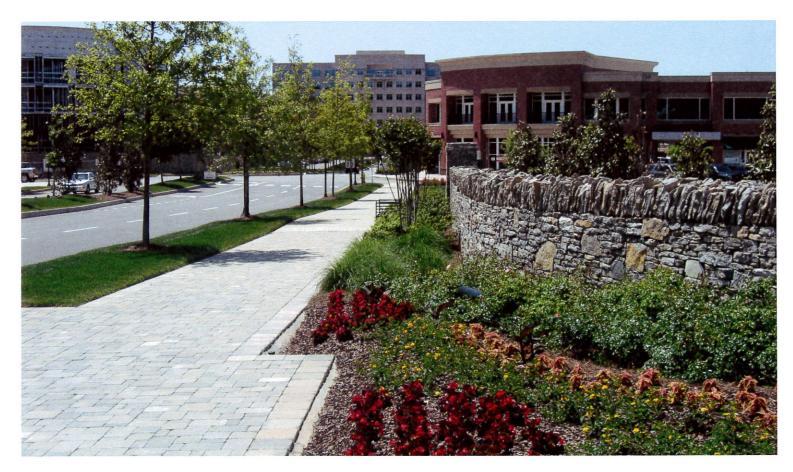
The purpose of the Town Center Overlay District is to promote development of a pedestrian-friendly, mixeduse development providing a variety of complementary retail, office, and residential uses. Greensborough Village Town Center will:

- Preserve, enhance and create accessible open spaces such as parks and plazas to enhance the pedestrian experience.
- Create a compact concentration of land uses that encourage interaction.
- Create a 'Sense of Place' through the creation of pedestrian-friendly streetscapes and gathering places.
- Achieve a unique design character through high quality architecture and selection of materials with attention to placement and orientation of structures to provide compatibility with surrounding land uses.

The Town Center Overlay District will be applied over the existing base zoning for all parcels comprising Greensborough Village. The adopted Land Use Plan for the City of Jonesboro envisions a combination of commercial and residential land uses that support the development of a mixed-use Town Center. Upon rezoning of the contiguous parcels comprising Greensborough Village, the Town Center Overlay District shall control the development of the property. Plan approval for Greensborough Village will follow the Planned Unit Development review process. The Town Center Overlay District will control land uses and design standards for development.

GREENSBOROUGH VILLAGE

JUNESBURD, ARKANSAS CREENSE DKDUCH IVI STMENTS, LLC FEBRUARY 2015

















PERMITTED USES

The following is a list of permitted uses that will be allowed in Greensbrough Village Town Center:

- Residential (All types including single family attached and detached)
- Multi-Family Residential (Including units above nonresidential use)
- Senior Living & Retirement Homes
- Convenience Stores (Including fuel dispensing)
- Pharmacies
- Grocery Stores
- Theaters
- Hotels & Motels
- Conference Center
- Financial Institutions
- Medical Services & Outpatient Services Facilities
- Schools & Vocational Instruction Facilities
- Day Care & Extended Care Facilities
- Sports, Fitness, & Outdoor Recreational Activities
- Mixed-Use Developments (Where residential dwelling units are integrated into buildings with non-residential uses)
- Business or Professional Offices Including Personal Services
- Research & Development Facilities
- Retail Sales & Services
- Single Tenant Stores (Up to 100,000 SF gross floor area)
- Self-Storage (Mini-Storage) & Associated Offices
- Restaurants & Cafés Including Outdoor Seating
- Indoor Recreational Facilities
- Live/ Work
- Home Occupations
- Places of Worship
- College or University
- Utility, Major & Minor, & Communication Tower
- Accessory Structures to Primary Permitted Use

GREENSBOROUGH VILLAGE

JUNESBURD, ARKANSAS CREEP SE DK DUC .: 'LIVI STMENTS, LLC FEBRUARY 2015





















Retail, Office, & Mixed-Use

Intent: Town Center buildings are intended to serve the neighborhood and surrounding community with retail, restaurant, office, hospitality, and entertainment uses.

Permitted Uses: Permitted uses will include the following:

- Multi-Family Residential (Including units above nonresidential use)
- Senior Living & Retirement Homes
- Convenience Stores (Including fuel dispensing)
- Pharmacies
- Grocery Stores
- Theaters
- Hotels & Motels
- Conference Center
- Financial Institutions
- Medical Services & Outpatient Services Facilities
- Schools & Vocational Instruction Facilities
- Day Care & Extended Care Facilities
- Sports & Fitness
- Mixed-Use Developments (Where residential dwelling units are integrated into buildings with non-residential uses)
- Business or Professional Offices
- Research & Development Facilities
- Retail Sales & Services
- Single Tenant Stores (Up to 100,000 SF gross floor area)
- Personal Services
- Restaurants & Cafés
- Indoor Recreational Facilities
- Outdoor Seating (Associated with restaurants or cafés subject to applicable licensing requirements)
 Home Occupations
- Places of Worship
- College or University
- Utility, Major & Minor
- Communication Tower
- Accessory Structures to Primary Permitted Use

GREENSBOROUGH **V**ILLAGE

JUNESBURD, ARKANSAS CREENSEDKDUCHLIVISTMENTS, LLC FEBRUARY 2015













RESIDENTIAL, RETAIL, OFFICE, & MIXED-USE

Intent: Town Center buildings are intended to serve the neighborhood and surrounding community with retail, restaurant, and office uses while also providing the opportunity for single-family attached (multifamily) situated as free-standing residential or a mix of residential and retail and office where the residence is located above a ground-floor non-residential uses.

Permitted Uses: Permitted uses will include the following:

- Mixed-Use (Residential dwelling units are integrated into buildings with non-residential uses)
- Convenience Stores (Including fuel dispensing)
- Pharmacies
- Financial Institutions
- Medical Services & Outpatient Services Facilities
- Schools & Vocational Instruction Facilities
- Sports & Fitness
- Business or Professional Offices Including Personal Services
- Research & Development Facilities
- Retail Sales & Services
- Restaurants & Cafés Including Outdoor Seating Areas
- Live/ Work
- Places of Worship
- College or University
- Utility, Major & Minor
- Accessory Structures to Primary Permitted Use

GREENSBOROUGH VILLAGE

JUNESBURJ, ARKANSAS CREENSE DKDUC :: LIVI STMENTS, LLC FEBRUARY 2015

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SINGLE-FAMILY ATTACHED & MULTI-FAMILY RESIDENTIAL/ MIXED-USE

Intent: Attached residential buildings are intended to provide an opportunity for a variety of housing types and lifestyles to meet the changing demographic character of the community.

Permitted Uses: Permitted uses will include the following:

- Residential (All types including single family attached)
- Multi-Family Residential (Including units above nonresidential use)
- Senior Living & Retirement Homes
- Day Care & Extended Care Facilities
- Sports & Fitness (Associated with residential use)
- Live/ Work
- Home Occupations
- Places of Worship
- Utility, Major & Minor
- Accessory Structures to Primary Permitted Use
- Amenity Features to Primary Permitted Use

GREENSBOROUGH VILLAGE

JUNESBURJ, ARKANSAS CREEP SE DKDUCH LIVI STMENTS, LLC FEBRUARY 2015















SINGLE-FAMILY ATTACHED & DETACHED RESIDENTIAL

Intent: The Town Center will include lower density residences including single-family attached (excluding multi-family) and single-family detached that includes both front-load and rear-load homes.

Permitted Uses: Permitted uses will include the following:

- Residential (All types including single-family attached (except multi-family) and detached)
- Senior Living & Retirement Homes
- Day Care & Extended Care Facilities
- Live/ Work
- Home Occupations
- Places of Worship
- Utility, Major & Minor
- Accessory Structures to Primary Permitted Use
- Amenity Features to Primary Permitted Use

GREENSBOROUGH VILLAGE

JUNESBURD, ARKANSAS CREEP SE DKDUCH I IVI STMENTS, LLC FEBRUARY 2015

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SECTION III - DEVELOPMENT MASTER PLAN

Master Plan

Pedestrian & Transit Supportive Design

Street Plan

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Street & Parking Standards

Open Space Plan

Development Phasing

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MASTER PLAN

Changing demographics, lifestyles, and preferences are trending toward mixed-use development patterns that provide office, retail, housing, entertainment, and employment opportunities in the same community setting. The vision of the Master Plan for Greensborough Village Town Center is to create a special place where people want to live, work, play and be entertained all in a compact, pedestrian-friendly form.

GREENSBOROUGH VILLAGE

JUNESBURJ, ARKANSAS CREEMSE DKDUCH I IVI STMENTS, LLC FEBRUARY 2015

14

LEGEND



PEDESTRIAN & TRANSIT SUPPORTIVE DESIGN

Pedestrian access will be provided throughout Greensborough Village using sidewalks along collector, boulevard and local streets as well as walkways in various parts to further enhance pedestrian accessibility. Pedestrian crossings at major intersections will be designed using controlled crossing signals and other traffic calming design measures to provide safe crossing of streets by pedestrians. The pedestrian system will connect where practical with city-wide pedestrian systems and trails to further promote a healthy lifestyle and pedestrian access to the Town Center.

Greensborough Village will also incorporate transitsupportive design into the Town Center to provide alternative transportation systems for residents and visitors alike. Transit stops will be conveniently accessible to the Town Center for safe access by residents, employees and visitors.

GREENSBOROUGH VILLAGE

JUNESBURJ, ARKANSAS C REEN SE DKOUC :: ? IVI STMEN IS, LLC FEBRUARY 2015

LEGEND



STREET PLAN

The proposed street system serving Greensborough Village will include a variety of traffic-calming elements including signalization, curvilinear streets, landscape medians, and protected and raised pedestrian crossings at major intersections to enhance vehicular and pedestrian safety throughout the Town Center. The street system within Greensboro Village will include a network of interconnect streets and drives to provide convenient access to points throughout the town center while also reducing the need for travelers to utilize primary roads serving the Town Center.

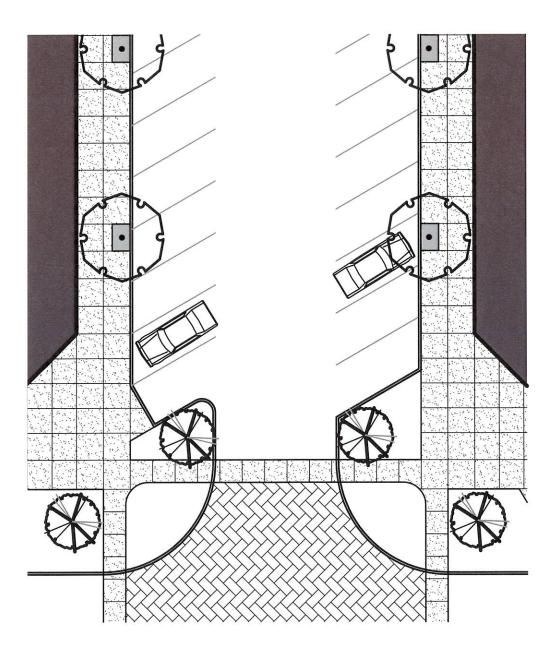
The Street Plan for Greensborough Village provides for three different levels of street types - boulevard, town center street with angled and parallel parking, and various local streets serving the main street area as well as residential neighborhoods within the Town Center.

