



City of Jonesboro

Municipal Center
300 S. Church Street
Jonesboro, AR 72401

Council Agenda City Council

Tuesday, September 2, 2025

5:30 PM

Municipal Center, 300 S. Church

1. CALL TO ORDER BY MAYOR HAROLD COPENHAVER AT 5:30 P.M.

2. PLEDGE OF ALLEGIANCE AND INVOCATION

**3. ROLL CALL (ELECTRONIC ATTENDANCE) INITIATED AND CONFIRMED BY CITY CLERK
APRIL LEGGETT**

4. SPECIAL PRESENTATIONS

COM-25:035 CAPITAL PROJECT UPDATE

Sponsors: Mayor's Office and Engineering

5. CONSENT AGENDA

The Consent Agenda is a meeting method to make City Council meetings more efficient and meaningful to the members of the audience. All matters listed within the Consent Agenda have been distributed to each member of the Jonesboro City Council for reading and study, are considered to be routine, and will be enacted by one motion of the City Council with no separate discussion. If a separate discussion is desired, that item may be removed from the Consent Agenda and placed on the Regular Agenda by request of a member of the City Council.

MIN-25:072 MINUTES FOR THE CITY COUNCIL MEETING ON AUGUST 19, 2025

Attachments: [CC Minutes 08192025.pdf](#)

RES-25:106 RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 100 W. WASHINGTON, PARCEL 01-144183-42300, OWNED BY LAUREL PARK, LLC IN THE AMOUNT OF \$3,293,122.07

Sponsors: Code Enforcement and Finance

Attachments: [01. 100 W Washington Notice of Violation.pdf](#)
[02. 100 W Washington Billing Request.pdf](#)
[03. 100 W Washington Demo Invoice.pdf](#)
[04. 100 W Washington Council Notice.pdf](#)

Legislative History

8/26/25	Finance & Administration Council Committee	Recommended to Council
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RES-25:107 RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1400 MERRYWOOD, PARCEL 01-144203-16200, OWNED BY TONYA R HINDS IN THE AMOUNT OF \$315

Sponsors: Code Enforcement and Finance

Attachments: [01. 1400 Merrywood Notice of Violation.pdf](#)
[02. 1400 Merrywood Billing Request.pdf](#)
[03. 1400 Merrywood Mowing Invoice.pdf](#)
[04. 1400 Merrywood Council Notice.pdf](#)

Legislative History

8/26/25	Finance & Administration	Recommended to Council
	Council Committee	

RES-25:108 RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1617 RICH ROAD, PARCEL 01-143252-25000, OWNED BY RANDOLPH & JUDITH REYNOLDS IN THE AMOUNT OF \$275

Sponsors: Code Enforcement and Finance

Attachments: [01. 1617 Rich Rd Notice of Violation.pdf](#)
[02. 1617 Rich Rd Billing Request.pdf](#)
[03. 1617 Rich Rd Mowing Invoice.pdf](#)
[04. 1617 Rich Rd Council Notice.pdf](#)

Legislative History

8/26/25	Finance & Administration	Recommended to Council
	Council Committee	

RES-25:109 RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 3801 VICKIE DRIVE, PARCEL 01-144103-10700, OWNED BY SHARON R CALDWELL IN THE AMOUNT OF \$315

Sponsors: Code Enforcement and Finance

Attachments: [01. 3801 Vickie Notice of Violation.pdf](#)
[02. 3801 Vickie Billing Request.pdf](#)
[03. 3801 Vickie Mowing Invoice.pdf](#)
[04. 3801 Vickie Council Notice.pdf](#)

Legislative History

8/26/25	Finance & Administration	Recommended to Council
	Council Committee	

RES-25:110 RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 3806 SCHOOL STREET, PARCEL 01-144272-16500, OWNED BY OLGA HERNANDEZ IN THE AMOUNT OF \$275

Sponsors: Code Enforcement and Finance

Attachments: [01. 3806 School Notice of Violation.pdf](#)
 [02. 3806 School St Billing Request.pdf](#)
 [03. 3806 School St Mowing Invoice.pdf](#)
 [04. 3806 School Council Notice.pdf](#)

Legislative History

8/26/25 Finance & Administration Recommended to Council
 Council Committee

RES-25:111

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS,
TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1313 PARDEW,
PARCEL 01-144212-20200, OWNED BY MICHELLE NUTT IN THE AMOUNT OF \$275

Attachments: [02. 1313 Pardew Billing Request.pdf](#)
 [03. 1313 Pardew Mowing Invoice.pdf](#)
 [04. 1313 Pardew Council Notice.pdf](#)
 [04. 1313 Pardew Notice of Violation.pdf](#)

Legislative History

8/26/25 Finance & Administration Recommended to Council
 Council Committee

6. NEW BUSINESS

ORDINANCES ON FIRST READING

ORD-25:030

AN ORDINANCE MODIFYING ORDINANCE 24:037 WHICH ESTABLISHED AND
CONSOLIDATED SPECIAL TRAFFIC PATTERNS NEAR JONESBORO PUBLIC
SCHOOLS (JPS) CAMPUSES AND FOR OTHER PURPOSES

Sponsors: Engineering

Legislative History

8/19/25 Public Safety Council Recommended to Council
 Committee

ORD-25:031

AN ORDINANCE TO THE CITY OF JONESBORO TO PLACE VARIOUS TRAFFIC
SIGNS AT DESIGNATED LOCATIONS AS DETERMINED BY THE TRAFFIC CONTROL
COMMITTEE

Sponsors: Engineering

Legislative History

8/19/25 Public Safety Council Recommended to Council
 Committee

7. UNFINISHED BUSINESS

ORDINANCES ON SECOND READING

ORD-25:032

AN ORDINANCE TO AMEND CHAPTER 117, KNOWN AS THE ZONING ORDINANCE
PROVIDING FOR CHANGES IN ZONING BOUNDARIES FROM PD-M, MULTI-FAMILY

USE AND OFFICE/SENIOR LIVING USE TO PD-M COMMERCIAL USE FOR
PROPERTY LOCATED AT 3412 SOUTHWEST DRIVE AS REQUESTED BY JEREMY
BEVILL ON BEHALF OF SOUTHERN HILLS REAL ESTATE, LLC

Attachments: [Rezoning Application](#)
 [Southern Hills PD Amendment Pattern Book R](#)
 [Block B Rezoning](#)
 [Block K Rezoning](#)
 [Publication Receipt](#)
 [Minutes from MAPC.pdf](#)

Legislative History

8/19/25	City Council	Held at one reading
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ORDINANCES ON THIRD READING

ORD-25:025 AN ORDINANCE BY THE CITY OF JONESBORO TO PLACE VARIOUS TRAFFIC
SIGNAGE AT DESIGNATED LOCATIONS AS DETERMINED BY THE TRAFFIC CONTROL
COMMITTEE

Sponsors: Engineering

Legislative History

7/15/25	Public Safety Council Committee	Recommended to Council
8/5/25	City Council	Held at one reading
8/19/25	City Council	Held at second reading

ORD-25:028 AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF
JONESBORO TO ADD SECTION 50-40 ENTITLED PARK RANGERS

Sponsors: Mayor's Office and Code Enforcement

Legislative History

7/15/25	Public Safety Council Committee	Recommended to Council
8/5/25	City Council	Held at one reading
8/19/25	City Council	Held at second reading

ORD-25:029 AN ORDINANCE FOR THE APPROVAL OF AN APPLICATION FOR A PRIVATE CLUB
PERMIT FOR SHJ CONCEPTS, INC. DBA BRIDGE STREET BREWERY OF
JONESBORO.

Attachments: [Bridge Street Brewery Private Club Permit_Redacted](#)
 [Publication Receipt](#)

Legislative History

8/5/25	City Council	Held at one reading
8/19/25	City Council	Held at second reading

8. MAYOR'S REPORTS

9. CITY COUNCIL REPORTS

10. PUBLIC COMMENTS

Public Comments are limited to 5 minutes per person for a total of 15 minutes. This time is allotted for items that are not on the agenda.

11. ADJOURNMENT



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: COM-25:035

Agenda Date: 9/2/2025

Version: 1

Status: To Be Introduced

In Control: City Council

File Type: Other
Communications

CAPITAL PROJECT UPDATE



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: MIN-25:072

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: City Council

File Type: Minutes

MINUTES FOR THE CITY COUNCIL MEETING ON AUGUST 19, 2025



City of Jonesboro

Municipal Center
300 S. Church Street
Jonesboro, AR 72401

Meeting Minutes City Council

Tuesday, August 19, 2025

5:30 PM

Municipal Center, 300 S. Church

PUBLIC SAFETY COUNCIL COMMITTEE MEETING AT 5:00 P.M.

1. CALL TO ORDER BY MAYOR HAROLD COPENHAVER AT 5:30 P.M.

2. PLEDGE OF ALLEGIANCE AND INVOCATION

3. ROLL CALL (ELECTRONIC ATTENDANCE) INITIATED AND CONFIRMED BY CITY CLERK APRIL LEGGETT

Present 10 - Brian Emison;Chris Moore;Chris Gibson;David McClain;Joe Hafner;Kevin Miller;Anthony Coleman;Janice Porter;John Street and Charles Coleman

Absent 2 - LJ Bryant and Ann Williams

4. SPECIAL PRESENTATIONS

Mayor Harold Copenhaver said, it's always a pleasure to stand in front of the council and the citizens of the community, especially to recognize, obviously, one of outstanding young individuals in our community. I don't want to embarrass you at all, but anyway, I probably already have by having you up here. I want to say that Miss Joanne Kim is a representative, she is president of the MYAC, the Mayor's Youth Council. She's been on that, but her accolades, that's just one of many. But I'm really proud because she has represented the City of Jonesboro, our community, and not only our community, but the State of Arkansas, and Washington, D.C. this past summer. She was one of only 102 women in the country to be represented on behalf and only two in the State of Arkansas. And so she is a Valley View student, she's active in many things. She participates in the Honor Society, Science Club, Spanish Club, Environmental Club, Cross Country and Track, National Honor Society, Student Council, and she's president of the Arkansas HOSA and President of the Mayor's Youth Advancement Council and President of the Crown Club. The nation, Girl nation, is once in a lifetime opportunity for our nation's future leaders to learn about the inner workings of the federal government before they become voting age. Students leave the program with increased competence and leadership skills for college and their future career paths. Some participants of the program will go on to have careers in public service at the local, state, and national levels. No matter what the future holds, she's got a better understanding of the civic responsibility. After attending the ALA Girls Nation, the participants returned home ready to be engaged as citizens at all levels of government. So, I would like to present to you, Miss Kim, a letter on behalf of the City of Jonesboro that states, congratulations on being selected to attend the American Legion Auxiliary Girls Nation in Washington, D.C. in July 19-26. This is a prestigious honor and a testament to your outstanding leadership and commitment to service. As a President of the Mayor Youth Council, you've already demonstrated

maturity, integrity, and the general passion for making a difference. I'm confident you'll represent Jonesboro with excellence on this national stage as you did. Wishing you a meaningful and inspiring experience in our nation's capital, the City of Jonesboro is proud of you. With warm regards, Mayor Copenhaver. It is an honor. Thank you.

5. CONSENT AGENDA

A motion was made by Councilperson Chris Moore, seconded by Councilperson Joe Hafner, that this matter be Passed . The motion PASSED with the following vote.

Aye: 10 - Brian Emison;Chris Moore;Chris Gibson;David McClain;Joe Hafner;Kevin Miller;Anthony Coleman;Janice Porter;John Street and Charles Coleman

Absent: 2 - LJ Bryant and Ann Williams

Approval of the Consent Agenda

A motion was made by Councilperson Chris Moore, seconded by Councilperson Joe Hafner, to Approve the Consent Agenda. The motioned PASSED

Aye: 10 - Brian Emison;Chris Moore;Chris Gibson;David McClain;Joe Hafner;Kevin Miller;Anthony Coleman;Janice Porter;John Street and Charles Coleman

Absent: 2 - LJ Bryant and Ann Williams

MIN-25:067

MINUTES FOR THE CITY COUNCIL MEETING ON AUGUST 5, 2025

Attachments: [CC Minutes 08052025.pdf](#)

This item was passed on the Consent Agenda.

RES-25:081

A RESOLUTION BY THE CITY COUNCIL OF JONESBORO, ARKANSAS AUTHORIZING THE OFFER AND ACCEPTANCE TO PURCHASE ADDITIONAL RIGHT-OF-WAY AT 3507 AGGIE ROAD FOR THE PURPOSE OF THE CONSTRUCTING AND MAINTAINING PEDESTRIAN AND BICYCLE INFRASTRUCTURE IMPROVEMENTS

Attachments: [Offer and Acceptance - 3507 Aggie Road \(2\).pdf](#)

This item was passed on the Consent Agenda.

Enactment No: R-EN-109-2025

RES-25:082

A RESOLUTION BY THE CITY COUNCIL OF JONESBORO, ARKANSAS AUTHORIZING THE OFFER AND ACCEPTANCE TO PURCHASE ADDITIONAL RIGHT-OF-WAY AT 3505 AGGIE ROAD FOR THE PURPOSE OF THE CONSTRUCTING AND MAINTAINING PEDESTRIAN AND BICYCLE INFRASTRUCTURE IMPROVEMENTS

Attachments: [Offer and Acceptance - 3505 Aggie Road.pdf](#)

This item was passed on the Consent Agenda.

Enactment No: R-EN-110-2025

[RES-25:083](#) A RESOLUTION BY THE CITY COUNCIL OF JONESBORO, ARKANSAS AUTHORIZING THE OFFER AND ACCEPTANCE TO PURCHASE ADDITIONAL RIGHT-OF-WAY AT 3700 BLUERIDGE CIRCLE FOR THE PURPOSE OF THE CONSTRUCTING AND MAINTAINING PEDESTRIAN AND BICYCLE INFRASTRUCTURE IMPROVEMENTS

Attachments: [Offer and Acceptance - 3700 Blueridge Circle.pdf](#)

This item was passed on the Consent Agenda.

Enactment No: R-EN-111-2025

[RES-25:084](#) A RESOLUTION BY THE CITY COUNCIL OF JONESBORO, ARKANSAS AUTHORIZING THE OFFER AND ACCEPTANCE TO PURCHASE ADDITIONAL RIGHT-OF-WAY AT 3704 BLUERIDGE CIRCLE FOR THE PURPOSE OF THE CONSTRUCTING AND MAINTAINING PEDESTRIAN AND BICYCLE INFRASTRUCTURE IMPROVEMENTS

Attachments: [Offer and Acceptance - 3704 Blueridge Circle.pdf](#)

This item was passed on the Consent Agenda.

Enactment No: R-EN-112-2025

[RES-25:085](#) A RESOLUTION BY THE CITY COUNCIL OF JONESBORO, ARKANSAS AUTHORIZING THE OFFER AND ACCEPTANCE TO PURCHASE ADDITIONAL RIGHT-OF-WAY AT 103 MARK STREET FOR THE PURPOSE OF THE CONSTRUCTING AND MAINTAINING PEDESTRIAN AND BICYCLE INFRASTRUCTURE IMPROVEMENTS

Attachments: [Offer and Acceptance - 103 Mark Street.pdf](#)

This item was passed on the Consent Agenda.

Enactment No: R-EN-113-2025

[RES-25:086](#) A RESOLUTION BY THE CITY COUNCIL OF JONESBORO, ARKANSAS AUTHORIZING THE OFFER AND ACCEPTANCE TO PURCHASE ADDITIONAL RIGHT-OF-WAY AT 3515 AGGIE ROAD FOR THE PURPOSE OF THE CONSTRUCTING AND MAINTAINING PEDESTRIAN AND BICYCLE INFRASTRUCTURE IMPROVEMENTS

Attachments: [Offer and Acceptance - 3515 Aggie Road.pdf](#)

This item was passed on the Consent Agenda.

Enactment No: R-EN-114-2025

[RES-25:092](#) A RESOLUTION BY THE CITY COUNCIL OF JONESBORO, ARKANSAS AUTHORIZING THE OFFER AND ACCEPTANCE TO PURCHASE ADDITIONAL RIGHT-OF-WAY AT 3509 AGGIE ROAD FOR THE PURPOSE OF THE CONSTRUCTING AND MAINTAINING PEDESTRIAN AND BICYCLE INFRASTRUCTURE IMPROVEMENTS

Attachments: [Offer and Acceptance - 3509 Aggie Road.pdf](#)

This item was passed on the Consent Agenda.

Enactment No: R-EN-115-2025

[RES-25:096](#)

A RESOLUTION TO THE CITY OF JONESBORO, ARKANSAS TO AUTHORIZE THE MAYOR AND CITY CLERK TO ACCEPT A DRAINAGE EASEMENT FROM PATSY SUE BROWN THE PURPOSE OF CONSTRUCTING AND MAINTAINING DRAINAGE IMPROVEMENTS

Attachments: [Permanent Drainage Easement - 641 W Cherry.pdf](#)

This item was passed on the Consent Agenda.

Enactment No: R-EN-116-2025

[RES-25:101](#)

A RESOLUTION BY THE CITY OF JONESBORO, ARKANSAS TO ACCEPT THE LOW BID AND ENTER INTO A CONTRACT WITH MICHELLE'S EXCAVATING, INC. FOR THE ABILITIES UNLIMITED OF JONESBORO ALLEYWAY IMPROVEMENTS (BID 2025:19)

Attachments: [Contract Documents 2025 19.pdf](#)
 [Bid Tab.pdf](#)

This item was passed on the Consent Agenda.

Enactment No: R-EN-117-2025

[RES-25:102](#)

A RESOLUTION BY THE CITY OF JONESBORO, ARKANSAS TO ACCEPT THE LOW BID AND ENTER INTO A CONTRACT WITH CRABTREE & SON, INC. FOR THE JET BUS SHELTER UPGRADES (BID 2025:20)

Attachments: [Bid Tab.pdf](#)
 [Contract Documents 2025 20.pdf](#)

This item was passed on the Consent Agenda.

Enactment No: R-EN-118-2025

[RES-25:103](#)

A RESOLUTION BY THE CITY COUNCIL OF JONESBORO, ARKANSAS, TO ACCEPT AND ADOPT THE TITLE VI PROGRAM FOR JONESBORO ECONOMICAL TRANSIT SYSTEM (JET)

Attachments: [TITLE VI PROGRAM 25-27 DRAFT 7.23.25.pdf](#)

This item was passed on the Consent Agenda.

Enactment No: R-EN-119-2025

[RES-25:104](#)

A RESOLUTION AUTHORIZING THE CITY'S GRANTS AND COMMUNITY DEVELOPMENT DEPARTMENT TO APPLY FOR A FY26 MATCHING GRANT FROM THE ARKANSAS DEPARTMENT OF PARKS, HERITAGE AND TOURISM

This item was passed on the Consent Agenda.

Enactment No: R-EN-120-2025

RESOLUTIONS NOT ON THE CONSENT AGENDA**RES-25:105**

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS TO ENTER INTO A CONTRACT WITH DPZ CODESIGN AND AMEND THE 2025 BUDGET TO ALLOCATE AMERICAN RESCUE PLAN ACT RESTRICTED REVENUE REPLACEMENT FUNDS FOR THE DEVELOPMENT OF A COMPREHENSIVE PLAN AND A MASTER STREET PLAN FOR THE CITY OF JONESBORO

Councilmember David McClain said, the only question I have, I see the price tag. How much is left in our ARPA fund? Mayor Copenhagen asked, state your question again. Councilmember McClain asked, how much do we have left in ARPA? Finance Director Steve Purtee said, of the report that we provided city council at the last meeting on page 24 of that report, it showed that balance was \$1,536,000. Councilmember Dr. Anthony Coleman said, yes, sir. Follow up if you don't mind. So we're saying the balance will be minus this, is that correct? I just want to make sure I understand. Mr. Purtee replied, that is correct, yes. Councilmember Dr. Anthony Coleman said, okay. And then my follow up on that is, and I do think we need to growth plan for the streets. But when was the last time we did a Street Master Plan? Do y'all remember? Mayor Copenhagen asked, Derrel, if you would, please connect the dots on this plan and combining it. Planning Director Derrel Smith said, the Master Street Plan, the last update was in 2018. The Land Use Plan was in 2017. But the last comprehensive growth plan that was done was 1998. So it's definitely time to update this. We could have used it last week. That would have been a perfect example. We had a rezoning on a place that our land use plan showed to be high intensity growth sector, but the roads are not there to have that type of development yet. And so in a comprehensive plan, that could have laid those items out that need to happen before those areas can development. Councilmember Dr. Anthony Coleman said, so follow up question, I'm sorry, it's one last one, but this is good. So I do know that we have some other things going, like, Caraway Road and Prospect Road and things like that that's happening right now. With this, just for the record, I just want to make sure we understand this as a community, that that this would also include the connectivity, the roadways, I'm sorry, Trailways and all of that kind of stuff. Mr. Smith said, everything will be included in the document. Yes, sir. Councilmember Dr. Anthony Coleman replied, great, thank you. Councilmember Dr. Charles Coleman said, I have a question. As we grow, how often do we need to do this? I know that is a hard question to answer. Mr. Smith said, the plan is usually for 20 to 25 years, about 15, we need to start looking at it to see when it needs to be revised. But like I said, it was 1998, the last time we did a comprehensive growth plan. So, it's way past time.

Patti Lack, 4108 Forest Hill Road, said, and I'm just going to throw a couple things at you because I kind of kind of researched this when I found out the price tag of it. So this is a resolution for a Comprehensive Growth Plan and Master Street Plan. And like Derrel said, is that we already have a Master Street Plan, I saw that it was 2017. He said 2018, and there was 10 people on that. But on that plan, it stated that the plan was to be reviewed and amended every two years for more detailed studies to be completed. But it also says that is a 20 year time horizon that had been applied. So it's only been eight years since we've seen that traffic study that was done. So we still have 10 more years or 12 more years to think that it was still being in place. So you ask the question, so why are we needing this? So you're talking to about the comprehensive. If you look back eight years ago, and I think that's kind of when Derrel started with the city, pretty close to it, is that the traffic study was probably pretty detailed because he brought in a lot of really good ideas when he first started here. In the newspaper, it said that the process will take 18 to 24 months. It says that the

comprehensive, in the paper, it says to evaluate the value of an development compared to the cost of the infrastructure and the public safety. I want to remind you guys that next week, we should be getting the results from the Impact Fees Study because that was a 26 week process and it's been 26 weeks, next week. So we don't even know what that's going to be hold, whether we have an impact fee or whether we don't have an impact fee. So that's going to have to be taken into consideration. In two years, two years, if you take 18 to 24 months, in two years, imagine how different Jonesboro is going to look. One, the Sporting Complex on Race Street is going to be probably pretty close. I saw that the pool was being poured or pretty close to being poured today. Almost 500, I say, condos or apartments are going to be located just south of the Sports Complex. Caraway Road hopefully will be widened within two years. Harrisburg and Parker Road has been wanting to be widened for the last, I think, eight or nine years, but hopefully that will be done pretty soon. But we've got a mess of a traffic out there already. Probably Southwest Drive and Parker Road is going to be widened. You look at the medical facility on Parker Road that will be built. Southern Hills is just expanding like crazy, and there probably might be a grocery store out there one of these days. Johnson and Greenborough is just going crazy out that way, too with stores, apartments, and it's expanding. You look at Greensboro Road, it is going to be expanding. You look at Martin Luther King Road. That's bringing in people. Parks are popping up all over the town right now. The quality of life trails, I know that I saw that Jefferson is being worked on right now. Also, two in two years, we should have two more trails that should be done by the time that the bond is required on that. But then we look at the downtown area. You know, we've got the property where the Citizen's Bank building should be. We don't know what's going on that. Are we going to recoup our money? Are we going to buy the property? What are we going to do with that? We don't know and we probably won't know for a while. Also, too, where is the E911 Center going to be? I have to tell you, this company that's doing it, they're qualified way beyond, way beyond. But on July 15th, in their presentation, they advised all of us that we need invest in the downtown area. That was kind of like free advice to the people that are on the task force to figure out where the bond or that E911 Center is going to be. The bond task force should have then said, "Gosh, we need to invest in downtown. Let's put it where the Justice building is, even though we have this other insurance and all that that we have to take care of. But the county has invested in downtown. We have to. And then also, too, with all the pathways that lead today downtown and there's going to be fewer trucks. If you all approve this tonight, there's much advice and success that's going to come from all of you. Because reading over the proposal that this company did online, it says not just the almost 30 committees that we have, and I looked on that on the website, there's almost 30 committees, but a lot of the same people are on the same committees. We have to get them on board. But the most important is all of you, because they said that citizens need to have ward meetings. We need to get the citizens to be involved and behind this. Ward meetings, public meetings, open houses, interviewing. There is a cycle of information I really like too. They say, inform proposal discussed, revise, and it's just a continuous circle that we have on there. They've done a great job at Batesville and Maumelle. If you look at all their photos. But when you look at all their photos, it's just packed with people that are participating. That's one thing that I really think that we lack here in Jonesboro. When we have these meetings, we don't have very many people showing up. So we've got to get the citizens more behind this of what we're going to do. It's a lot of money. It's the \$855,000 but it's going to take participation from all of you. We're going to have to have ward meetings and more people getting involved with this. Two years is a long time to look down, but also, too, we have to follow what they say, and the one problem that I have is sometimes we bend our rules too much, and today was a really good example of it. I was watching the BZA meeting. They had two items on their agenda. They bent the rules for both of the items on their agenda. One was a difference

between the size, the six foot to eight foot fence, and the other one was a gentleman did not want to pay or do the compensation of the sidewalk. But he is building three houses, and that was a subdivision, and Derrel was correct. If he had three more houses, it's called a subdivision, and you have to have a sidewalk. It's north of town. Jonesboro can't really grow too much South of town anymore. We're kind of packed out on that. It's north of town. So what's to say that the Philadelphia school isn't going to start getting crowded and all that? I don't know if anybody drove out there, but I drove out there. You know what? There's some nice houses out there, but that's not what they were told when they made this decision. So that's the one thing that I hope that we can do. If we're going to do this study that we follow the rules and not bend them for one person and not the other one on there. So if we follow them, then, you know, I think that we need it. If we don't follow them, it's going to be like everything else. But we've got two years of big high expansion in Jonesboro. So either we wait maybe for a year and get some of these projects done and see what the traffic and everything is involved, or also too, with not fulfilling the 20 years of our past traffic study, that maybe we do it for 10 years, and then revisit it in 10 years because look at what we did. We paid for it before, and we're not using what we had. So we're just not using the money and we're not taking advantage of it. So just food for thought for you guys. So I agree with what we need, but I don't know if we need it right now. So thank you.

A motion was made by Councilperson Chris Moore, seconded by Councilperson John Street, that this matter be Passed. The motion PASSED with the following vote.

Aye: 10 - Brian Emison;Chris Moore;Chris Gibson;David McClain;Joe Hafner;Kevin Miller;Anthony Coleman;Janice Porter;John Street and Charles Coleman

Absent: 2 - LJ Bryant and Ann Williams

Enactment No: R-EN-121-2025

6. NEW BUSINESS

ORDINANCES ON FIRST READING

ORD-25:032

AN ORDINANCE TO AMEND CHAPTER 117, KNOWN AS THE ZONING ORDINANCE PROVIDING FOR CHANGES IN ZONING BOUNDARIES FROM PD-M, MULTI-FAMILY USE AND OFFICE/SENIOR LIVING USE TO PD-M COMMERCIAL USE FOR PROPERTY LOCATED AT 3412 SOUTHWEST DRIVE AS REQUESTED BY JEREMY BEVILL ON BEHALF OF SOUTHERN HILLS REAL ESTATE, LLC

Attachments: [Rezoning Application](#)
[Southern Hills PD Amendment Pattern Book R](#)
[Block B Rezoning](#)
[Block K Rezoning](#)
[Publication Receipt](#)
[Minutes from MAPC.pdf](#)

Councilmember John Street motioned, seconded by Councilmember Brian Emison, to suspend the rules and offer ORD-25:032 by title only. All voted aye.

Held at one reading

7. UNFINISHED BUSINESS**ORDINANCES ON SECOND READING**

[ORD-25:025](#) AN ORDINANCE BY THE CITY OF JONESBORO TO PLACE VARIOUS TRAFFIC SIGNS AT DESIGNATED LOCATIONS AS DETERMINED BY THE TRAFFIC CONTROL COMMITTEE

Held at second reading

[ORD-25:028](#) AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF JONESBORO TO ADD SECTION 50-40 ENTITLED PARK RANGERS

Held at second reading

[ORD-25:029](#) AN ORDINANCE FOR THE APPROVAL OF AN APPLICATION FOR A PRIVATE CLUB PERMIT FOR SHJ CONCEPTS, INC. DBA BRIDGE STREET BREWERY OF JONESBORO.

