

Feasibility Report

for

**Mr. Tim Faisst
Proposed Single Family Replat
Emerson Lane
Jonesboro, AR**

Prepared by:

Civilogic

203 Southwest Drive

Jonesboro, AR 72401

(870) 932-7880

George Hamman, PE, PS

July 23, 2019

Civilogic File Number: 119082

FEASIBILITY REPORT
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EMERSON LANE, JONESBORO, AR
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We have been asked to evaluate a parcel of property that lies in the southern portion of the City of Jonesboro. The site addresses are not yet assigned as this area has been platted, but not yet developed. It is known as the Rolling Acres Subdivision. The plat was filed for record July 26, 1967. The property is within the City Limits of Jonesboro, and it lies north of the existing Maple Valley West End Replat. The property is currently somewhat wooded and appears to have not been developed in any way. The three existing lots being considered (6, 10, and 11) contain a total of approximately 2.7 acres.

This site does not lie within a 100-year flood plain. Therefore as replatted lots, there will be a requirement for storm water detention. Based upon the LiDar topography, it appears the most logical location for that facility would be in the far southwest corner of the overall site. A rough topographic map is included.

UTILITIES:

- Sewer: Sanitary sewer is available. There is an existing 8" gravity sanitary sewer line located on Emerson Lane just inside the Maple Valley West End Replat, approximately 10' south of the southern property line of the Rolling Acres Subdivision. A sewer extension will be necessary. It will consist of approximately 470 feet of sewer line and two manholes.
- Water: There is an existing 6" water line on the south side of the property, and an existing 2" line that terminates near the northeast corner of the existing Lot 11. An extension of the 6" line will be required to tie the existing 6" line and the existing 2" line together.
- Electrical: There are existing power lines in the immediate area. Overhead electrical extends from Flemon Road, south along Emerson Lane on the west side of the road to a point near the northeast corner of the existing Lot 12 of the existing platted Rolling Acres Subdivision. In addition, empty electrical conduit has been installed along the east side of the existing Lot 3, Block "A" of the Maple Valley West End Replat. The conduit will have to be extended north, in a combination ditch with the water line extension, and tie to the overhead line mentioned above.
- Communications: Though not confirmed nor located, based upon the presence of the existing homes, it is presumed that communications are readily available.

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Natural Gas: CenterPoint Energy supplies Jonesboro with natural gas. Natural gas lines are present in the area, but CenterPoint will have to make the determination if the supply is adequate to serve an additional seven homes.

DRAINAGE:

This site is not located within the 100-year flood plain according to the Flood Insurance Rate Map. Because these existing lots are being further subdivided, this now becomes classified as a subdivision, bringing with it the necessary storm water management requirements. We have illustrated the intended location for a detention facility on the drainage page of the presentation.

ZONING:

The current zoning classification is R-1. The proposed lots are in compliance with all the R-1 "bulk requirements" as listed below.

BULK REQUIREMENTS:

Minimum lot size:	8,000 SF.
Minimum Lot Frontage:	60'
Front Setback:	25'
Rear Setback:	25'
Side Setback:	7.5'

PROPOSED DEVELOPMENT:

The client wishes to further subdivide three of the existing lots platted as a part of Rolling Acres Subdivision into a total of seven lots then construct a single family home on each of the seven lots.

REQUIREMENTS:

- A) Plan preparation and approval
- B) Sanitary Sewer extension
- C) Water Line extension
- D) Electric conduit extension
- E) Gas line extension
- F) Drainage and detention installation
- G) Street construction
- H) Platting and finalization

CONCLUSION:

We have consulted with the City of Jonesboro Planning and Engineering Departments to establish what will be required of the client in regard to the street improvements in the event he elects to pursue this venture. There is no clear definition within the City's guidelines of what is to be required. Therefore, the City Planning and Engineering Departments have indicated this could be presented to the MAPC in order to receive a definition of what the City would require in order to proceed with the development.

RECCOMENDATIONS:

The utility requirements are fairly straight-forward. Therefore the remaining question has to do with the requirements for the street construction.