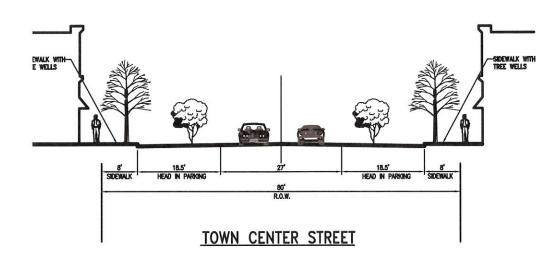
A four-lane boulevard with a median and turn lanes at intersections is proposed to provide access to the interior of the Town Center from its intersection with SR-351. Traffic signals may be provided where warranted along the boulevard and its intersection with SR-351. Pedestrian crossings will be incorporated into the design to provide safe access between the Town Center and nearby residential neighborhoods.

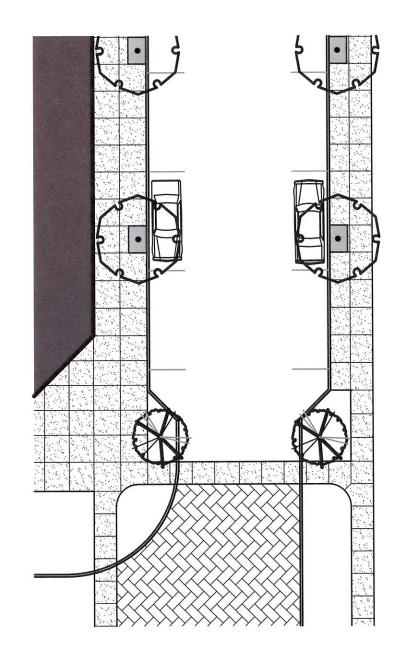
GREENSBOROUGH VILLAGE

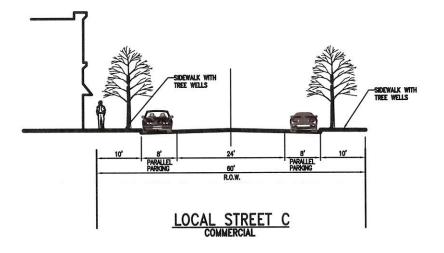
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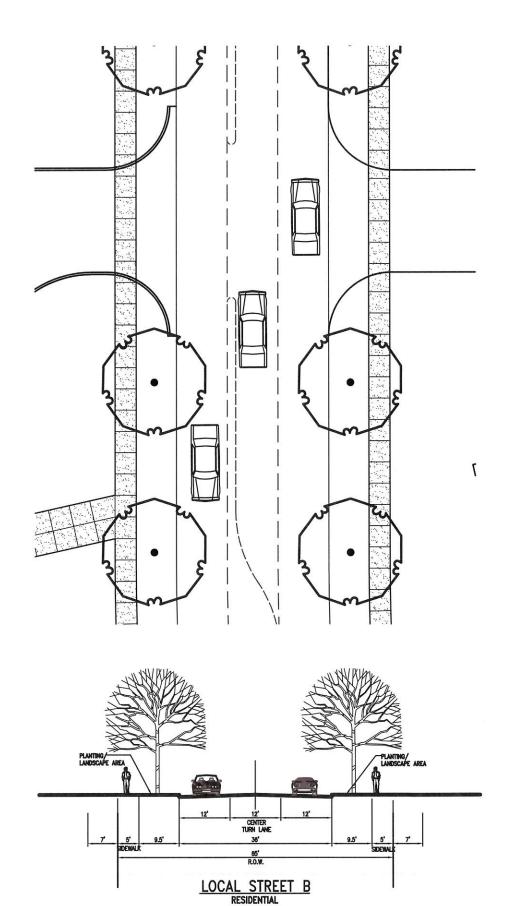
STREET TYPES

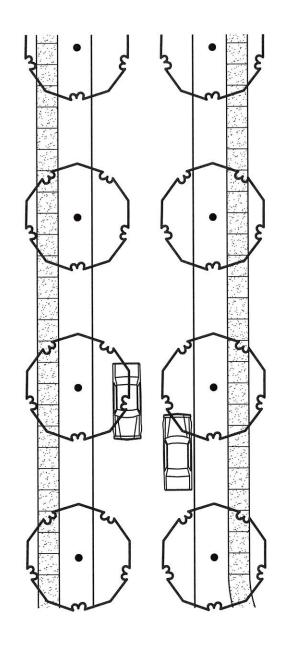
The "Town Center Street" is proposed to serve as the main street accessing the central part of the Town Center. Parallel and angled on-street parking will be allowed along the Town Center Street to provide conveniently accessible parking for retail, office, and mixed-use residential uses fronting along the Town Center Street. Traffic calming measures will be incorporated into intersection designs to provide safe access for pedestrians crossing streets within the Town Center.

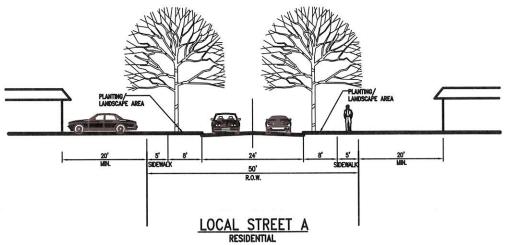
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STREET TYPES

Local streets will be utilized in various parts of Greensborough Village to support local traffic generated from retail, office, mixed-use, and residential uses. Local streets can be either public or private and in either case will be constructed to City of Jonesboro design standards. Local streets may provide parallel on-street parking in select locations to support retail, office and mixed uses.

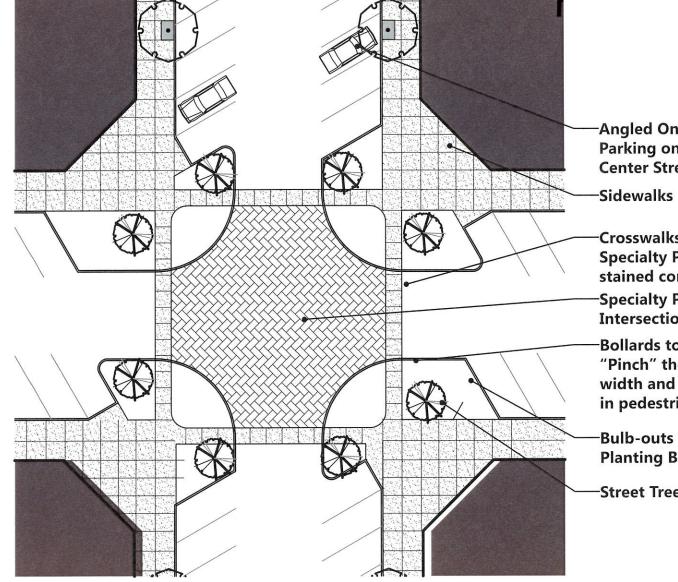
Alleys shall also be permitted and will be privately owned with a public infrastructure and access easement to allow for placement of utilities and for access by the City of Jonesboro including solid waste pickup. Private streets and rear lanes or alleys will be owned and maintained by a property owners association.

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Angled On-street Parking on Town **Center Streets**

-Crosswalks with **Specialty Paving or** stained concrete Specialty Paving at Intersection

Bollards to visually "Pinch" the street width and slow traffic in pedestrian zones

-Bulb-outs with **Planting Beds**

-Street Tree Plantings





STREET & PARKING **S**TANDARDS

Objectives:

Traffic calming measures such as on-street parking, pedestrian bulb-outs, textured crosswalks, and a raised intersection platforms at various intersections will be incorporated into street designs to promote a safe pedestrian environment.

Encourage drivers to proceed cautiously at commensurate low speeds within the internal campus roadway network.

Allow for controlled and signalized entry streets from the adjoining roadway network. The main entry streets from East Johnson Avenue (U.S. Highway 49) are designed to efficiently allow traffic to enter Greensborough Village and then disperse into the appropriate parking fields.

Differentiated patterns or pavements make crosswalks more visible and encourage vehicles to slow down. Bulb-outs at intersections frame on-street parking areas and reduce the crossing distance for pedestrians. They are also ideal places to introduce additional plantings.

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OPEN SPACE PLAN

The City of Jonesboro has developed an extensive array of parks and walking trails throughout various parts of the community to provide opportunities for residents to enjoy outdoor activities and to support a healthy lifestyle. Greensborough Village will support a healthy lifestyle with the development of open spaces in various parts of the Town Center. The open spaces will include passive open spaces focused around water features as well as smaller greens and hardscapes to create a variety of pedestrian and recreational experiences.

Open spaces will comprise 15% of the total land area within Greensborough Village. The open spaces will be placed throughout the Town Center and will include parks, greens, and various courtyards and gathering places. Open spaces will be further enhanced with the placement of benches, pedestrian-scale lighting and other features to encourage recreational activities and a healthy lifestyle.

The open spaces will be accessible with the construction of sidewalks and walkways to connect open spaces to various points of interest in the Town Center as well as to provide convenient access for residents living in the Town Center and in the surrounding area. The close proximity of the Town Center to the ASU campus will be a draw for pedestrian travel by students, faculty and visitors. The installation of a signalized intersection on Johnson Avenue that will include a pedestrian crossing will provide convenient and safe access to and from the ASU campus.

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DEVELOPMENT PHASING

Greensborough Village will be developed in phases providing for the orderly development of the site including the extension of public infrastructure. Consistent with the requirements of the City of Jonesboro Town Center Overlay District, plans will be developed for each phase of development addressing public streets and infrastructure, storm water management, site improvements and various design elements including parking, lighting, signage, and landscaping. The phasing plan and order of development may change over time from what is illustrated in response to ever-changing market, socioeconomic, and demographic trends occurring in the City of Jonesboro and the surrounding region.