Attachments: [Bridge Street Brewery Private Club Permit_Redacted](#)
[Publication Receipt](#)

James Elywn Hinds, 508 Ridgecrest, said, if any of you have not seen the area that they're talking about this, I hope you will before this comes before its third reading. This is an absolute terrible place to put something like this in. It's asking for crime.

Held at second reading

ORDINANCES ON THIRD READING

[ORD-25:026](#) AN ORDINANCE FOR THE APPROVAL OF A PRIVATE CLUB PERMIT FOR SLATE ASSOCIATION DBA ROCK N ROLL SUSHI

Attachments: [Private Club Permit_Redacted](#)
[Publication Receipt](#)

James Elwyn Hinds, 508 Ridgecrest, said, this is a particular area where there's going to be some changes in traffic because of things going on, and I really think that we ought to take a look at what the traffic's going to be before we do something that would have an adverse effect on traffic. Mayor Copenhaver said, all right, thank you for your comments.

A motion was made by Councilperson Chris Gibson, seconded by Councilperson Chris Moore, that this matter be Passed. The motion PASSED with the following vote.

Aye: 10 - Brian Emison;Chris Moore;Chris Gibson;David McClain;Joe Hafner;Kevin Miller;Anthony Coleman;Janice Porter;John Street and Charles Coleman

Absent: 2 - LJ Bryant and Ann Williams

Enactment No: O-EN-030-2025

[ORD-25:027](#) AN ORDINANCE TO AMEND CHAPTER 117, KNOWN AS THE ZONING ORDINANCE

PROVIDING FOR CHANGES IN ZONING BOUNDARIES FROM I-2 TO C-3 FOR PROPERTY LOCATED AT 500. N. CULBERHOUSE ST. AS REQUESTED BY 1ST PRODUCE AND FOODS.

Attachments: [Zoning Application](#)
 [Certified Receipts](#)
 [Redemption Deed](#)
 [Rezoning Plat](#)
 [Rezoning Signs](#)
 [Warranty Deed](#)
 [Staff Summary](#)
 [Publication Receipt](#)
 [MAPC Minutes](#)

A motion was made by Councilperson John Street, seconded by Councilperson Chris Gibson, that this matter be Passed. The motion PASSED with the following vote.

Aye: 10 - Brian Emison;Chris Moore;Chris Gibson;David McClain;Joe Hafner;Kevin Miller;Anthony Coleman;Janice Porter;John Street and Charles Coleman

Absent: 2 - LJ Bryant and Ann Williams

Enactment No: O-EN-031-2025

8. MAYOR'S REPORTS

Mayor Harold Copenhaver reported on the following:

I'll start out Alejandro. I don't know if she's in the room or not. Yeah, Alejandra's got a sign up sheet back there. This is a public meeting, obviously, so those that attended, we'd love for you to sign the sheet for the grant opportunity and that assist us in that on a public forum.

Now that all the local schools are in session, I visited with each superintendent yesterday. The work they do in our community is impactable, and it's important that they know we are here to help facilitate a safe school year. With that, please be attentive to the school buses. Remember that if red lights are flashing, it's a law to stop for school buses. Keep an eye out for our students walking and for our young drivers in town. Also, if you see a teacher or school employee, be sure to thank them. We attended a ribbon cunnning for Jonesboro Public School's new security, a partnership with Dynamic Integrated Security, DIS, placing commissioned school security officers within their schools. These are highly trained armed professionals who have specialized training in emergency response and youth mental health first aid. Their investment in school safety is critical to providing a learning first environment.

Even though schools in session and these temperatures are still hot, please don't forget our community centers are open for cooling centers and free transportation is available to the cooling centers through JET transit.

Now, you may remember that at our last city council meeting, we honored Gracie Doty. This is a pretty incredible council, and it's really good what we invest in. She was the first E- 911 dispatcher to save life utilizing the EMD, which is the emergency medical dispatch training that was launched just this past June. But since our last meeting, we've had two more lives utilizing EMD saved. I cannot emphasize the value and

impact this program has on our city and our county, outstanding its job by all at E-911 dispatchers.

Now, the future of air travel in Jonesboro is changing. We celebrated the groundbreaking of the new state of the art terminal last Tuesday. It's a new era for this region, folks, the 2020 tornado destroyed much of the airport's infrastructure, and it's being replaced with a new \$6 million, 13,000 square foot terminal. They'll have possibility of expansion to food services, upgraded TSA accommodations, making air travel more convenient, efficient, and effective for our travelers. It's symbolic. We have a hub of opportunity right here and that's a huge economic impact for our community. But even that took time. It took us over four and a half years to be able to bring that funding back to our community. So now over \$20 million has been utilized for overlays and now a facility at our airport.

You have seen the new mural on Cate Street, off of Main Street. It's stunning. Vivid colors have brightened up the space. We are thrilled to see this beautification effort take place. Thank you to the Public Art Commission and the continued commitment and big thank you to Dan and Casey Johnson for recognizing the value of public art. Volunteering their building for murals, so tell them thank you.

Work is in progress on revenue bonds. Updates will be provided regularly on the city's social media outlets to share progress. The most recent updates shared was about the work on the Jefferson Avenue path, a new shared used pathway along the west side of Jefferson approximately 1,300 feet, with a total of almost 5,000 feet. About a quarter of a mile of the work is already complete making our city more connected, accessible, and enjoyable for all.

I celebrated the one-year anniversary, or let's just say we all celebrated the one year anniversary or seven in dog years of the Bark Park on August 13th. The Bark Park is proof of what's possible when reimagining spaces, and it can make a huge impact. Don't forget the "Paint the Town Red" is this coming week, August 26th through the 30th. A block party takes place downtown from 5:00 p.m. to 9:00 p.m. on Friday, August 29th. Let's show our community support for Arkansas State as they kick off the football season. The city is getting into the spirit as well. So we'll have our own "Paint the Town Red" entry. There's something big about a game as well. The following week on September 6th in Little Rock, I've heard about it, so I don't want you to miss the chance in getting tickets.

Labor Day is September 1st. City offices and services will be closed. Sanitation will run on an adjusted schedule that's been shared on city social media. So please plan accordingly and let's help get the word out to our neighbors.

The next neighborhood cleanup is scheduled for September 6th at Parker Park from 8 a.m. to noon. These cleanups continue to be effective. We've already had over 600 tires and 80 tons of trash collected through this program year to day in 2025.

On the subject of cleaning up Jonesboro, once again, I want to say thank you to Keep Jonesboro Beautiful. Beverly Parker and her team have a great passion for cleaning up and beautifying. They just don't talk about things in our community. They get out and do it. Last month, they conducted their annual litter survey and we're excited to report the litter was down year over year. So thank you to residents for doing their part. And thank you to Sanitation, Code Enforcement, and Keep Jonesboro Beautiful for their education and shared efforts in our monthly cleanup projects.

Now, Chief Rick Elliot, Ronnie Shaver, Craig Light, and Brian Richardson met with the structural engineer at the Justice Complex this afternoon to evaluate if there are any further damage to the Justice Complex roof for safety or insurance purposes. For those who may be unaware, the building used to be a grocery store with a wooden domed roof. The original roof was built in the 1950's. In the 1990's, the city renovated the building, but left the old roof under the new roof. So it's a complicated process, and it's taking some time. After the information will be received, and we hope to within the next 10 days to two weeks, then we will pass that information on to you. And obviously, I think we all know that we have misplaced personnel throughout multiple facilities in our city. We are constantly evaluating that and although Carol's office is kind of permanent at this point. But, you know, we had to make some adjustments, but we realized that, and those adjustments are emergency adjustments. And so in the short term, we will be getting ourselves, hopefully, back to the way we need to go. But I'll keep council updated on what we hear in the next several weeks.

And I keep saying Jonesboro is always moving. You know, it's a fact. We're on the move. I think it was mentioned earlier, many of the projects that's going on in this community. We do the work to keep serving our city, from every department, from every resident. They work hard, they find pride in public service, and as our city continues to grow, we continue to evolve, finding many ways to enhance our city services. So thank you all for working with me to make Jonesboro the best city to live, work, and play.

9. CITY COUNCIL REPORTS

Councilmember Dr. Anthony Coleman said, yes, a couple of things. One, I think the city is great, and I appreciate the movement in moving forward. I had several guests here on this past weekend there. And as far as Virginia and Texas and Chicago, and other areas, and the first time in Jonesboro and it was phenomenal. They appreciated it. The city is clean and just great things happening. So I appreciate administration and city council and what the city is doing for our town. Second thing, though, on Prospect and normally I would email, but I just thought about this Brian and Tony. But I know on Prospect and I don't know what we can do, but there are a lot of ditches that have real high growth. And so can we kind of have a discussion on how can make that happen? I don't know if it's a cold thing or what, but I see a lot. I know in my ward and areas around, so if we can talk about that. Thank you.

Councilmember Dr. Charles Coleman said, I do have one question. I'm not sure the complex, are we about the invest more money into that place? Mayor Copenhagen said, the Justice complex, that's the report. We need to figure out what that investment would be. So that's what that report. Dr. Coleman, in a couple weeks will show us if we were to reinvest or not what the cost would be and the total all damage of that. So that's the insurance company coming in and evaluating it. Okay?

Councilmember Brian Emerson said, just to kind of piggyback on the statements previously made, you know, waiting to get the information in regarding the Justice Complex specifically to the next actions of the Bond Task Force. This is information of course we need to be able to move forward in that process. So, you know, if we're planning on getting that information in the next 10 business days. I'm tentatively looking at September 16th to hold the next Bond Task Force meeting. I think at that time, we'll have a lot of that information in front of us and we'll be able to really kind of dig over some data and figure out what our next steps are in that process. So looking at September 16th, as it stands today, as long as there's no delays, but that's all subject to change just based on the rate that we do get this data in.

10. PUBLIC COMMENTS

Good afternoon. My name is Shamal Carter. My address is 3118 Meador Road here in Jonesboro, Arkansas. Good evening, Mr. Mayor, and council members. I'm coming to you guys to address you regarding the recent closure of the E. Boone Watson Center to the public. I understand that this has been an inconvenience for many. As the Mayor stated, and I appreciate the city's efforts in managing projects and public spaces, so we know that again that Ms. Carol said she ain't going anywhere. But however, the E. Boone Watson Center is more than just a community center to the black community. It is a repository of our history. The center stands on the site of the former Industrial High School built in 1924 with the bricks from an abandoned city auditorium, which was renamed Booker T. Washington High school in 1935 and served the black community until 1948. In 1966, Patrick Street Community Center was constructed there. In 1984, it was renamed the E. Boone Watson Center, honoring Mrs. Etta Mae Boone Watson, a dedicated educator who taught at Book T. Washington for over 40 years and championed the Head Start Program locally and served state and national organizations, advocating for early child education. Within the center is the Craighead County Jonesboro African American Culture Center, which preserves and shares the struggles, success and dreams of our community. The tours led by curator Roger McKinney, who has served for over 36 years, features exhibits on local property owners from the 1880's to about 1960. In short, the E. Boone Watson Center is not just bricks and mortar, it holds our legacy. I have received numerous phone calls from residents expressing concern that our history could be forgotten. And I understand it is temporary. I get that, but you said something here recently. Of course, we got to see what they're say when they go back to know how long they'll be out of the E. Boone Watson Center. We want to preserve the history of it. And so we understand that we have family reunions come in town that want to come into the museum, but from my understanding from the people that I've talked to, once in parole and probation, I believe, is there, and because of state regulations beyond the city, because of state regulations they're not allowed to go in that facility, I'm assuming. With that being the case, I do want to stress, this is not just about a building. It's about whether our city values the history and sacrifices in the legacy of African Americans who helped build this community. By protecting the E. Boone Watson Center and investing in the permanent future, you show that our history matters and our people and our voices matter. So what I'm asking is, one transparency with the community. Those who are calling did not know that it was closed to the community until they tried to reserve it, I'm assuming. Not only that, we don't know how long. So we understand that again, this has been kind of rocky for everybody because we don't know. And so what we're asking from the city, one is to be transparent with us. And if this is going to be a long process, can we not look at an alternative site for this particular division to be ran through so that the community can again utilize this facility. It is a more intimate facility than Parker Park or Allen Park, because you can have your family there not have to worry about outsiders invading what you're doing. When you go to other places, that's the issue that we have. And so, again, the community reached out and I'm reaching out to you guys to be a voice to let you know, hey, we want to hear what's going on. I understand that it's a hard process, and y'all now that I work on it, but think about us as the community. If we don't know, then we can't give you grace. And we want to give you grace because we know that our mayor is working for us. We know Dr. Coleman, who is my Councilman, I know he's working for me. But I talk to him. Everybody in the community don't talk to Dr. Coleman. So if you guys could at least keep us updated, everybody's not going to come to city council. If you can keep us updated, and then again, we'll come back again. I'll reach out to see what it looks like later on, because if this is going to be a long process,

which is I expect it to be, I want us to have an opportunity to give that museum back and get that community center back to those in a community that actually utilizes it for their families and their legacy. Thank you guys. Mayor Copenhaver said, thank you for your comments.

11. ADJOURNMENT

A motion was made by Councilperson Chris Gibson, seconded by Councilperson Joe Hafner, that this meeting be Adjourned. The motion PASSED with the following vote.

Aye: 10 - Brian Emison;Chris Moore;Chris Gibson;David McClain;Joe Hafner;Kevin Miller;Anthony Coleman;Janice Porter;John Street and Charles Coleman

Absent: 2 - LJ Bryant and Ann Williams

_____ **Date:** _____

Harold Copenhaver, Mayor

Attest:

_____ **Date:** _____

April Leggett, City Clerk



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: RES-25:106

Agenda Date:

Version: 1

Status: Recommended to
Council

In Control: Finance & Administration Council Committee

File Type: Resolution

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO
PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 100 W. WASHINGTON,
PARCEL 01-144183-42300, OWNED BY LAUREL PARK, LLC IN THE AMOUNT OF
\$3,293,122.07

LEGAL DESCRIPTION: ORIGINAL SURVEY LOT 4 E 18 1/3 LOT 5 IMPROVEMENTS
ONLY

WHEREAS, LAUREL PARK, LLC, the owner of record, was properly notified of a code violation
at 100 W. Washington, and refused to remove or correct the conditions identified by the code
enforcement
officer of the City of Jonesboro, Arkansas; and,

WHEREAS, the code enforcement officer corrected the code violation on the 13th of May 2025
using city funds in the amount of \$3,293,122.07; and,

WHEREAS, the City of Jonesboro seeks to perfect a lien against the affected property to cover the
cost of the work pursuant to A.C.A 14-54-903.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF
JONESBORO, ARKANSAS, THAT:

Section 1: The city should proceed with placing a lien on the property located at 100 W. Washington.

From: [Carol Duncan](#)
To: [Maria Resendez](#)
Cc: [David L. Cooley](#)
Subject: FW: 100 W. Washington letter and documentation
Date: Tuesday, August 19, 2025 2:58:53 PM
Attachments: [CityJboroMayor_20241018_112710.pdf](#)

From: Brian Richardson <BRichardson@jonesboro.org>
Sent: Friday, October 18, 2024 11:10 AM
To: jmatthewcoe@westmemphisattorney.com
Cc: Carol Duncan <CDuncan@jonesboro.org>
Subject: 100 W. Washington letter and documentation

Hello Mr. Coe,

Per our conversation yesterday please see the attached letter and supporting documentation regarding the 7 day pre-condemnation notice for 100 W. Washington Ave, Jonesboro

If you have any questions please do not hesitate to reach out to either myself or Carol Duncan.

Thank you for allowing electronic delivery service of this notice on behalf of Andy Smith / Laurel Park LLC

Brian Richardson

NOTICE OF CONFIDENTIALITY

NOTICE OF CONFIDENTIALITY. The information transmitted herein is intended only for the person or entity to which it is addressed and may contain confidential and/or privileged material. Any review, re-transmission, dissemination or other use of this information by anyone other than the intended recipient is prohibited. If you receive this in error, please contact the sender and destroy all records of the transmission.

[City of Jonesboro AR](#)

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*CITY OF
JONESBORO*

October 17th, 2024

Mr. Matthew Coe,

As counsel to Andy Smith / Laurel Park LLC, the owner of real property located at 100 W. Washington, Jonesboro AR, the City of Jonesboro seeks to notify your client of matters of concern on the property. While the City of Jonesboro understands that Mr. Smith is not currently the responsibly party of record for the building of concern, we believe notifying the owner of real property beneath the structure of potential future liabilities and offering an opportunity for remedy is a reasonable accommodation and proper regarding this matter.

As you are aware, on September 25th the City of Jonesboro identified possible safety hazards on the exterior of the former Citizens Bank building located at 100 W. Washington. The City of Jonesboro engaged North Delta Engineering for a structural analysis of the building, you were provided with a copy of that report. The City of Jonesboro hereby officially notifies you that the 100 W. Washington property has been deemed a safety hazard and requires immediate remedy.

The City of Jonesboro intends to begin condemnation procedures on this property on Thursday October 24th, 2024, unless actions are taken within 7 calendar days that include contractually engaging an approved construction professional to immediately remedy the areas of concern and allow for Main Street to be safely reopened to traffic.

All costs for incurred by the City of Jonesboro to remedy safety hazards will be documented and Mr. Smith could be subject to future liens or financial penalties placed on the property.

A similar letter has been sent to Mr. Hunter Hanshaw, legal counsel for Bruce Burrow / One Main Square LLC.

We appreciate your immediate cooperation in this matter. If you have any questions about the process, please do not hesitate to contact me or City Attorney Carol Duncan.

Thank you,

Harold Copenhaver
Mayor of Jonesboro

October 3, 2024

PHASE 1 IMMEDIATE ACTION REPORT

Report by:

Jordan Lane, PE, SE
Structural Engineer
North Delta Engineering
1914 E. Matthews Ave.
Jonesboro, AR 72401
AR License No.: 12969

Report for:

City of Jonesboro
300 Church Street
Jonesboro, AR 72401

Building Location: 100 W. Washington Ave., Jonesboro, AR



Building Located at 100 W. Washington in Jonesboro, Arkansas
(Previously the Citizens Bank Building)

Table of Contents

- I. Introduction**
- II. Discussion and Recommendations**
 - **Immediate Risk of Structural Elements**
 - **Access to the Building**
 - **Protection Wall in Front of First Horizon**
 - **Adding Lateral Bracing to Concrete Precast Columns**
 - **Partial Façade Removal**
- III. Conclusion for Preliminary Findings**

Introduction

This report will address the building located at 100 W. Washington which is commonly known as the old Citizens Bank. The building is a 7-story structure with a basement and penthouse which is located at the northeast corner of the building. Per the available historic information of the building, the original 4-story building was constructed in 1954 and then 3 more levels plus the penthouse were added on top of the original 4-story building. The lower 4-story building is understood to be constructed out of concrete columns and a concrete floor slab with some masonry veneer. The 3-story addition (floors 5 through 7) are constructed using steel columns and a steel floor structure that supports a concrete slab.

On September 25, 2024, North Delta Engineering did a brief visual inspection of the building due to concern of the east wall structure deflecting outward toward Main Street. At that time, it was decided to close Main Street to traffic due to a structural concern of the east side wall structure. A more thorough structural inspection was made on October 1, 2024 to determine the immediate risk of the east side wall structure and to provide recommendations related to the wall structure. A more thorough inspection of the building structure and other wall structures can be made in the future after the immediate concerns have been addressed.

Discussion and Recommendations

Immediate Risk of Structural Elements

There are two areas where the exterior wall structure appears to have lost lateral support, and the wall structure has moved away from the building and is deflecting out to the east towards Main Street. See figure 1 and figure 2 below and photo 1 showing these areas. The wall structure area furthest north (between the stairwell and elevator structure) has moved the most and is the most concerning at this time. The area of concern for wall area N-1 is located between the 5th and 7th floor of the building between the stair structure and elevator structure. The area of concern for the wall area N-2 is more isolated and occurs above and below the 6th floor level.

The wall area around area N-1 (reference figures below) consists of vertical architectural precast concrete elements between porcelain enamel panels. The vertical architectural precast elements are considered non-load bearing elements and are primarily only carrying their own self-weight. The building structure is supported by steel columns and steel floor members that supports the concrete floor slab. The wall areas around area N-2 consists of vertical architectural precast elements between glass wall panels.

Wall area N-1 is deflecting outward (towards the east) several inches and appears to be at risk of collapse. The lateral ties from the steel beams to the vertical precast elements at area N-1 have been compromised and appears to have lost support for at least a twenty foot vertical length near the 6th floor level. Area N-2 is also deflecting outward (towards the east) several inches but does not appear to be as concerning as wall area N-1 at this time.

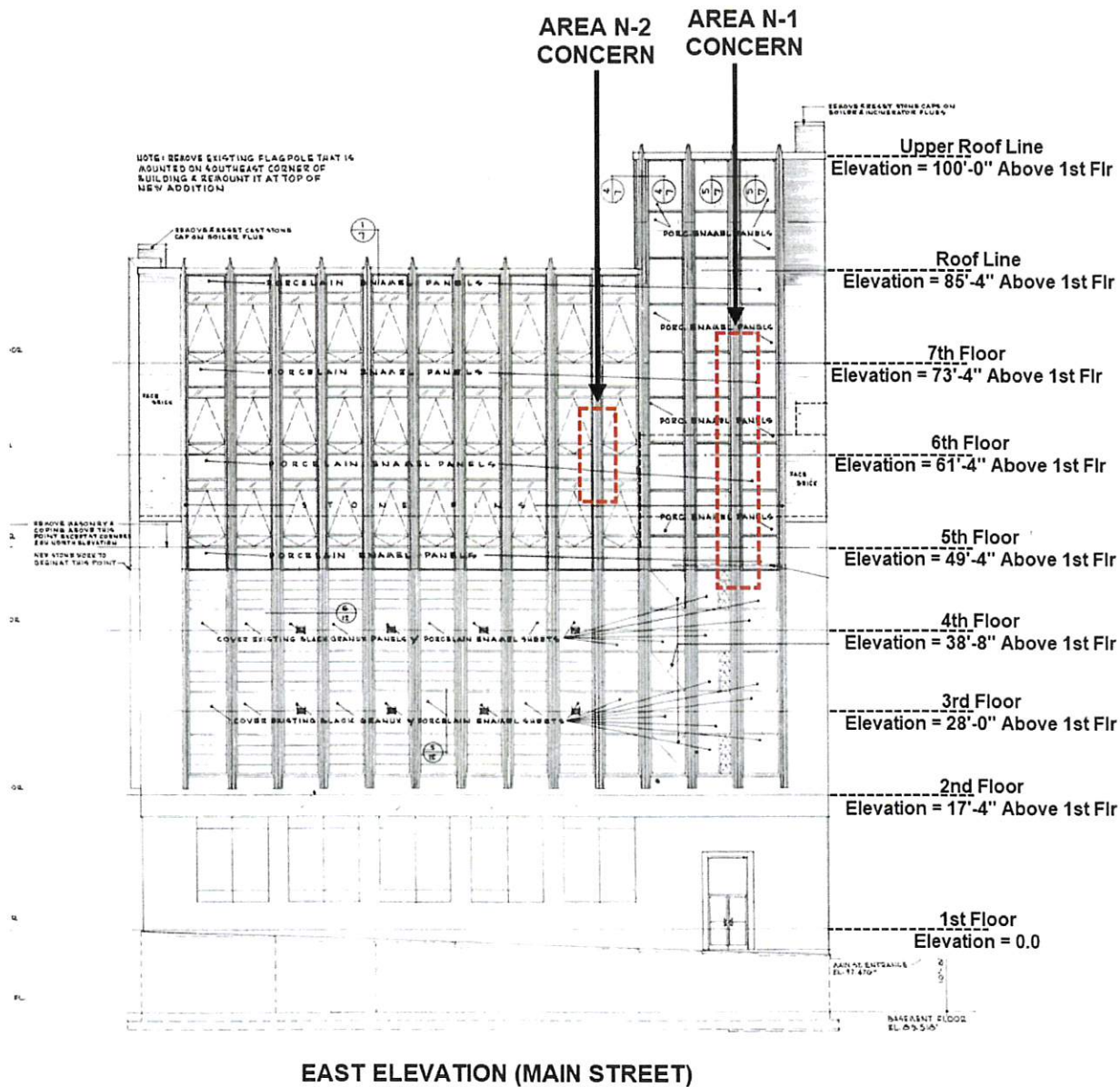


Figure 1: Elevation Showing Wall Areas That Have Lost Substantial Lateral Support

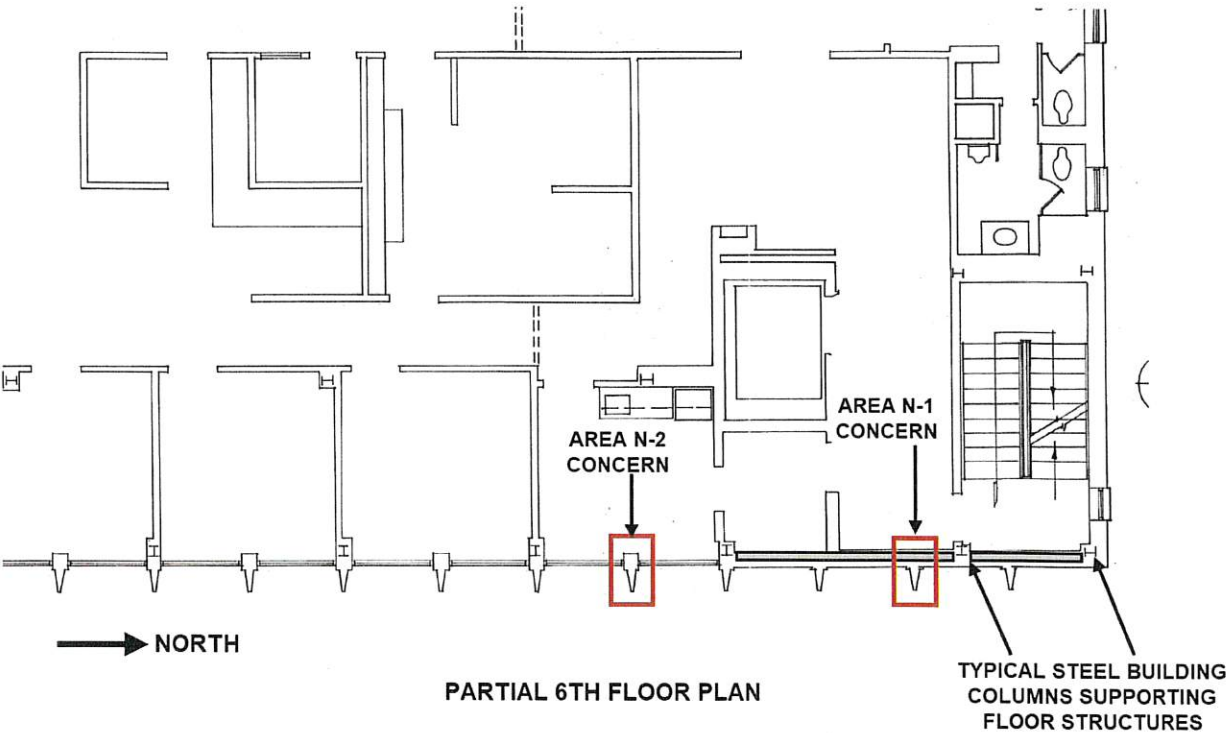


Figure 2: Floor Plan Showing Wall Areas That Have Lost Substantial Lateral Support



Photo 1: East Wall Elevation Showing Deflecting Wall

Access to the Building

Due to the potential risk of falling precast concrete elements over the Main Street entrance, it is recommended to no longer use the Main Street entrance and only use the Washington Avenue entrance to the building on the south side of the building.

Protection Wall in Front of First Horizon

Due to the risk of the vertical architectural precast concrete elements collapsing and falling away from the old Citizens Bank building, a protection wall is recommended to be constructed on the west side of the First Horizon building (located at 420 S Main Street) and on the west side of the Mutual of Omaha building (located at 408 S Main Street). The wall is recommended to be approximately 64 feet long and 16 feet tall to potentially protect any falling debris from entering or damaging the occupied these

two buildings. See figure 3 below for the recommended wall layout. The wall can be constructed approximately 32 feet north and 32 feet south of the unstable vertical precast at area N-1.

The wall is recommended to be constructed using steel scaffolding with 2x6 wood studs at 16-inches on center and attached to the scaffolding structure. The 2x6 wood stud wall should have 1 layer of 3/4-inch plywood nailed to each face of the wood studs. A lower diagonal 2x6 wood stud brace at 32-inches on center can be added at the bottom of the wall for additional lateral strength. A typical detail of the scaffolding and wood stud wall can be provided as needed.