Because the client is considering developing on both sides of Emerson Lane for a portion of this development, what would appear to be the most fair and appropriate in regard to street construction includes the following:

- A) From the north end of Emerson Lane within the Maple Valley West End Replat, north to the point where the cul-de-sac known as East Lane begins, the street should be built with the proper width, and full curb and gutter on both sides of the street.
- B) From that point, still proceeding north, the street should be constructed as a minimum of twenty six feet of asphalt, but eliminate the curb and gutter requirement to tie into the northern portion of Emerson Lane that has no curb and gutter. That location would be near the north line of the existing platted Lot 6.
- C) It does not seem fair to have this developer construct the cul-de-sac known as East Lane. That would be an expense to him, for which he would gain no benefit. The owner of Lots 7, 8, and 9 would reap all the benefit of that construction, without any risk or expense.
- D) Similarly, a curb and gutter waiver has been granted to the owner of the existing Lot 12. It would not be fair to ask my client to install something the MAPC has already agreed to waive for that owner.

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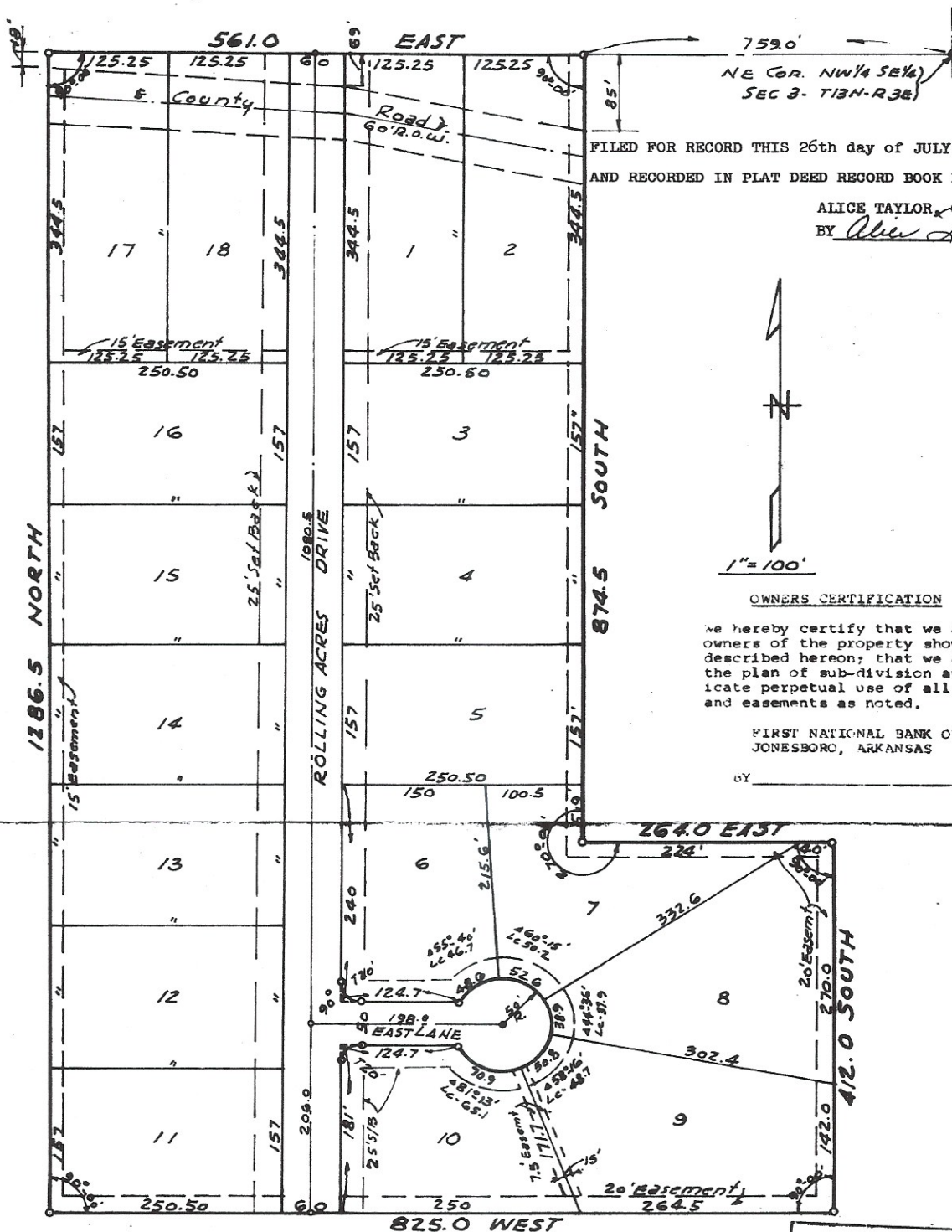
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The remaining pages are for illustration purposes and include the following:

A)	Location Map	Page 5
B)	Current Plat of Rolling Acres Subdivision	Page 6
C)	More specific view of the three lots involved	Page 7
D)	Proposed lot replat (preliminary form)	Page 8
E)	Preliminary sewer layout	Page 9
F)	Preliminary water layout	Page 10
G)	Preliminary drainage layout	Page 11
H)	Preliminary street layout (as described above)	Page 12

We respectfully present this information for your use and review.





FILED FOR RECORD THIS 26th day of JULY, 1967 at 4:45 P. M.,
AND RECORDED IN PLAT DEED RECORD BOOK 158 PAGE 39.

ALICE TAYLOR, CLERK

BY Alice Taylor

OWNERS CERTIFICATION

We hereby certify that we are the owners of the property shown and described hereon; that we adopt the plan of sub-division and dedicate perpetual use of all streets and easements as noted.

FIRST NATIONAL BANK OF JONESBORO
JONESBORO, ARKANSAS

BY _____ DATE _____

ROLLING ACRES SUBDIVISION
Of a Fractional Part of the Northwest Quarter of the Southeast Quarter of Section 3, Township 13 North, Range 3 East, Craighead County, Arkansas.

DESCRIPTION

Commencing at the Northeast corner of the NW $\frac{1}{4}$ SE $\frac{1}{4}$ Section 3, T 13 N, R 3 E of the Fifth Principal Meridian; thence West along the North line of aforesaid NW $\frac{1}{4}$ SE $\frac{1}{4}$ Section 3, T 13 N, R 3 E a distance of 759.0 feet to the point of beginning proper; thence South 74.5 feet; thence East 264.0 feet; thence South 412.0 feet; thence West 825.0 feet; thence North 1286.5 feet to the North line of aforesaid NW $\frac{1}{4}$ SE $\frac{1}{4}$ Section 3; thence East 561.0 feet to the point of beginning proper and being subject to and easement of 60 feet for an existing County Road and being subject to easements as shown on the plat and containing in all 19.06 acres, more or less.

CERTIFICATION

I hereby certify that the above plat discloses the results of a survey made in November, 1966; that it is a true and accurate survey and the monuments were found or set as noted thereon. The easements are as noted on the plat. Iron pins were set at all lot corners.

Associated Engineering Co., Inc.