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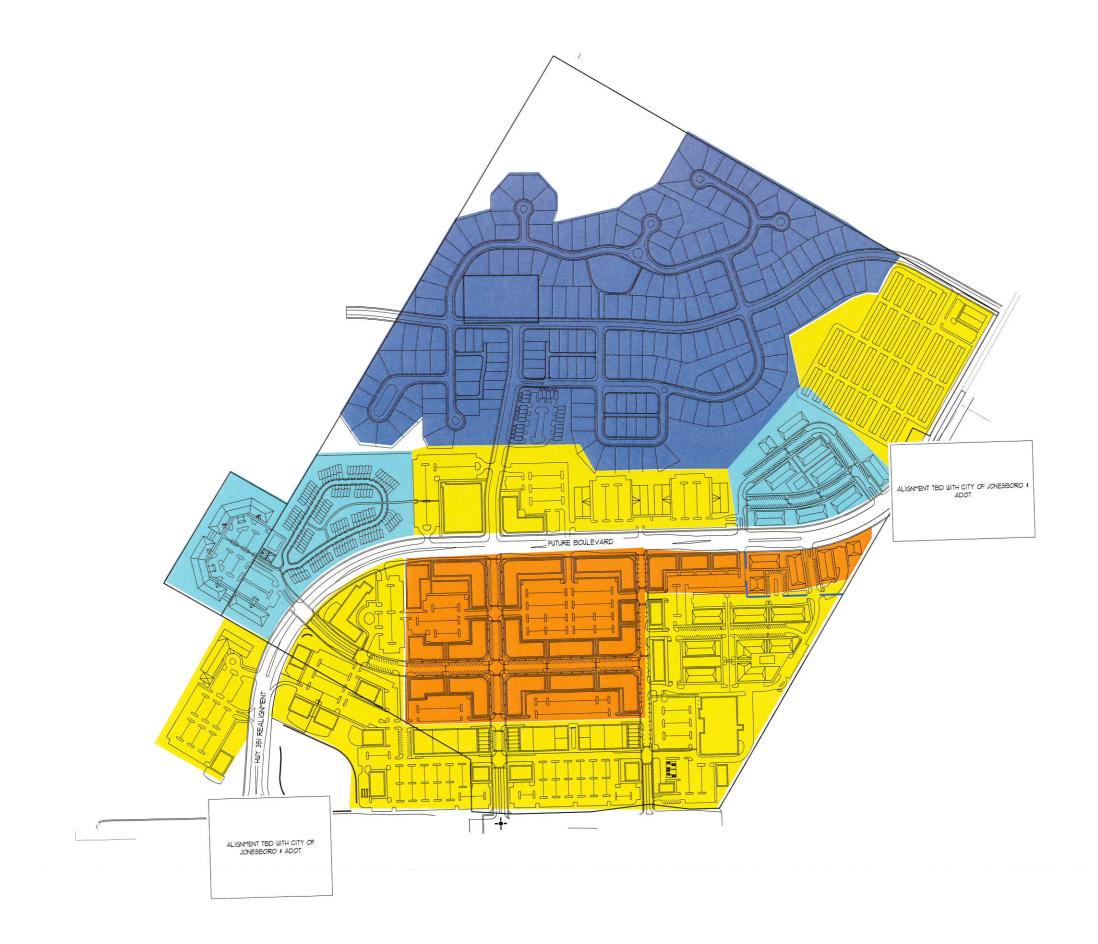
SECTION IV - DEVELOPMENT GUIDELINES

Building Types Development Guidelines Retail, Office, & Mixed-Use Residential, Retail, Office, & Mixed-Use Single-Family Attached & Multi-Family Residential/ Mixed-Use Single-Family Attached & Detached Residential Signage Guidelines Tenant Signage Guidelines









BUILDING TYPES

LEGEND

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Retail, Office, & Mixed-Use

Residential, Retail, Office, & Mixed-Use

Single Family Attached/ Mixed-Use (Including Multi-Family Residential)

Single Family Attached & Detached Residential

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DEVELOPMENT GUIDELINES

The vision of the Master Plan for Greensborough Village Town Center is to create a special place where people want to live, work, play and be entertained all in a compact urban setting. Design for the public realm is an important design consideration. The architectural character of buildings will take cues from historic downtown Jonesboro and the surrounding region. Buildings throughout Greensborough Village will be positioned to positively define public spaces and enhance the pedestrian experience.

Greensborough Village will promote a healthy lifestyle for residents and visitors alike by providing a variety of walkways, public spaces, and gathering places. Greensborough Village will provide for safe pedestrian and vehicular circulation to minimize conflicts while also reducing auto-dependent travel patterns through transit support design. Clearly defined pedestrian connections will be provided throughout Greensborough Village to promote pedestrian travel.

Development Guidelines are provided to guide the development of Greensborough Village. The Development Guidelines including supplemental guidelines in the various building types shall apply to development within Greensborough Village Town Center.

The following development guidelines shall apply to Retail, Office & Mixed-Use and Residential, Retail, Office & Mixed-Use building types (see also Supplemental Guidelines in each building type):

Building Placement:

As a mixed-use development, Greensboro Village will provide a variety of building types that should complement one another. Building placement is essential to defining public spaces and an engaging public realm for pedestrians.

- 1. Buildings should be arranged in compact configurations to encourage pedestrian activity and to define public spaces.
- 2. Buildings should be contiguous along public streets to avoid large breaks between buildings.
- 3. Buildings should adhere to prescribed setback requirements including build-to lines so buildings will properly frame the public realm and edge of public streets.
- 4. Breaks should be provided along long building masses to allow pedestrian connectivity between buildings and off-street parking areas.

- 5. Buildings should be arranged to provide an attractive termination of views.
- 6. Buildings with higher stories should be positioned within the central portion of the Town Center while buildings of lesser stories should transition gradually to lesser stories toward the edges.
- 7. Buildings on corner outparcels shall be placed at street corner locations and shall adhere to buildto lines to frame the corner street frontage and reinforce the prominence of the primary entrances into the Town Center.

Massing:

- 1. Buildings should be designed in simple rectangular forms to more readily define the edges of streets and public spaces.
- 2. Buildings shall have a distinct base that provides such pedestrian-scaled elements as transparent windows and doors, overhangs, columns, awnings, canopies, sign band above display windows, and other architectural detailing comprising the ground level or storefront, a middle providing unique architectural elements including changes in material and colors, window types and accents and detailing for upper stories, and a top providing a distinct roof line using elements such as parapets and cornices, sloped roofs, etc. to define the skyline of the building.
- 3. Buildings with long facades should break down long expanses through the use of a combination of offsets, recesses, stepped back heights, varying rooflines, changes in materials and textures, and other design elements.

Exterior Walls & Façades:

Building façades can positively influence experiences people have in the built environment. Building façades and exterior design elements help to define the public spaces.

- 1. Exterior walls and façades should avoid long uninterupted building façades. The façade should be divided into bays with changes in the building façade plane such as recesses or projections. A projecting rib of sufficient width and proportion to the building may also be used to break up long expanses of a building façade.
- 2. No building façade will extend in a continuous plane more than 40 feet without a wall projection or offset a minimum of two (2) feet in depth for a minimum of twenty (20) contiguous feet. Projecting ribs may be used when sized and positioned proportionately along the building plane of the façade.

DEVELOPMENT GUIDELINES

GREENSBOROUGH VILLAGE

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- 3. Building façades should provide distinct changes in materials, colors, textures and architectural elements to further enhance appearance.
- 4. The design of the building including materials and colors should wrap around the sides for continuity between front, side and rear walls.
- 5. Buildings shall include street level elements such as canopies, overhangs, awnings, arcades, display windows, planters or streetscape elements such as benches to readily identify building entrances.
- 6. Arcades are encouraged to provide shade and protection from inclement weather along streets. Arcades may overhang public sidewalks up to 10 feet provided a minimum 9 foot overhead clearance is provided to maintain clear access for pedestrians.
- 7. Larger buildings are encouraged to have multiple entrances to enhance pedestrian accessibility.
- 8. Main entrances to the building should be visible from the street, parking area and other public spaces. Entrances should be clearly identifiable through the use of architectural elements such as arches, canopies, porticos, overhangs and/or landscape elements.
- Each building façade facing a public street shall have a minimum of one (1) entrance oriented toward the street. Where a building faces a public street or right-of-way on multiple sides, a building entrance shall be provided on each street face.

Windows & Doors:

Windows and door openings on building façades facing a public street should enhance the pedestrian experience and visual appeal of the Town Center.

- 1. Buildings with storefronts should have windows and doorways that face directly onto the street.
- 2. Storefronts fronting on public streets and courtyards should have 70% or more of the ground floor façade comprised of an appropriate pattern and rhythm of windows and doors.
- 3. Street-level windows should be architectural compatible to the building and should be recessed rather than flush mounted to the building façade to enhance visual appearance. Windows should have a minimum sill height of twelve (12) inches except for storefront fronting the Town Center Street which should have a minimum sill height of two (2) feet measured from finished grade along the façade.
- 4. Storefront windows should be large transparent plate glass set in wood, clad wood, or metal or extruded metal frames to provide views into the building. Storefront windows with small panes are

discouraged. Reflective or mirrored glass is not appropriate for storefronts.

- 5. The design of windows should address proportion, size, spacing, pattern and rhythm, and materials including trim and accents in relation to the overall design of the building façade.
- 6. Upper stories should have a smaller percentage of window openings than storefronts on the ground floor. The use of repeating window and door patterns and detailing is encouraged.
- 7. Entrances to upper-story residential units and nonresidential uses should be separate from entrances to ground floor uses and should be clearly visible using architectural elements to distinguish between entrances.
- 8. Storefronts with side walls visible to the public should have window openings wrapping around the corner of the primary building façade for added visual interest.
- 9. Secondary entrances are encouraged where parking areas are positioned facing a side or rear wall to enhance convenience and accessibility. Secondary entrances accessible to the public should be visible from parking areas using architectural elements.
- 10. Recessed or covered building entrances are encouraged to protect pedestrians from inclement weather.

Exterior Building Materials & Colors:

Downtown Jonesboro provides reminiscent examples of variations in exterior materials and color palettes that create a unique design character and pedestrian experiences. Buildings in Greensborough Village will provide variations in exterior materials and colors reflective traditional town centers.

- 1. Building facades should include a repeating pattern using a combination of color change, material change, and texture change to enhance visual appearance.
- 2. The predominant exterior building materials shall be high quality, durable materials. Combinations of building materials should be limited to not more than 3 types of materials and may include masonry brick, stone, cast stone, wood, stucco-treated or stained wood (including cementitious board materials).
- 3. The primary building façade base shall be masonry or natural or cast stone. EIFS may be used in limited application on side and rear façades and upper stories above storefronts.
- 4. Smooth face concrete block, tilt-up concrete panels, and pre-fabricated steel panels are not allowed as an

DEVELOPMENT GUIDELINES

GREENSBOROUGH VILLAGE

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exterior building material. Vinyl or Masonite siding are not a permitted material.

- 5. Materials should change with the change in building planes while keeping to the overall theme and character of the building.
- 6. Façade colors including stains and other finishes should be low reflectance, natural, muted or earth tone colors. No more than three (3) colors should be used on a building façade for the building, trim and accents. The use of high intensity colors including black or fluorescent or metallic colors is discouraged.
- 7. Building trim and accents may use brighter colors from a color palette that complements the primary building façade color. Accents such as awnings should use colors that complement the primary color palette of the building.
- 8. Awnings should provide a minimum clearance of eight (8) feet measured from finished grade. Awnings should not exceed 25 feet in length and should complement the front façade. Awnings may contain signage screened to the fabric that is dimensioned at an appropriate scale to the building.
- 9. The minimum depth of any canopy or awning shall be three (3) feet and shall have closed ends.