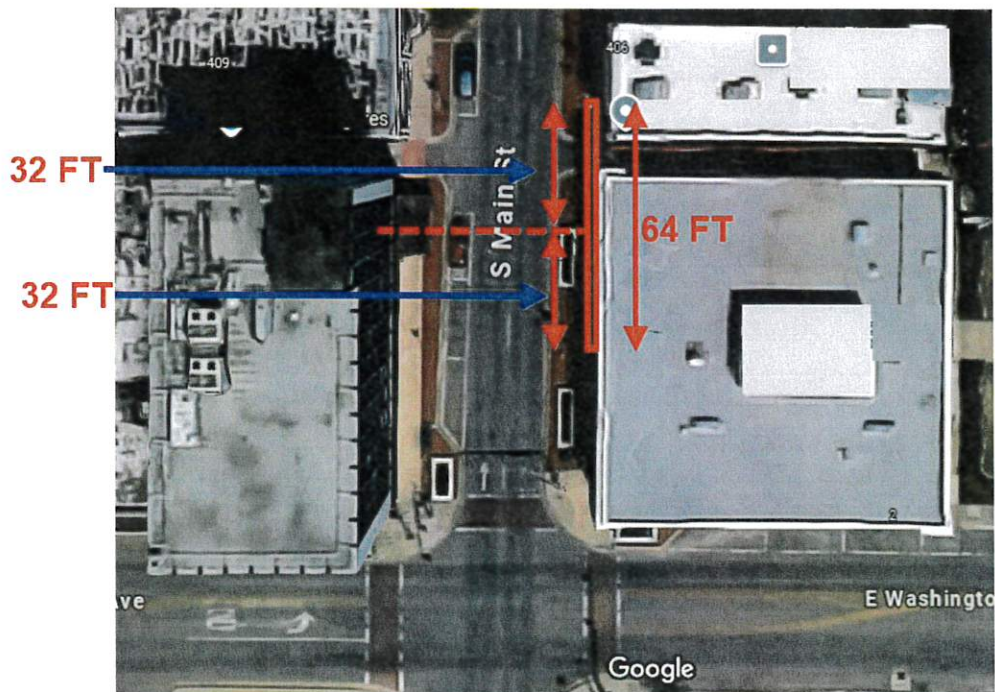


Figure 3: Aerial View Showing Recommended 2x6 Wood Protection Wall Location

Adding Lateral Bracing to Concrete Precast Columns

After the scaffolding and wood protection wall is constructed, it is recommended to add lateral bracing to the vertical precast concrete elements at area N-1 and N-2. This should be done before any other work or demolition begins on the structure. The lateral bracing should be made to area N-1 near the 5th and 6th and 7th floor levels and can be extended into the building and anchored to the concrete floor slab or some other solid structure. The lateral brace can be in the form of steel angles to grab the vertical precast concrete elements and stabilize them and possibly even pull them back into the building slightly. A licensed contractor should be engaged to add the lateral bracing to areas N-1 and N-2 before any façade removal begins.

10/03/2024

Partial Façade Removal

After the lateral bracing is added to areas N-1 and N-2, it is recommended that portions of the east wall façade be demolished down to the 5th floor level (or the original roof elevation). The amount of façade that is to be removed can be a short term or a long term solution and should be discussed with the team. After portions of the façade are removed down to the 5th floor level, this will provide the opportunity to examine the east wall façade at this level and verify the structural integrity of the remaining wall structure below the 5th floor level. This will also provide an opportunity to inspect and discuss the brick veneer at the northeast and north side of the building.

In order to prevent wind loads from getting in the upper floors of the building after the existing façade has been removed, additional wall structure may need to be added to the east wall structure. Or consideration of the entire upper wall structures to be removed can be made.

Conclusion for Preliminary Findings

The recommendations made in this report are to address the immediate concerns of the unstable east wall structure. The recommendations may need to be modified based on whether the city officials want to provide a short term solution or a longer term or permanent solution. Additional details and design can be provided for the recommendations made in this report.

Additional investigation and structural evaluation are recommended as the project progresses. One area of interest for the long term stability and condition of the building is the connection of the three story steel structure that was added to the original four-story structure, and this has not been investigated yet. As existing information and construction details are gathered by the team, additional investigation and evaluation of other wall areas should be made (such as the south and west walls and other portions of the east wall).

Until the unstable elements on the east wall of the old Citizens Bank building are secured or removed, it is not possible to predict the risk of damage to the adjacent structures and their occupants from potential falling debris.

I appreciate the opportunity to provide this letter. Please contact me with any questions or concerns.

Sincerely,



Jordan Lane, PE
Structural Engineer
NorthDelta Engineering
1914 E. Matthews Ave.
Jonesboro, Arkansas 72401
Phone: 870-219-3438
email: jlane@northdeltaengineering.com



10/03/2024



DEPARTMENT OF INSPECTION AND CODE ENFORCEMENT

COMMERCIAL BUILDING INSPECTION REPORT

DATE OF INSPECTION:	09-25-24
PROPERTY ADDRESS:	100 W WASHINGTON
PROPERTY OWNER:	BRUCE BURROW

*The building located at 100 W. Washington is a 7-story building with a basement and penthouse located at the northeast corner of the building. Per the available historic information of the building, the original 4-story building was constructed in 1954 and then 3 more levels plus the penthouse were added on top of the original 4-story building. The lower 4-story building is understood to be constructed out of concrete columns and floor slab with some masonry veneer. The 3-story addition (floors 5 through 7) are constructed using steel columns and a steel floor structure that supports a concrete slab. The building has been vacant since 2000.

*After a brief visual inspection of the building due to concern of the wall structure deflecting outward toward Main Street. At that time, Main Street was closed to traffic due to a structural concern of the east side wall structure. A more thorough structural inspection was made on October 1, 2024 to determine the immediate risk of the east side wall structure and to provide recommendations related to the wall structure.

*There are two areas where the exterior wall structure appears to have lost lateral support, and the wall structure has moved away from the building and is deflecting out to the east towards Main Street.

*Wall area N-1 is deflecting outward (towards the east) several inches and appears to be at risk of collapse. The lateral ties from the steel beams to the vertical precast elements at area 1 have been compromised and appears to have lost support for at least a twenty foot length near the 6th floor level.

Area 2 is also deflecting outward (towards the east) several inches but does not appear to be as concerning as wall area 1 at this time.

*Due to the potential risk of falling precast concrete elements over the Main Street entrance, it is recommended to no longer use the Main Street entrance and only use the Washington Avenue entrance to the building on the south side of the building.


In addition to the structural faults of the property.

*Most of the exterior doors and many windows are boarded up. The rubber roofing has come loose and blowing off the building. Metal flashing falling from the building. The siding from the two story part of the building have been removed exposing raw masonry and old broken windows with loose insulation exposed only adding to the blight of the building. The upper floors have water damage from the HVAC units being blown off the curbs letting water go directly into the building. Ceiling tiles and light fixtures are hanging from the ceiling on all floors. Most of the floor coverings from each floor have been removed. The building has no Electric, Water or working plumbing, no HVAC. All mechanical, electrical, and plumbing are outdated and would need repaired or replaced.

It is my opinion that the building should be razed or repaired immediately to protect the health, safety and welfare of the citizens.

In my opinion, this structure		Is	<input checked="" type="checkbox"/>	Is not	Suitable for human habitation.
In my opinion, this structure		Is	<input checked="" type="checkbox"/>	Is not	Physically feasible for rehabilitation.
In my opinion, this structure		Is	<input checked="" type="checkbox"/>	Is not	Economically feasible for rehabilitation.
In my opinion, this structure	<input checked="" type="checkbox"/>	Is		Is not	A public safety hazard and should be condemned immediately.

EMERGENCY ACTION IS WARRANTED: YES ☒ NO

Tim Renshaw, Chief Building Inspector	Other Signature
	

Municipal Building, 300 South Church Jonesboro, AR/ Phone 870-336-7194/Fax 870-336-1358



CITY OF JONESBORO
Code Enforcement
Request For Invoice

To: Tosha Moss

Date: July 7, 2025

Case # 245720

Property Address: 100 W Washington Ave. Jonesboro AR 72401 APN# 01-144183-42300

Condemned by City Council on: December 17, 2024
Repair or Remove Letter Sent on: December 23, 2024
Deadline for Owner Abatement: January 17, 2024
Demo Completed On: May 13, 2025

Need to send the following charges to this person.

Property Owner: Laurel Park, LLC
48 Hallen Ct.
Little Rock, AR 72223

<u>ITEMS</u>	<u>AMOUNTS</u>
Title Search	\$ 250 .00
ADEQ Asbestos Fee	\$ 384.50
Demolition Charge	\$ 3,275,427.36
Attorney Fees	\$ 15,970.86
Certified Postage for Notices	\$ 60.70
Standard Postage for Notices	\$ 3.65
Admin Fees	\$ 1000.00
Filing Fees	\$ 25.00
<hr/>	
Total	\$ 3,293,122.07

Thank you,
Scott Roper
Jonesboro Police Department
Code Enforcement Division
PO Box 1845
Jonesboro, AR 72403



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

LAUREL PARK, LLC

48 Hallen Ct

Little Rock, AR 72223

RE: 100 W WASHINGTON

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 8th day of July, 2025.

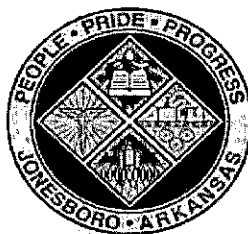
Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 8th day of July, 2025.

Notary Public

My commission expires: 10 March 2034

245720



DATE	INVOICE NO
7/7/2025	0069502

BILL TO
Laurel Park LLC 48 Hallen Ct Little Rock, AR 72223

DUE DATE
8/6/2025

DESCRIPTION	QUANTITY	EFFECTIVE RATE	AMOUNT	DISCOUNT	CREDIT	BALANCE
-------------	----------	----------------	--------	----------	--------	---------

PREVIOUS OUTSTANDING BALANCE 0.00

City of Jonesboro Code Enforcement Charges:

Filing Fee- 100 W Washington Ave	1.00	25.00	25.00	0.00	0.00	25.00
Admin. Fee- 100 W Washington Ave	1.00	1,000.00	1,000.00	0.00	0.00	1,000.00
Certified Postage for Notices- 100 W Washington Ave	1.00	60.70	60.70	0.00	0.00	60.70
Title Search- 100 W Washington Ave	1.00	250.00	250.00	0.00	0.00	250.00
Standard Postage for Notices- 100 W Washington Ave	1.00	3.65	3.65	0.00	0.00	3.65
Attorney Fees- 100 W Washington Ave	1.00	15,970.86	15,970.86	0.00	0.00	15,970.86
Demolition Charge- 100 W Washington Ave	1.00	3,275,427.36	3,275,427.36	0.00	0.00	3,275,427.36
ADEQ Asbestos Fee- 100 W Washington Ave	1.00	384.50	384.50	0.00	0.00	384.50

INVOICE TOTAL: 3,293,122.07 0.00 0.00 3,293,122.07

PLEASE DETACH BOTTOM PORTION & REMIT WITH YOUR PAYMENT

For questions please contact us at (870) 932-3042

Customer Name: Laurel Park LLC
 Customer No: 024901
 Account No: 0035991 - Code Enforcement Charges- 100 W Washington Ave

DUE DATE	INVOICE NO
8/6/2025	0069502

Please remit payment by the due date to:

City of Jonesboro
 300 South Church Street
 PO Box 1845
 Jonesboro, AR 72403

If payment is not made within (30) days, the lien may be certified to Craighead County for collection on real estate taxes or City may pursue a judicial foreclosure in accordance with Ark. Code Ann. § 14-54-904.

Invoice Total: 3,293,122.07
 Discounts: 0.00
 Credit Applied: 0.00
 Ending Balance: 3,293,122.07

INVOICE BALANCE: \$3,293,122.07
 AMOUNT PAID: _____

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Certified Mail Fee

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Extra Services & Fees (check box, add fee as appropriate)

- | | | |
|--|----|-------|
| <input type="checkbox"/> Return Receipt (hardcopy) | \$ | _____ |
| <input type="checkbox"/> Return Receipt (electronic) | \$ | _____ |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ | _____ |
| <input type="checkbox"/> Adult Signature Required | \$ | _____ |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | _____ |

Postage

\$

Total Postage and Fees

\$

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+[®]

Laurel Park LLC
48 Hallen Ct
Little Rock AR 72223

Postmark

Here



38

9589 0710 5270 2238 0433 75



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

LAUREL PARK, LLC

48 Hallen Ct

Little Rock, AR 72223

RE: 100 W WASHINGTON

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 7th day of August, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 7th day of August, 2025.

Notary Public

My commission expires: 10 March 2034



Invoice# : 0069502

Case# : 245720

Notice Mailed Prior to 8/07/2025

Laurel Park LLC
48 Hallen Ct
Little Rock AR 72223

Subject: 100 W Washington Parcel# 01-144183-42300

This is notification that the property mentioned above is subject to a lien for cost and expenses due to the City of Jonesboro for correcting code violations. This lien will be placed on the agenda for approval before the City Council of the City of Jonesboro on 9/2/2025.

The Council Meeting is at 5:30pm in the Municipal Building Council Chambers located at 300 S. Church St.

You have the right to appear and contest this action.

Should you have any question about this process, please call the Code Enforcement Office at 870-933-4658.

Thank you,

Scott Rope
Director of Code Enforcement
City of Jonesboro
300 S. Church Street
Jonesboro, AR 72401
Phone: 870-933-4658

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Certified Mail Fee

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Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

☐ Return Receipt (electronic)

\$

☐ Certified Mail Restricted Delivery

\$

☐ Adult Signature Required

\$

☐ Adult Signature Restricted Delivery

\$

Postmark
Here

AUG 07 2025

Postage

\$

Total Postage and Fees

\$

Sent To **Laurel Park LLC**

Street and Apt. No., or PO Box No.

48 Hallen Ct

City, State, ZIP+4®

Little Rock AR 72223

41



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: RES-25:107

Agenda Date:

Version: 1

Status: Recommended to
Council

In Control: Finance & Administration Council Committee

File Type: Resolution

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO
PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1400 MERRYWOOD,
PARCEL 01-144203-16200, OWNED BY TONYA R HINDS IN THE AMOUNT OF \$315

LEGAL DESCRIPTION: MERRYWOOD SUB

WHEREAS, TONYA R HINDS, the owner of record, was properly notified of a code violation at
1400 Merrywood, and refused to remove or correct the conditions identified by the code enforcement
officer of the City of Jonesboro, Arkansas; and,

WHEREAS, the code enforcement officer corrected the code violation on the 2nd of July 2025 using
city funds in the amount of \$315; and,

WHEREAS, the City of Jonesboro seeks to perfect a lien against the affected property to cover the
cost of the work pursuant to A.C.A 14-54-903.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF
JONESBORO, ARKANSAS, THAT:

Section 1: The city should proceed with placing a lien on the property located at 1400 Merrywood.



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

HINDS TONYA R

1400 MERRYWOOD

JONESBORO, AR 72401

RE: 1400 MERRYWOOD

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 8th day of May, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 8th day of May, 2025.

Notary Public

My commission expires: 10 March 2034



Notice of Violation

05/08/2025

TONYA R. HINDS
1400 MERRYWOOD
JONESBORO AR 72401

Case #: 252284

In regards to property located at: 1400 MERRYWOOD, JONESBORO, AR 72401

Our records show that you own the property listed above. We have observed that the property has overgrown grass and weeds that must be mowed. Please mow and trim entire property including ditch. We are sending this letter and are allowing you the opportunity to correct the violation(s) mentioned below by the end of the day on 05/18/2025. If the issue is not corrected by the date listed, the City will hire a contractor to come and mow the property, and place a lien on your property. Please call the Code Enforcement Office at (870) 933-4658 if you have any questions. If you would like to view the ordinance in violation online, they are available on City Clerk section of www.jonesboro.org

Additionally, any owner/occupant shall be presumed to have notice for the violation of overgrown grass or weeds if the owner/occupant has received notice of the same violation within the same calendar year.

Section:

30-5 Overgrown Grass, Weeds, Vines, or Low hanging Limbs

(870)351-4258

Sincerely,

Hannah Gossett
Code Enforcement Officer
P.O. Box 1845
Jonesboro, AR 72403

9589 0710 5270 2238 0443 89

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- ☐ Return Receipt (hardcopy) \$
- ☐ Return Receipt (electronic) \$
- ☐ Certified Mail Restricted Delivery \$
- ☐ Adult Signature Required \$
- ☐ Adult Signature Restricted Delivery \$

Postage

\$

Total Postage and Fees

\$

Sent to

Street and Apt. No. or PO Box No.

City, State, ZIP+4[®]

Tanya R. Hinds
1400 Merrywood
Jonesboro AR 72401

Postmark
Here



45



CITY OF JONESBORO
Code Enforcement
Request For Invoice

Date: 7-14-2025

To: Tosha Moss

Case #: 254040

Property Address: 1400 Merrywood APN# 01-144203-16200
Jonesboro, AR 72401

Letter Sent on: 5-08-2025

Comply by Date: 5-18-2025

Date of Mowing Service: 7-2-2025

Need to send the following charges to this person.

HINDS TONYA R
1400 MERRYWOOD
JONESBORO, AR 72401

<u>ITEMS</u>	<u>AMOUNTS</u>
Filing Fees	\$ 15.00
Admin Fees	\$ 200.00
Mowing	\$ 60.00
<hr/>	
Total	\$ 275.00

Thank you,

Eric Schmett
Jonesboro Police Department
Code Enforcement Division
PO Box 1845
Jonesboro, AR 72403



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

Tonya R Hinds

1400 Merrywood

Jonesboro, AR 72401

RE: 1400 Merrywood

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 13th day of June, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 13th day of June, 2025.

Notary Public

My commission expires: 10 March 2034



DATE	INVOICE NO
6/9/2025	0069460

BILL TO
Tonya R Hinds 1400 Merrywood Jonesboro, AR 72401

DUE DATE
7/17/2025

DESCRIPTION	QUANTITY	EFFECTIVE RATE	AMOUNT	DISCOUNT	CREDIT	BALANCE
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PREVIOUS OUTSTANDING BALANCE 0.00

Code Enforcement Charges:

Filing Fee - 1400 Merrywood	1.00	15.00	15.00	0.00	0.00	15.00
Admin. Fee - 1400 Merrywood	1.00	200.00	200.00	0.00	0.00	200.00
Mowing - 1400 Merrywood	1.00	100.00	100.00	0.00	0.00	100.00

INVOICE TOTAL: 315.00 0.00 0.00 315.00

PLEASE DETACH BOTTOM PORTION & REMIT WITH YOUR PAYMENT

For questions please contact us at (870) 932-3042

Customer Name: Tonya R Hinds
Customer No: 024875
Account No: 0035977 - Code Enforcement Charges

DUE DATE	INVOICE NO
7/17/2025	0069460

Please remit payment by the due date to:

City of Jonesboro
300 South Church Street
PO Box 1845
Jonesboro, AR 72403

If payment is not made within (30) days, the lien may be certified to Craighead County for collection on real estate taxes or City may pursue a judicial foreclosure in accordance with Ark. Code Ann. § 14-54-904.

Invoice Total:	315.00
Discounts:	0.00
Credit Applied:	0.00
Ending Balance:	315.00

INVOICE BALANCE: \$315.00
AMOUNT PAID: _____

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- | | | |
|--|----|-------|
| <input type="checkbox"/> Return Receipt (hardcopy) | \$ | _____ |
| <input type="checkbox"/> Return Receipt (electronic) | \$ | _____ |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ | _____ |
| <input type="checkbox"/> Adult Signature Required | \$ | _____ |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | _____ |

Postmark
Here

Postage

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Total Postage and Fees

\$

Sent To

HINDS TONYA R

Street and Apt. No., or PO Box No.

1400 MERRYWOOD

City, State, ZIP+4®

JONESBORO, AR 72401

49

9589 0710 5270 2238 0428 42



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

Tonya R Hinds

1400 Merrywood

Jonesboro, AR 72401

RE: 1400 Merrywood

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 21st day of July, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 21st day of July, 2025.

Notary Public

My commission expires: 10 March 2034



Invoice# : 0069460

Case# : 252284

Notice Mailed Prior to 8/29/2024

Tonya R Hinds
1400 Merrywood
Jonesboro, AR 72401

Subject: 1400 Merrywood Parcel# 01-144203-16200

This is notification that the property mentioned above is subject to a lien for cost and expenses due to the City of Jonesboro for correcting code violations. This lien will be placed on the agenda for approval before the City Council of the City of Jonesboro on 9/2/2025.

The Council Meeting is at 5:30pm in the Municipal Building Council Chambers located at 300 S. Church St.

You have the right to appear and contest this action.

Should you have any question about this process, please call the Code Enforcement Office at 870-933-4658.

Thank you,

A handwritten signature in black ink, appearing to read "S. Roper", written over the printed name "Scott Roper".

Scott Roper
Director of Code Enforcement
City of Jonesboro
300 S. Church Street
Jonesboro, AR 72401
Phone: 870-933-4658

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Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$ _____
☐ Return Receipt (electronic) \$ _____
☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postage

\$

Total Postage and Fees

\$

Sent To **HINDS TONYA R**

Street and Apt. No. or PO Box No.
1400 MERRYWOOD

City, State, ZIP+4®
JONESBORO, AR 72401

Postmark
Here

JUL 21 2025

JONESBORO, AR 72401

52



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: RES-25:108

Agenda Date:

Version: 1

Status: Recommended to
Council

In Control: Finance & Administration Council Committee

File Type: Resolution

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1617 RICH ROAD, PARCEL 01-143252-25000, OWNED BY RANDOLPH & JUDITH REYNOLDS IN THE AMOUNT OF \$275

LEGAL DESCRIPTION: LOT 5, BLOCK D OF RICHLAND HILLS ADD

WHEREAS, RANDOLPH & JUDITH REYNOLDS, the owner of record, was properly notified of a code violation at 1617 Rich Road, and refused to remove or correct the conditions identified by the code enforcement officer of the City of Jonesboro, Arkansas; and,

WHEREAS, the code enforcement officer corrected the code violation on 4th of June 2025 using city funds in the amount of \$275; and,

WHEREAS, the City of Jonesboro seeks to perfect a lien against the affected property to cover the cost of the work pursuant to A.C.A 14-54-903.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, THAT:

Section 1: The city should proceed with placing a lien on the property located at 1617 Rich Road.



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

REYNOLDS RANDOLPH A & JUDITH A

1617 RICH ROAD

JONESBORO, AR 72401

RE: 1617 RICH RD

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 30th day of April, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 30th day of April, 2025

Notary Public

My commission expires: 10 March 2034



Notice of Violation

04/30/2025

REYNOLDS RANDOLPH A & JUDITH A
1617 RICH ROAD
JONESBORO AR 72401

Case #: 252251

In regards to property located at: 1617 RICH RD, JONESBORO, AR 72401

Our records show that you own the property listed above. We have observed that the property has overgrown grass and weeds that must be mowed. Please mow and trim entire property including ditch. We are sending this letter and are allowing you the opportunity to correct the violation(s) mentioned below by the end of the day on 05/17/2025. If the issue is not corrected by the date listed, the City will hire a contractor to come and mow the property, and place a lien on your property. Please call the Code Enforcement Office at (870) 933-4658 if you have any questions. If you would like to view the ordinance in violation online, they are available on City Clerk section of www.jonesboro.org

Additionally, any owner/occupant shall be presumed to have notice for the violation of overgrown grass or weeds if the owner/occupant has received notice of the same violation within the same calendar year.

Section:

30-5 Overgrown Grass, Weeds, Vines, or Low hanging Limbs

(870)351-4258

Sincerely,

A handwritten signature in black ink, appearing to read "Hannah Gossett".

Hannah Gossett
Code Enforcement Officer
P.O. Box 1845
Jonesboro, AR 72403

9589 0710 5270 2238 0449 45

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Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$ _____
- ☐ Return Receipt (electronic) \$ _____
- ☐ Certified Mail Restricted Delivery \$ _____
- ☐ Adult Signature Required \$ _____
- ☐ Adult Signature Restricted Delivery \$ _____

Postmark
Here

Postage

\$

Total Postage and Fees

\$

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4

Reynolds, Randolph A & Judith A
1617 High Rd
Jonesboro AR 72401

56



CITY OF JONESBORO
Code Enforcement
Request For Invoice

Date: 6-9-2025

To: Tosha Moss

Case #: 252251

Property Address: 1617 Rich Rd
Jonesboro, AR 72401

APN# 01-143252-25000

Letter Sent on: 4-30-2025

Comply by Date: 5-17-2025

Date of Mowing Service: 6-4-2025

Need to send the following charges to this person.

Property Owner:
REYNOLDS RANDOLPH A & JUDITH A
1617 RICH ROAD
JONESBORO, AR 72401

<u>ITEMS</u>	<u>AMOUNTS</u>
Filing Fees	\$ 15.00
Admin Fees	\$ 200.00
Mowing	\$ 60.00
<hr/>	
Total	\$ 275.00

Thank you,

Eric Schmett
Jonesboro Police Department
Code Enforcement Division
PO Box 1845
Jonesboro, AR 72403



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

Randolph & Judith Reynolds

1617 Rich Road

Jonesboro, AR 72401

RE: 1617 Rich Road

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 13th day of June, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 13th day of June, 2025.

Notary Public

My commission expires: 10 March 2034



DATE	INVOICE NO
6/9/2025	0069461

BILL TO
Randolph & Judith Reynolds 1617 Rich Road Jonesboro, AR 72401

DUE DATE
7/17/2025

DESCRIPTION	QUANTITY	EFFECTIVE RATE	AMOUNT	DISCOUNT	CREDIT	BALANCE
PREVIOUS OUTSTANDING BALANCE						275.00
Code Enforcement Charges:						
Filing Fee - 1617 Rich Road	1.00	15.00	15.00	0.00	0.00	15.00
Admin. Fee - 1617 Rich Road	1.00	200.00	200.00	0.00	0.00	200.00
Mowing - 1617 Rich Road	1.00	60.00	60.00	0.00	0.00	60.00
INVOICE TOTAL:			275.00	0.00	0.00	275.00

PLEASE DETACH BOTTOM PORTION & REMIT WITH YOUR PAYMENT

For questions please contact us at (870) 932-3042

Customer Name: Randolph & Judith Reynolds
Customer No: 023392
Account No: 0035584 - Code Enforcement Charges

DUE DATE	INVOICE NO
7/17/2025	0069461

Please remit payment by the due date to:

City of Jonesboro
300 South Church Street
PO Box 1845
Jonesboro, AR 72403

If payment is not made within (30) days, the lien may be certified to Craighead County for collection on real estate taxes or City may pursue a judicial foreclosure in accordance with Ark. Code Ann. § 14-54-904.

Invoice Total: 275.00
Discounts: 0.00
Credit Applied: 0.00
Ending Balance: 550.00
INVOICE BALANCE: \$275.00
AMOUNT PAID: _____

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Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$ _____
☐ Return Receipt (electronic) \$ _____
☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postmark
Here

Postage

\$

Total Postage and Fees

\$

Sent To **REYNOLDS RANDOLPH A & JUDITH A**

Street and Apt. No., PO Box, or
1617 RICH ROAD

City, State, ZIP+4[®]
JONESBORO, AR 72401

60



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

Randolph & Judith Reynolds

1617 Rich Rd

Jonesboro, AR 72401

RE: 1617 Rich Rd

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 21st day of July, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 21st day of July, 2025.

Notary Public

My commission expires: 10 March 2034



Invoice# : 0069461

Case# : 252251

Notice Mailed Prior to 7/21/2025

Randolph & Judith Reynolds
1617 Rich Rd
Jonesboro, AR 72401


Subject: 1617 Rich Rd Parcel# 01-143252-25000

This is notification that the property mentioned above is subject to a lien for cost and expenses due to the City of Jonesboro for correcting code violations. This lien will be placed on the agenda for approval before the City Council of the City of Jonesboro on 9/2/2025.

The Council Meeting is at 5:30pm in the Municipal Building Council Chambers located at 300 S. Church St.

You have the right to appear and contest this action.

Should you have any question about this process, please call the Code Enforcement Office at 870-933-4658.

Thank you,

Scott Roper
Director of Code Enforcement
City of Jonesboro
300 S. Church Street
Jonesboro, AR 72401
Phone: 870-933-4658

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- | | | |
|--|----|-------|
| <input type="checkbox"/> Return Receipt (hardcopy) | \$ | _____ |
| <input type="checkbox"/> Return Receipt (electronic) | \$ | _____ |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ | _____ |
| <input type="checkbox"/> Adult Signature Required | \$ | _____ |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | _____ |

Postage

\$

Total Postage and Fees

\$

Sent To

REYNOLDS RANDOLPH & JUDITH A

Street and Apt. No., or PO Box No.