H. S. Johnson 11-21-66
H. S. Johnson, Engineer

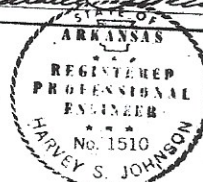
APPROVED

Jonesboro City Planning
Commission

Date 11/20/67

Chairman Vance Lewis

Secretary James H. Lewis





Title

Emerson Ln

Black Fork Creek

Jonesboro Ward 1

Emerson Ln PVT

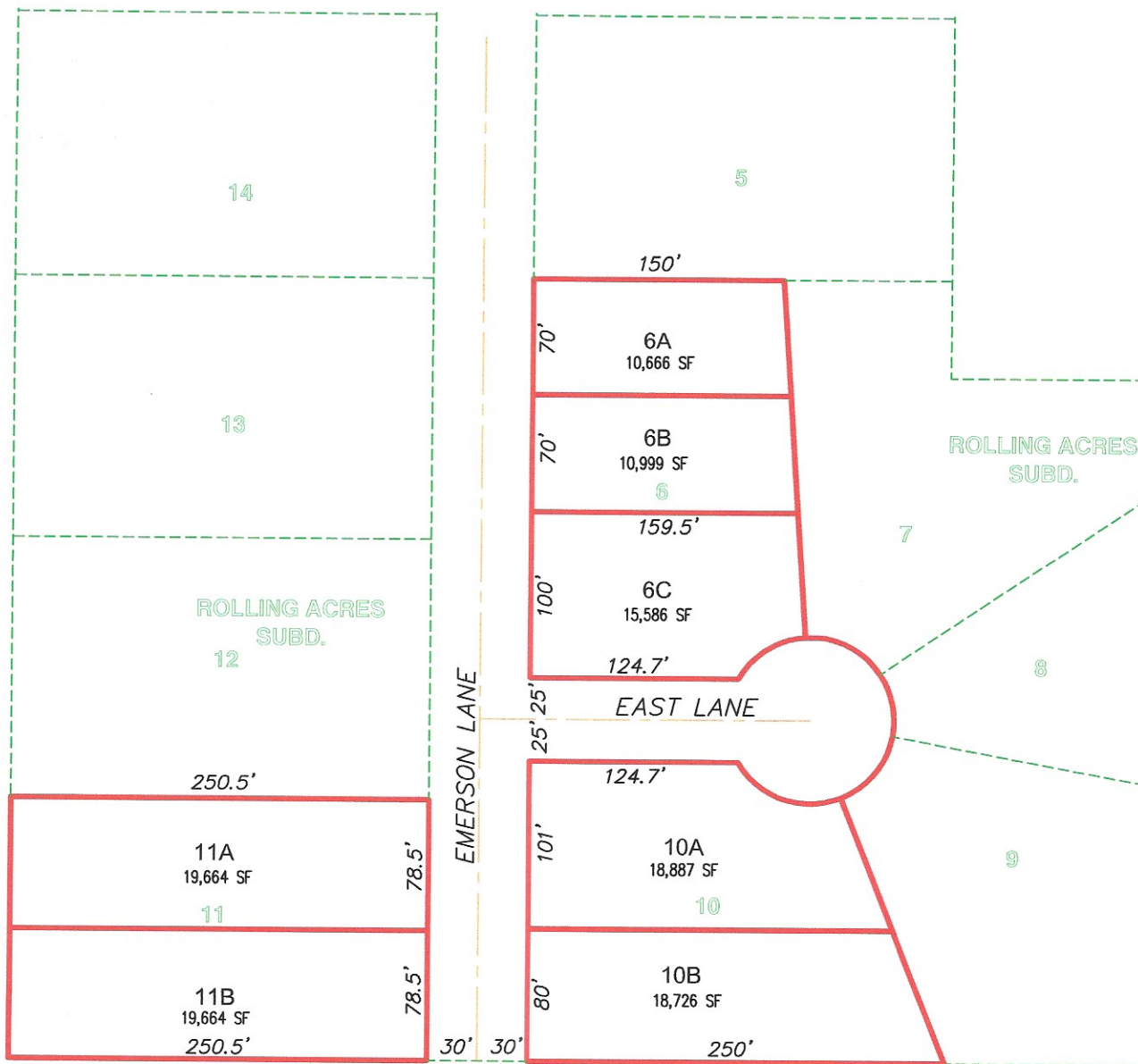
Emerson Ln

Gallaway Ln

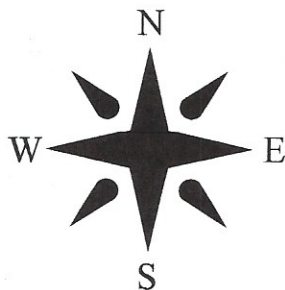
Gallaway Cv



20 10 0 20 Meters



PRELIMINARY LAYOUT (LOTS)



SCALE: 1"=100'