Roofs:

Variations in roof lines shall be used to enhance visual interest and aesthetic character of the town center and to reduce the scale of large buildings. Similar to Downtown Jonesboro and its varying roof lines, the Town Center should provide a variety of roof types. Roof features should complement the character of Greensborough Village taking design cues from varying roof forms found in nearby Downtown Jonesboro.

- 1. Roof lines shall vary and change in height every 100 linear feet in building length to avoid long uninterrupted expanses of roof planes.
- 2. Roof form and massing should be scaled and proportionate to the building so the building itself remains the prominent element.
- 3. Roof materials shall complement the building architecture. Acceptable roofing materials include architectural shingles, slate, tile, and standing seam metal as well as copper when used in limited applications. Rubberized roofing may be used provided it is screened from public view using parapets or other appropriate roofing design around the entire perimeter of the building.
- 4. Roof materials should be muted or earth-tone in color and should complement the color palette of the building. Lighter roof material colors are

encouraged to reduce solar heating effects. Bright or reflective colors should not be utilized if such roofing material is visible from the public right-ofway or public spaces.

- 5. Flat roofs and roof mounted mechanical equipment should be concealed from public view using parapets, mansard roofs, gable roofs or hip roofs proportionally scaled to complement the building.
- 6. Green roofs are permitted and encouraged as an alternative to conventional roof forms and design.
- 7. Parapets and cornices when utilized in the design of the building façade should conceal flat roofs and roof mechanical systems on all sides of a building and should be appropriate to the architectural style of the building.
- 8. Parapets should be a minimum of 18 inches in height above the roof when not screening roof-mounted mechanical equipment. Parapets should feature a cornice or cap that extends beyond the building plane to enhance the upper edge of the wall. Cornices on corner buildings should wrap around each façade facing the street to provide continuity in appearance on each façade.

Storefront Guidelines:

The following shall supplement the Development Guidelines for storefronts located along the Town Center Street and local streets within Residential, Retail, Office, and Mixed-Use:

- 1. Building entrances located at street corners shall generally be oriented at a 45-degree angle to the corner and shall have special architectural treatment such as tower or upper story to reinforce the prominence of the corner.
- 2. Storefronts should provide large transparent glass display windows. The use of transoms and kickplates are encouraged for visual interest.
- Storefront façades located along the Town Center Street should be composed of masonry and/ or stone with appropriate architectural accents of varying materials.
- 4. Storefronts façade planes should maintain a continuous building orientation along sidewalks except for recesses and projections, special corner treatments, or landscape setbacks of not more than five (5) feet.
- 5. Multiple storefronts within the same building should be visually compatible in terms of scale, alignment and general storefront design while distinguishing between various shops using individual storefront design, color, signage, and awnings.

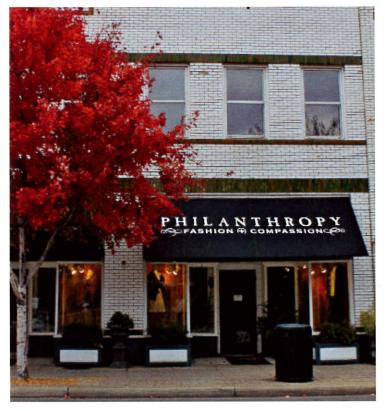
DEVELOPMENT GUIDELINES

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- 6. Recessed or covered entrances are encouraged to protect pedestrians from inclement weather.
- 7. Outdoor dining areas and public art are encouraged to enhance the pedestrian experience along storefronts. The use of site furnishings such as benches and planters is encouraged around building entrances, open spaces and along walkways to enhance the pedestrian experience.
- 8. Outdoor dining areas should provide a minimum of five (5) feet unobstructed pedestrian access along sidewalks.
- 9. Sidewalks a minimum of eight (8) feet in width should be provided along the full length of storefronts facing the Town Center Street. Durable, low maintenance surface treatments such as broomed finish, scored concrete, or pavers are encouraged.
- 10. Utilities shall be underground along the "Town Center Street" and adjacent streets within the Town Center.
- 11. Common open space shall be owned and maintained by a property owners association.

Outparcel & Free-Standing Parcel Guidelines:

Greensborough Village Town Center includes outparcels fronting directly upon Johnson Avenue and Old Greensboro Road (Hwy 351) and free-standing parcels located within the interior of the Town Center. The following guidelines shall also apply to outparcels and free-standing parcels:

- 1. Shared driveways and access lanes should be provided to minimize or eliminate curb cuts. Access control shall be maintained along arterials, collectors and boulevards to promote vehicle and pedestrian safety.
- 2. Outparcel sites should be interconnected including driveway connections to larger parcels to provide efficient internal traffic circulation and reduce the need for utilizing streets while traveling within and around the Town Center.
- 3. Outparcels located on street intersections should orient buildings to the front setback line of each street to properly define street edges and entry streets serving the Town Center. Parking areas on corner outparcels should be placed to the side or rear of the building.
- 4. Buildings located on corner outparcels should be designed to reinforce the corner using elements such as towers, covered entrances, and changes in materials and colors to reinforce the prominence of the corner.

DEVELOPMENT GUIDELINES

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- 5. All building elevations, front, side, and rear, should be designed with the same level of architectural detail and quality. Unique corporate design elements including architectural details, colors, and materials may be incorporated into building elevations.
- 6. Convenience centers with fuel dispensing stations should orient fuel pump islands to the side or rear of the building while maintaining sufficient clearance from buildings and property boundaries. The design of the pump island should complement the architecture, materials, and colors of the primary building.
- 7. Driveways and stacking lanes should be located to the rear or side of the building so as to minimize the view from public streets.
- 8. Free-standing parcels adjoining residential uses shall provide landscape buffers along common property lines consisting of a variety of trees, shrubbery, and other landscape treatments. Berms may also be utilized to complement landscape buffers.
- 9. Service areas, storage areas and refuse enclosures should be oriented away from public view and screened using screening walls and landscaping.
- 10. Utilities shall be underground along internal boulevards and streets.
- 11. Common open space shall be owned and maintained by a property owners association.





DEVELOPMENT GUIDELINES

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The **Retail**, **Office & Mixed-Use** provides for a variety of retail, office, and mixed uses surrounding the core of the Town Center that front upon the boulevard and internal streets as well as facing and fronting upon perimeter arterials and collectors surrounding Greensborough Village including Johnson Avenue (Highway 49) and Old Greensboro Road (Highway 351). These buildings will include free-standing buildings as well as multi-tenant buildings while also providing opportunities for vertical mixing of uses above the ground floor.

Supplemental Guidelines:

The following guidelines shall further supplement the Development Guidelines:

- 1. Storefronts facing the Town Center Street or Local Street shall include transparent windows, doors or other openings to connect pedestrians with interior spaces.
- 2. Buildings should be oriented toward streets and should be conveniently accessible to streets and pedestrian circulation systems serving the Town Center.
- Building entrances shall be distinct from the building façade and clearly visible from parking areas and streets. Sidewalks or courtyards leading to the building entrance are encouraged.
- Buildings shall provide adequate variation of architectural elements, materials and colors, and detailing to avoid a "big box" appearance.
- 5. Convenience stores featuring fuel stations should position fuel stations to the interior of the parcel while orienting the building toward the front property line including corner parcels.
- 6. Restaurants and cafés are encouraged to provide outdoor seating areas to enhance the pedestrian experience.
- 7. Each side of the building that is visible from the public right-of-way or open space shall be designed with multi-sided attention to materials and architectural character.
- 8. Storefronts with side walls visible to the public should have window openings wrapping around the corner of the primary building façade for added visual interest.
- 9. Variations in roof lines and styles shall be used to enhance visual interest and aesthetic character of the Town Center and to reduce the mass and scale of large buildings. Parapets, mansard roofs, gable roofs or hip roofs may be used to conceal views of flat roofs and roof mounted mechanical systems from public view.

- 10. Parapets should be a minimum of 18 inches in height above the roof when not screening roof-mounted mechanical equipment. Parapets should extend around the entire perimeter of the building when screening flat roofs or mechanical equipment.
- 11. Roof materials should be muted or earth-tone in color and should complement the color palette of the building.
- 12. A unifying palette of non-reflective, natural materials should be used on all sides of buildings. The use of high intensity colors including black or fluorescent and metallic colors is discouraged.
- 13. Parking areas for stand-alone buildings and multitenant buildings (excluding outparcels) shall be arranged in small bays separated by landscape islands to provide convenient access from parking areas to building entrances. Parking areas shall be connected using interconnected driveways. The perimeter of parking areas shall be landscaped.
- 14. Parking areas for outparcels fronting Johnson Avenue or Old Greensboro Road shall be organized so that not more than one (1) parking bay will be located between the building and front property line. Outparcels located on street corners should have the building oriented to the front setback line with parking areas located to the side and/or rear. Outparcel parking areas shall be landscaped using islands and perimeter landscaping.
- 15. Outdoor storage areas shall be screened with a solid wall and landscaped so as not to be visible from a public street, right-of-way, or open space. The design of the screening wall or fence shall complement the building architecture including colors and materials.
- 16. Sidewalks shall be installed along both sides of the entire length of the Town Center Street to promote pedestrian accessibility.
- 17. Service areas including loading docks, dumpsters, etc., should be located in an area least visible to the public. If a service area must be positioned in a more visible location due to site constraints, the service area shall be screened from public view using screening walls and landscaping.
- 18. Electrical and telecommunication utilities should be placed underground.
- 19. Common open spaces shall be owned and maintained by a property owners association.

RETAIL, OFFICE, & MIXED-USE

Yard & Bulk Standards:

- 1. Maximum Allowable Height: 7 Stories
- 2. Setback requirements for parcels fronting upon arterials and collector streets and parcels located along the perimeter of the Town Center shall be:
 - a. Minimum Rear Yard: 20 Feet
 - b. Minimum Side Yard: 10 Feet
 - c. Minimum Front Yard: 25 Feet
- 3. Setback requirements for parcels front upon local streets outside the core of the Town Center:
 - a. Minimum Rear Yard: 10 Feet
 - b. Minimum Side Yard: 10 Feet
 - c. Minimum Front Yard: 25 Feet
- 4. Minimum Lot Area: N/A
- 5. Maximum Lot Coverage: 90%
- 6. Maximum Building Coverage: 70%
- 7. Minimum Building Height: 20 Feet
- 8. Minimum Ground Floor Height: 12 Feet Floor-to-Floor

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The **Residential**, **Retail**, **Office & Mixed-Use** provides for a mixture of uses serving the community as well as residents residing within the Town Center with retail, restaurants, office, hospitality and entertainment. Residential uses may also be incorporated into the mixture of uses in the form of residential units above ground floor retail to allow residents to take advantage of convenient walkable access throughout the Town Center providing a true live, work, and play living environment.