1617 RICH ROAD

City, State, ZIP+4®

JONESBORO, AR 72401

Postmark
Here

JUL 21 2025

JONESBORO, AR 72401

63

9589 0710 5270 2238 0442 97



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: RES-25:109

Agenda Date:

Version: 1

Status: Recommended to
Council

In Control: Finance & Administration Council Committee

File Type: Resolution

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO
PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 3801 VICKIE DRIVE, PARCEL
01-144103-10700, OWNED BY SHARON R CALDWELL IN THE AMOUNT OF \$315

LEGAL DESCRIPTION: NE JB NETTLETON CITY

WHEREAS, SHARON R CALDWELL, the owner of record, was properly notified of a code
violation at 3801 Vickie Drive, and refused to remove or correct the conditions identified by the code
enforcement officer of the City of Jonesboro, Arkansas; and,

WHEREAS, the code enforcement officer corrected the code violation on the 29th of May 2025
using city funds in the amount of \$315; and,

WHEREAS, the City of Jonesboro seeks to perfect a lien against the affected property to cover the
cost of the work pursuant to A.C.A 14-54-903.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF
JONESBORO, ARKANSAS, THAT:

Section 1: The city should proceed with placing a lien on the property located at 3801 Vickie Drive.



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

SHARON CALDWELL

13631 Rose of Sharon Way

Grass Valley, CA 95949-9571

RE: 3801 VICKIE

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 24th day of April, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 24th day of April, 2025.

Notary Public

My commission expires: 10 March 2034



04/24/2025

SHARON CALDWELL
13631 Rose of Sharon Way
Grass Valley CA 95949-9571

Case #: 251821

In regards to property located at 3801 VICKIE, JONESBORO, Arkansas 72405.

Dear: SHARON CALDWELL

Our records show that you own the property listed above. We have observed that there are boxes and trash that need to be removed from the property . We are sending this letter and are allowing you the opportunity to correct the violation(s) mentioned below by the end of the day on 05/06/2025. If the issue is not corrected by the date listed, the City will remove all boxes and trash , and place a lien on your property. Please call the Code Enforcement Office at (870) 933-4658 if you have any questions. If you would like to view the ordinance in violation online, they are available on City Clerk section of www.jonesboro.org

Section:

30-5 Overgrown Grass, Weeds, Vines, or Low hanging Limbs

30-5 Unlawful storage

30-5 Unsightly or Unsanitary Conditions

Call me direct as soon as you receive this letter at 870-273-2129.

A handwritten signature in black ink, appearing to read "C. Blake Nichols".

Blake Nichols
Code Enforcement Officer
Jonesboro, AR 72401



Notice of Violation

04/24/2025

SHARON CALDWELL
13631 Rose of Sharon Way
Grass Valley CA 95949-9571

Case #: 251821

In regards to property located at: 3801 VICKIE, JONESBORO, Arkansas 72405

Our records show that you own the property listed above. We have observed that the property needs mowed and trimmed. We are sending this letter and are allowing you the opportunity to correct the violation(s) mentioned below by the end of the day on 05/06/2025. If the issue is not corrected by the date listed, the City will send our contractor to mow and trim the whole property, and place a lien on your property. Please call the Code Enforcement Office at (870) 933-4658 if you have any questions. If you would like to view the ordinance in violation online, they are available on City Clerk section of www.jonesboro.org

Additionally, any owner/occupant shall be presumed to have notice for the violation of overgrown grass or weeds if the owner/occupant has received notice of the same violation within the same calendar year.

Section:

30-5 Overgrown Grass, Weeds, Vines, or Low hanging Limbs

30-5 Unlawful storage

30-5 Unsightly or Unsanitary Conditions

Call me direct as soon as you receive this letter at 870-273-2129. Please read last line of this letter carefully.

Sincerely,

Blake Nichols
Code Enforcement Officer
P.O. Box 1845
Jonesboro, AR 72403

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Extra Services & Fees (check box, add fee as appropriate)

- | | | |
|--|----|-------|
| <input type="checkbox"/> Return Receipt (hardcopy) | \$ | _____ |
| <input type="checkbox"/> Return Receipt (electronic) | \$ | _____ |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ | _____ |
| <input type="checkbox"/> Adult Signature Required | \$ | _____ |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | _____ |

Postmark
Here

Postage

\$

Total Postage and Fees

\$

Sent to

Street and Apt. No. or PO Box No.

City, State, ZIP+4[®]

Sharon R Caldwell
13631 Base of Sharon Way
Grass Valley CA 95949

68



CITY OF JONESBORO
Code Enforcement
Request For Invoice

Date: 6-9-2025

To: Tosha Moss

Case #: 251821

Property Address: 3801 Vickie
Jonesboro, AR 72401

APN# 01-144103-10700

Letter Sent on: 4-24-202
Comply by Date: 5-6-2025
Date of Mowing Service: 5-29-2025

Need to send the following charges to this person.

Property Owner:
SHARON CALDWELL
13631 Rose of Sharon Way
Grass Valley, CA 95949-9571

<u>ITEMS</u>	<u>AMOUNTS</u>
Filing Fees	\$ 15.00
Admin Fees	\$ 200.00
Mowing	\$ 100.00
<hr/>	
Total	\$ 315.00

Thank you,

Eric Schmett
Jonesboro Police Department
Code Enforcement Division
PO Box 1845
Jonesboro, AR 72403



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

Sharon R Caldwell

13631 Rose of Sharon Way

Grass Valley, CA 95949

RE: 3801 Vickie

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 13th day of June, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 13th day of June, 2025.

Notary Public

My commission expires: 10 March 2034



DATE	INVOICE NO
6/9/2025	0069459

BILL TO
Sharon R Caldwell 13631 Rose of Sharon Way Grass Valley, CA 95949

DUE DATE
7/17/2025

DESCRIPTION	QUANTITY	EFFECTIVE RATE	AMOUNT	DISCOUNT	CREDIT	BALANCE
PREVIOUS OUTSTANDING BALANCE						0.00
Code Enforcement Charges:						
Filing Fee - 3801 Vickie	1.00	15.00	15.00	0.00	0.00	15.00
Admin. Fee - 3801 Vickie	1.00	200.00	200.00	0.00	0.00	200.00
Mowing - 3801 Vickie	1.00	100.00	100.00	0.00	0.00	100.00
INVOICE TOTAL:			315.00	0.00	0.00	315.00

PLEASE DETACH BOTTOM PORTION & REMIT WITH YOUR PAYMENT

For questions please contact us at (870) 932-3042

Customer Name: Sharon R Caldwell
Customer No: 016496
Account No: 0034383 - Code Enforcement Charges - 3801 Vickie

DUE DATE	INVOICE NO
7/17/2025	0069459

Please remit payment by the due date to:

City of Jonesboro
300 South Church Street
PO Box 1845
Jonesboro, AR 72403

If payment is not made within (30) days, the lien may be certified to Craighead County for collection on real estate taxes or City may pursue a judicial foreclosure in accordance with Ark. Code Ann. § 14-54-904.

Invoice Total: 315.00
Discounts: 0.00
Credit Applied: 0.00
Ending Balance: 315.00
INVOICE BALANCE: \$315.00
AMOUNT PAID: _____

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Extra Services & Fees (check box, add fee as appropriate)

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|--|----|-------|
| <input type="checkbox"/> Return Receipt (hardcopy) | \$ | _____ |
| <input type="checkbox"/> Return Receipt (electronic) | \$ | _____ |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ | _____ |
| <input type="checkbox"/> Adult Signature Required | \$ | _____ |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | _____ |

Postmark
Here

Postage

\$

Total Postage and Fees

\$

Sent To **SHARON CALDWELL**

Street and Apt. No. or PO Box No.
13631 ROSE OF SHARON AY

City, State, ZIP+4®
GRASS VALLEY, CA 95949-9571

72

9589 0710 5270 2238 0428 73



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

Sharon R Caldwell

13631 Rose of Sharon Way

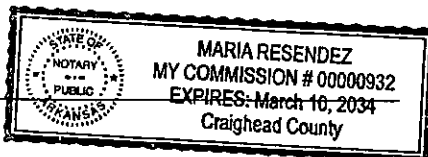
Grass Valley, CA 95949

RE: 3801 Vickie

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 21st day of July, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 21st day of July, 2025.

Notary Public

My commission expires: 10 March 2034



Invoice# : 0069459

Case# : 251821

Notice Mailed Prior to 7/21/2025

Sharon R Caldwell
13631 Rose of Sharon Way
Grass Valley, CA 95949

Subject: 3801 Vickie Parcel# 01-144103-10700

This is notification that the property mentioned above is subject to a lien for cost and expenses due to the City of Jonesboro for correcting code violations. This lien will be placed on the agenda for approval before the City Council of the City of Jonesboro on 9/2/2025.

The Council Meeting is at 5:30pm in the Municipal Building Council Chambers located at 300 S. Church St.

You have the right to appear and contest this action.

Should you have any question about this process, please call the Code Enforcement Office at 870-933-4658.

Thank you,

Scott Roper
Director of Code Enforcement
City of Jonesboro
300 S. Church Street
Jonesboro, AR 72401
Phone: 870-933-4658

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Extra Services & Fees (check box, add fee as appropriate)

- | | | |
|--|----|-------|
| <input type="checkbox"/> Return Receipt (hardcopy) | \$ | _____ |
| <input type="checkbox"/> Return Receipt (electronic) | \$ | _____ |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ | _____ |
| <input type="checkbox"/> Adult Signature Required | \$ | _____ |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | _____ |

Postage

\$

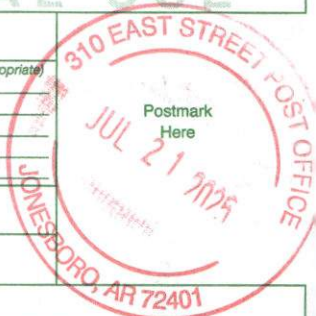
Total Postage and Fees

\$

Sent To **SHARON CALDWELL**

Street and Apt. No. or PO Box No.
13631 Rose of Sharon Way

City, State, ZIP+4®
Grass Valley, CA 95949-9571



75

9589 0710 5270 2238 0442 73



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: RES-25:110

Agenda Date:

Version: 1

Status: Recommended to
Council

In Control: Finance & Administration Council Committee

File Type: Resolution

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO
PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 3806 SCHOOL STREET,
PARCEL 01-144272-16500, OWNED BY OLGA HERNANDEZ IN THE AMOUNT OF \$275

LEGAL DESCRIPTION: LOTS 6 AND 7, BLOCKIV, OF WATTS ADDITION TO THE CITY
OF JONESBORO, ARKANSAS, FORMERLY TOWN OF NETTLETON, AS RECORDED IN
BOOK 18, PAGE 621, CRAIGHEAD COUNTY, WESTERN DISTRICT, JONESBORO,
ARKANSAS

WHEREAS, OLGA HERNANDEZ, the owner of record, was properly notified of a code violation
at 3806 School Street, and refused to remove or correct the conditions identified by the code
enforcement officer of the City of Jonesboro, Arkansas; and,

WHEREAS, the code enforcement officer corrected the code violation on the 4th of June 2025 using
city funds in the amount of \$275; and,

WHEREAS, the City of Jonesboro seeks to perfect a lien against the affected property to cover the
cost of the work pursuant to A.C.A 14-54-903.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF
JONESBORO, ARKANSAS, THAT: Section 1: The city should proceed with placing a lien on the
property located at 3806 School Street.



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

HERNANDEZ OLGA

3806 SCHOOL ST

JONESBORO, AR 72401

RE: 3806 SCHOOL ST

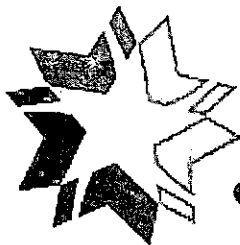
I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 19th day of May, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 19th day of May, 2025.

Notary Public

My commission expires: 10 March 2034



JONESBORO

ARKANSAS

Notice of Violation

05/19/2025

HERNANDEZ OLGA
3806 SCHOOL ST
JONESBORO AR 72401-

Case #: 252718

In regards to property located at: 3806 SCHOOL ST, JONESBORO, Arkansas 72401

Our records show that you own the property listed above. We have observed that the property needs mowed and trimmed all the way up to both streets. We are sending this letter and are allowing you the opportunity to correct the violation(s) mentioned below by the end of the day on 05/30/2025. If the issue is not corrected by the date listed, the City will send our contractor to mow and trim the whole property, and place a lien on your property. Please call the Code Enforcement Office at (870) 933-4658 if you have any questions. If you would like to view the ordinance in violation online, they are available on City Clerk section of www.jonesboro.org.

Additionally, any owner/occupant shall be presumed to have notice for the violation of overgrown grass or weeds if the owner/occupant has received notice of the same violation within the same calendar year.

Section:

30-5 Overgrown Grass, Weeds, Vines, or Low hanging Limbs

30-5 Unsightly or Unsanitary Conditions

Call me direct as soon as you receive this letter at 870-273-2129. Please read last line of this letter carefully.

Sincerely,

Blake Nichols
Code Enforcement Officer
P.O. Box 1845
Jonesboro, AR 72403

9589 0710 5270 2238 0436 34

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Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$ _____
☐ Return Receipt (electronic) \$ _____
☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postmark
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Postage

\$

Total Postage and Fees

\$

Sent to

Street, Apt. No., or PO Box No.

City, State, ZIP+4®

Olga Hernandez
3806 School St
Jonesboro AR 72401

79



CITY OF JONESBORO
Code Enforcement
Request For Invoice

Date: 6-9-2025

To: Tosha Moss

Case #: 252718

Property Address: 3806 School St
Jonesboro, AR 72401

APN# 01-144272-16500

Letter Sent on: 5-19-2025

Comply by Date: 5-30-2025

Date of Mowing Service: 6-4-2025

Need to send the following charges to this person.

Property Owner:

OLGA HERNANDEZ

3806 SCHOOL ST

JONESBORO, AR 72401

<u>ITEMS</u>	<u>AMOUNTS</u>
Filing Fees	\$ 15.00
Admin Fees	\$ 200.00
Mowing	\$ 60.00
<hr/>	
Total	\$ 275.00

Thank you,

Eric Schmett

Jonesboro Police Department

Code Enforcement Division

PO Box 1845

Jonesboro, AR 72403



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

Olga Hernandez

3806 School Street

Jonesboro, AR 72401

RE: 3806 School Street

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 13th day of June, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 13th day of June, 2025.

Notary Public

My commission expires: 10 March 2034



DATE	INVOICE NO
6/9/2025	0069462

BILL TO
Olga Hernandez 3806 School Street Jonesboro, AR 72401

DUE DATE
7/17/2025

DESCRIPTION	QUANTITY	EFFECTIVE RATE	AMOUNT	DISCOUNT	CREDIT	BALANCE
PREVIOUS OUTSTANDING BALANCE						550.00
Code Enforcement Charges:						
Filing Fee - 3806 School Street	1.00	15.00	15.00	0.00	0.00	15.00
Admin. Fee - 3806 School Street	1.00	200.00	200.00	0.00	0.00	200.00
Mowing - 3806 School Street	1.00	60.00	60.00	0.00	0.00	60.00
INVOICE TOTAL:			275.00	0.00	0.00	275.00

PLEASE DETACH BOTTOM PORTION & REMIT WITH YOUR PAYMENT

For questions please contact us at (870) 932-3042

Customer Name: Olga Hernandez
Customer No: 022910
Account No: 0035778 - Code Enforcement Charges 3806 School St

DUE DATE	INVOICE NO
7/17/2025	0069462

Please remit payment by the due date to:

City of Jonesboro
300 South Church Street
PO Box 1845
Jonesboro, AR 72403

*If payment is not made within (30) days,
the lien may be certified to Craighead
County for collection on real estate
taxes or City may pursue a
judicial foreclosure in accordance
with Ark. Code Ann. § 14-54-904.*

Invoice Total: 275.00
Discounts: 0.00
Credit Applied: 0.00
Ending Balance: 825.00

INVOICE BALANCE: \$275.00
AMOUNT PAID: _____

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Extra Services & Fees (check box, add fees as appropriate)

☐ Return Receipt (hardcopy)

\$

☐ Return Receipt (electronic)

\$

☐ Certified Mail Restricted Delivery

\$

☐ Adult Signature Required

\$

☐ Adult Signature Restricted Delivery

\$

Postmark
Here

Postage

\$

Total Postage and Fees

\$

Sent To **HERNANDEZ OLGA**

Street and Apt. No. or PO Box No.

3806 SCHOOL ST

City, State, ZIP+4®

JONESBORO, AR 72401

83



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

Olga Hernandez

3806 School St

Jonesboro, AR 72401

RE: 3806 School

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 21st day of July, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 21st day of July, 2025.

Notary Public

My commission expires: 10 March 2034



Invoice# : 0069462

Case# : 252718

Notice Mailed Prior to 7/21/2025

Olga Hernandez
3806 School St
Jonesboro, AR 72401

Subject: 3806 School St Parcel# 01-144272-16500

This is notification that the property mentioned above is subject to a lien for cost and expenses due to the City of Jonesboro for correcting code violations. This lien will be placed on the agenda for approval before the City Council of the City of Jonesboro on 9/2/2025.

The Council Meeting is at 5:30pm in the Municipal Building Council Chambers located at 300 S. Church St.

You have the right to appear and contest this action.

Should you have any question about this process, please call the Code Enforcement Office at 870-933-4658.

Thank you,

Scott Roper
Director of Code Enforcement
City of Jonesboro
300 S. Church Street
Jonesboro, AR 72401
Phone: 870-933-4658

9589 0710 5270 2238 0443 03

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|--|----|-------|
| <input type="checkbox"/> Return Receipt (hardcopy) | \$ | _____ |
| <input type="checkbox"/> Return Receipt (electronic) | \$ | _____ |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ | _____ |
| <input type="checkbox"/> Adult Signature Required | \$ | _____ |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | _____ |

Postage

\$

Total Postage and Fees

\$

Sent To **OLGA HERNANDEZ**

Street and Apt. No. or PO Box No.
3806 SCHOOL ST

City, State, ZIP+4®
JONESBORO, AR 72401



86



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: RES-25:111

Agenda Date:

Version: 1

Status: Recommended to
Council

In Control: Finance & Administration Council Committee

File Type: Resolution

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO
PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1313 PARDEW, PARCEL
01-144212-20200, OWNED BY MICHELLE NUTT IN THE AMOUNT OF \$275

LEGAL DESCRIPTION: PARDEW SUB PT W 1/2 E 1/2 SE NW 21-14-4 N 1/2 LOT 10
50X140.81 ALL LOT 11

WHEREAS, MICHELLE NUTT, the owner of record, was properly notified of a code violation at
1313 Pardew, and refused to remove or correct the conditions identified by the code enforcement
officer of the City of Jonesboro, Arkansas; and,

WHEREAS, the code enforcement officer corrected the code violation on the 29th of May 2025
using city funds in the amount of \$275; and,

WHEREAS, the City of Jonesboro seeks to perfect a lien against the affected property to cover the
cost of the work pursuant to A.C.A 14-54-903.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF
JONESBORO, ARKANSAS, THAT:

Section 1: The city should proceed with placing a lien on the property located at 1313 Pardew.



CITY OF JONESBORO
Code Enforcement
Request For Invoice

Date: 6-9-2025

To: Tosha Moss

Case #: 251655

Property Address: 1313 Pardew
Jonesboro, AR 72401

APN# 01-144212-20200

Letter Sent on: 4-17-2025

Comply by Date: 5-01-2025

Date of Mowing Service: 5-29-2025

Need to send the following charges to this person.

Property Owner:
NUTT MICHELLE
1012 Legends Club Dr
MOUNT PLEASANT, SC 29466-9057

<u>ITEMS</u>	<u>AMOUNTS</u>
Filing Fees	\$ 15.00
Admin Fees	\$ 200.00
Mowing	\$ 60.00
<hr/>	
Total	\$ 275.00

Thank you,

Eric Schmett
Jonesboro Police Department
Code Enforcement Division
PO Box 1845
Jonesboro, AR 72403



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

Michelle Nutt

1012 Legends Club Dr

Mt Pleasant, SC 29466

RE: 1313 Pardew

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 13th day of June, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 13th day of June, 2025.

Notary Public

My commission expires: 10 March 2034



DATE	INVOICE NO
6/9/2025	0069457

BILL TO
Michelle Nutt 1012 Legends Club Dr Mt Pleasant, SC 29466

DUE DATE
7/17/2025
DESCRIPTION
QUANTITY
EFFECTIVE RATE
AMOUNT
DISCOUNT
CREDIT
BALANCE

DESCRIPTION	QUANTITY	EFFECTIVE RATE	AMOUNT	DISCOUNT	CREDIT	BALANCE
-------------	----------	----------------	--------	----------	--------	---------

PREVIOUS OUTSTANDING BALANCE 900.00

Code Enforcement Charges:

Filing Fee - 1313 Pardew	1.00	15.00	15.00	0.00	0.00	15.00
Admin. Fee - 1313 Pardew	1.00	200.00	200.00	0.00	0.00	200.00
Mowing - 1313 Pardew	1.00	60.00	60.00	0.00	0.00	60.00

INVOICE TOTAL: 275.00 0.00 0.00 275.00

PLEASE DETACH BOTTOM PORTION & REMIT WITH YOUR PAYMENT

For questions please contact us at (870) 932-3042

Customer Name: Michelle Nutt
Customer No: 021646
Account No: 0035247 - Code Enforcement Charges

DUE DATE	INVOICE NO
7/17/2025	0069457

Please remit payment by the due date to:

City of Jonesboro
300 South Church Street
PO Box 1845
Jonesboro, AR 72403

If payment is not made within (30) days, the lien may be certified to Craighead County for collection on real estate taxes or City may pursue a judicial foreclosure in accordance with Ark. Code Ann. § 14-54-904.

Invoice Total: 275.00
Discounts: 0.00
Credit Applied: 0.00
Ending Balance: 1,175.00

INVOICE BALANCE: \$275.00
AMOUNT PAID: _____

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Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

☐ Return Receipt (electronic)

\$

☐ Certified Mail Restricted Delivery

\$

☐ Adult Signature Required

\$

☐ Adult Signature Restricted Delivery

\$

Postmark
Here

Postage

\$

Total Postage and Fees

\$

Sent To **NUTT MICHELLE**

Street and Apt. No., or PO Box No.

1012 LEGENGs CLUB DR

City, State, ZIP+4®

MOUNT PLEASANT, SC 29466-9057

91



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

Michelle Nutt

1012 Legends Club Dr

Mt Pleasant, SC 29466

RE: 1313 Pardew

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 21st day of July, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 21st day of July, 2025.

Notary Public

My commission expires: 10 March 2034



Invoice# : 0069457

Case# : 251655

Notice Mailed Prior to 7/21/2025

Michelle Nutt
1012 Legends Club Dr
Mt Pleasant, SC 29466

Subject: 1313 Pardew Parcel# 01-144212-20200

This is notification that the property mentioned above is subject to a lien for cost and expenses due to the City of Jonesboro for correcting code violations. This lien will be placed on the agenda for approval before the City Council of the City of Jonesboro on 9/2/2025.

The Council Meeting is at 5:30pm in the Municipal Building Council Chambers located at 300 S. Church St.

You have the right to appear and contest this action.

Should you have any question about this process, please call the Code Enforcement Office at 870-933-4658.

Thank you

Scott Roper
Director of Code Enforcement
City of Jonesboro
300 S. Church Street
Jonesboro, AR 72401
Phone: 870-933-4658

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Extra Services & Fees (check box, add fee as appropriate)

- | | | |
|--|----|-------|
| <input type="checkbox"/> Return Receipt (hardcopy) | \$ | _____ |
| <input type="checkbox"/> Return Receipt (electronic) | \$ | _____ |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ | _____ |
| <input type="checkbox"/> Adult Signature Required | \$ | _____ |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | _____ |

Postage

\$

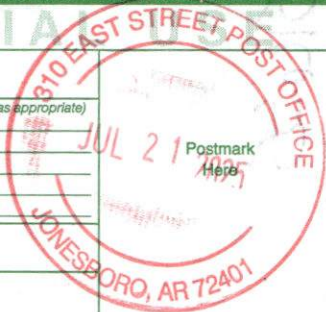
Total Postage and Fees

\$

Sent To **NUTT MICHELLE**

Street and Apt. No., or PO Box No.
1012 LEGENDS CLUB DR

City, State, ZIP+4®
MOUNT PLEASANT, SC 29466-9057



94

9589 0710 5270 2238 0441 67



Office of Code Enforcement
P.O. Box 1845, Jonesboro, AR 72403

870-933-4658

AFFIDAVIT

NUTT MICHELLE

1012 Legends Club Dr

MOUNT PLEASANT, SC 29466-9057

RE: 1313 PARDEW ST

I, Eric Schmett, a Code Enforcement Officer, being duly sworn upon oath, that I served the attached notice(s) upon each of the persons or firms therein addressed, by depositing copies thereof in the United States Mail, enclosed within envelopes plainly addressed, as shown with postage fully prepaid, at the Jonesboro, Arkansas Post Office located at 310 East Street, Suite A., before 3:00 P.M., on the 17th day of April, 2025.

Eric Schmett
Jonesboro Code Enforcement

Subscribed and sworn before me the 17th day of April, 2025.

Notary Public

My commission expires: 10 March 2034



Notice of Violation

04/17/2025

NUTT MICHELLE
1012 Legends Club Dr
MOUNT PLEASANT SC 29466-9057

Case #: 251655

In regards to property located at: 1313 PARDEW ST, JONESBORO, AR 72401

Our records show that you own the property listed above. We have observed that the property needs mowed and trimmed. We are sending this letter and are allowing you the opportunity to correct the violation(s) mentioned below by the end of the day on 05/01/2025. If the issue is not corrected by the date listed, the City will send our contractor to mow and trim the whole property, and place a lien on your property. Please call the Code Enforcement Office at (870) 933-4658 if you have any questions. If you would like to view the ordinance in violation online, they are available on City Clerk section of www.jonesboro.org

Additionally, any owner/occupant shall be presumed to have notice for the violation of overgrown grass or weeds if the owner/occupant has received notice of the same violation within the same calendar year.

Section:

30-5 Overgrown Grass, Weeds, Vines, or Low hanging Limbs

30-5 Unsightly or Unsanitary Conditions

Call me direct as soon as you receive this letter at 870-273-2129. Please read last line of this letter carefully.

Sincerely,

A handwritten signature in cursive script, appearing to read "C. Blake Nichols".

Blake Nichols
Code Enforcement Officer
P.O. Box 1845
Jonesboro, AR 72403

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Certified Mail Fee

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Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$ _____
- ☐ Return Receipt (electronic) \$ _____
- ☐ Certified Mail Restricted Delivery \$ _____
- ☐ Adult Signature Required \$ _____
- ☐ Adult Signature Restricted Delivery \$ _____

Postmark
Here

Postage

\$

Total Postage and Fees

\$

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

Nutt Michelle
1012 Legends Club Dr
Mount Pleasant SC 29466-9707

9589 0710 5270 0454 47



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: ORD-25:030

Agenda Date:

Version: 1

Status: First Reading

In Control: Public Safety Council Committee

File Type: Ordinance

AN ORDINANCE MODIFYING ORDINANCE 24:037 WHICH ESTABLISHED AND CONSOLIDATED SPECIAL TRAFFIC PATTERNS NEAR JONESBORO PUBLIC SCHOOLS (JPS) CAMPUSES AND FOR OTHER PURPOSES

WHEREAS, The City of Jonesboro adopted ORD-24:037 which established and consolidated specific traffic patterns near Jonesboro public school (JPS) campuses.

WHEREAS, The City of Jonesboro has been asked by the Jonesboro Public School Administration to designate Wilkins Avenue as one-way, eastbound, from Macarthur Park to Hillcrest Drive, between the hours of 7:15 AM to 8:15 AM and 2:45 PM to 4:15 PM, on school days

WHEREAS The traffic control committee has reviewed and support the request.

WHEREAS, In order to allow for education and preparation by Jonesboro Public School patrons are area motorist, the school hours one-way portion of this ordinance will not take effect until January 1, 2026.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE JONESBORO, ARKANSAS, THAT:

ORD-24:037 is hereby modified to designate Wilkins Avenue from MacArthur Park to Hillcrest Drive to be one-way, eastbound, from 7:15 AM to 8:15AM between 2:45PM and 4:00PM on school days effective January 1, 2026.