CLIENT: TIM FAISST
JOB NO.: 119082

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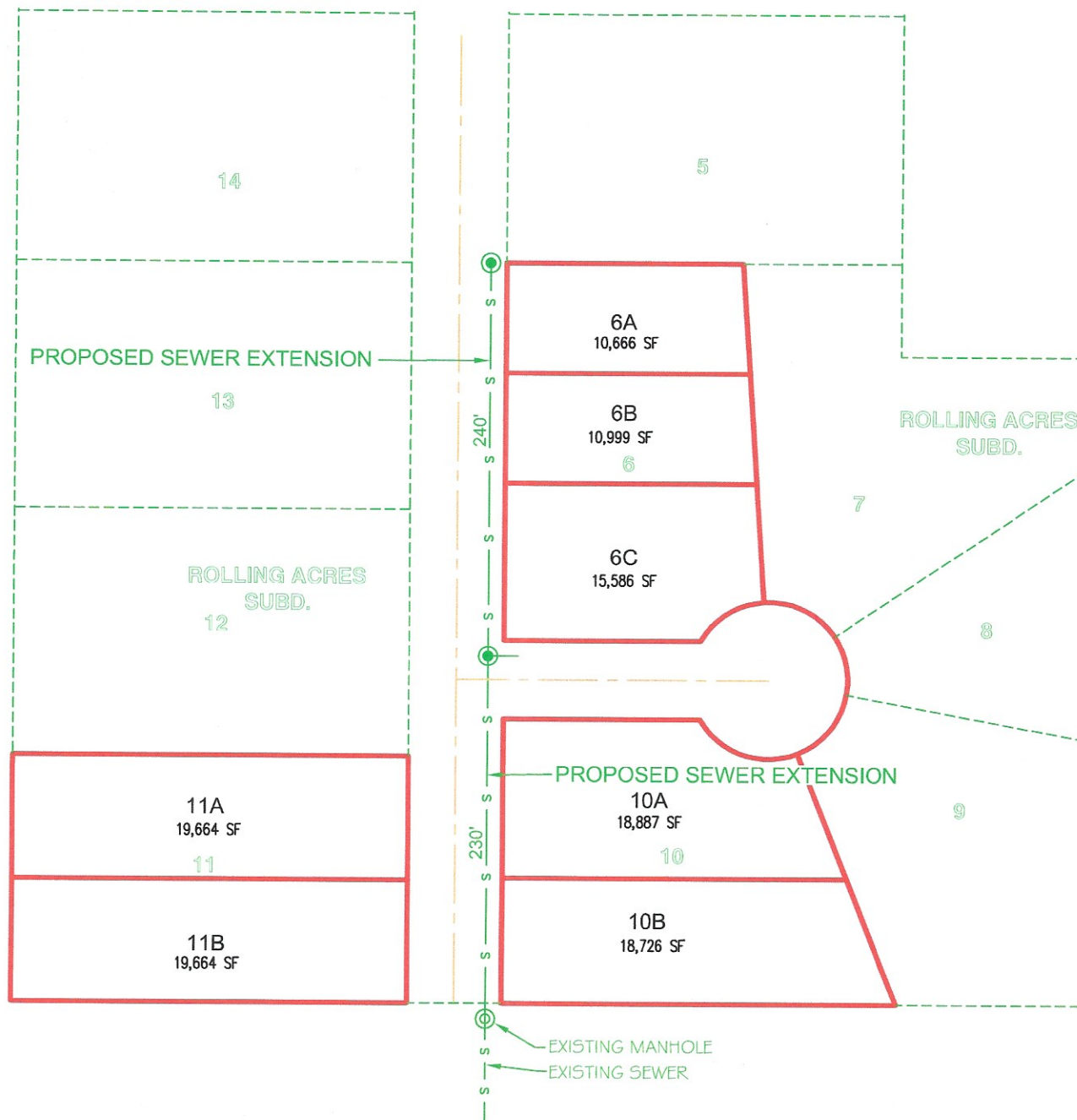
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PLANNERS

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PRELIMINARY LAYOUT (SEWER)



SCALE: 1"=100'