Supplemental Guidelines:

The following guidelines shall further supplement the Development Guidelines:

- 1. Buildings should be arranged in compact configurations along the Town Center Street to encourage pedestrian activity and to define public spaces.
- 2. Storefronts shall include transparent windows and doors to promote views within the building.
- 3. Building frontages shall generally be parallel to streets and the primary building entrance shall be emphasized with special architectural and landscape or hardscape treatments.
- Restaurants and cafés located on the Town Center Street are encouraged to provide outdoor seating areas to enhance the pedestrian experience.
- 5. Building entrances located at street corners shall generally be oriented at a 45-degree angle to the corner and shall have special architectural treatment such as tower or upper story to reinforce the prominence of the corner.
- Entrances to upper-story occupants including residences shall be separate from the entrances to ground floor occupants and should be clearly marked with an architectural element incorporated into the building façade.
- 7. Buildings with multiple storefronts facing the street shall provide adequate variation of architectural elements, materials and colors, and detailing to create visual interest along the streetscape.
- Storefronts with side walls visible to the public should have window openings wrapping around the corner of the primary building façade for added visual interest.
- 9. Each side of the building that is visible from the public right-of-way or open space shall be designed with multi-sided attention to materials and architectural character. Storefronts are encouraged to be a comprised of masonry and/or stone materials.

- 10. Variations in roof lines and styles shall be used to enhance visual interest and aesthetic character of the Town Center and to reduce the mass and scale of large buildings.
- 11. Parapets should be a minimum of 18 inches in height above the roof when not screening roof-mounted mechanical equipment. Parapets should extend around the entire perimeter of the building when screening flat roofs or mechanical equipment.
- 12. Roof materials should be muted or earth-tone in color and should complement the color palette of the building.
- 13. A unifying palette of non-reflective, natural materials should be used on all sides of buildings. The use of high intensity colors including black or fluorescent and metallic colors is discouraged.
- 14. Service areas including loading docks, dumpsters, etc., should be located in an area least visible to the public. If a service area must be positioned in a more visible location due to site constraints, the service area shall be screened from public view using screening walls and landscaping.
- 15. Sidewalks shall be installed along both sides of the entire length of the Town Center Street to promote pedestrian accessibility. The sidewalk should vary in width to allow for the placement of street furnishings, landscaping, planter boxes, etc. while still providing for clear pedestrian access.
- 16. Parking shall be located to the rear of buildings. Access drives shall be provided along with pedestrian passageways to enhance access to storefronts.
- 17. Electrical and telecommunication utilities should be placed underground.
- 18. Common open spaces shall be owned and maintained by a property owners association.

Yard & Bulk Standards:

- 1. Maximum Allowable Height: 4 Stories
- 2. Setback Requirements for parcels fronting upon arterials and collector streets and parcels located along the perimeter of the Town Center shall be:
 - a. Minimum Rear Yard: 20 Feet
 - b. Minimum Side Yard: 5 Feet
 - c. Minimum Front Yard: 25 Feet
- 3. Setback Requirements for parcels front upon streets located within the Town Center shall be:
 - a. Minimum Rear Yard: 10 Feet
 - b. Minimum Side Yard: 5 Feet

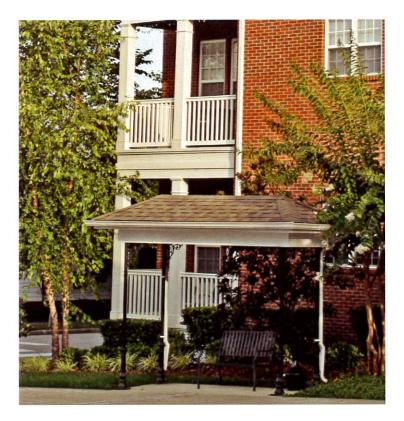
RESIDENTIAL, RETAIL, OFFICE, & MIXED-USE

- c. Minimum Front Yard: 5 Feet (Build-to line shall be 5 feet but may be reduced to "zero" feet if design supports a closer setback.)
- 4. Minimum Lot Area: N/A
- 5. Maximum Lot Coverage: 90%
- 6. Maximum Building Coverage: 70%
- 7. Minimum Building Height: 20 Feet
- 8. Minimum Ground Floor Height: 12 Feet Floor-to-Floor

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Greensborough Village will provide for the development of single-family attached residential uses including multifamily. Design should reinforce a sense of community and neighborhood that complements the overall design of the Town Center while also providing amenities and usable open space to enhance the living experience for residents.

Development Guidelines:

The following guidelines shall apply to single family attached and multi-family residential neighborhoods:

- 1. Buildings and road/ driveway placement should follow topography and other natural features of the site to promote low impact design.
- 2. Buildings should be clustered to define open spaces and activity areas. A variety of open spaces are encouraged to promote a healthy lifestyle for residents.
- 3. Safe vehicular access to the site including internal traffic circulation systems and parking areas shall be provided.
- 4. Entrances into single-family attached neighborhoods and multi-family communities should reflect the overall character of the Town Center and may include corner markers or monuments along with landscaping elements to define the entrance and edges of the neighborhood.
- 5. Multi-family neighborhoods fronting upon a boulevard or local street shall install a sidewalk and street trees within planting strips along the boulevard or local street to enhance the streetscape.
- 6. Multi-family neighborhoods should be transitsupportive including the installation of transit stops in close proximity to the entrance to the neighborhood for convenient access by residents.
- 7. Pedestrian connectivity should be provided between residences, parking areas, and open space and amenity features. Lighting shall be provided in parking areas.
- 8. Usable active and passive open space and community amenities should be integrated into the design to enhance livability.
- 9. Amenities may include a variety of shared spaces such as club house, workout facility, community pool, and/ or indoor or outdoor gathering place, etc. Open spaces and community amenities should be accessible to people with disabilities. Private open space and community amenities shall be owned and maintained by a property owners association.
- 10. When single-family attached and multi-family projects are proposed to be developed in phases, amenities and open spaces should be provided in

the initial phase of development so residents of the initial phase along with subsequent phases can enjoy open spaces and amenities.

- 11. The following design guidelines shall apply to residences:
 - a. Residences with rear and side elevations visible from public streets should be designed with architectural elements complementary to the primary front façade.
 - b. Residences should have a raised foundation of a minimum of 18 inches unless the residence is being designed for handicap accessibility.
 - c. Where porches are provided the minimum depth of the porch shall be six (6) feet to provide for a more functional space for residents.
 - d. High quality and durable materials such as stone, brick, wood, and cementitious siding are appropriate materials. Stucco may also be used in limited applications.
 - e. Colors including paints, stains and other finishes should be low reflectance, natural, muted or earth tone. No more than three (3) colors should be used on a building façade for the building, trim and accents.
 - f. Covered entries are encouraged to protect residents during inclement weather.
- 12. Accessory structures including detached carports and garages, amenity buildings, mail kiosks, etc. should provide architectural character, materials, color, etc. to complement the neighborhood.
- 13. Off-street parking shall be as required by the City of Jonesboro Zoning Ordinance. On-street parking is permissible and may count toward reducing off-street parking requirements.
- 14. Parking areas shall be landscaped using islands and perimeter planting.
- 15. Utilities serving the project shall be underground. Pedestrian-scale lighting should be incorporated along streets and driveways as well as parking areas, service areas and amenities to enhance resident safety.
- 16. Mechanical systems and service areas shall be screened from public view. Screening shall be provided using a solid wall and landscaping along with an opaque gate. The enclosure shall complement the primary building in material and color.
- 17. Landscaping shall be provided throughout the neighborhood including foundation planting around each building perimeter, open spaces and activity spaces.
- 18. Street trees and other landscaping shall be planted along streets and access drives.

SINGLE-FAMILY ATTACHED & MULTI-FAMILY RESIDENTIAL/ MIXED-USE

Yard & Bulk Standards:

- 1. Single-Family Attached (Excluding Multi-family)
 - a. Minimum Rear Yard: 25 Feet
 - b. Minimum Side Yard: 10 Feet
 - c. Minimum Front Yard: 25 Feet
 - d. Minimum Lot Area: 4,000 Square Feet per Dwelling Unit
 - e. Maximum Lot Coverage: 60%
 - f. Maximum Height: 3 Stories
 - g. Minimum Height: 1 Story
- 2. Multi-Family
 - a. Minimum Rear Yard: 25 Feet
 - b. Minimum Side Yard: 15 Feet
 - c. Minimum Front Yard: 25 Feet
 - d. Minimum Lot Area: 1,500 Square Feet per Dwelling Unit
 - e. Maximum Lot Coverage: 60%
 - f. Maximum Height: 4 Stories
 - g. Minimum Height: 2 Story

GREENSBOROUGH VILLAGE

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Greensborough Village includes a variety of singlefamily attached and detached residences to meet the emerging housing needs of the City of Jonesboro. The following development guidelines are provided for single-family attached and detached neighborhoods developed in Greensborough Village.

- 1. Neighborhood street block patterns should be responsive to topography, natural features and landforms to guide the location and orientation of streets, lots and open spaces.
- 2. Local streets serving the neighborhood should be designed following the street sections provided in these guidelines for Local Street "A" and Local Street "B". Where medians are provided, landscaping including street trees shall be installed and maintained along the planting strip and within the median to enhance the visual appeal of the streetscape.
- 3. Alleys are encouraged to provide for the development of rear-loaded residences to expand the variety of housing types. The maximum width of an alley should not exceed 20 feet. Rear-loaded garages on corner lots served by alleys should have a build-to rear setback requirement of ten (10) feet to close in views along the alleyway. A public utility and access easement shall be provided for all private alleys. Private alleys shall be owned and maintained by a property owners association.
- 4. A variation in lots sizes and building placement is encouraged to avoid redundant streetscapes.
- 5. Sidewalks shall be installed on both sides of public streets.
- 6. Decorative lighting, signage, and landscape treatments along with street trees should be placed along street edges and and within medians.
- 7. Common open spaces and amenities should be incorporated into the layout and design of streets within the neighborhood. Amenities should be conveniently located to serve the entire neighborhood. Common open spaces should be visible from adjacent residences to promote site safety.
- 8. Amenities shall be constructed with the initial phase of construction to allow for enjoyment by residents upon occupancy of initial and subsequent phases of construction. The design of amenity buildings and accessory structures shall complement the architectural theme and character of the residences located in the neighborhood.
- 9. Common open space and amenities shall be owned and maintained by the property owners association.