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: ORD-25:031

Agenda Date:

Version: 1

Status: First Reading

In Control: Public Safety Council Committee

File Type: Ordinance

AN ORDINANCE TO THE CITY OF JONESBORO TO PLACE VARIOUS TRAFFIC SIGNS AT DESIGNATED LOCATIONS AS DETERMINED BY THE TRAFFIC CONTROL COMMITTEE

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL FOR THE CITY OF JONESBORO ARKANSAS TO MAKE THE FOLLOWING CHANGES AS RECOMMENDED BY THE Traffic Control Committee:

- Establish and sign an All way stop at Culberhouse Road and Burke Avenue

Establish the following school zone speed limits

- Success School (613 N. Fisher St.) 25 MPH on Fisher St. from Hoover Street to Belt Street, and on Belt Street from Allis Street to Fisher Street
- Annie Camp Jr. High (1814 W. Nettleton Ave) 25 MPH on W. Nettleton Avenue from Hester Street to Dupwe Drive, and 20 MPH on Ferrell Street from Matthews Avenue to school lot
- Kindergarten Center (618 W. Nettleton Ave) 25 MPH on W. Nettleton Avenue from Lamar Place to Flint Street
- Macarthur Jr. High (1615 Wilkins Ave) 25 MPH on Wilkins Avenue from Metzler Lane to Hillcrest Drive
- Nettleton Intermediate (2219 Thorn St.) 20 MPH on Race Street from Mary Jane Drive to Thorn Street, and on Thorn Street. from Race Street to School St.
- Nettleton Jr. High (4208 Chieftain Lane) 15 MPH on Race Street. from Willow Road to Donald Street
- Math and Science (213 E. Thomas Green Rd) 25 MPH on Thomas Green Road from Hwy 141 to Danlee Drive
- Ridgefield Christian (3824 Casey Springs Rd) 25 MPH on Casey Springs Rd. from 150' east of Sloan Lake Dr. to 1000' east of Casey Springs Cv.

- International Studies (1218 Cobb St) 25 MPH on Rains Street from Richmond Avenue to Oak Street
- Health and Wellness (located at 1001 Rosemond Ave) 25 MPH on Rosemond Avenue from James Street to Roy Street
- University Heights (300 Bowling Ln) 15 MPH on Bowling from Kitterman to Aggie, and 25 MPH on Aggie from 450' west of Airport Rd. to 200' west of Lake Dr.
- Valley View (2131 Vallie View Dr) 15 MPH on Valley View Dr. from Thompson Drive to Christian Valley Drive
- Jonesboro High (300 Hurricane Dr) 25 MPH on Main St. from Campus St. to College Ave.
- Fox Meadow (2305 Fox Meadow Ln) 25 MPH on Fox Meadow Ln. from Stadium Blvd to Caraway Road
- Leadership (1110 W. Washington Ave) 25 MPH on Washington Avenue from Floyd Street to Walnut Street



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: ORD-25:032

Agenda Date:

Version: 1

Status: Second Reading

In Control: City Council

File Type: Ordinance

AN ORDINANCE TO AMEND CHAPTER 117, KNOWN AS THE ZONING ORDINANCE PROVIDING FOR CHANGES IN ZONING BOUNDARIES FROM PD-M, MULTI-FAMILY USE AND OFFICE/SENIOR LIVING USE TO PD-M COMMERCIAL USE FOR PROPERTY LOCATED AT 3412 SOUTHWEST DRIVE AS REQUESTED BY JEREMY BEVILL ON BEHALF OF SOUTHERN HILLS REAL ESTATE, LLC

BE IT ORDAINED BY THE CITY COUNCIL OF JONESBORO, ARKANSAS:

SECTION I: CHAPTER 117, KNOWN AS THE ZONING ORDINANCE OF THE CITY OF JONESBORO, ARKANSAS BE AMENDED AS RECOMMENDED BY THE METROPOLITAN AREA PLANNING COMMISSION BY THE CHANGES IN ZONING CLASSIFICATION AS FOLLOWS:

FROM: **PD-M MULTI-FAMILY USE AND OFFICE/SENIOR LIVING USE**
TO: **PD-M, COMMERCIAL USE**

THE FOLLOWING DESCRIBED PROPERTY:

LEGAL DESCRIPTION:

TRACT 1:

A part of Block B, Lot 1R of the First Replat of Block C and Block A, Southern Hills, Jonesboro, Craighead County, Arkansas, being more particularly described as follows:

BEGINNING at Northwest corner of said Block B, Lot 1R, said point also lying on the Southerly Right of Way of Southern Branch Drive;

Thence, along said Right of Way, South 58° 48' 40" East, a distance of 146.41 feet;

Thence South 31° 11' 20" West leaving right of way, a distance of 174.96 feet;

Thence South 61° 00' 44" West, a distance of 22.07 feet;

Thence North 65° 02' 12" West, a distance of 122.70 feet;

Thence North 34° 21' 37" East, a distance of 49.44 feet;

Thence North 25° 20' 20" East, a distance of 158.87 feet to a POINT OF BEGINNING, containing

0.63 acres (27,292 sq. ft.), more or less, and being subject to all Rights of Way and easements of record.

TRACT 2:

A part of Block K, Southern Hills, Jonesboro, Craighead County, Arkansas, being more particularly described as follows:

BEGINNING at the Southwest corner of said Block K, said point being on the Northerly Right of Way of Southern Ridge Boulevard;

Thence North 31° 29' 02" East, a distance of 288.57 feet;

Thence South 82° 47' 22" East, a distance of 316.26 feet;

Thence North 89° 57' 14" East, a distance of 398.11 feet;

Thence South 00° 02' 47" West, a distance of 157.63 feet;

Thence South 89° 57' 26" East, a distance of 192.18 feet;

Thence South 00° 39' 38" West, a distance of 222.79 feet to a point on a curve to the left, said point being on the Northerly Right of Way of Southern Ridge Boulevard;

Thence northwesterly along said Right of Way curve to the left with a radius of 1,068.99 feet, 172.24 feet to a point that bears North 85° 33' 45" West, 172.04 feet from last said point;

Thence South 89° 48' 24" West, a distance of 141.96 feet to a point on a curve to the right;

Thence northwesterly along said Right of Way curve to the right with a radius of 1,060.07 feet, 276.88 feet to a point that bears North 82° 30' 40" West, 276.03 feet from the last said point;

Thence North 74° 57' 06" West, a distance of 481.46 feet to a POINT OF BEGINNING, containing 6.94 acres, more or less, and being subject to all Rights of Way and easements of record.

SECTION II: THE REZONING OF THIS PROPERTY SHALL ADHERE TO THE FOLLOWING STIPULATIONS:

- A. That the proposed site shall satisfy all requirements of the City Engineer, all requirements of the current Stormwater Drainage Design Manual and Flood Plain Regulations regarding any new construction.
- B. A final site plan subject to all ordinance requirements shall be submitted, reviewed, and approved by the Planning Department, prior to any redevelopment of the property.
- C. Any change of use shall be subject to Planning Department approval in the future.
- D. A final site plan illustrating compliance with site requirements for parking, signage, landscaping, fencing, buffering, outdoor storage, dumpster enclosure, sidewalks etc. shall be submitted to the Planning Department prior to any redevelopment.
- E. The Rezoning will have to comply with all the Planned Development District Standards.
- F. The Rezoning will comply with the amended Development Guidelines approved by the Metropolitan Area Planning Commission on August 12, 2025.

SECTION III: THE CITY CLERK IS HEREBY DIRECTED TO AMEND THE OFFICIAL

ZONING DISTRICT BOUNDARY MAP OF THE CITY OF JONESBORO, ARKANSAS,
INsofar AS IT RELATES TO THE LANDS DESCRIBED HEREINABOVE SO THAT THE
ZONING CLASSIFICATION OF SAID LANDS SHALL BE IN ACCORDANCE WITH THE
PROVISIONS OF THIS ORDINANCE.



Application for a Zoning Ordinance Map Amendment

METROPOLITAN AREA
PLANNING COMMISSION
Jonesboro, Arkansas

Meeting Date: _____ Date Received: _____
Meeting Deadline: _____ Case Number: _____

LOCATION:

Site Address: 3412 Southwest Drive

Side of Street: East between Jaxon Drive and Kellers Chapel Road

Quarter: SE Section: 36 Township: 14N Range: 3E

Attach a survey plat and legal description of the property proposed for rezoning. A Registered Land Surveyor must prepare this plat.

SITE INFORMATION:

Existing Zoning: PD-M Mult-family & Office/Senior Living Proposed Zoning: PD- M Commercial

Size of site (square feet and acres): 7 Acres +/- Street frontage (feet): 1,100'

Existing Use of the Site: Vacant

Character and adequacy of adjoining streets: Southwest Drive (Principal Arterial) is 5-lane Hwy.

Does public water serve the site? Yes 8" Water main is on property.

If not, how would water service be provided? N/A

Does public sanitary sewer serve the site? Yes, existing sewer is in-place.

If not, how would sewer service be provided? N/A

Use of adjoining properties:

North Vacant

South Vacant & Convenience Store

East Vacant

West Vacant

Physical characteristics of the site: Land sloping east.

Characteristics of the neighborhood: Commercial

Applications will not be considered complete until all items have been supplied. Incomplete applications will not be placed on the Metropolitan Area Planning Commission agenda and will be returned to the applicant. The deadline for submittal of an application is on the public meeting schedule. The Planning staff must determine that the application is complete and adequate before it will be placed on the MAPC agenda.

REZONING INFORMATION:

The applicant is responsible for explaining and justifying the proposed rezoning. Please prepare an attachment to this application answering each of the following questions in detail:

- (1). How was the property zoned when the current owner purchased it?
Mixed Zoning, RS-1, C-3
- (2). What is the purpose of the proposed rezoning? Why is the rezoning necessary?
Highest & best use of the property.
- (3). If rezoned, how would the property be developed and used?
Commercial Development.
- (4). What would be the density or intensity of development (e.g. number of residential units; square footage of commercial, institutional, or industrial buildings)?
Square footage of commercial is estimated at 80,000.
- (5). Is the proposed rezoning consistent with the Jonesboro Comprehensive Plan and the Future Land Use Plan?
Yes, this portion of Southwest Drive is High Intensity.
- (6). How would the proposed rezoning be the public interest and benefit the community?
Yes, retail and commercial businesses.
- (7). How would the proposed rezoning be compatible with the zoning, uses, and character of the surrounding area?
The subject property is adjacent to commercial and multi-family zoning.
- (8). Are there substantial reasons why the property cannot be used in accordance with existing zoning?
Current housing demands.
- (9). How would the proposed rezoning affect nearby property including impact on property value, traffic, drainage, visual appearance, odor, noise, light, vibration, hours of use or operation and any restriction to the normal and customary use of the affected property.
The rezoning and future development should have a positive impact on adjacent properties.
- (10). How long has the property remained vacant?
Lots are vacant. The land has been developed into a commercial subdivision recently
- (11). What impact would the proposed rezoning and resulting development have on utilities, streets, drainage, parks, open space, fire, police, and emergency medical services?
Impacts, if any, can be mitigated through the design phase.
- (12). If the rezoning is approved, when would development or redevelopment begin?
Within 1 month.
- (13). How do neighbors feel about the proposed rezoning? Please attach minutes of the neighborhood meeting held to discuss the proposed rezoning or notes from individual discussions. *If the proposal has not been discussed with neighbors, please attach a statement explaining the reason. Failure to consult with neighbors may result in delay in hearing the application.*
Adjacent properties are vacant.
- (14). If this application is for a Limited Use Overlay (LUO), the applicant must specify all uses desired to be permitted.

OWNERSHIP INFORMATION:

All parties to this application understand that the burden of proof in justifying and demonstrating the need for the proposed rezoning rests with the applicant named below.

Owner of Record:

I certify that I am the owner of the property that is the subject of this rezoning application and that I represent all owners, including spouses, of the property to be rezoned. I further certify that all information in this application is true and correct to the best of my knowledge.

Applicant:

If you are not the Owner of Record, please describe your relationship to the rezoning proposal:

Name:	<u>Southern Hills Real Estate, LLC</u>	Name:	<u>Jeremy Bevill, PE</u>
Address:	<u>2704 S. Culberhouse</u>	Address:	<u>2520 Alexander Dr, Ste C</u>
City, State:	<u>Jonesboro, AR</u> ZIP <u>72401</u>	City, State:	<u>Jonesboro, AR</u> ZIP <u>72401</u>
Telephone:	<u>870-935-7800</u>	Telephone:	<u>870-203-7876</u>
Facsimile:	<u>N/A</u>	Facsimile:	<u>N/A</u>
Signature:	<u></u>	Signature:	<u></u>

Deed: Please attach a copy of the deed for the subject property.

Applications will not be considered complete until all items have been supplied. Incomplete applications will not be placed on the Metropolitan Area Planning Commission agenda and will be returned to the applicant. The deadline for submittal of an application is on the public meeting schedule. The Planning staff must determine that the application is complete and adequate before it will be placed on the MAPC agenda.

Southern Hills

Planned Development - Major Modification (ORD-20:018, v. 1)
Development Guidelines

Submitted to:
City of Jonesboro
Planning & Zoning Department
300 S. Church St
Jonesboro, AR 72401

Job No. 24902900

Prepared by:



Crafton Tull

Prepared for:
Southern Hills Real Estate, LLC
2505 Southwest Square
Jonesboro, AR 72401

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Area K Approved & Proposed10

Modified Development Guidelines11

Street Sections and Buffer Yards16

Character Images16

Site and Project Information

Owner Information:

Name: Southern Hills Real Estate, LLC
Address: 2110 Fair Park Boulevard, Suite E, Jonesboro, AR 72401

Project Information:

Parcels: 01-143362-17100, 01-143362-17000, 01-143362-17120, 01-143362-17110, 01-143362-17200, 01-143362-06500, 01-143362-06600, 01-143362-16600, 01-143362-16500, 01-143362-16400, 01-143362-16700, 01-143362-16800, 01-143362-16900, 01-143362-17300, 01-143362-05700, 01-143362-05620, 01-143362-05610, 01-143362-05600, 01-143362-05500, 01-143362-06000, 01-143362-05900, 01-143362-05800, 01-143362-06100, 01-143362-06200, 01-143362-06400, 01-143362-06300, 01-143362-05400, 01-143362-05300, 01-143362-05210

Address: 3412 Southwest Dr, Jonesboro, AR
Acreage: ±118.34 acres
Existing Zoning: PD-M
Existing Use: Mixed-Use
Proposed Zoning: PD-M
Proposed Use: Mixed-Use

Project Narrative

The Southern Hills is an approved Planned Development District (PD-M, ORD-20:018 v. 1) that allows for a variety of residential, commercial and related uses. Many lots in the district are being designed, under construction, or fully constructed. Crafton Tull has helped design many of the various lots in the PD and seeks a modification to the previously approved Final Development Plan.

The proposed modifications to the Final Development Plan will expand the boundaries of Area A (retail/small lot use) and reduce the size of Area B (Office/Senior Living Uses). Area K (condominiums, townhomes, multi-family uses) will also be modified so the lots fronting Southern Ridge Blvd are commercial and the lots fronting Jaxon Dr. are remaining condos, townhomes, and multi-family. All the proposed changes align with the intent of the existing ordinance and permitted uses.

All other development guidelines as approved in the ordinance will remain unchanged.

Vicinity Map



Legal Description

A part of the Southwest Quarter of the Northwest Quarter , a part of the Southeast Quarter of the Northwest Quarter, & a part of the Southwest Quarter of the Northeast Quarter & a part of the Northwest Quarter of the Southwest Quarter & a part of the Northeast Quarter of the Southwest Quarter, & a part of the Northwest Quarter of the Southeast Quarter, and all being in Section 36, Township 14 North, Range 3 East, Craighead County, Arkansas and being more particularly described as follows:

COMMENCING at the Southwest corner of the Northwest Quarter of the Southwest Quarter of said Section 36; thence North 88°56'51" East, 181.29 feet to the POINT OF BEGINNING; Thence North 00°44'51" West, 24.89 feet; Thence North 87°12'05" West, 68.02 feet; Thence North 16°47'37" West, 24.92 feet; Thence North 19°52'49" East, 148.99 feet; Thence North 21°32'46" East, 163.36 feet; Thence North 23°49'52" East, 197.11 feet; Thence with a curve to the right, with a radius of 2864.79 feet, 92.83 feet, to a point which bears North 28°11'21" East, 92.83 feet from the last said point; Thence South 61°02'05" East, 9.95 feet; Thence with a curve to the right, with a radius of 2878.33 feet, 307.41 feet, to a point which bears North 32°07'04" East, 307.27 feet from the last said point; Thence North 37°17'30" East, 129.76 feet; Thence North 37°24'18" East, 59.69 feet; Thence North 41°11'15" East, 196.50 feet; Thence North 45°10'17" East, 196.38 feet; Thence North 49°17'02" East, 202.12 feet; Thence North 51°19'12" East, 568.98 feet; Thence North 56°40'44" East, 113.17 feet; Thence North 56°38'48" East, 209.43 feet; Thence North 40°22'27" East, 156.89 feet; Thence North 51°36'11" East, 247.58 feet; Thence North 38°23'54" West, 10.00 feet; Thence North 51°36'06" East, 171.70 feet; Thence with a curve to the left, with a radius of 1733.51 feet, 175.32 feet, to a point which bears North 48°19'18" East, 175.25 feet from the last said point; Thence South 37°12'39" East, 110.56 feet; Thence South 37°01'48" East, 143.79 feet; Thence South 89°00'31" West, 35.43 feet; Thence South 00°04'39" West, 208.81 feet; Thence North 89°05'10" East, 209.73 feet; Thence North 00°10'04" West, 629.18 feet; Thence North 88°59'44" East, 656.02 feet; Thence South 00°00'17" East, 1074.26 feet; Thence South 89°59'48" West, 319.95 feet; Thence South 00°39'38" West, 250.80 feet; Thence South 00°39'38" West, 1320.06 feet; Thence South 88°56'31" West, 329.96 feet; Thence South 88°48'06" West, 1314.89 feet; Thence South 88°56'51" West, 1135.34 feet to the POINT OF BEGINNING, containing 118.34 acres more or less and being subject to all rights of way and easements of record.

Approved PD Master Development Plan

Areas A, B, and K from the approved PD are proposed to be amended. No modifications are requested for the remaining areas in the PD.



Figure 1: Previously Approved PD Final Development Plan

Proposed PD Master Development Plan

Modifications to the ordinance are necessary as lots are being developed. Eight lots have been developed with more under design. The majority of the PD will remain as approved. The two proposed changes are highlighted below.



Figure 2: Proposed Modifications to the PD

Area A-B Approved & Proposed

The modifications to Areas A & B are as follows:

	Approved	Proposed
Area A	± 4.06 acres	± 4.32 acres
Area B	± 3.86 acres	± 2.69 acres

The uses of each area will not be modified. Area A will be slightly expanded and Area B will be reduced. The expansion of Area A will allow for expanded retail/commercial development on the Southwest Drive corridor. Total acreages differ from approved due to minor shifts in road alignments during site planning and construction.

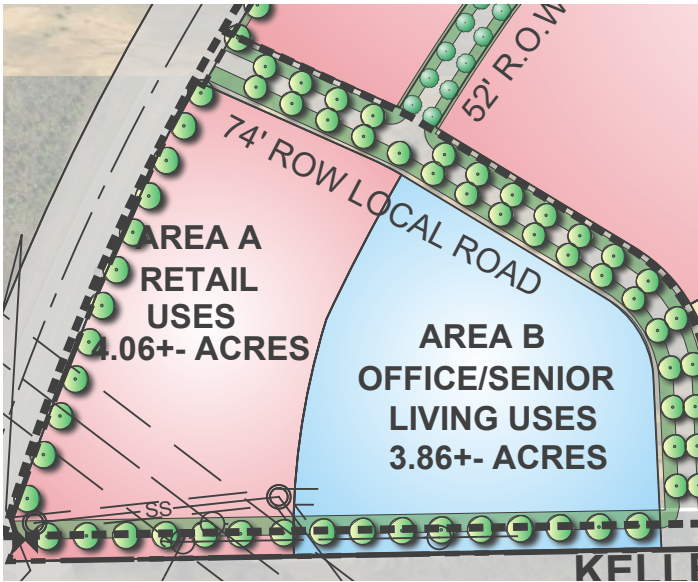


Figure 3: Approved Areas A & B

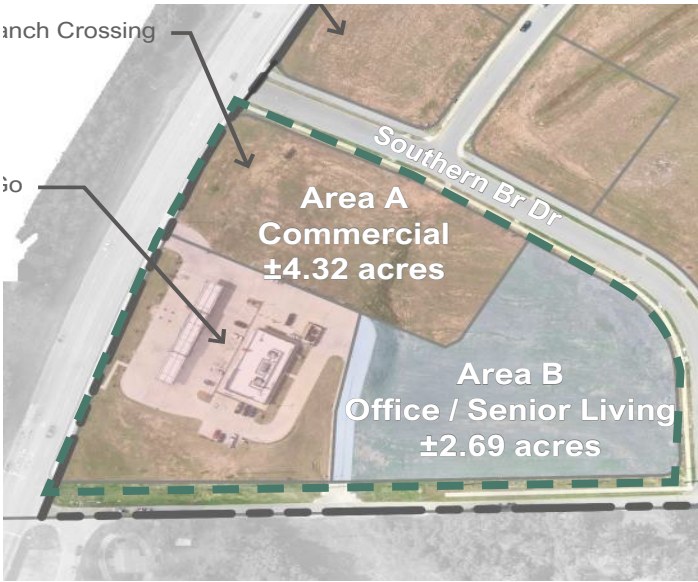


Figure 4: Proposed Areas A & B

Area K Approved & Proposed

The modification to Area K are shown in the table below:

Area K	Approved		Proposed	
	Condos, Townhomes, Multi-Family	Commercial	Condos, Townhomes, Multi-Family	Commercial
	± 12.14 acres	± 0.00 acres	± 4.08 acres	± 6.94 acres

The proposed commercial lots will front Southern Ridge Blvd, a new collector street that connects Southwest Drive, the PD site, and future development. These lots, located in Area K, will be governed by the same C-3 base zoning as other areas within the approved PD, which permits uses such as grocery stores. The largest of these lots is planned for a grocery store, providing a much-needed service to both the PD's residential areas and the broader community. Adjacent lots along Jaxon Dr. will remain designated for condos, townhomes, and multi-family housing. Minor shifts in road alignments during site planning and construction have resulted in slight changes to total acreages compared to the original approval.

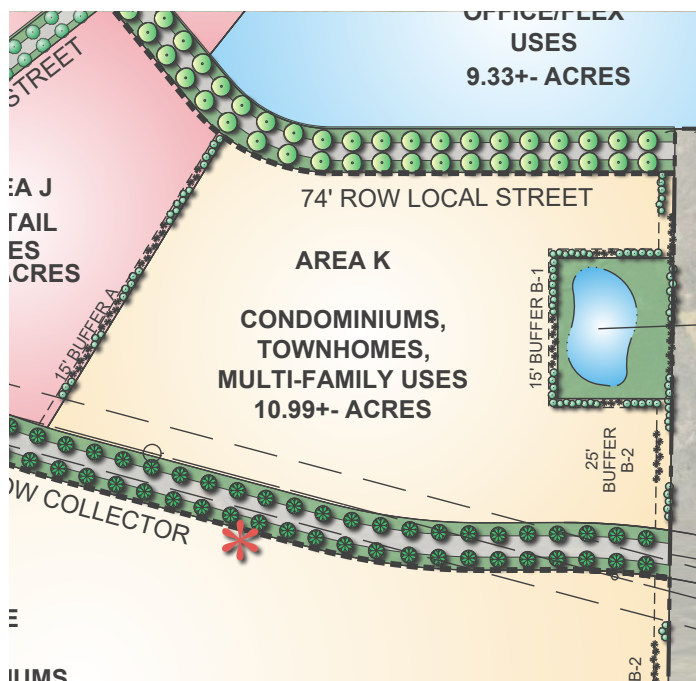


Figure 5: Approved Area K



Figure 6: Proposed Area K

Modified Development Guidelines

I. GENERAL

Proposed modifications to the PD are written below and marked in **red**. All other permitted uses, dimensional regulations, access and circulation, design criteria, etc for the project will remain the same as approved. The approved development guidelines have been listed below for reference.

- A. **Areas A, C, D, H, J, K, and L - The planned uses are limited to commercial and retail services arranged on separate lots, as regulated by the C-3 General Commercial District as modified herein.**
 - B. Area B - The planned uses are limited to office and assisted living services as regulated by the CR-1 Commercial Residence Mixed Use District.
 - C. Areas E and K - The planned uses are limited to multi-family residential as regulated by the RM-16 Residential Multifamily District, including condominiums, townhouses, and multi-family.
 - D. Area F - The planned uses are limited to self-storage facilities as regulated by the C-3 General Commercial District.
 - E. Area G, N and O - The planned uses are limited to common open space.
 - F. Area M - The planned uses are limited to office flex space.
 - G. All areas - Quasi-public facilities are allowed in all development areas. These uses may include churches, public or quasi-public amenity areas, schools, and public or quasi-public governmental facilities.
- and regulated in the C-3, General Commercial District as modified herein. The following uses are excluded:**
- 1. Adult entertainment
 - 2. Auto wrecking yards, salvage yards, and junkyards
 - 3. Cemetery
 - 4. Columbarium
 - 5. Funeral home
 - 6. Manufactured housing units
 - 7. Pawn shop
 - 8. Recreational vehicle park
- B. Office and Assisted Living Uses shall be permitted in Area B, as permitted and regulated in the CR-1 Commercial Residence Mixed Use District, as modified herein.
 - C. Commercial Uses shall be permitted in Areas D and J, as permitted and regulated in the C-3 General Commercial District, as modified herein.
 - D. Multi-family Residential Uses shall be permitted in Areas E and K, as permitted and regulated in the RM-16 Multifamily Residential District, as modified herein. Such uses include condominiums, townhouses, and multi-family.
 - E. Office and Commercial Uses shall be permitted in Area M as permitted and regulated in the C-4 Neighborhood Commercial District, as modified herein.
 - F. Common Open Spaces shall be provided in Areas G, N, and P as regulated herein.
 - G. Commercial Self-Storage Use shall be permitted in Area F, as permitted and regulated in the C-3 General Commercial District, as modified herein.
 - H. A Declaration of Covenants, Conditions and Restrictions, hereinafter the “Declaration” shall be applicable to all properties within the development and an Owner’s Association shall be maintained to assure that development is completed to assure that all

II. USES PERMITTED

- A. **Commercial Uses shall be permitted in Areas A, C, D, H, K, and L as permitted**

features and amenities of the community which are considered to be common assets are continuously maintained in a quality manner. Multiple declarations will be allowed within different areas.

III. BULK REQUIREMENTS

Development will be generally guided by the Outline Plan, Site Plan and Master Plan, and the area use descriptions provided above. Development of individual parcels will be specifically in compliance with the provisions for dimensional regulations, and access and circulation conditions provided below.

Each area is also designated with a Referenced District, referring to zoning districts in the Jonesboro Zoning Ordinance. Other restrictions not specifically addressed here, including but not limited to, setbacks, side and rear yards, minimum lot area, accessory uses and parking and loading shall be as defined in the Jonesboro Zoning Ordinance as applicable to the Reference District for the particular parcel in question. Where provisions of this agreement are in conflict with the above referenced Ordinance, these provisions shall apply. Where two (2) or more provisions of this agreement are in conflict, the more stringent of these provisions shall apply, unless an alternative is approved by the Planning Commission.

A. Maximum densities: Dwelling Units per Acre (DUA) and floor area ratio (FAR) for Areas and uses shall be as follows:

1. 0.25 FAR - Commercial Uses
2. 0.40 FAR - Office Uses
3. 0.50 FAR - Office/Distribution Use
4. 0.70 FAR - Hotel, Motel, or Hospital Uses
5. 16 DUA - Condominium, Townhouse, Multi-Family Residential, or Assisted Living Use

B. Minimum Setbacks for Non-Residential

Uses (Areas A, C, D, H, J, **K**, and L)

1. For buildings greater than 15 feet or one story in height, the minimum side and rear building setbacks as set forth below shall be increased 8 feet for each additional 15-foot increase in building height.
2. Minimum building setback from Southwest Drive shall be 25 feet.
3. Minimum building setback from Kellers Chapel Road shall be 25 feet.
4. Minimum building setback from minor collector streets shall be 25 feet.
5. Minimum building setback from all other public and private rights-of-way shall be 20 feet.
6. Minimum side yard shall be 10 feet unless adjacent to residential use, which shall be 15 feet.
7. Minimum rear yard shall be 20 feet unless adjacent to residential use, which shall have a rear yard of 25 feet.

C. Minimum Building Setbacks for Multi-Family Residential Uses (Areas E and K)

1. Minimum building setback from public rights-of-way shall be 25 feet.
2. Minimum building setback from private drives shall be 20 feet.
3. Maximum building height shall be 45 feet.
4. Minimum side yard adjacent to non-residential uses shall be 15 for single-story structures, 20 feet for two-story structures, and 30 feet for three-story or greater structures. Where adjacent to single-family residential use, the minimum side yard shall be 30 feet.
5. Minimum rear yard shall be 20 feet unless adjacent to single-family residential use, which shall have a rear yard of 35 feet.
6. Buildings with balconies and / or porticos are allowed to infringe into the setback zone with the balcony and / or portico no more than 10 feet.