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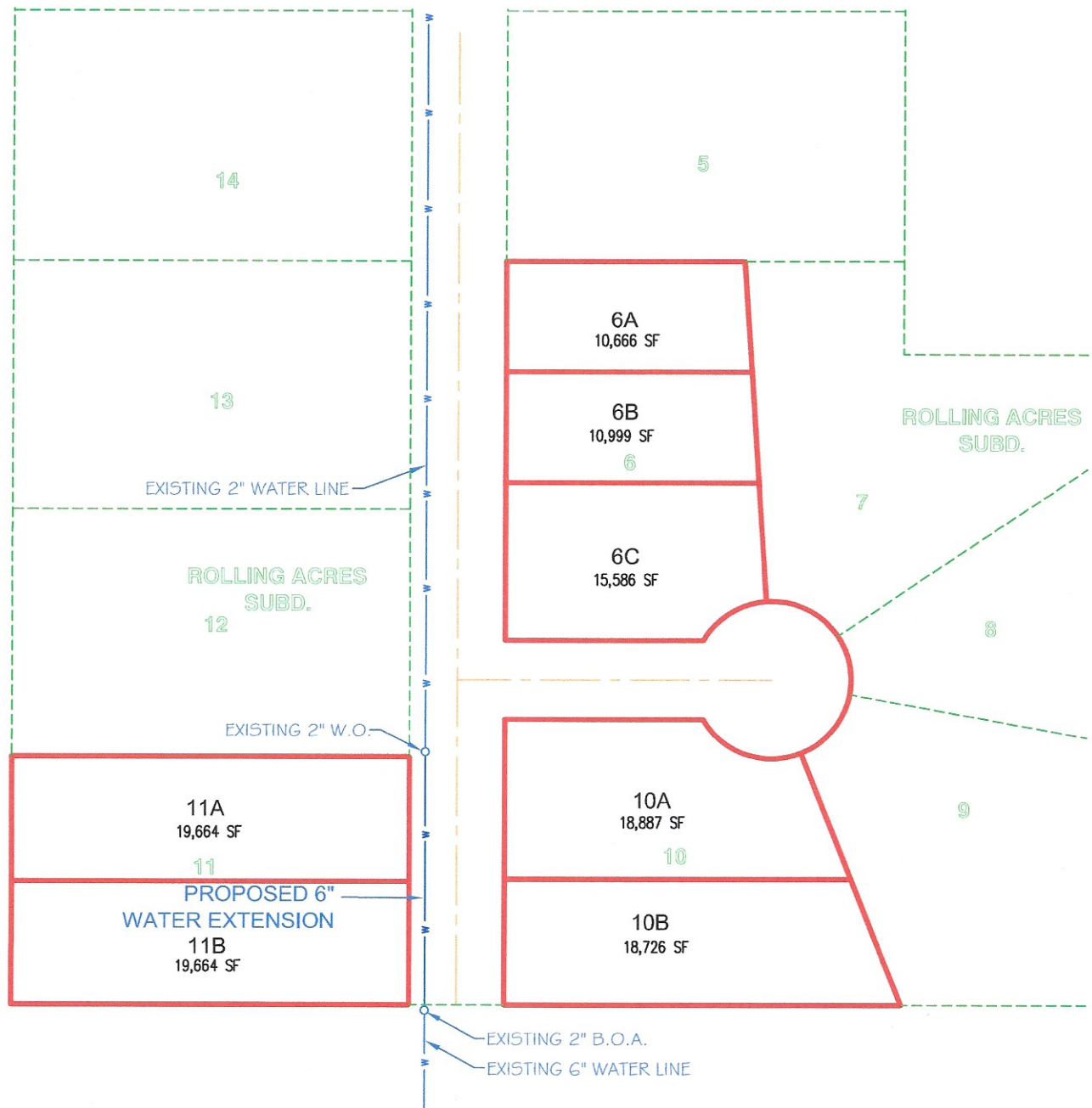
ENGINEERS

PLANNERS

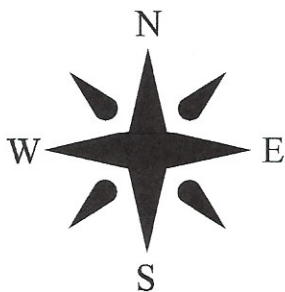
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PRELIMINARY LAYOUT (WATER)



SCALE: 1"=100'