- 10. The following design guidelines shall apply to singlefamily attached and detached residences:
 - a. The neighborhood should provide a diverse variety of housing types and densities.
 - b. Each side of a residence visible to the public should have a comparable level of quality and attention to detail as the front façade.
 - c. A variety of materials should be utilized that may include a combination of masonry brick, stone or cast stone, siding (wood, cementitious, or vinyl) exterior materials.
 - d. Corner residences should be designed with common architectural elements, materials and colors on each façade facing a public street. Porches and other architectural elements are encouraged to unify each building façade on corner lots.
 - e. Porches are encouraged throughout the neighborhood to create an opportunity for interaction along the streetscape. Porches should provide a minimum usable depth of six (6) feet and should be authentic to the architectural style of the residence.
 - f. Foundations should be raised of a minimum of 18 inches in height measured at finished grade to enhance visual appearance.
 - g. Front-loaded garages should be recessed a minimum of seven (7) feet behind the primary façade of the residence. Projected porches are encouraged as an additional measure to screen the presence of a front-facing garage along the streetscape.
 - h. A maximum of two garage bays shall face the street. Garage entrances should be recessed and include decorative door panels appropriate to the architecture of the residence.
 - i. Detached garages shall be allowed.
- 11. Accessory structures should follow the same architectural style as the primary residence including materials and colors.
- 12. Fencing is permitted in side and rear yards and should be of a style complementary to the architecture of the residence. Masonry, wrought iron, or wood are the preferred fence materials.
- 13. Off-street parking shall be as required by the City of Jonesboro Zoning Ordinance. On-street parking is permissible in residential neighborhoods.

SINGLE-FAMILY ATTACHED & DETACHED RESIDENTIAL (EXCLUDING MULTI-FAMILY)

Yard & Bulk Standards:

- 1. Single-Family Attached & Detached (Front-Load)
 - a. Minimum Rear Yard: 25 Feet
 - b. Minimum Side Yard: 10 Feet
 - c. Minimum Front Yard: 25 Feet
 - d. Minimum Lot Area: 4,000 Square Feet per Dwelling Unit
 - e. Maximum Lot Coverage: 60%
 - f. Maximum Height: 3 Stories
 - g. Minimum Height: 1 Story
- 2. Single-Family Attached & Detached (Rear-Load)
 - a. Minimum Rear Yard: 10 Feet (Build-to line shall be 10 feet.)
 - b. Minimum Side Yard: 5 Feet (10 Feet for attached dwellings.)
 - c. Minimum Front Yard: 5 Feet (10 Feet for attached dwellings.)
 - d. Minimum Lot Area: 4,000 Square Feet per Dwelling Unit
 - e. Maximum Lot Coverage: 60%
 - f. Maximum Height: 3 Stories
 - g. Minimum Height: 1 Story

GREENSBOROUGH VILLAGE

JUNESBURJ, ARKANSAS CREENSE DKDUCH LIVI STMENTS, LLC FEBRUARY 2015













SIGNAGE GUIDELINES

Objectives:

Design a system of signage to be submitted with the final plan, and implement the plan in a manner that will direct vehicles and pedestrians and provide address information, while reinforcing the image and identity of the development.

Criteria:

- Design signs as an integral part of the overall building design rather than as appurtenances to buildings.
- Do not obscure or conceal key architectural features with signs.
- Align signs with other signs within the block to maintain a consistent pattern of horizontal and vertical features
- Use signs to clearly convey a message. Design signs with simple, straight-forward shapes. Use lettering styles that are simple, easy to read, and in proportion with the rest of the sign.
- Use pedestrian-scaled signs. Place and illuminate signs in a manner that is appropriate to a pedestrian environment.
- Fabricate signs of durable materials that are easy to maintain.
- Design street and directional signage to be compatible in material, color, character, and scale with other signage and buildings within the Town Center.

GREENSBOROUGH VILLAGE

JUNESBURD, ARKANSAS (REENSE DE DUC ::): IVI STMENTS, LLC FEBRUARY 2015

SIGNAGE PRINCIPLES

Signage should effectively communicate the identity of the Town Center through the use of materials, colors, and forms consistent with the development. Monument or Gateway signage elements will be located at, or very near, major access points into the Town Center and provide a first impression of the development quality to the public (as well as incorporating necessary information such as tenant names, logos, and overall development identity).

Materials Palette: The size and scale of signage relative to the setting and surroundings should be carefully considered. Site signage should be readable, appropriately-sized, and consistent with the architectural materials utilized within the campus. Landscaping and lighting shall be incorporated to accentuate monument signage elements. All signage must follow standards set by this pattern book as well as all zoning, building, and safety codes applicable to the development site.

GENERAL GUIDELINES

Maximum Aggregate Building Signage: The maximum aggregate amount of display surface area of all permanent on-premise building signage permitted shall not exceed 15% of the area of the ground floor building facade facing the public street or 60 square feet whichever is greater.

Limitation on Lighting: Lighted signs shall be either spotlighted, externally lit, or back-lit with a diffused light source.

Placement of Signs: Signs shall be placed so as not to obscure key architectural features or door or window openings.

AWNINGS

In addition to requirements placed on awnings by existing codes and ordinances, awnings shall comply with the following requirements:

Length: No awning shall exceed 25 feet in length.

Materials: Awnings constructed of rigid materials, plastic, or fabric that is glossy in texture are not permitted. The colors and patterns shall complement the building.

Shape: Awnings shall reflect the shape and character of window openings.

Lighting: Awnings shall not be internally illuminated.

SIGN GUIDELINES

Quality: All signs shall be constructed of quality materials and shall conform with these guidelines and with the most current City regulations.

Tenant Responsibility: All Tenants are required to purchase and install their own signs and pay all costs for installation and any electrical service connections (to the Tenant's individually metered service) as required. The storefront and blade signage must be installed on or before Tenant opens for business in the Tenant space.

Type Styles/ Logos: Tenant may choose any typestyle, subject to approval by the Owner/ Landlord. Tenant may use custom logos on any of the allowed sign faces when such graphics are specified and approved in advance by the Owner/ Landlord.

Sign Text: Sign text is limited to business names and symbols, development name or symbol, or other text which describes regulations or project information. Brief text which describes products or services is permitted at a size smaller than the associated business name.

Lighting: All sign lighting shall be designed to adequately illuminate sign messages while producing minimum glare and stray light in the general project area and night sky.

Code Compliance: Sign fabrication and installation shall comply with any applicable building codes and electrical codes, and all internal and external wiring, lighting and other electrical devices shall bear the UL symbol. It is the Tenant's responsibility to verify that its sign and installation are in accordance with these requirements.

Design Submittals: Each Tenant shall supply three (3) copies of the Sign Contractor's scaled drawings to the Owner/ Landlord for review. The drawings should include elevations, sections, details, color and material specifications as necessary to fully illustrate the intended designs.

Compliance/ Approval: To verify compliance with the design intent of these Guidelines, the Owner/ Landlord reserves the right to review and approve or disapprove all proposed signs and/ or graphic treatment governed by these Guidelines per the Owner/ Landlord's interpretation of these Guidelines, and to require revisions of any sign design which the Owner/ Landlord judges not in compliance.

Fabrication/ Installation: All signs must be fabricated as described herein by a Sign Contractor approved by the Owner/ Landlord. All signs shall be mounted according to Owner/ Landlord-approved drawings. All fasteners shall be of non-corrosive material and concealed. Installation shall be by Owner/ Landlord-approved Sign Contractor only or Tenant's national signage contractor. Sign company names or stamps shall be concealed if permitted by code.

Sign Maintenance: Tenant shall be responsible for maintaining its sign(s) in a good state of repair, including prompt replacement of burned out lighting or damaged components. Tenant has 24 hours to initiate repairs and 48 hours to make repairs after being notified in writing by Landlord.

Sign Removal: Tenant shall be responsible for removal of its signs upon termination of lease. Fascia and other

Permanent On-Premise Sign Types	Minimum Setback	Minimum Height	Maximum Height	Maximum Display Surface Area per sign face
Ground Sign - Monument	None Required	N/A	6 feet; 2.5 feet for any part of a sign located within 15 feet of a driveway	25 square feet
Building Sign - Projecting	N/A	8 feet (note a)	14 feet	10 square feet
Building Sign - Projecting 2nd story and above	N/A	15 feet	1 foot below the cornice or eave line	15 square feet
Awning Sign - Front	N/A		14 feet	50 percent of the surface area of the awning in the same plane
Awning Sign - Side treat the same as Building Sign -				
Projecting	N/A		14 feet	10 square feet
				Zone 3:50 square feet or 5 percent of the building façade wall facing the public street, whichever is less;
Building Sign - Wall				Zone 2: 40 square feet or 5 percent of the building façade wall facing the same public
Mounted	N/A	8 feet (note a)	1 foot below the cornice or eave line	street, whichever is less

SIGNAGE GUIDELINES



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damaged or otherwise altered building elements shall be returned to the original condition, and all penetrations appurtenant to the Tenant's sign installation shall be repaired by the Tenant to the satisfaction of the Owner/ Landlord.

Temporary Signs: Temporary signs shall be permitted to announce special events for a business. These shall be allowed to remain in place for a maximum of fifteen (15) days and must be approved in advance by the Owner/Landlord.

Non-Conforming Signs: Tenant shall not erect, install, paint or affix any signs, posters, cards/ banners or other advertising medium to, upon or above the exterior of the premises of the building, nor on the interior or exterior of the premises of the building, nor on the interior or exterior of the premises of the building, nor on the interior or exterior of the glass surface of the windows and doors, except as stated herein. Tenant shall be held liable and shall bear all costs for removal and/ or correction of sign installation and damage to building by signs that do not conform to the Signage Guidelines or those signs required to be removed by termination of lease. The Owner/ Landlord reserves the right to have all non-conforming signs removed regardless of state of erection.

Prohibited Signs: The following types of signs, sign components and devices shall not be permitted:

- Flashing, Oscillating, or Moving Signs
- Visible names or stamps of sign manufacturers (unless required by code).
- Raceways, exposed transformers, conduit, junction boxes, crossovers, or power supplies.
- Temporary posters, balloons, notices or announcements other than those approved in advance by the Landlord.
- Floating or inflated objects with signage or logos.
- Abandoned signs these will be removed at the Tenant's expense after 30 (thirty) days' notice.
- Vacuum-formed or injection-molded plastic signs.
- Paper or Cardboard Signs
- Box-type or Solid Panel Signs
- Signs that Emit Sound
- Non-conforming Signs

Permitted Signs: The following signs are permitted in accordance with the Zoning Ordinance:

- Principal or Monument Ground Signs
- Integrated Shopping Center Signs
- Wall Signs

- Menu Board (Limited to one sign per business.)
- Suspended Signs
- Construction Signs
- Directory Signs (Ground & Wall Mounted)
- Special Event Sign
- Real Estate Signs
- Window Signs
- Gasoline Trade Signs
- Sandwich Signs (Associated with Restaurant or Café.)