D. Maximum building heights shall be as follows:

1. All Commercial uses: 35 feet
2. Office uses: 60 feet *
3. Hotel / Motel: 60 feet *
4. Hospitals: 60 feet *
5. All distribution or showroom uses: 50 feet
6. Multi-Family Residential uses: 45 feet

* For every one foot of additional setback from site perimeter and public roads, a gain of one-half foot in building height shall be allowed with a maximum height of 70 feet for non-residential structures.

- E. Minimum required site area for each non-residential use shall be in conformance with the Zoning Ordinance requirements and shall conform to the density requirements set forth in Condition III. A.
- F. Air conditioning, heating, electrical, and other mechanical and utility equipment shall be screened using architectural features, planting, fences, or other means from motorists on public rights-of-way and the site perimeter.
- G. Outdoor storage on Areas A, C, D, H, J, **K**, L, and M shall be buffered in public rights-of-way or adjacent residential properties.

IV. ROADS, ACCESS, AND CIRCULATION

- A. Southwest Drive shall be full improved 50 feet from the centerline. Improvements shall include sidewalks (or an alternative pedestrian system), street lighting, and relocation of utilities (if necessary).
- B. Kellers Chapel Road shall be dedicated and fully improved 40 feet from the centerline. Improvements shall include curb and gutter, sidewalks (or an alternative pedestrian system), street lighting, and relocation of utilities (if necessary).
- C. All internal public streets shall be dedicated

and improved in accordance with the Street Sections.

- D. The maximum number of curb cuts to Southwest Drive shall be eight (8), distributed as follows, with no curb cut located closer than 300 feet from the intersection with Kellers Chapel Road:
 1. Area A: 1
 2. Area C: 3
 3. Area H: 2
 4. Area L: 2
- E. The maximum number of curb cuts to Kellers Chapel Road shall be five (5), distributed as follows:
 1. Area A: 1
 2. Area B: 1
 3. Area F: 2
 4. Area G: 1
- F. For all other streets, the number and location of curb cuts to parcels shall be subject to the approval of the City Engineer.
- G. Parking and loading spaces shall be in accordance with the Zoning Ordinance requirements. Except that common parking areas may be approved on Final Plans serving several uses which have variations in the accumulation of vehicles and have relationships between land uses that result in multiple visits to different uses in the same trip, based on the Urban Land Institute's Shared Parking formula. Common loading space(s) shall be in accordance with the anticipated intensity of use of the loading space(s) for the various uses. Both parking and loading requirements shall be subject to the approval of the Planning Commission.
- H. All public improvements required herein shall be made to the specifications of the City of Jonesboro.
- I. All private drives shall be constructed to meet applicable Subdivision Regulations and shall provide a minimum pavement width of twenty-four (24) feet, exclusive of curb and gutter

except where modified herein.

- J. All private drives and alleys shall remain private and maintained by the Owner's Association in perpetuity. Full Disclosure shall be made through the private covenants regarding the private status, and maintenance responsibilities, of all alleys and private drives.
- K. All development within Areas A, C, D, F, H, J, **K**, and L shall interconnect in such a manner that interchange between parcels will not require access on Southwest Drive or Kellers Chapel Road.
- L. All utility and pedestrian easements shall be delineated on the Final Plan.
- M. A five-foot utility easement shall be placed along property lines as needed to service development.
- N. The placement and location of utilities within the development, excepting those along Southwest Drive and Kellers Chapel Road, shall be underground.

V. LANDSCAPING, SCREENING, OPEN SPACE

- A. Streetscape areas along Southwest Drive shall be a minimum of 25 feet in width, which includes a green buffer, 6-foot sidewalk, and utility corridor within the right-of-way.
- B. Streetscape areas along Kellers Chapel Road shall be a minimum of 20.5 feet in width (see streetscape plate).
- C. Streetscape areas along internal drives shall adhere to the Streetscape Plates indicated on the Outline Plan, (see plates).
- D. A minimum 15-foot wide Buffer Yard A shall be provided between all commercial and residential uses.
- E. A minimum 15-foot wide Buffer Yard B-1 shall be provided where multi-family residential use adjoins single-family and common open space uses. Where shared

use paths are indicated in the buffer yard separating single-family residential and multi-family residential uses, a minimum 25-foot wide Buffer Yard B-2 shall be provided.

- F. All parking shall be screened from public and private streets with low-growing shrubs and / or berms in conformance with the Street Plates. Landscaping internal to the parking lots shall be provided at a minimum ratio of three hundred (300) square feet of landscaping area and one (1) shade tree per every twenty (20) parking spaces. Landscape areas with twenty (20) or more parking spaces should not be less than two hundred (200) square feet in area in any single location and should be located so that no parking space is further than seventy-five (75) feet from a shade tree. Modifications may be approved by the Planning Commission. Area O is exempt from this requirement.
- G. All construction and improvements within the development shall be in compliance with erosion and sediment control guidelines and ordinances of the City of Jonesboro.
- H. All required landscaping shall not conflict with any existing easements.
- I. Refuse containers and loading areas shall be screened from view of adjacent public roadways and residential properties.

VI. SIGNS

- A. All signs shall be designed, located, and constructed in accordance with a comprehensive sign plan submitted to and approved by the Planning Commission.
- B. The minimum sign setback from any public right-of-way shall be 15 feet, excluding directional and stop signs.
- C. Portable and temporary signs shall not be permitted except temporary construction signs approved by the City of Jonesboro.
- D. Off-premise, advertising, and billboard signs shall not be permitted.

VII. Stipulations

- A. That the proposed site shall satisfy all requirements of the City Engineer, all requirements of the current Stormwater Drainage Design Manual and Flood Plain Regulations regarding any new construction.
- B. A final site plan subject to all ordinance requirements shall be submitted, reviewed, and approved by the Planning Department, prior to any redevelopment of the property.
- C. Any change of use shall be subject to Planning Department approval in the future.
- D. A final site plan illustrating compliance with site requirements for parking, signage, landscaping, fencing, buffering, outdoor storage, dumpster enclosure, sidewalks etc. shall be submitted to the Planning Department prior to any redevelopment.
- E. The Rezoning will have to comply with all the Planned Development District Standards.
- F. The City will allow three permanent roads and up to five temporary driveways along Southwest Drive until such time as a traffic signal is installed by the developer at Drive "E". At that time, any driveway in conflict with the traffic signal shall be removed by the developer. All such, permanent and temporary drives shall meet the spacing and other requirements set forth in the City's Access Management Ordinance, including the need for deceleration lanes or tapers.

Street Sections and Buffer Yards

No modifications are proposed to the approved street sections and buffer yards. Parking on streets will not be allowed.

Character Images

Multi-Family Uses

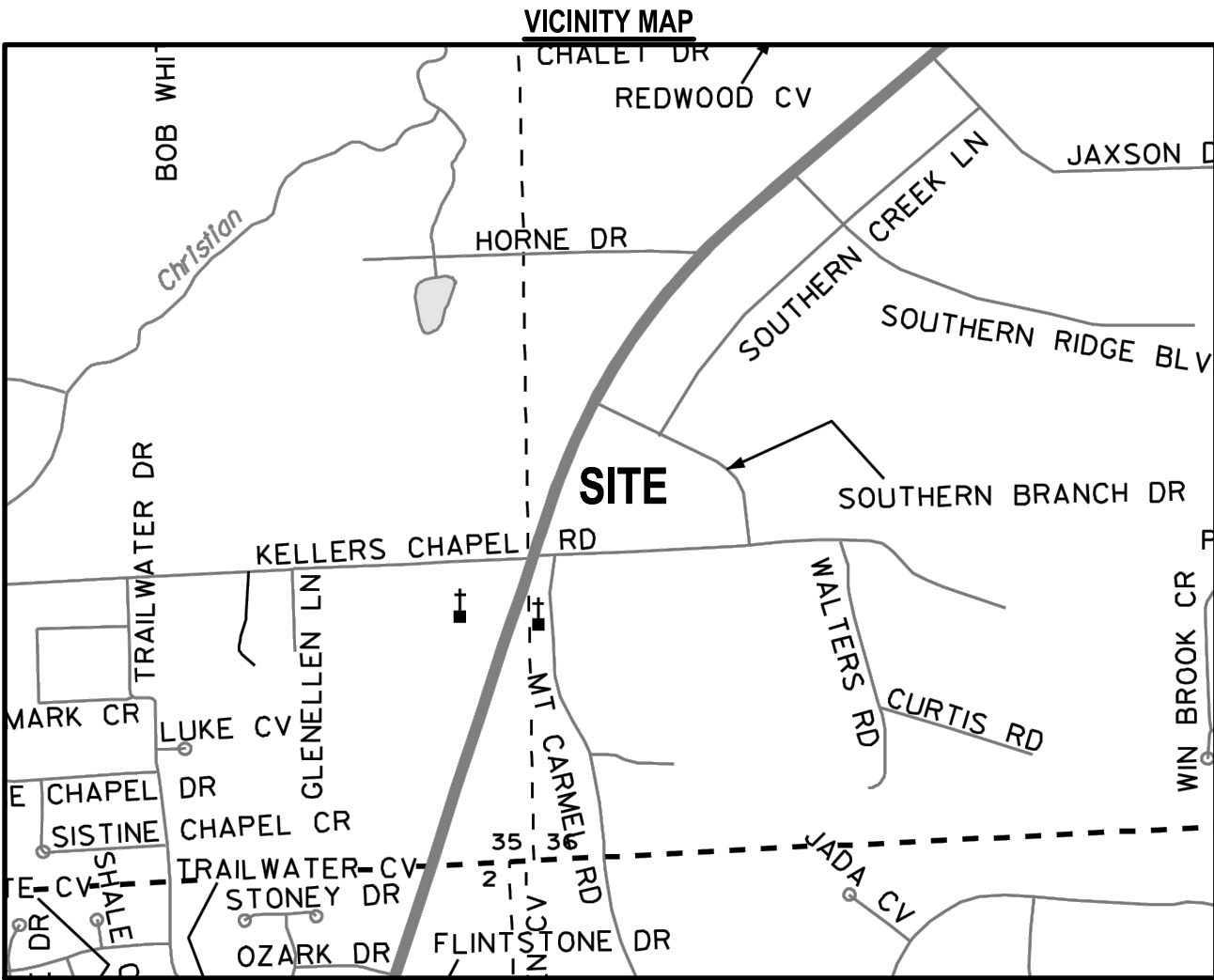


Retail / Commercial



Office





**BLOCK B
SOUTHERN HILLS,
JONESBORO, CRAIGHEAD
COUNTY, ARKANSAS**

THE FOLLOWING DOCUMENTS WERE USED IN CONSTRUCTION OF THIS SURVEY

- A. Arkansas State Highway Commission Right of Way map, Job # 100454, Dated 5/03/2001, obtained from Arkansas Department of Transportation.
- B. Survey by Daniels land Surveying, LLC, Dated 5/05/2021, Filed for record in Plat Book C, Page 362 of Craighead County records.
- C. Survey by Daniels land Surveying, LLC, Dated 8/23/2022, Filed for record in Plat Book C, Page 378 of Craighead County records.

SURVEYOR'S NOTES

- Excerpt as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than possible easements which were visible at the time of making this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations, and any other facts which an accurate and current title search may disclose.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts which an accurate and current title search may disclose.
- Plat represents a boundary survey of a parcel described in Craighead County Deed Records at Book C, Page 378.
- Survey is valid only if print has original seal and signature of surveyor present.
- This survey meets current "Arkansas Minimum Standards for Property Surveys and Plats." Field work for this survey was completed on 03/26/2025.
- Every document of record reviewed and considered as a part of this survey is noted hereon. No abstract of title, nor title commitment, nor results of title searches were furnished to the surveyor. There may exist other documents of record which would affect this parcel.
- The subject properties designated as Parcel 01-143363-05300 and Parcel 01-143363-05400 by the Craighead County, Arkansas, Assessor's Office.
- All buildings, surface and subsurface improvements on and adjacent to the site are not necessarily shown.
- The location and/or existence of utility service lines to the property surveyed are unknown and are not shown.
- No attempt has been made as a part of this boundary survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies or other surveys.

LEGEND

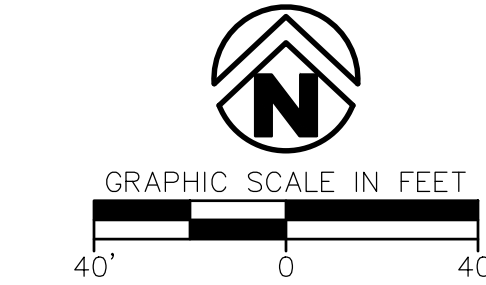
○	SET 5/8" REBAR P.S. 1563	PROPERTY LINE	_____
●	FOUND REBAR P.S. 1563	ADJACENT PROPERTY LINE	_____
⦿	FOUND RIGHT-OF-WAY 5/8" REBAR (AS NOTED)	CENTERLINE ROAD	_____
		EXISTING EASEMENT	_____
		EXISTING RIGHT-OF-WAY	_____

SURVEY DESCRIPTION:

A part of Block B, lot 1R of Southern Hills, Jonesboro, Craighead County, Arkansas, being more particularly described as follows: BEGINNING at the North corner of Block B, lot 1R; Thence South 58°48'40" East, a distance of 146.41 feet; Thence South 31°11'20" West, a distance of 174.96 feet; Thence South 61°00'44" West, a distance of 22.07 feet; Thence North 65°02'12" West, a distance of 122.70 feet; Thence North 34°21'37" East, a distance of 49.44 feet; Thence North 25°20'20" East, a distance of 158.87 feet to a POINT OF BEGINNING, containing 0.63 acres, more or less, and being subject to all Rights-of-Way- and easements of record.

RECORD INFORMATION

BASIS OF BEARINGS:
RECORD PLAT BOOK C, PAGE
378 OF CRAIGHEAD COUNTY
CIRCUIT CLERK OFFICE



STATE PLAT CODE:
500-14N-03E-0-36-401-16-1563

SEAL



REZONING PLAT
BLOCK B
SOUTHERN HILLS, JONESBORO,
CRAIGHEAD COUNTY, ARKANSAS
PREPARED FOR:
SOUTHERN HILLS REAL ESTATE, LLC.

ISSUE DATE: 07/21/2025
PROJECT NO: 24952900
CONTACT: SAM / MAD

2520 Alexander Drive Suite C
Jonesboro, AR 72401-7194



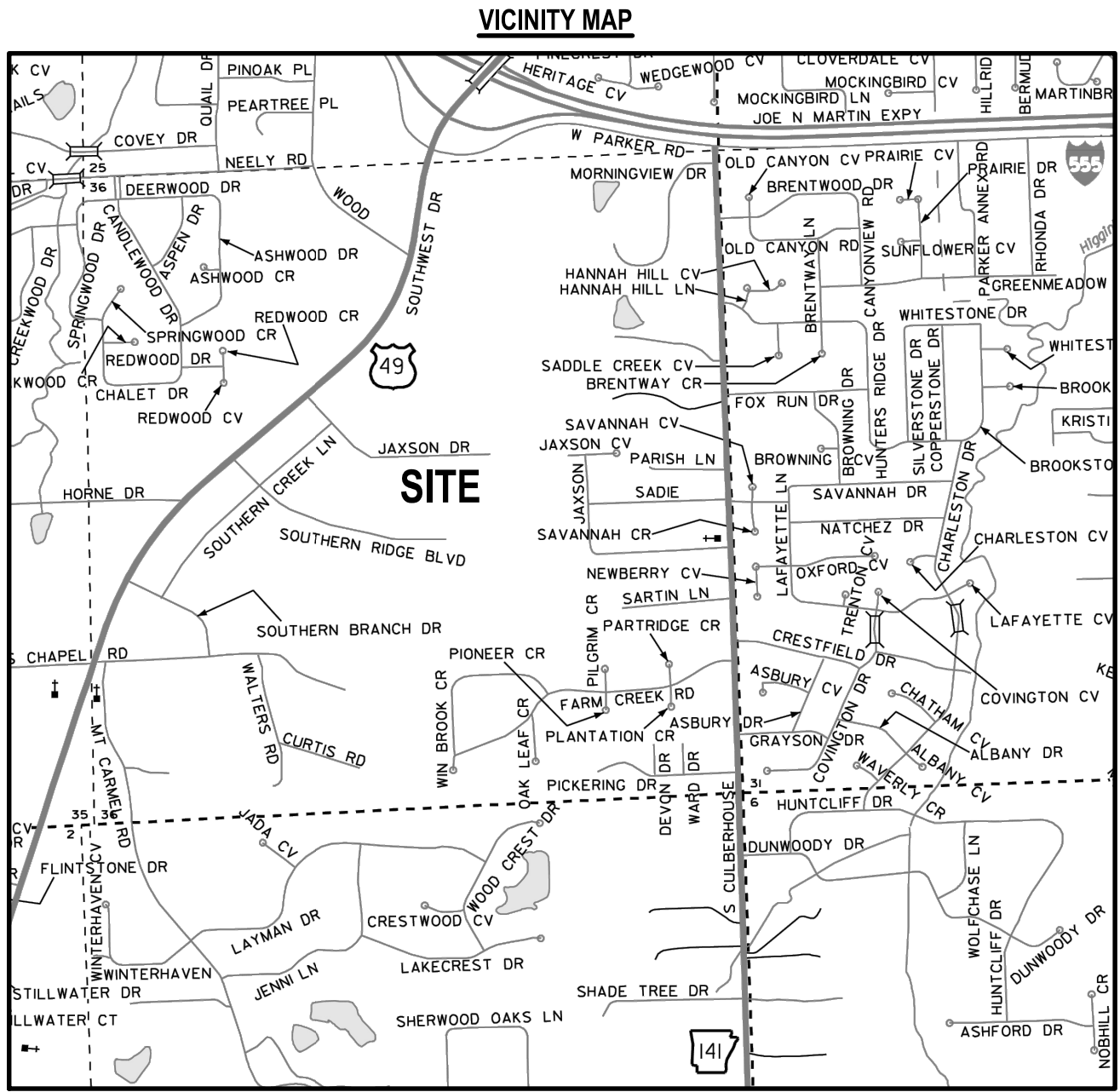
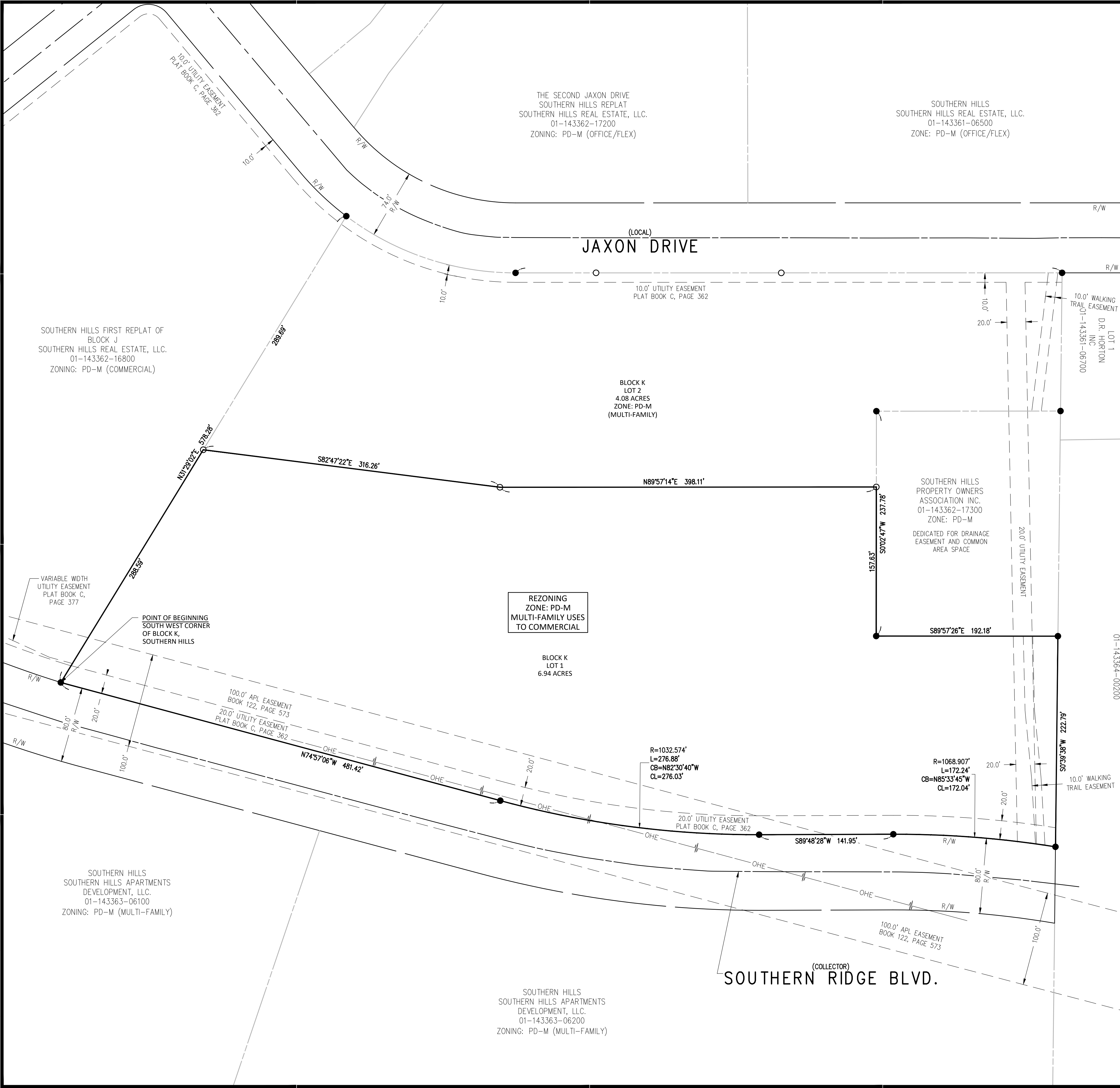
870.203.7876
www.craftontull.com

CERTIFICATE OF AUTHORIZATION



DATE	DESCRIPTION	DATE

SHEET NO.:



**BLOCK K
SOUTHERN HILLS,
JONESBORO, CRAIGHEAD
COUNTY, ARKANSAS**

SURVEYOR'S NOTES:

- Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than possible easements which were visible at the time of making this survey, building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations, and any other facts which an accurate and current title search may disclose.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts which an accurate and current title search may disclose.
- Survey is valid only if print has original seal and signature of surveyor present.
- This survey meets current "Arkansas Minimum Standards for Property Surveys and Plats." Field work for this survey was completed on 05/30/2025.
- Every document of record reviewed and considered as a part of this survey is noted hereon. No abstract of title, nor title commitment, nor results of title searches were furnished to the surveyor. There may exist other documents of record which would affect this parcel.
- The subject properties designated as Parcel 01-143362-16900 by the Craighead County, Arkansas, Assessor's Office.
- All buildings, surface and subsurface improvements on and adjacent to the site are not necessarily shown.
- The location and/or existence of utility service lines to the property surveyed are unknown and are not shown.
- No attempt has been made as a part of this boundary survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies or other surveys.

THE FOLLOWING DOCUMENT WAS USED IN THE CONSTRUCTION OF THIS SURVEY:

- A. Final Subdivision Plat Southern Hills. Filed for record in Plat Book C, Page 362, in the Circuit Clerk's office of Craighead County, Arkansas.

LEGEND

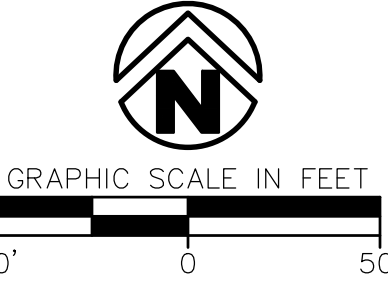
● SET 5/8" REBAR (P.S. 1563)	PROPERTY LINE
○ FOUND REBAR (AS NOTED)	ADJACENT PROPERTY LINE
	CENTERLINE ROAD
	EXISTING EASEMENT
	EXISTING RIGHT-OF-WAY

SURVEY DESCRIPTION:

A part of Block K of Southern Hills, Jonesboro, Craighead County, Arkansas, being more particularly described as follows:
BEGINNING at the South West Corner of Block K; Thence North 31° 29'02" East, a distance of 288.59 feet; Thence South 82°47'22" East, a distance of 316.26 feet; Thence North 89°57'14" East, a distance of 398.11 feet; Thence South 00°02'47" West, a distance of 157.63 feet; Thence South 89°57'26" East, a distance of 192.18 feet; Thence South 00°39'38" West, a distance of 222.79 feet to the beginning of a curve, Said curve turning to the left, having a radius of 1,068.907 feet, whose long chord bears North 85°33'45" West a distance of 172.04 feet; Thence South 89°48'24" West, a distance of 141.95 feet to the beginning of a curve, Said curve turning right, having a radius of 1,032.574 feet, whose long chord bears North 82°30'40" West a distance of 276.03 feet; Thence North 74°57'06" West, a distance of 481.42 feet to a POINT OF BEGINNING, containing 6.94 acres, more or less, and being subject to all Rights-of-Way- and easements of record.

RECORD INFORMATION

BASIS OF BEARINGS:
RECORD PLAT BOOK C, PAGE 362 OF CRAIGHEAD COUNTY
CIRCUIT CLERK OFFICE



STATE PLAT CODE:
500-14N-03E-0-36-000-16-1563

SEAL



REZONING PLAT
BLOCK K, SOUTHERN HILLS, JONESBORO,
CRAIGHEAD COUNTY, ARKANSAS
PREPARED FOR:
SOUTHERN HILLS REAL ESTATE, LLC.

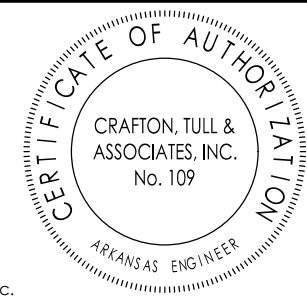
ISSUE DATE: 07/21/2025
PROJECT NO: 24972900
CONTACT: SAM / MAD

2520 Alexander Drive Suite C
Jonesboro, AR 72401-7194



870.203.7876
www.craftontull.com

CERTIFICATE OF AUTHORIZATION



© 2025 Crafton, Tull & Associates, Inc.

DATE	DESCRIPTION	DATE

SHEET NO.:

OFFICIAL RECEIPT

Receipt Date 08/13/2025 03:00 PM
Receipt Print Date 08/13/2025

Receipt # 00264698
Batch # 00113.08.2025

CITY OF JONESBORO
300 S. Church St. Ste 106
PO Box 1845
JONESBORO, AR 72403-1845
870-932-3042

For Permit Inspections call 870-933-4602

Account/License/Permit/Category:
CR

482.30

Detail:

01-000-0150-00

Proof of Publication RZ-25-14

482.30

Total

482.30

Payment Information:

Credit Car 3374

482.30

Change

0.00

Southern Hills
Customer #: 000000

Cashier: ALCooksey
Station: ALCOOKSEY

THE CITY OF JONESBORO
300 S CHURCH ST
JONESBORO AR 72403
870-932-3042

08/13/25

2:59 PM

TERM ID: *****705

CHIP READ

CARD TYPE: VISA

AID LABEL: VISA CREDIT

AID: A0000000031010

ACCT #: *****3374

***1

INSERT

CREDIT SALE

REF #: 776001023
AUTH #: 064077

TRAN #: 2170

DESCRIPTION:

AMOUNT

USD

\$482.30

APPROVED

X

BEVILL/JEREMY

I AGREE TO PAY THE ABOVE TOTAL
AMOUNT ACCORDING TO CARD ISSUER
AGREEMENT

ARQC: 87EC984DC40A928F
TVR : 8080008000
TSI : 6800

MERCHANT COPY

1. Call to order

2. Roll Call

Present (6): Kevin Bailey, Jim Little, Monroe Pointer, Paul Ford, Stephanie Nelson, Jimmy Cooper

Absent (3): Dennis Zolper, Jeff Steiling, Lonnie Roberts

3. Approval of minutes

MIN-25:068 MINUTES July 22nd, 2025 MAPC

A motion was made by Jim Little, seconded by Monroe Pointer, that the minutes be approved, the motion was PASSED with the following vote:

Aye (6): Kevin Bailey, Jim Little, Monroe Pointer, Paul Ford, Stephanie Nelson, Jimmy Cooper

Nay (0)

Absent (3): Dennis Zolper, Jeff Steiling, Lonnie Roberts

4. Miscellaneous Items

COM-25:032 **Sidewalk Waiver at 903 Martin Luther King Jr. Blvd**

Kevin Bailey (Chair): First order of business is a sidewalk waiver at 903 Martin Luther King Jr. Boulevard, do we have the proponent for this item?