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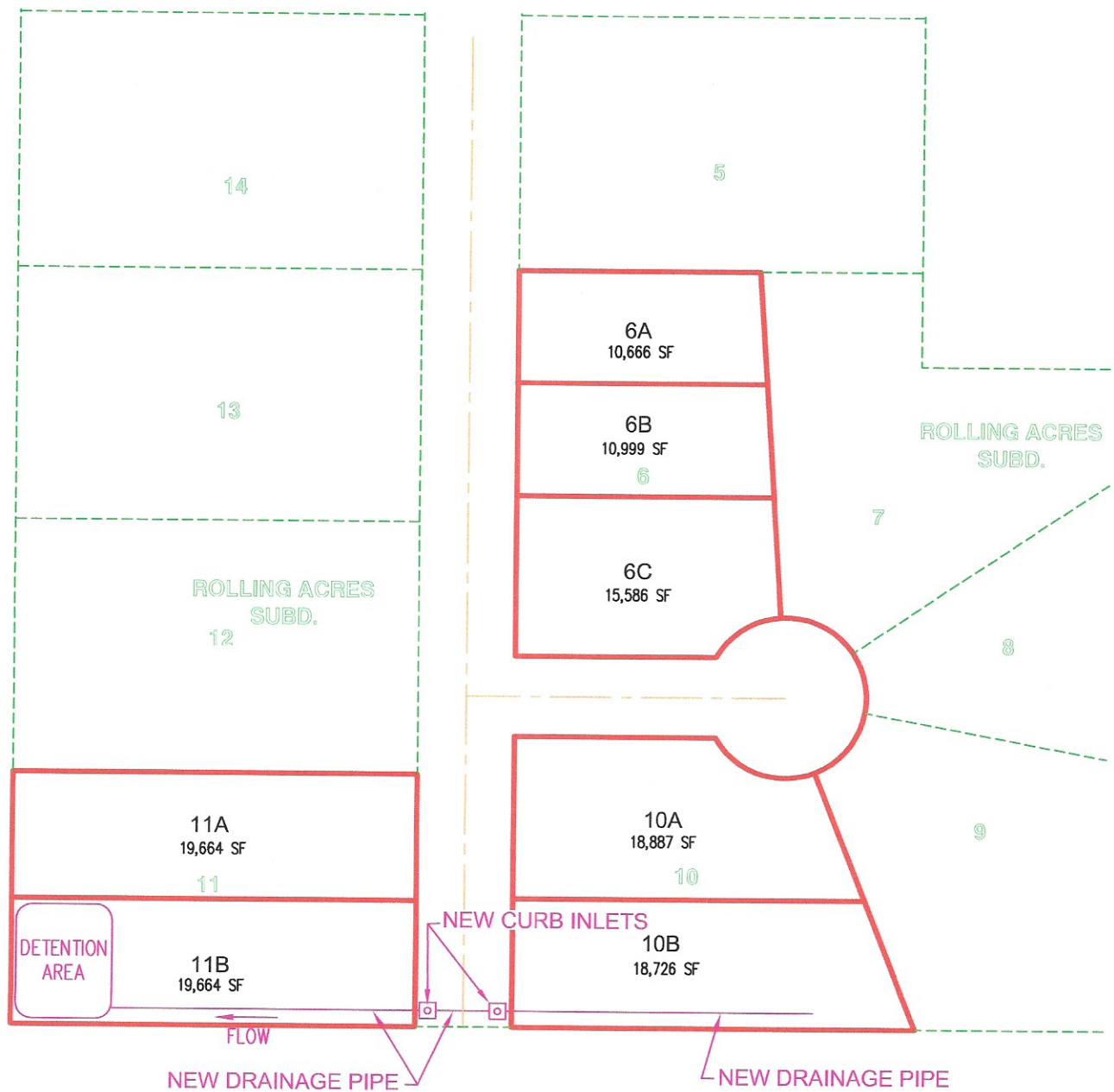
ENGINEERS

PLANNERS

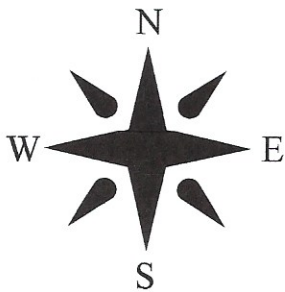
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PRELIMINARY LAYOUT (DRAINAGE)



SCALE: 1"=100'