Signs Shall Comply with the Following Guidelines:

- 1. All ground-mounted signs shall include landscaping around the entire base of the sign structure. Landscaping shall consist of multiple rows of evergreen and deciduous plant materials and seasonal varietals that add visual interest to the sign. All landscaping shall be irrigated and properly maintained.
- 2. Signs shall not create a traffic hazard. All entrance and freestanding signs located near corners of a street intersection shall be located outside of the clear sight triangle based upon the design speed of the intersecting streets. No principal or monument ground sign shall exceed twelve (12) feet in height, fifteen (15) in length and three (3) feet in width.
- 3. No integrated shopping center sign shall exceed a total of 200 square feet on one side for any one integrated shopping center sign. If a shopping center fronts upon more than one public street, no more than two (2) integrated shopping center signs shall be permitted for a shopping center.
- 4. One (1) Menu Board sign per business shall be allowed provided the menu board shall not exceed a total of 25 square feet of display surface. A microphone shall be permitted to be integrated into the design of the menu board sign structure to communicate with patrons.
- 5. Sign structures shall be of comparable design and building materials as the main building structure.
- 6. The area of a wall sign shall not exceed, in square feet, 2 times the lineal front footage of the business or office.
- 7. Window signs shall not exceed 15% of the total window surface of the first floor or street level of the building.
- 8. Signs are required to be internally illuminated block letters mounted on a raceway. Backlit letters and indirectly illuminated signs are acceptable. Three

SIGNAGE GUIDELINES

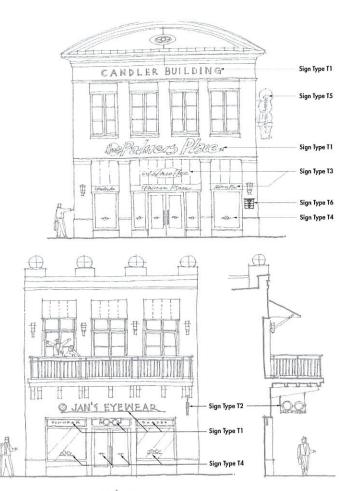
colors maximum are allowed for signs with up to two font styles. Ground mounted building identification signs shall have fully enclosed solid bases of either brick or stone, mounted at the ground plane. No supporting structural members are to be exposed.

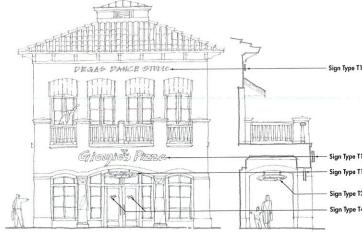
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SIGN AREA LIMITATIONS

Tenant Square Footage	Max Letter Height	Total Sign Area Allowed Per Elevation ¹	Number of Signs Allowed Per Elevation
100 sf – 12,000 sf	30" 54" if stacked	75 sf or 4% of building face ²	Per A above
12,000 sf – 20,000 sf	42″	125 sf	Per A above
20,000 sf – 50,000 sf	48″	200 sf	Per A above
50,000 sf +	96″	400 sf	2

1. For this sign type only. Other sign types (blade signs, address numbers, etc.) have their own limitations and are described on their own pages

Whichever is smaller. For tenants who intend to use more than one sign, the first sign may not exceed 1.5% of the building facade; each additional sign may not exceed 1% of the building facade.

TENANT SIGNAGE GUIDELINES

Sign Type T1: Building/ Tenant ID Sign

These signs appear upon the face of a building wall reading toward the street or public circulation space. Building signs may present the name of the building and/ or the name of the business or enterprise located within the building. Building signs are not used for identification of off-site businesses or advertising for any business.

The building sign design is encouraged to coordinate carefully with the character of the building on which it is applied. Fitting onto parapet wall areas, frieze areas, window bays, column or pilaster grids, all are encouraged to promote a strong architectural character for the building signs. Alternatively, building signs may be applied to an overhead fascia or may take the form of applied bulkheads, projections, cornices or other architectural features.

- A. Building signs are limited to three items per building face, per street frontage. If more than one business is contained within the building, each business may use one building sign in addition to one sign which may identify the building itself.
- B. A marquee sign, a building mounted projection sign, or a wall sign may be substituted for a Building Sign if desired.
- C. Illumination of signs is encouraged. The following types are allowed:
 - Individual dimensional metal back-lit (halo effect) letters or lighted by external light fixtures.
 - Internally illuminated channel letters with opaque metal sides and translucent plastic faces may be used only when facing internal parking fields. Transformer may be placed behind the sign fascia with provision made for proper cooling and access. Internally illuminated and neon signs are prohibited in show windows.
 - Neon shall be allowed only at the discretion of the Landlord on an individual and limited basis.
 - Freestanding signage letters attached to horizontal canopies may be lighted by decorative light fixtures

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D. No animated components, flashing lights, colored lighting, formed plastic, injection-molded plastic, box-type or solid panel signs are permitted.

Sign Type T2: Blade Sign

Blade Signs hang above a pedestrian circulation area from an overhead structural element or from a bracket attached to a sidewall. The sign may be single or double-sided, and Tenants are encouraged to utilize imaginative cut-out shapes from logos or featured pictorial or illustrated items.

- A. A blade sign must incorporate the Tenant's name, and may include brief text.
- B. In-line tenants are allowed one (1) blade sign. The sign may not exceed 8 square feet in area per side, not including supporting bracket or suspension devices.
- C. Corner stores are permitted to have two (2) blade signs, but the total area of the signs may not exceed 12 square feet. In no instance will a tenant be allowed three (3) blade signs.
- D. A blade sign must extend perpendicular to the storefront plane. The sign may not extend further than 3'-6" from the surface to which it is mounted, nor more than 3'-6" total in front of the tenant lease line.
- E. With the exception of illustrative signs as shown on the second row, the colors are limited to business logo colors along with no more than two additional colors including the color of the bracket or suspension device. Illustrative signs shall be subject to careful scrutiny and approval by the Landlord.
- F. Simple rectangular or square signs are discouraged, but unusual shapes must be designed with care and restraint.
- G. Signs may not extend below 8'-0" above the finished floor.
- H. Signs must be attached to either a bracket of the Landlord's design or a bracket designed by the Tenant with the Landlord's approval.
- I. The area of the blade sign(s) is not counted towards the Building Sign area maximums. They are limited in area per B and C above.
- J. Signs may be lighted by decorative light fixtures approved by the Landlord. Such signage letters shall not be internally illuminated.
- K. Signs shall be a minimum of 1.5" thick, or shall have a border with a minimum thickness of 1.5"
- L. Sign materials may include:
 - Fabricated metal. No brake-forming allowed; no bare metal allowed without at least a clearcoat finish. Paint finishes must be free of oil-canning and orange-peel.
 - Acrylic. No translucent or fluorescent-colored acrylics.

- Wood. Must be finished to withstand weather for a minimum of 5 years. Landlord may require replacement of sign if it is deemed to appear too weathered.
- Applied full-color graphics as shown on the illustrative signs in the second row at left. Adhesive graphics must be applied to a rigid metal substrate with no bubbles or wrinkles. The resolution must be high enough such that pixilation is not visible. All applied graphics of this type must be warrantied against fading for a minimum period of 5 years.
- Non-corrosive fasteners only.
- M. No animated components, flashing lights, colored lighting, formed plastic, injection-molded plastic, box-type or solid panel signs are permitted.

Sign Type T3: Awning Sign

Text or graphic images may be applied to traditional, useful awnings placed above a window, door or other logical architectural feature.

- A. The awning itself may be one or two colors in the form of stripes, or solid color with trim.
- B. The applied graphic text or image must all appear in one color additional to the awning colors.
- C. The area of applied graphics must conform to the shape and proportion of the awning and generally limited to 8 inches in overall height if appropriate for the awning configuration and not longer than 42 inches, if appropriate for the awning configuration.
- D. Awnings may not extend below 8 feet above finished floor.
- E. Graphic elements may not span joints in the awning construction configuration, may not span from one awning to an adjacent awning, and may not wrap around corners or tight bends in the awning shape.
- F. One additional graphic image per storefront not to exceed 20 square feet may be added to the top or sloping area of the awning if deemed appropriate by the review/approval process.
- G. The sides of all awnings are to remain blank.
- H. Internal illumination of awnings is strictly prohibited. Signage or logos applied to the exterior of fabric or metal awnings may be illuminated by decorative light fixture (such as gooseneck fixtures) subject to approval

by the Landlord. Plastic and metal awnings are prohibited without specific Landlord approval.

Sign Type T4: Hanging Sign

Hanging signage is permitted along Main Street and adjoining streets provided the following design criteria are met:

- A. One hanging sign shall be permitted in place of a permanent wall mounted sign on each building face facing a public street.
- B. The hanging sign shall provide a minimum of seven (7) feet clearance from ground and shall extend not more than four (4) feet from the building façade.
- C. Internal illumination is not permitted.

Sign Type T5: Wall Mounted Directory Sign

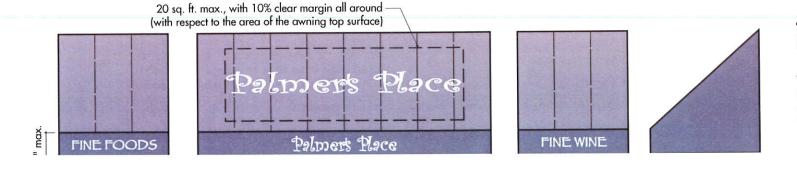
Wall mounted directory signage is permitted for buildings occupied by multiple tenants and shall conform to the following design criteria:

- A. One (1) wall mounted directory sign shall be permitted on a building containing multiple tenants.
- B. The total sign area of the directory sign shall not exceed ten (10) square feet.
- C. The directory sign shall be mounted to the building façade in such a manner as not to obstruct pedestrian traffic or obscure visibility for vehicular traffic.
- D. Buildings containing more than one street front may have not more than two (2) building directory signs with each not exceeding a maximum of ten (10) square feet.
- E. Internal illumination is not permitted.

Sign Type T6: Window Sign

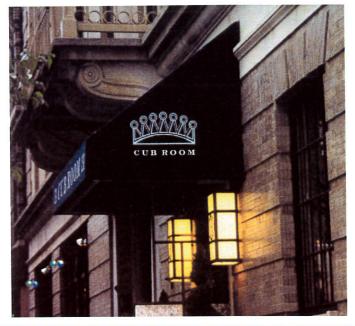
Window signs are permitted along Main Street and shall conform to the following:

- A. Window signs shall not exceed 15% of the total window surface area of the first floor or street level of the building. Building numbers shall not count toward maximum allowable window sign area.
- B. Backlighting of window surface containing the sign display is not permitted.
- C. LED, or similar technology, electronic message center window signs are prohibited.