John Easley (Proponent): I'm John Easley with Associated Engineering, and on behalf of the owners asking for a sidewalk payment for 903 Martin Luther King Jr. Boulevard. ARdot is widening MLK Boulevard and they have planned to install sidewalks. Therefore, the requirement for us to do it is really non-essential.

Kevin Bailey: Okay, City Planner?

Derrel Smith (City Planner): Yes, we reviewed it and we would recommend approving the fee in lieu.

Paul Ford (Commission): Ford, motion to approve.

Jimmy Cooper (Commission): Cooper, second.

Monroe Pointer (Commission): Can I ask a question?

Kevin Bailey: Sure.

Monroe Pointer: So, that lieu of fee, usually I see it stated different. This one looks like a waiver. Is that the same?

Kevin Bailey: It's the same, it's not a waiver it's a in lieu of.

Monroe Pointer: Okay.

A motion was made by Paul Ford, seconded by Jimmy Cooper, that the matter be approved, and the motion was PASSED with the following vote:

Aye (5): Jim Little, Jimmy Cooper, Monroe Pointer, Paul Ford, Stephanie Nelson

Nay (0)

Absent (3): Dennis Zolper, Jeff Steiling, Lonnie Roberts

COM-25:033

Presentation Discussing a Comprehensive Growth Plan and Street Master Plan by representatives from DPZ and CTA

Same presentation that was presented to the City Council. Please see video, time stamp for Presentation: 9:42-24:25

Jimmy Cooper (Commission): Cooper, I have one question. Assuming the city council goes forward with this. Do you have a timeline of what we'll see, when we'll see?

Matt Lambert (Presenter): Yeah, I'd mentioned it's usually 18 to 24 months. In terms of the total timeline for doing a comprehensive plan. Some of that will depend on when holidays fall and things like that. So, a year and half to two years but there's different pieces. Early on we'll have meetings with you all, we'll have meetings with the public. So, there's engagement there. There will be a website online with all those materials. We'll do analysis and then we'll publish that on the website move into a survey, then move into the design week or process which would most likely be in the spring. Then, after that process we would review publicly the outcomes and materials and produce the first draft of a document which would be, probably around this time next year for your first review and then we go through refinements after that.

Kevin Bailey (Commission): I have a question, so as far as getting the public engaged, what do you guys, what do you do to get to the public? As you can see there is a room full of people here tonight on a rezoning request but how do you go about getting the public engaged in these meetings?

Dave Roberts (Presenter): Social media is a good tool to put the word out because most people do follow, whether it's the city or any of the groups that are related to your city. So, the idea is to get the word out, tell people we're going to have events. Sometimes, you can have multiple ones in different locations if people don't all come to one place. We helped the city of Searcy just last year with a bond. We were doing some master planning work with them. We had a lot of public engagement events and one of them was a giant party like I alluded to. We had 450 people show up to this. We set it at 5:30 where people could hit it right on their way home. We had grills going, feeding people, the police and fire were there with some of their equipment. There was bouncy houses, but we had stations inside so people could go around the room and do the information gathering that we needed at these stations, and a radio station was there out front, live broadcast. So, we just made it a big community event. Sometimes, that works great and sometimes it doesn't. So, your student committee could kind of tell us what works well and we've got a lot of tools in the toolbox but online is another way to gather information too. So, we'll balance it between in person and online and then, like we mentioned there is going to be that workshop. That's a week long, and that's an open house where people can drop in to where we're located. Our whole team will be here in town in one of your storefronts or at the university or where is easy for you guys to access and people can just come and go and see what we're drawing. I mean, right there when we're doing it and then, we'll have a presentation at the beginning of that week and one at the end of that week. So, we're giving updates through the process and you all as leaders can tell us, hey, the best place to do these bigger meetings is in this location or in that location, but we'll also have different ones, so we'll have all kinds of engagement opportunities.

Kevin Bailey: Okay, commissioners do you have any questions?

Monroe Pointer (Commission): I have one, so why your company?

Dave Roberts: So, Crafton Tull is engineering, architecture, landscape architecture, and surveying here in Arkansas. We do comprehensive plans like these but we don't do the bigger towns. We bring in the national pros to help us with the bigger projects. So, we've worked with them now, this team has done 5 together, I think in the region and so, we're the local in state, DPZ is elsewhere, they're national they have offices in Miami and Oregon and New York and elsewhere. So, we know Arkansas and we live here. We have employees that work here in your town. So when we hear about a comprehensive plan like this, we pull together the A team, because we've done it elsewhere and have had a lot of success.

Paul Ford (Commission): Does the planning that you put together, just develop new places or does it involve retrofitting in the power of, I mean condemnation to say this has to be taken

because we need to do this or we need to do that because sometimes, we have, we had a recycling plant that kind of creates issues, well then the things that develop around a recycling plant aren't necessarily, what might be otherwise the best use acreage that's right on the edges of downtown and is it in plan to say, we gotta go in here and say the city's have to take this and redevelop this even though that may make individual landowners, maybe not so happy.

Matt Lambert: We will take into account both. It's both new development and redevelopment, there's that type and there's also just any sort of redevelopment and it's going to be different if it's downtown or on the major roadways and shopping centers. Something like that. For the most part we try to align the land use so, that the marketable value will result in the natural redevelopment of something like that. You are restricted to some extent in terms of what you can do as a city but if there's specific issues like that, we can look at what are your legal options to be able to address that and what are the market based options that might naturally cause the change to occur?

Paul Ford: I have read things in other cities where they have, you talk about doing things across the country, where the city says we're going to take this land and redevelop it and buy everybody out and have you ever worked in projects like that?

Matt Lambert: Yeah and there are a few different strategies. There's the buyout approach to it and then there is the condemning approach, but the condemning approach is more restricted. You can build parks or you can build roads basically. So, those are basically your options if you're actually taking property as a city. But there's all sorts of other mechanisms that you can use. So, absolutely we have experience in other cities out of those different types of approaches. I think that in the planning process our goal is to identify the issues and understand what the community thinks in general about them and then the best strategies forward in terms of the options like I said that are legally approachable for the city and options that may be possible from the market.

Jimmy Cooper: One last question, how far reaching are your plans? Are you strictly bound by the city limits? Are you bound to downtown Jonesboro? Do you look for future, how far out would you reach?

Matt Lambert: Well, it's the city limits but if we're talking about growth and the type of growth, we'll project the population growth and see how much land and where that goes and sort of determine from there. So, it's really based on what the growth looks like but yeah, the boundaries are the city, it's not just downtown, but the entirety of the city limits, whether or not anything goes beyond the limits is certainly something that we can discuss during the process.

Jimmy Cooper: Well, my concern is we have a development that goes on outside the city and some of the development does not meet any kind of city standards and then they want to annex and where does it go from there?

Matt Lambert: Well, that's an interesting issue you're dealing with just now with the new state legislation, right? Where you no longer have your extra territorial jurisdiction over the lands

outside of the city limits, right? So, we could certainly, we'll be having some of those county level discussions elsewhere in terms of the reality from a county standpoint that you have two choices you can either restrict growth in the county or you can grow county government to deal with those sorts of services and maintenance that you need for having growth that you manage within the county. Like most of them aren't set up to maintain roads, local roads, and developments nor the infrastructure. So, that's totally something new that all communities in Arkansas are now starting to deal with. So, I'm sure that will be an important thing for us to consider in this process.

Jimmy Cooper: Thank you.

Monroe Pointer: I got one more, so with our current city codes and you guys coming in and doing your comprehensive planning, would we use those existing or would that be say something after your planning that we would be required to change our codes to match wherever you're planning could possibly be?

Matt Lambert: Yeah, we'll make recommendations, so we'll analyze them and see in terms of different preferences for growth and different types of growth whether or not you're set up to allow that to happen. So, we'll do the planning for what that growth should be and then we'll see if the codes aren't going to work we'll specify why and how they should be updated and when. And usually that's a sort of right of way thing to get into updates if they're going to be in the way of future growth goals.

Kevin Bailey: Any other commissioner questions? Is anybody ready to make a motion? What we're looking for tonight, commissioners is a recommendation to send this presentation to full council. So, is there anybody ready with a motion?

Jimmy Cooper: I think the city has chosen the direction that they want to try to move us forward and do planning and hopefully it's the right move and I make a motion for it to be approved.

Kevin Bailey: We have a motion do we have a second?

Jim Little (Commission): Second.

A motion was made by Jimmy Cooper, seconded by Jim Little, that the matter be forwarded to council, and the motion was PASSED with the following vote:

Aye (5): Jim Little, Jimmy Cooper, Monroe Pointer, Paul Ford, Stephanie Nelson

Nay (0)

Absent (3): Dennis Zolper, Jeff Steiling, Lonnie Roberts

5. Preliminary Subdivisions

PP-25-06

Preliminary Plat Sarah's Crossing Phase IV PLN-8538

Kevin Bailey (Chair): Our next item is a Preliminary Plat on Sarah's Crossing Phase 4.

Mark Morris (Proponent): My name is Mark Morris, I'm the owner of Sarah's Crossing subdivision we're seeking preliminary approval for 54 lots on 15 acres. This is our final phase of the subdivision we're connecting the existing Sarah's crossing to Maple Valley back to the east. I'm here to answer any questions you may have.

Kevin Bailey: Okay, Mr. Derrel?

Derrel Smith (City Planner): Yes sir, we reviewed it and it does meet the requirements for the subdivision codes. So, we would recommend approval.

Kevin Bailey: Commissioners, any comments or questions? Anybody ready with a motion?

Paul Ford (Commission): Ford, make a motion to approve.

Monroe Pointer (Commission): Second, Monroe.

A motion was made by Paul Ford, seconded by Monroe Pointer, that the matter be approved, and the motion was PASSED with the following vote:

Aye (5): Jim Little, Jimmy Cooper, Monroe Pointer, Paul Ford, Stephanie Nelson

Nay (0)

Absent (3): Dennis Zolper, Jeff Steiling, Lonnie Roberts

6. Final Subdivisions

7. Conditional Use

8. Rezoning

RZ-25-13

Rezoning 2106 Bridger Rd. Rezone Approximately 6.79 acres

Kevin Bailey (Chair): Okay, our next item is our first rezoning request. Rezoning RZ-25-13 at 2106 Bridger Road. Looking for a rezoning of approximately 6.79 acres, do we have the Proponent?

David Baker (Proponent): Good afternoon, I'm David Baker. With me today is Mr. Garret Dunham. We're with Fisher and Arnold, the address for the record is 404 Creath Avenue. As with

any rezoning, we have to provide the justification or request for that rezoning. We feel that there's a significant need. With this, with the way the housing is the interest rates and so forth, there's a need for quality affordable housing, and the second part of that we feel like more importantly that there's been significant change in the area since this property was originally zoned. If you look at it with the justification, our subject property is located here. This is Johnson, Bridger Road is here. If you look to the southeast, there is a higher density assisted living community, directly across Bridger Road to the west there is a mobile home community there as well. That is a higher intensity type use. As you look at future growth in the area along East Johnson, there's more and more commercial developing every day and then at the intersection of Johnson and Bridger, I feel like that will be a major retail as well, and office type area. Additionally, I request as with the comprehensive land use plan, this area calls for high intensity use and we feel like all these justifications are in line with our request. So, having said that, I'll be glad to try and answer any questions, that y'all may have.

Kevin Bailey: Thank you, Derrel?

Derrel Smith (City Planner): Yes sir, we have reviewed it and like he said the area is in a high-intensity growth sector. So, with that in mind, we would recommend approval with the following conditions, that the proposed site shall follow all requirements of the city engineer, all requirements of the current stormwater drainage design manual, and floodplain regulations regarding any new construction. A final site plan, subject to all ordinance requirements shall be submitted, reviewed, and approved by the planning department prior to any redevelopment of the property. Any change of use shall be subject to the planning department approval in the future.

Kevin Bailey: Okay, with this being a rezoning request, I'm going to open it up for public comments. Is there anybody here from the public that would like to speak on this matter tonight? If you would come to the microphone, name and address, and we're going to try to, there's a lot of you here tonight, we want to hear everything we can, but about five minutes is about all each person can have, okay?

Dave Nance (Public): My name is Dave Nance I live at 5017 Eden Cove. I'm also a representative of the Eden Hills Estates POA and I've also spoken to several people, Mark Morris and Paul Willis, and you know some of these other people who live up in the area here. Haven't had much time to look at it very much. In fact only today. But with everyone I've talked to the opposition is pretty much united. And united basically on 3 reasons. First, the property values of the properties that are already owned in the area. Second, quality of quality of life. Third, infrastructure. With property values, apartments, you know most of the upper area as I understand it, is R-1 single family, sometimes multi-acre, and those kind of properties are almost always, every place I've ever lived, been devalued by multiple family apartments. And that's my experience now. I've lived 14 years down in Naples, Florida which is a very highly developing area, has been developing for 40 or 50 years. That's my experience there. Raliegh, North Carolina, Montgomery, Alabama, Memphis, Tennessee, I've lived in all of these places and seen

the same thing. So, one of the other things is, no matter how nicely these things are built, they are going to deteriorate because ownership almost always devolves to somebody who doesn't live here in town. They always look beautiful but they always deteriorate because ownership has no particular commitment to the values. They just want to basically build it and either sell it to somebody else who sells it to somebody else, and you know the drill. Okay. Quality of life you start pushing people more crowded like this. Crime is an issue, not necessarily major crime but petty crime and petty crime affects quality of life, and so you've got that. Traffic is an issue we already have a lot of traffic there. That brings me to the third thing. Which is infrastructure. Down in Naples I was there for 14 years. That area is growing and has been for a long time and it's beautiful. And they've maintained the beauty but the way they did was some of the planning that one of your people earlier was talking about, but some of that planning involved the nature of the infrastructure because what they did in Collier County, and a lot of other places in Florida, they required impact fees from developers. These impact fees were comprehensive. They had to account for anywhere from a half a mile to a three-quarter mile radius from the proposed development. The developer was responsible for building out all of the roads in those areas, whether they were brand new or they were just redone. All of the intersections, all of the coverts, all of the bridges. They were responsible for the water drainage. Bridger Creek right now is pretty much unworkable on the north side of Peachtree. And we've tried to talk to some people about it and they've sent some people out and the workers you've sent have done a great job but the job is not done. This kind of stuff needs to be involved in these impact fees. Now, the other thing, police, they were required to pay for the increase of police patrols, police equipment, police stations, if the population was such that it needed that. They were required to improve the fire stations, the fire equipment, to hire the firemen. They were required to improve the EMT, the responses, the emergency rooms, and even the parking lot of the emergency rooms. If it was determined that the population would affect this stuff. They had to do the sewers. They had to expand the sanitation facilities, that the sewers drain into, sewage treatment plants, and of course, all of this is based on you all determining the level of the impact, but I'm trying to help you understand from my perspective and the perspective of the people, I've talked to is how much this is going to impact and who is going to pay for it, because if you don't require the developers to pay for this in some way or another with the impact fees, then, all of us as taxpayers are going to have to pay these things. So, basically, all of the people that I've talked to, we are seriously opposed not to development, Jonesboro is going to grow, but this kind of development in this area.

Kevin Bailey: Thank you, yes ma'am.

Carol White (Public): Hello, I'm Carol White, this is my husband, Rick. Our address is 5001 Nicole Cove which is directly off of Bridger Road we've lived there since 2013. I've never spoke publicly at a meeting. So, I'm just going to read my notes. I thought them out. Okay, so I am opposed to the rezoning of the property at 2106 Bridger Road for the following reasons. Traffic on 49 is already extremely congested. Cars take Bridger Road as a cut through. Bridger is very

narrow with no shoulders, and traffic is already heavy on this road. It's very dangerous to try and get out on 49, especially turning left, which we experience tonight, it took us quite a while. The increased number of vehicles will make it increasingly dangerous and difficult. With 80 to 100 new housing units, plus approximately two cars per unit will put added difficulty, time, and danger to those who travel this route especially in the mornings and afternoons for school and work. It will increase the Brookland and/or Nettleton bus traffic, picking up and dropping off children in the mornings and afternoon. The crime rate has the crime has the potential to increase because of the increased rental population. We already have a mobile home park directly across the street from this property. Which seems to be extremely well managed. But typically that is not the case, as the previous man mentioned. More renters creates a greater potential for crime. Homeowners having a vested interest in the community typically tend to take better care of property and do not offer the same threat of theft, violence, noise, and property damage as do large numbers of renters who have no vested interest. Noise levels, pollution, trash, and vehicle traffic will be greatly increased by this large number of new residents to this area. The access to NEA hospital will also be negatively impacted by the increase in traffic. In summary, this is a dangerous and unacceptable use of this property, please vote no on the rezoning of this property. Thank you.

Kevin Bailey: Thank you. Name and address.

Lynn Childers (Public): Good evening, my name is Lynn Childers. Thank you council for letting us talk. I live at 5108 Tracy Drive. I've lived there since 2009. It probably means something that I've been 19 years full time realtor, in 2023 I was the president of the Northeast Arkansas Board of Realtors. My front door is no more than 500 feet on the same side of the street as the subject property. So, everything that's already been said are things that I would have said, so I'm not going to belabor that, but I will say this, I've been an advocate for home ownership, I continue to be an advocate for home ownership. I know that Jonesboro needs more housing. I would be happy with a nice subdivision going in this property. I think that would be something that would at the very worst not hurt our property values but maybe even help our property value. I'm not as enthusiastic about high density multi-family housing going in there. I did want to elaborate just a little bit on the safety of Bridger Road. Bridger Road is a narrow 2 lane there is no shoulder whatsoever and if you turn off of Johnson, the subject property, my drive, Tracy drive is the gravel drive and it's exactly a mile from Johnson. It's in the middle of an S curve. Once again we're about 500 feet between our street and the subject property. When I come to the end of Tracy Drive to turn left or right on Bridger which I do every day. When I look to the left toward, the subject property, I can't see very far because of woods, trees, it's a somewhat blind corner. When I look to the right, toward Peachtree, there is a blind hill, you have limited visibility either direction. The speed limit is registered at 35 and people regularly drive at 45 miles per hour and probably faster than that on that street and when they come through that S curve, they regularly and when I say that I don't know if I've ever seen anybody who does not, they cross the center line and straddle the center line when they come through. They're going through at a high rate of

speed. They're probably afraid of the ditch because in that S curve the ditch is deep. If your wheels were to go off the pavement, you would need a tow truck to help you out because it's a relatively deep ditch and there's nothing for your wheels to grab purchase of. I will say this on May 19th of this year, my wife was pulling out of Tracy Drive, she was turning left to go to Johnson. She looked, my wife's a very safe driver she's never had an accident. She looked left, looked right, and then she proceeded to turn out left. Well, someone came from Johnson at a high rate of speed flying around the corner probably driving 50 miles an hour. My wife's car was totaled. That happened on May 19th of this year, we knew it was just a matter of time. She was not injured but it did total our car. So, I submit to you that if you approve this rezoning request and they add 50 or 100 doors on that street, traffic is going to increase 10 times or more. I suggest that we're going to have a real problem with safety. It's going to go up to a considerably higher level. That's all I have to say.

Kevin Bailey: Thank you for the comments. Mr. Baker would you like to comment on any of that?

David Baker: Yes sir, thank you. It seemed like there was a pattern with that with traffic and infrastructure improvements. As we move forward, if we're fortunate enough to get rezoned and get to move on to the next stage, part of that will be a traffic impact study. We'll have to go into a lot more detail of infrastructure, water, so forth and we understand that, that is at the developer's expense. Typically with this, I think Bridger Road is scheduled for a three-lane cross section. As a collector, which we will have to dedicate and improve our portion as well as look at the signalization and so forth along Johnson. So, we will be addressing a lot of those concerns as we go through the process that's kind of standard procedure with that. And infrastructure as well. There is yes, water and sewer in the area. But as well, as we move forward with detail design, we'll understand that we will have to if there is a need for improvements, to upsize or extend water lines or sewer lines, something like that, that is at the developer's and owner's expense for that. So, yes, sir go ahead?

Kevin Bailey: There is one more person who would like to speak once you're done.

David Baker: No, that's fine.

Kevin Bailey: Trying to get everybody in here.

Joanne Nalley (Public): Thank you, and thank you for your service to Jonesboro, Arkansas. My name is Joanne Nalley. I've lived here about 80 years now. So, I can tell you about Jonesboro growing and I can tell you about Jonesboro expanding. I used to live at 808 Strawn and then we moved out to Bridger Road. We weren't even in the city and we never had to worry about not having any water and we didn't have to worry about sewer and getting up in the middle of the night and flipping that switch because we had city utilities. There's questions I have to ask and I don't know whether this is the time or not but I would like to ask them. So, I understand there's additional acreage there besides the 6.79, so if this were to be rezoned, then would these people

have the opportunity to add additional apartment complexes there? Because I've heard some talk about it might be 80 or it might be in 100, that it might expand. So, how many of you have gone down Bridger Road here lately? Gone down there? How many have tried to get to work in the morning as they have already alluded to. So, let's see. I believe from January the first to June the 30th, there were over 100 accidents, day before yesterday when I was going to work, there was an accident. How many cars are usually involved in an accident, how many families? How many vehicles does that road hold, 24,000 a day or is it 47,000? I've heard two different things, y'all probably know that better than I do about the traffic on Johnson. And then if you go past Johnson and get on Red Wolf there's about 76,000 accidents every six months. Those are people coming from Brookland, from Paragould. Those people all come into Jonesboro to work. I have some questions about that, we have a few petitions too. I don't know who we submit that too but we have over 325 petitions. We're in opposition of it. So, just want to make that very clear. I appreciate your board and even had a cousin on it at one time, so I hope you will take careful consideration when you think about this rezoning. Do we care about our outlying towns and how this may affect them because one day we may be a big community. So what that's going to do and how will that traffic be? So please think about this critically and how it will impact our community out there. Please consider this, there is talk about high density housing, we have all kind of homes out there. You have people who want to live in apartments, and when you have apartments you can rent to multiple families. I was part of a housing project and they promised to keep it clean and organized, but that property went down. I could talk more but I'll go sit down.

Jared Woodard (Public): One more, my name is Jared Woodard. I'm an attorney here in Jonesboro but I'm here on behalf of my grandmother, Anne McAllister, she's 93 years old, she owns the land just south of it, the 38.9 acres there on Johnson and Bridger, my great great grandmother was Mary Bridger and hence the name of the road, she has asked me to here multiple times via call, text. She will probably call me in a minute to voice her opposition against this. There was mention by Mr. Baker making an assumption that there's redevelopment along Johnson and Bridger, of retail, apartments, or housing. I'll tell you my grandmother is stubborn, she likes it just the way it is. It's 40 acres of pasture, of hay, a pond, fence rows, deer, and that's what it's going to be for the foreseeable future. She wouldn't let me put a billboard on it years ago, so she's not going to put any kind of massive structures on anytime soon. And she has echoed everything today that has been said about Bridger Road and how narrow it is and how dangerous it is and that intersection being at the top is extremely dangerous. The owner who is purposing this property lives in Cherokee Village as previously mentioned, he's an internist, he's a doctor in Cherokee, his organization is part of the Secretary of State, includes Doctor Sra, he is the president and the one that I understand to be proposing this. The other doctors are Natasha Sra and Karam Sra. This seems to be a family outfit not a real estate operation or a bunch of members that are pulling their resources together to build it. This is just a doctor who wants to make an investment an hour and a half from his home. That's concerning. He doesn't have to look at it or drive by it every day. The guy wants to make a little money obviously but not on our backs, he can do that in Cherokee or Sharp county but I don't think it needs to be here. The

growth in Jonesboro has been talked about at length, we want growth but we don't want bad growth. We want our median income to increase, we want Jonesboro to continue the way that it's going but adding 80 more apartments in a place it probably don't belong, I don't think is where we need to be. Possibly a nice residential subdivision with large acreage, there's a lot of woods back there, it's pretty rolling land. That seems to be most appropriate. But I just want to speak on behalf of my grandmother that she is against this. I don't want it there and no one else seems to think it's appropriate or needed.

Kevin Bailey: Thank you for coming. Mr. Baker do you have anything else to say before commissioners have their discussion?

David Baker: Just a couple of things. Yes, to address Ms. Nalley's comment we did a concept plan on this just to see how it could potentially be developed and so forth. Based on this configuration and requirements for retention, parking, and so forth. The 80 units is what this property can feasibly hold and sustain on that. Having heard and listened to everyone's comments, I don't know if it would be appropriate to table this until the next meeting for us to continue to maybe look at a lower zone and talk with the neighbors, I would open it up for y'all's input and discussion on that.

Monroe Pointer (Commission): I would like to ask a question, say that again?

David Baker: The property the reason why we did a concept plan on this was to see what the property could hold viably. Based on Jonesboro's regulations for parking, setbacks, areas for storm water detention that would be required. Right of way dedications. The concept plan that we came up with meets those requirements and yielded about 80 units on that. The expansion of that to go up to 120 units. The property can't really handle that just because of some of the landscaping requirements in Jonesboro.

Jimmy Cooper (Commission): Your conceptual plan has nothing to do with this rezoning. I'm sorry.

David Baker: That's correct, yes.

Jimmy Cooper: It's nice that y'all do that but it has nothing to do with this rezoning. We can rezone it, and y'all come up with a different project.

David Baker: That's correct. Like I said, we just-

Jimmy Cooper: I don't like to get into your conceptual plan or any plan because it has nothing to do with the rezoning.

David Baker: That's correct, I was just mentioning the yield requirements, but yes you're correct sir.

Monroe Pointer: Another question, so if that was allowed to be tabled, you would still come back and ask for a rezoning of the same or lesser but it would still not remain R-1.

David Baker: That's correct. We would look at, and because of the comprehensive plan, does call for higher intensity but also if you look at your typical traditional land use planning you have your higher intensity at roads and highways and then, you look at lesser intensity as you move away from the traffic and areas of concentration. So, that would give us an opportunity to talk to Dr. Sra and also meet with some of the neighbors and maybe look at a different concept or lesser zoning on that.

Carol Duncan (City Attorney): I just want to make clear that according to your rules, that an applicant can withdraw as of one time and ask that it be set for another hearing. Just so y'all are aware of that. That's in your rules. After the second withdraw they'll have to wait 90 days before they can bring something back. But they do get and I know we've done this in the past and most of you are familiar. I just wanted to make sure that you understood that in the rules they have the right to request a withdrawal one time as of right.

Monroe Pointer: And it don't matter what the reasoning is for?

Carol Duncan: It does not say that in your rules, it just says as of right, after the 24 day of the month following the applicant's filing for the rezoning or conditional use. And then it talks about the second withdrawal. You have to wait 90 days. If that's what he's asking, I guess a withdraw is different from a tabling but I just wanted to make that clear.

Monroe Pointer: I feel like for everybody who has shown up for this meeting for us to table this would say, we need you all to come back and I'm not real sure if that's what I would want them to do. Especially if you're going to come back with the same rezoning. I'm only one vote.

Kevin Bailey: Okay, with that said we can continue with questions and comments from commissioners or you can ask to withdraw, and we can take action on that. So, that will be up to you.

David Baker: Okay, can we do questions and then withdraw?

Carol Duncan: I think you can withdraw at any time, once.

Jimmy Cooper: If he asks to withdraw, we don't vote on that?

Carol Duncan: That's correct, that's just his withdraw.

David Baker: Okay, I want a vote to table it and then after that we can look to withdraw.

Kevin Bailey: Okay, you're asking to have it tabled?

David Baker: Correct. To re-evaluate it on lesser density and also have some discussions with the neighbors.

Kevin Bailey: With that statement I would ask for a motion to table. Is there a motion?

Jimmy Cooper: I'll make a motion to table.

Kevin Bailey: I have a motion is there a second to table?

Monroe Pointer: Second.

A motion was made by Jimmy Cooper, seconded by Monroe Pointer, that the matter be tabled, and the motion was FAILED with the following vote:

Aye (0):

Nay (5): Jim Little, Jimmy Cooper, Monroe Pointer, Paul Ford, Stephanie Nelson

Absent (3): Dennis Zolper, Jeff Steiling, Lonnie Roberts

Kevin Bailey (Chair): The matter is not tabled, that motion failed. So, we will continue with questions and comments from the commissioners.

Paul Ford (Commission): What school district is this property located in?

David Baker (Proponent): Brookland.

Kevin Bailey: Any other questions commissioners?

David Baker: We would ask to withdraw it please.

Carol Duncan: Just to be clear that is a one time, if you withdraw a second time, you have to wait 90 days.

Kevin Bailey: You're asking to withdraw?

David Baker: Yes, correct. Withdrawing the application.

Carol Duncan: Just to be clear for the public, the way the withdrawal works is once they prepare something to present back to this commission, they would have to renotify you guys of when that's coming back. So, it may or may not be the next meeting. But they have to renotify you on when that's going to happen. It's kind of like starting over.

Public: Would they renotify the 300 or so?

Carol Duncan: They would renotify what they were required to notify the first time. But it will still be on the website and in the paper and all those things.