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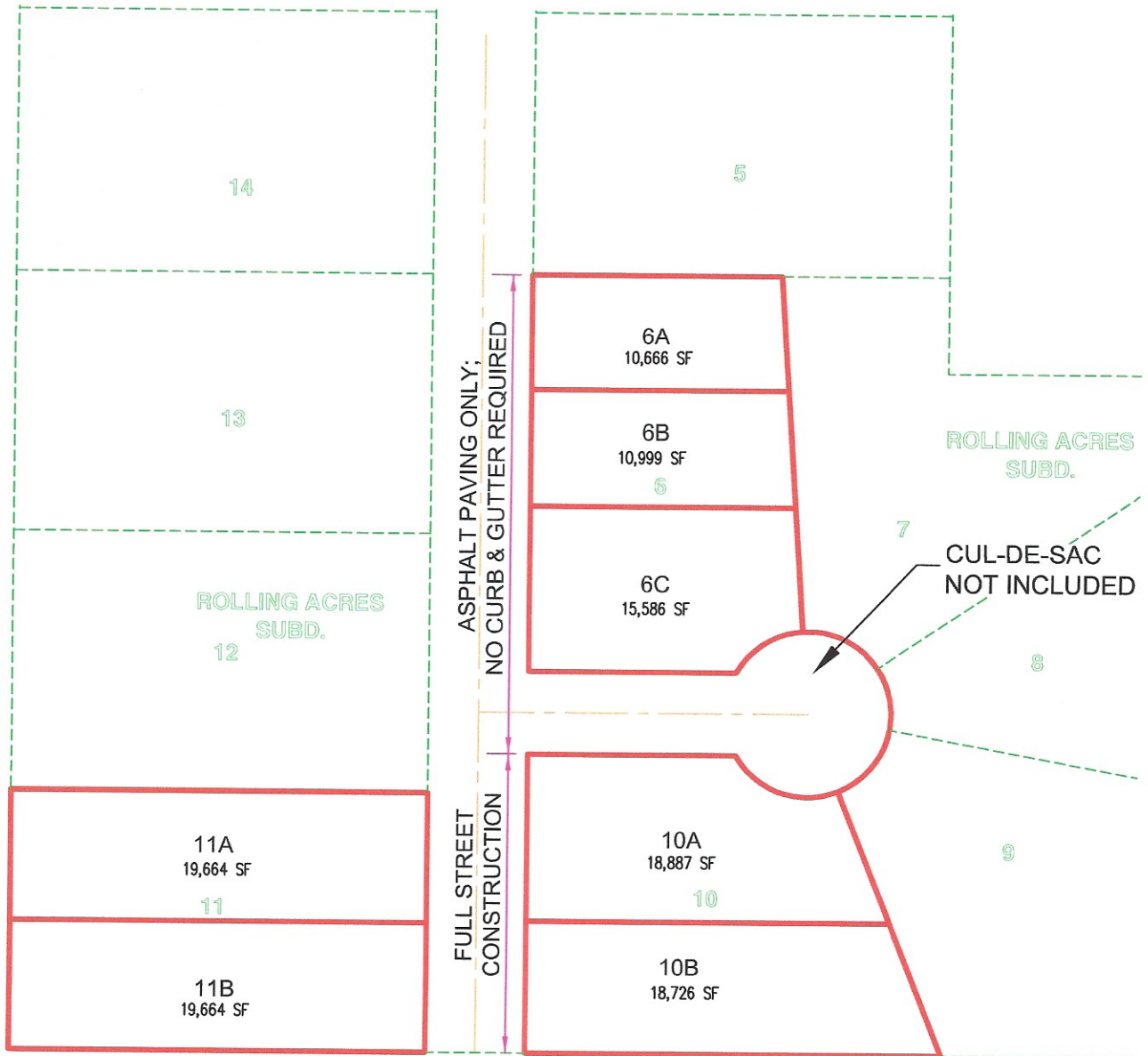
ENGINEERS

PLANNERS

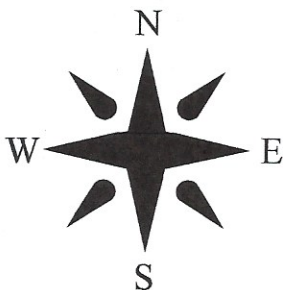
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PRELIMINARY LAYOUT (STREET REQUIREMENTS)



SCALE: 1"=100'

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