TENANT SIGNAGE GUIDELINES





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SECTION V - OPEN SPACE & STREETSCAPE **F**URNISHINGS

Site Amenity Guidelines Landscaping & Screening Street Furnishings Lighting

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Objective:

Incorporate traffic calming measures, such as on-street parking, pedestrian bulb-outs, and textured crosswalks as depicted on the master plan in order to employ drivers to proceed slowly, thus providing a more pedestrianfriendly environment.

Criteria:

- Install curb extensions as shown on the master plan in order to reduce the width of the roadway from curb to curb, thereby slowing vehicles down where the pavement width narrows.
- Design and install crosswalks made up of paving materials distinguished from travel lanes with a texture and color that induces drivers to slow down, while also improving the aesthetic quality of the street.

Objective:

Create small courtyards and pocket parks as depicted on the master plan that will serve as an amenity for people who work and shop within the campus.

Criteria:

- Design the park to be visible and accessible from the streets.
- Design all buildings that border to face into the park, providing "eyes" on the park at all times.
- Incorporate sidewalks on three of the park's four sides.
- The park shall be the same or a similar size as shown on the master plan.

Objective:

Construct sidewalks on both sides of the streets, as well as primary pedestrian access ways to provide walkable connections to the peripheral buildings. Activate the streetscapes with outdoor cafe tables, site furniture, and display of sale goods when possible.

Criteria:

- Design sidewalks and pedestrian access to accommodate safe pedestrian movement.
- Design sidewalks that provide a comfortable refuge for pedestrians with street trees, benches, seat walls, trash receptacles, and other pedestrian amenities strategically located so as not to interfere with pedestrian movement.

- Plant street trees along both sides of primary streets in a manner that when they mature they will create a continuous canopy during the summer months.
- Design widened sidewalks that will accommodate the pedestrians projected to be generated by proposed retail uses, and the potential for sidewalk cafes.
- Sidewalks separated from traveling vehicles by pavement that will accommodate parked vehicles (either parallel or angled on-street parking).
- Sidewalks as shown on the master plan along Main Street shall have a minimum width of ten (10) feet, measured from the face-of-curb to the building face, and contain 4' x 4' tree grates located along the curb every thirty (30) feet, no more than forty-five (45) feet, with street trees located within the grates.
- Benches, seat walls, trash receptacles, and other pedestrian amenities located along sidewalks in the project area, not to interfere with pedestrian movement.
- Sidewalks comply with ADA standards.
- Other secondary sidewalks may be five (5) feet in width.



SITE AMENITY GUIDELINES



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Objective:

Devise a vehicular parking system that accommodates an appropriate number of spaces for the uses located on the property and implement the system in a manner that maintains a distinctive and inviting image for the development.

Criteria:

- Lay out and screen parking lots so as to minimize direct views of parked vehicles from the street rightof-way.
- Incorporate shared parking facilities for parking efficiency.
- Design parking lots with a hierarchy of circulation: lot access drives with no parking, lot circulation drives with little or no parking, and parking access aisles for direct access to parking spaces.
- Design parking lot landscaping in a manner that reflects the hierarchy of circulation, placing importance on the driveways from the street, framing major circulation aisles, and highlighting pedestrian pathways.
- Separate parking areas from buildings by use of a raised walkway or planting strip. Avoid directly abutting parking aisles or spaces to the building.
- Avoid large, unbroken expanses of pavement. Divide parking lots into smaller paved areas that are separated by landscaping, access driveways, or structures.
- Refuse collection and service areas shall be screened from view by a masonry wall with a gate enclosure for trash receptacles. Foundation plantings shall be located at the base of the wall enclosure.
- Design the appearance of primary parking lot entries in a manner that reflects the overall character of the project. Use specimen plant material, low walls, and pavement treatments to create visual interest at key lot entry points.

Buffering & Screening Guidelines:

Parking Lot Screening: Any parking lot adjoining a street shall be screened to a height of three feet by walls, berms, landscaping, or a combination of these. If landscaping is used, the planting bed shall be a minimum of 6 feet wide and shall contain canopy tree plantings at 30' intervals on the perimeter greenway.

- Native plant materials shall be used to the greatest extent possible. Existing plant materials shall be preserved to the greatest extent possible in this area.
- The buffer shall include a walking path that runs along the perimeter boundary, and shall be planted with evergreen trees, deciduous understory trees,

and evergreen shrubs and flowering shrubs to offer interest.

- Where possible, the berm shall be constructed a minimum of three (3) feet tall, and a maximum of five (5) feet tall to provide interest along the pathway.
- Native, flowering trees should be used to provide a show against the evergreens.

Service Area & Mechanical Equipment Screening:

- Service areas should be oriented toward the rear of buildings out of public view. Where services are in public view proper screening measures shall be provided.
- Service areas that require a screening wall should be designed to properly screen the typical vehicle that will be utilizing the service or loading area.
- Screening walls should be designed with similar materials and colors to the primary building and should include landscaping elements to enhance the appearance. Full screening should be a minimum of six (6) feet high (or higher if the taller service area conditions exists).
- Roof-mounted equipment including HVAC, exhaust fans, plumbing penetrations, solar equipment, communications equipment including voice/ data transmission equipment and antennas, mechanic system equipment, and plumbing and ventilation vents, shall not be visible from public streets or rights-of-way. The use of parapet walls and cornices may be used to properly screen roof-mounted mechanical equipment from public view.
- Ground-mounted equipment including HVAC, mechanical systems and other building systems located on the outside of a building and ground level shall not be visible from public streets, parking areas or public spaces. Screening consisting of a solid enclosure or wall around the perimeter of the equipment with sufficient access for maintenance. The wall should be constructed of materials compatible with the exterior of the primary building served by the equipment. The perimeter of the screening wall should be landscaped.
- Mechanical equipment serving a mixed-use building that includes residential uses should be located to minimize noise and vibration for residences located within the building.

Parking:

 Off-street and on-street parking shall be provided in the Town Center. Parking shall be provided in accordance with the City of Jonesboro Zoning Ordinance provided; however, on-street parking may

Landscaping & Screening

be used to satisfy the off-street parking requirement. Shared parking is encouraged to reduce the need for expansive parking areas serving the Town Center.

- Off-street parking requirements may be further reduced with the provision of transit supportive design to promote transit and alternative forms of transportation to reduce vehicle traffic.
- Within the Town Center parking should be located along the side and/ or rear of buildings to allow buildings to be oriented in close proximity to public streets and rights-of-way.
- Angled or parallel on-street parking will be provided along the Town Center Street and some local streets in the Town Center.
- Shared parking is encouraged to reduce parking space requirements.
- Large parking areas should be divided into smaller parking fields and provided with pedestrian walkways that link the parking fields to one another and to buildings and public spaces. Parking fields should be oriented perpendicular to buildings to provide safer and more direct access to entrances.
- Pedestrian walkways between parking areas and building entrances are encouraged to enhance pedestrian safety.
- Parking areas fronting upon a public street in the core of the Town Center should be screened from public view with landscaping planted along the edge of the right-of-way to screen views into the parking area from the street.
- Large parking areas shall include landscape islands placed at regular intervals with the parking lot for shade and to soften visual impact. The perimeter of large parking areas visible to the public shall include landscaping to enhance visual appearance including trees and shrubbery and/ or walls placed along edges adjoining public streets and spaces.

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Objective:

Provide pedestrian amenities such as benches, newspaper racks, trash receptacles, and bicycle racks in areas with high pedestrian activity as high pedestrian activity begins to occur.

Criteria:

- Select and install benches that are comfortable, easy to maintain, durable, and resistant to vandalism.
- Avoid locating benches where they might interfere with pedestrian movement.
- Select and locate newspaper racks to serve the public without compromising pedestrian circulation or the overall consistency and appearance of the street.
- Install conveniently located bicycle racks in order to encourage the use of bicycles as an alternative to motor vehicles in accessing employment, commercial, and other travel destinations.
- Locate racks and trash receptacles in a manner that minimizes conflicts with pedestrian and vehicular traffic.

Standards:

- Seating elements may include benches, ledges, planter walls, steps, or stoops.
- Planter walls not to exceed a height of 2¹/₂ feet, and should be constructed at a comfortable seat height in a manner that will allow for their use as seating.
- Newspaper racks clustered together whenever possible. If possible, racks should be placed against building walls in order to leave sidewalks clear for pedestrians.
- Newspaper racks placed in close proximity to pedestrian activity nodes.
- For all non-residential properties, off-street bicycle parking spaces provided equal to two percent of the required automobile parking spaces.
- Trash receptacles anchored securely to the ground in order to reduce unauthorized movement.
- Receptacles not located within wheelchair landing areas, and allow for at least 44" of separation from other street furniture.
- Locate receptacles at least two (2) feet from the back of the curb.
- Avoid locating receptacles in direct sunlight.

Street Furnishings

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Appropriately scaled street lighting can provide adequate light for roadways without detracting from the pedestrian experience. Light standards should reflect the general character of other street furniture, architecture, and overall desired street character.







Objective:

Utilize a lighting plan and fixtures that will provide for safe vehicular movement, without compromising pedestrian movement and that will enhance the overall appearance of the project area.

Criteria:

- Design lighting that is appropriate in function and scale for both the pedestrian and the vehicle.
- Use street lighting to define the street space, and design street lighting poles to accommodate and organize signage and other appurtenances.
- Design efficient lighting that minimizes light trespass and pollution.
- Select luminaire styles, colors, and finishes that complement the architectural features of the streetscape.
- Decorative Cutoff Luminaires used to provide a more attractive appearance and to limit uplight.
- Luminaire style remain consistent along a given block face.
- Street light standards not to exceed twenty-two (22) feet in height.
- Standards spaced at regular intervals in order to provide even light distribution without areas of darkness between standards.
- Lamp type: 100 200 watt metal halide.

Objective:

Develop a lighting plan containing fixtures in accordance with the lighting standards established for the Greensborough Village that will provide for safe vehicular and pedestrian movement, and at the same time will help encourage pedestrian activity at night along the Main Street corridor and pedestrian accesses between buildings.

Criteria:

- Design pedestrian scaled sidewalk lighting that defines the pedestrian space.
- Illuminate the sidewalk at a level that is consistent with pedestrian activities rather than vehicular movement.
- Fixtures mounted on buildings or used to accent architectural features or landscaping may also be used for pedestrian lighting. Choose fixtures based on their ability to enhance the overall architecture of the building while providing lighting for pedestrians at the same time.
- Use lighted bollards in order to delineate pedestrian pathways.





LIGHTING

- Space pedestrian light fixture at consistent intervals throughout the site.
- Lighting used solely for the pedestrian not to exceed fifteen (15) feet in height.

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PROPOSED USES	
OFFICE	
1 STORY OFFICE/ RETAIL	
2 STORY RETAIL/ OFFICE	
COMMERCIAL	
HOTEL	
MULTI-FAMILY	
SINGLE FAMILY	