The matter was withdrawn.

RZ-25-14

Rezone 7 acres +/- from PD-M Planned Development Multi-family to PD-M Commercial

Kevin Baley (Chair): Okay, next item, rezoning 7 acres plus or minus from PD-M Planned Development Multi-family to PD-M Commercial. Proponent?

Carol Caldwell (Proponent): Carol Caldwell, we got a grocery store that wants to relocate on that 3 lane street and so I want to change it from multi-family to commercial so I can get a grocery store. That's good for the whole area. The reason for that location is because the 3 lane will be hooked up to Culberhouse real soon. So, we're required to change our pattern book. We have and y'all have that. This is like 145 acres and right here is where it is. This 3 lane will hook onto Culberhouse in approximately 2 months. There's going to be a whole lot of traffic through there. It's designed for that. I'm asking to rezone from multi-family RM-16, to commercial for a grocery store, and then on spot here is Kum n' Go. We're wanting to expand this one lot that's already been sold to just about a half-acre. So, we're going form on zoning to another for that. I don't think it's any big issue, we didn't mess with any of the green spaces. We're still above the green space requirement.

Paul Ford (Commission): But you're taking stuff from senior citizens in that half acre?

Carol Caldwell: No sir, not there.

Paul Ford: Not in that spot? Okay, I just misread that.

Carol Caldwell: Not in that spot. I've still got lots of spots. And what happens is, the same that's happened to me for 50 years. On a big development like this, what you start out with is not what you end up with, because you got to go with the market. I've been trying to get a grocery store out there for 3 years. Need one.

Kevin Bailey: Derrel city comments on this?

Derrel Smith: We have reviewed it. The zone is going to remain PD-M. It's just inside the zone that's going to change. So, it's a change of the pattern book but it does meet all the requirements for rezoning and we would recommend the change with the following conditions, that the proposed site shall follow all requirements of the city engineer, all requirements of the current stormwater drainage design manual, and floodplain regulations regarding any new construction. A final site plan, subject to all ordinance requirements shall be submitted, reviewed, and approved by the planning department prior to any redevelopment of the property. Any change of use shall be subject to the planning department approval in the future.

Jimmy Cooper (Commission): Mr. Chairman, I move that we approve the rezoning.

Monroe Pointer (Commission): Second.

Kevin Bailey: Motion and second please cast your vote.

A motion was made by Jimmy Cooper, seconded by Monroe Pointer, that the matter be approved, and the motion was PASSED with the following vote:

Aye (5): Jim Little, Jimmy Cooper, Monroe Pointer, Paul Ford, Stephanie Nelson

Nay (0):

Absent (3): Dennis Zolper, Jeff Steiling, Lonnie Roberts

9. Staff Comments

10. Adjournment

Meeting was adjourned.



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: ORD-25:025

Agenda Date:

Version: 1

Status: Third Reading

In Control: Public Safety Council Committee

File Type: Ordinance

AN ORDINANCE BY THE CITY OF JONESBORO TO PLACE VARIOUS TRAFFIC SIGNS
AT DESIGNATED LOCATIONS AS DETERMINED BY THE TRAFFIC CONTROL
COMMITTEE

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL FOR THE CITY OF
JONESBORO ARKANSAS TO MAKE THE FOLLOWING CHANGES AS RECOMMENDED
BY THE TRAFFIC CONTROL COMMITTEE:

Establish speed limit 25 MPH on Flint Street from Thomas Avenue to Dogwood Lane

Establish speed limit 35MPH on Race Street from Caraway Road to Browns Lane



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: ORD-25:028

Agenda Date:

Version: 1

Status: Third Reading

In Control: Public Safety Council Committee

File Type: Ordinance

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF JONESBORO TO ADD SECTION 50-40 ENTITLED PARK RANGERS

WHEREAS, the City of Jonesboro has added positions of Park Rangers to the City to educate and promote the city parks and to provide for safety, patrol and enforcement of the city codes and ordinances within the park system and the City of Jonesboro as needed; and

WHEREAS, the City Council of the City of Jonesboro, Arkansas desires to amend the code as follows.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS:

SECTION ONE: That the Code of Ordinances shall be amended to read as follows:

Sec. 50-40 Park Rangers

- a) The duty of a Park Ranger is to maintain a presence in city parks and to preserve and protect park property, ensure proper use of park equipment and resources, provide customer service to the public and educate the public about the history of city parks and perform all other duties as assigned by their supervisor.
- b) That Park Rangers are to enforce all park rules in the City and to write citations or warnings where necessary to accomplish this duty.
- c) The Park Rangers are under the authority of the Code Enforcement Division of the City of Jonesboro and shall have all authority to enforce the codes of the City of Jonesboro that are authorized to be enforced by any Code Enforcement or Animal Control Officer.



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: ORD-25:029

Agenda Date:

Version: 1

Status: Third Reading

In Control: City Council

File Type: Ordinance

AN ORDINANCE FOR THE APPROVAL OF AN APPLICATION FOR A PRIVATE CLUB PERMIT FOR SHJ CONCEPTS, INC. DBA BRIDGE STREET BREWERY OF JONESBORO.

WHEREAS, SHJ Concepts, Inc., DBA Bridge Street Brewery of Jonesboro has applied for a private club permit to be located at 516 Cate Avenue, Jonesboro, AR 72401: and

WHEREAS, SHJ Concepts, Inc., desires to receive approval for a private club to be located at 516 Cate Avenue, Jonesboro, AR 72401: and

WHEREAS, all applicable laws, rules and regulations have been complied with in presenting this Ordinance to the City Council.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Jonesboro, Arkansas, that:

SHJ Concepts, Inc., DBA Bridge Street Brewery of Jonesboro's application for a private club permit is approved and SHJ Concepts shall be and is entitled to apply to the Alcoholic Beverage Control Division of Arkansas for a private club license to be located at 516 Cate Avenue, Jonesboro, AR 72401.



City of Jonesboro Private Club Review and Conditions Form

Date 7-30-25

Non-Profit Corp. SHJ Concepts dba:
Bridge Street Brewery

Address 516 Cate

Applicant on Behalf of Club Kalpesh R. Das

Home Address 3904 Teal Drive Jonesboro, AR

Business Name Bridge Street Brewery

Business Address 516 Cate Ave Jonesboro, AR

City of Jonesboro official use below this:

Police Department: Copy of membership list Yes X No
Has any member been convicted of a felony? Yes No X
If yes, How many years since conviction?
Has Non-Profit complied with City of Jonesboro laws? Yes X No

Comments:

Approve? Yes X No

Signature Chief of Police Chief Rick Elliott

Planning and Zoning Department:

Type of Private Club: Restaurant X Hotel/Motel
Hours of Operation?
Copy of menu for food service? Yes ✓ No
Zoning Com. Mixed Use

Approve? Yes X No

Signature Planning Director [Signature]

City Clerk:

Date received
Date entered in Legistar

City Council Action

Approve Deny



**APPLICATION FOR PRIVATE CLUB PERMIT
MUST BE NON-PROFIT CORPORATION
On file at Arkansas Secretary of State's Office**

INSTRUCTIONS

1. Answer all questions correctly and in full. **PLEASE PRINT IN INK OR TYPE.**
NOTE: FORMS MUST BE NOTARIZED.

**APPLICATION MUST BE ACCOMPANIED BY CRIMINAL BACKGROUND
INVESTIGATION RESULTS OF THE APPLICANT (FORMS AND INSTRUCTIONS ENCLOSED).**

2. Application fee is \$250 and must be submitted with this application.
3. Applicant must be a citizen of the United States or a permanent resident alien (must provide a copy of green card), and a resident of Arkansas.
4. The following additional materials must be submitted with your application:
 - a. A current list of names and addresses of all board members, and a signed "authority to release information form" from each board member.
 - b. The address where the business will be located. If the non-profit corporation does not own the property, a copy of the lease, option to lease, option to purchase, or buy-sell agreement in **favor of the non-profit corporation** must be attached.

MAIL OR DELIVER DIRECTLY TO:

**Chief of Police
Jonesboro Police Department
1001 S. Caraway Road
Jonesboro, Arkansas 72401**

CITY OF JONESBORO

APPLICATION FOR PRIVATE CLUB PERMIT

We hereby make an application for a permit to serve alcoholic beverages on our premises to the club's adult members, members of their families over the age of 21, and duly qualified guests.

S.H.J. Concepts dba Bridge Street Brewery

Non-Profit Corporation

FEIN #

APPLICANT ON BEHALF OF
CLUB

Kalpesh

First

R.

Middle

Das

Last

HOME ADDRESS

3904 Teal drive

Street

Jonesboro

City

72404

Zip

Craighead

County

BUSINESS NAME

Bridge Street Brewery

BUSINESS ADDRESS

516 Cate Ave.

Street

Jonesboro

City

AR 72401

Zip

Craighead

County

Does the club own the premises?

NO

If leased, give name and address of owner:

Bridge Street Investments, LLC 516 Cate Avenue, Jonesboro, AR 72403

Is your establishment primarily engaged in the business of serving food for consumption on the premises?

Yes

If the answer to the above question is no, then what type of business will you be engaged in on the premises? Please list all activities to be offered.

Micro-brewery - Restaurant

Does anyone now hold an alcoholic beverage permit at this location?

NO

If so, give name, address and permit no(s).

Give names and addresses of all officers/directors of the non-profit organization:

NAME	TITLE	ADDRESS
Davy Carter	President	803 Fairway Circle Jonesboro, AR 72401
Ted Herget	Vice-President	1305 South Main Jonesboro, AR 72401
Kalpesh Das	Sec/Treas	3904 Tel Drive Jonesboro, AR 72401

Has any member of the club's board of directors or other governing body, or any club officer, been under the sentence, whether suspended or otherwise, of any court for the conviction of a felony within two (2) years preceding the date of this application? YES NO If yes, please explain -

Signed this 19 day of September, 2024.

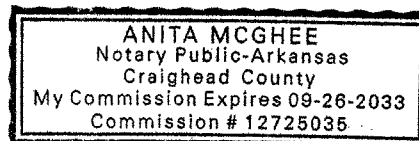
Kalpesh Das
Signature of Applicant/Managing Agent

Applicant
Official Title

Subscribed and sworn to before me this 19 day of September, 2024.

Anita McGhee
Notary Public

My Commission Expires: September 26, 2033



SCHEDULE A – INDIVIDUAL'S PERSONAL HISTORY

I submit answers to the following questions under oath:

1. Name Kalpesh R. Das Sex _____ Date of Bir _____
2. Home Address 3904 Teal Dr. Janesboro 72404 Phone No. 800-530-9733
Street City Zip
3. Are you a person of good moral character and reputation in your community? Yes
4. Are you a (CITIZEN) or (PERMANENT RESIDENT ALIEN) of the United States? CIRCLE ONE
Social Security No. _____ Green Card No. _____
5. Are you a resident of Craighead county? Yes
If not, do you live within 35 miles of the premises to be permitted? Yes
6. Have you ever been convicted of a felony? YES _____ NO ✓ If so, give full information _____
7. Have you been convicted of any violation of any law relating to alcoholic beverages within the five (5) years preceeding this application? YES _____ NO ✓ If so, give full information. _____
8. Have you had any alcoholic beverage permit issued to you revoked within the five (5) years preceeding this application? YES _____ NO ✓ If so, give full information _____
9. Do you presently hold or have you ever held an alcoholic beverage permit(s)? No If so, give name, place, and permit number(s) _____
10. Have you applied and been refused a permit at the applied for location within the last 12 months? No
If so, give full information _____
11. Marital Status: Single () Married ✓ Divorced () Separated () Other ()
12. Furnish complete information regarding members of immediate family:

Relationship	Full Name	Address	Occupation
Wife	Jaimi Das	3904 Teal Dr.	Housewife
Daughter	Nicole Das	3904 Teal Dr.	Dental Hygienist
Son	Sam Das	3904 Teal Dr.	Engineer
Brother	Dharmesh Das	803 E. Lakeshore Dr.	Self employed

(a) Are any of the above to be connected with the operation of the outlet? No

(b) If so, who and in what capacity? _____

13. Give your home address (city or town) and dates at each for the past five (5) years:

3904 Teal Drive Jonesboro AR 72404

2108 Fieldstone Cove Jonesboro AR 72404

14. Covering the past five (5) years, give in detail the following:

Your Business or Occupation	Name & Address of Employer	Dates of Employment
Dairy Queen	4100 E. Johnson Jonesboro	Jan 2011 - Current
Smoothie King	2215 A E. Highland Jonesboro	2018- 2023

I hereby state on oath that I will not violate any law of this State or any regulation of the Alcoholic Beverage Control Division, nor will any agent or employee be allowed to violate any law or regulation. It is hereby consented that the licensed premises and its books and records shall be open at all times to all law enforcement officials without warrant or other legal process.

Kelresh Du
Applicant's Signature

STATE OF ARKANSAS

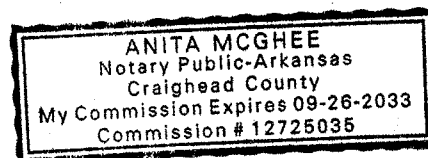
COUNTY OF Craighead

Anita McGhee, being first duly sworn on oath deposes and says that he/she has read each of the questions to which he/she has made answer, and that his/her said answers in each instance are true and correct.

Subscribed and sworn to before me this 29 day of September, 2024.

Levi Madison
Notary Public

My Commission Expires: September 26, 2033



ARKANSAS STATE POLICE

Arkansas Criminal History Report

This report is based on a name search. There is no guarantee that it relates to the person you are interested in without fingerprint verification. This report includes a check of Arkansas files only. Inquiries into FBI files are not permitted for non-criminal justice or employment purposes without specific statutory authority.

Subject of Record

Last: **Das** First: **Kalpesh** Middle:
Date of Birth: Sex: Race: **A**
Social Security Number: (not verified, supplied at time of request)
Home/Mailing Address: **3904 Teal Dr Jonesboro, AR 72404**

- NO CRIMINAL HISTORY FOUND FOR THIS SUBJECT

Requestor Information

Transaction Number: **ABC004520436**

Date: **03/27/2025** Agency Reporting: **Arkansas State Police**

Purpose: **ABC Mandated pursuant to Arkansas Code §3-2-103 regarding applicants for alcohol permits issued by the Alcoholic Beverage Control Division.**

Released To: **Kimmie Rudley On Behalf of Alcohol Beverage Commission**

Representing: **ABC**

Mailing Address: **101 East Capitol Suite 401 Little Rock Arkansas 72201**

This Arkansas criminal history record report should only be used for the purpose that it was requested. A request that is posed for a different purpose may result in more or less information being reported.

This report does not preclude the possible existence of additional records on this person which may not have been reported to the State Identification Bureau and Central Repository. Changes in a criminal history record can occur at any time due to new arrests and/or ongoing legal proceedings.

This Arkansas criminal background check report is for non-criminal justice purposes and may only reflect if a person has any Arkansas felony and misdemeanor conviction(s), any Arkansas felony arrest that occurred in the last five (5) years that has not been to court and whether the person is a registered sex offender or required to register as a sex offender. Juvenile arrest and/or court information will not be released on this report.



AUTHORITY TO RELEASE INFORMATION

Application filled by Applicant -A, Stockholder/Partner - S: A

TO WHOM IT MAY CONCERN:

I understand that the City of Jonesboro will conduct an investigation before a final decision this alcoholic beverage permit. This investigation may include inquiries as to my character, reputation, and the location and feasibility of a permit being issued at the applied for location.

To facilitate this investigation, I do hereby give my consent and authority for any public utility or police agency to furnish information from their records to the City of Jonesboro.

Kalpesh R. Das

Kalpesh Das

Signature - Full Name

9/19/24

Date

3904 Teal Drive

Home Address

Jonesboro AR 72404

City

State

Zip

3904 Teal Drive

Mailing Address

Jonesboro AR 72404

City

State

Zip

(870) 530-9733

Contact Phone

Business Phone

junior das@yahoo.com

Email Address

Subscribed and sworn to before me this 19 day of September, 2024.

Anita McGhee

Notary Public

My Commission Expires: September 26, 2033



AUTHORITY TO RELEASE INFORMATION

Application filled by Applicant -A, Stockholder/Partner - S: P

TO WHOM IT MAY CONCERN:

I understand that the City of Jonesboro will conduct an investigation before a final decision this alcoholic beverage permit. This investigation may include inquiries as to my character, reputation, and the location and feasibility of a permit being issued at the applied for location.

To facilitate this investigation, I do hereby give my consent and authority for any public utility or police agency to furnish information from their records to the City of Jonesboro.

Davy Carter

T. Elder

Signature – Full Name

Date

MAY 28, 2025

Home Address

803 Fairway Drive

City

State

Zip

Jonesboro AR 72401

Mailing Address

SAME

City

State

Zip

SAME

Contact Phone

Business Phone

501-941-8946

870-268-2353

Email Address

davy.carter@gmail.com

Subscribed and sworn to before me this

28th

day of

May

2025.

Tina Elder

Notary Public

My Commission Expires:

6-19-2033.



AUTHORITY TO RELEASE INFORMATION

Application filled by Applicant -A, Stockholder/Partner - S : P

TO WHOM IT MAY CONCERN:

I understand that the City of Jonesboro will conduct an investigation before a final decision this alcoholic beverage permit. This investigation may include inquiries as to my character, reputation, and the location and feasibility of a permit being issued at the applied for location.

To facilitate this investigation, I do hereby give my consent and authority for any public utility or police agency to furnish information from their records to the City of Jonesboro.

Ted Herget

Ted Herget
Signature - Full Name
7.11.25

Date

1305 S Main St
Home Address

Jonesboro AR 72401
City State Zip

Mailing Address

City State Zip

870.926.5569
Contact Phone Business Phone

tedherget@gmail.com
Email Address

Subscribed and sworn to before me this 11 day of July, 2025.

Kim Finley
Notary Public

My Commission Expires: 10-14-26 :



SHJ Concepts, Inc. dba Bridge Street Brewery of Jonesboro is a non-profit private club and exists for the purpose of common recreational, social, community hospitality and benevolent purposes including but not limited to supporting 501(C) (3) entities and conducting charitable activities in and around Jonesboro, Craighead County, Arkansas.

SHJ Concepts will support the Arkansas State Red Wolves Foundation as well as the Downtown Jonesboro Association. The non-profit will focus support on other charities in Jonesboro and Northeast Arkansas.

The private club will benefit these and other entities both financially and with in-kind food donations. The private club will serve food and provide dining for its members and guests. On occasion live music and dancing will be provided for members and guests.

<u>Last Name</u>	<u>First Name</u>	<u>Address</u>
Adams	Morgan	36 CR 7450, Jonesboro, AR 72401
Andrews	Andrea	3603 Lacoste Dr, Jonesboro, AR 72404
Baughner	Jimmy Paul	4909 Reserve Blvd, Jonesboro, AR 72405
Berryhill	Johnna	1610 Stone Street, Apt. B4, Jonesboro AR 72401
Bowers	Katie	4305 Bekah Drive #6, Jonesboro, AR 72401
Boyd	Coy	1106 Thrush Rd., Jonesboro, AR 72401
Breland	John	241 S. Church St, Jonesboro, AR 72401
Brown	Wayne	3522 Cheshier Lane, Jonesboro, AR 72405
Brown	Cor'Darius	3111 Rhonda Drive, Jonesboro, AR 72401
Brown	Matt	208 E. Johnson Ave., Jonesboro, AR 72401
Brown	Gavin	1500 Kathleen Street, Jonesboro, AR 72401
Brownhill	Victoria	4303 Aggie Road 36, Jonesboro, AR 72405
Cain	Ethan	100 Canera Drive, Apt. 342, Jonesboro, AR 72401
Carmack	Jon	4499 CR 160, Jonesboro AR 72401
Carter	Brandon	411 W. Poplar Street, Jonesboro, AR 72401
Carter	Davy and Cara	803 Fairway Circle, Jonesboro, AR 72401
Castro	Justin	1207 S. Culberhouse, Jonesboro, AR 72401
Cooper	Timothy	416 Melton Circle, Jonesboro, AR 72401
Cunningham	Ben	2519 Forest Home Rd., Apt. 50, Jonesboro, AR 72401
Das	Kalpesh	3904 Teal Drive, Jonesboro, AR 72401
Davis	Brent	312 W. Strawn Avenue, Jonesboro AR 72401
Dorsey	Adrian	1610 Stone Street, Jonesboro, AR 72401
Ernes	Sarah	6 Willow Creek, Jonesboro, AR 72401
Falcon-Santana	James	1324 Pardew Street Apt. H, Jonesboro, AR 72401
Farmer	Anssa Rose	1809 Aggie Road, Bldg. #4, Jonesboro, AR 72401
Fortson	Sydney	735 Brody Ct., Jonesboro, AR 72401
Foster	Stephanie	4200 Villa Cove, Jonesboro, AR 72401
Fox	Charles	807 Hester Place, Jonesboro, AR 72401
French	Makayla	1202 Belwood Ct., Jonesboro, AR 72401
Gage	Shelly	2103 Tanglewood Drive, Jonesboro, AR 72401
Gallentine	Chase	SE 2nd Street 2513, Jonesboro, AR 72401
Garcia III	Osraldo	2611 Covey Drive, Jonesboro, AR 72401
Garland	Nathaniel	1500 Kathleen Street Unit 45, Jonesboro, AR 72401
Gentzel	Brian	3719 Stadium Blvd., Apt. B4, Jonesboro, AR 72401
Guemen	Guellemo	2104 Turtle Creek Rd., Jonesboro, AR 72401
Hahn	Jace	2201 Hurst Lane, APT B2, Jonesboro, AR 72404
Hahn	Olin	2209 Hurst Lane, Apt. B2, Jonesboro, AR 72404
Hall	Katie	501 E. Oak Ave, Jonesboro, AR 72401
Hanks	Samantha	593 County Road 7285, Jonesboro, AR 72404
Hansen	Gregory	611 Walnut, Jonesboro, AR 72401
Harlen	Trista	801 University Loop E., #1, Jonesboro, AR 72401
Harlove	Sara	158 CR 306 Jonesboro, AR 72401
Harlow	Sari	158 CR 306, Jonesboro, AR 72401

Haydt	Natalie	4201 Lynnfield Road, Jonesboro, AR 72401
Herget	Ted and Aman	1305 South Main, Jonesboro, AR 72401
Hogan	Lacy A.	203 Greenmeadow Lane, Jonesboro, AR 72401
Hogue	Taylor	1300 Country Club Terrance, Jonesboro, AR 72401
Hopkins	Lauren	103 S. Cate Street, Brookland, AR
Imboden	Hollis Kim	2621 Rosewood Circle, Joneboro, AR 72401
Islas	Abraham	219 Cherry St, Lake City, AR 72437
Johnson	Lance	211 East Street, Jonesboro, AR 72407
Johnson	William	1524 Charles Drive, Jonesboro, AR 72401
Jones	Rebekah	181 County Road 917, Brookland, AR 72417
Leone	Megan	1606 S. Main, Apt. A, Jonesboro, AR 72401
Long	Parker	1500 Kathleen Street, Apt. 69, Jonesboro, AR 72401
McAvoy	David	1524 Charles Drive., Jonesboro, AR 72405
McClard	Daniel	120 Leggett Street, Jonesboro, AR 72401
McIntenry	Phllip	4800 Reserve Blvd. Apartment A3, Jonesboro AR 72405
Melder	Tristan	3718 Glitterman Drive, Jonesboro, AR 72401
Miller	Gabriel	2508 E. Johnson B-25, Joneboro, AR 72401
Mixon	John	1230 Flint St, Jonesboro, AR 72401
Myers	Ramey	305 South Main, Jonesboro, AR 72401
Myers	John	305 South Main St, Jonesboro, AR 72401
Niell	Chad	4200 Friendly Hope Road, Jonesboro, AR 72401
Nobles	Brian	1300 S., Church Street #E6, Jonesboro, AR 72401
Orrick	Nick	3921 Towering Oaks Drive, Jonesboro, AR 72401
Parcell	Larry	2104 Indial Trails, Jonesboro, AR 72401
Peguignat	Alex	1115 University Loop East Bldg. 4, Jonesboro, AR 72401
Poleet	Bruce	601 Stonebridge Dr, Jonesboro, AR 72401
Poleet	Patricia	601 Stonebridge Dr, Joneboro, AR 72401
Polk	Katy	821 Oriole Ct., Jonesboro, AR 72405
Powell	Belinda	1212 Hester, Jonesboro, AR 72401
Rack	Shalauna	1720 Scenic Blvd., Jonesboro, AR 72401
Rawls	Jayme	4800 Reserve Blvd., Apt. N6, Jonesboro AR 72405
Rayevskiy	Richard	314 Mallory Ct., Jonesboro, AR 72401
Richardson	Bailey	505 Fox Run Drive, Jonesboro, AR 72404
Roberts	Rebecca	472 CR 744, Jonesboro, AR 72401
Robinson	Robert	630 W. Oak Ave., Jonesbor, AR 72404
Ross	Dewayne	621 E. Oak Ave, Jonesboro, AR 72401
Rush	Lauren	2515 Danner Ave., #4, Jonesboro, AR 72401
Schreyer	Caleb	2004 Cotton Street, Apt. 7, Jonesboro, AR 72401
Scurlock	Ethan	1515 Aggie Rd., Jonesboro, AR 72401
Shawn	Madi	4107 Cornerstone Drive, Jonesboro AR 72405
Sherman	Michael	2305 Rusher Lane, Jonesboro, AR 72404
Sheroubi	Youssef	1801 Greensboro Rd, Jonesboro, AR 72401
Simmermon	Cameron	1706 W. Oak Ave, Jonesboro, AR 72401
Simmeron	Taylor	1706 W. Oak Ave, Jonesboro, AR 72401

Smith	Brad	706 Catfish Drive, Lake City, AR 72437
Smith	Christina	3316 Caraway Commons Drive, F7, Jonesboro, AR 72401
Smith	Kimberlee	1521 Charles Drive, Jonesboro, AR 72401
Smock	Zachary	1606 S. Main, Apt. A, Jonesboro, AR 72401
Spartis	Samantha	203 Emma Drive, Brookland, AR 72417
Spencer	Jackson	1301 W. Matthews Ave., Jonesboro, AR 72401
Spencer	Lindsey	1301 West Matthews Ave, Jonesboro, AR 72401
Stephens	Becca	2100 Flatrock Trail, Jonesboro, AR 72404
Stevens	Brandon	230 South Main St, Jonesboro, AR 72401
Sullivan	Christoper	1925 W. Nettleton Ave., Joneboro AR 72401
Troutt	Robert	458 CR 372, Bono, AR 72416
Troutt	Pamela	2917 Patricia Cove, Jonesboro, AR 72404
Wade	Allyson	223 County Road 7182, Jonesboro, AR 72401
Wagner	Faith	3516 Limestone Drive, Jonesboro, AR 72401
Walker	Drew	823 Gloucester Drive, Jonesboro, AR 72401
Watson	Sara	717 Flint Street, Jonesboro, AR 72401
Wilcox	Jon	1617 Shady Grove, Jonesboro, AR 72401
Willett	Jason and LaW	1804 Starling, Jonesboro, AR 72401
Williamson	Ethan	1203 University Loop East, Jonesboro, AR 72405
Woodard	Staci	5109 Reserve Blvd., Apt A-300, Jonesoboro, AR 72405
Wooley	Charles	4416 Sweetspiers Cove, Jonesboro, AR 72405
Ziegler	Levera	1604 Aggie Road, Apt. 2, Jonesboro, AR 72401

LEASE AGREEMENT

STATE OF ARKANSAS – COUNTY OF CRAIGHEAD

THIS AGREEMENT made in multiple copies and entered between **Bridge Street Investments, LLC., 516 Cate Avenue, Jonesboro, Arkansas, 72403** herein designated as Landlord, and **SHJ Concepts, Inc dba Bridge Street Brewery of Jonesboro, Arkansas, 516 Cate Avenue, Jonesboro, Arkansas, 72401** herein designated as Tenant.

WTTNESSETH: That Landlord in consideration of the covenants and agreements to be performed by Tenant and upon the terms and conditions herein after stated does hereby lease, demise, and let unto Tenant the following described space:

Approximately 10,377 square feet referred to as SHJ Concepts, INC. dba Bridge Street Brewery of Jonesboro, 516 Cate Avenue, Jonesboro, AR., 72401 (herein after referred to as the "demised premises").

The said building referred to as the "Building."

TO HAVE AND TO HOLD the same for a term of 60 months.

Commencing on April 1, 2025, and ending on April 1, 2030.

By occupying the demised premises the Tenant shall be deemed to have accepted the same as suitable for the purpose herein intended and to have acknowledged that the same comply fully with the Landlord's covenants and obligations hereunder. If this lease is executed before the demised premises become vacant, or if any present tenant or occupant of the premises holds over, and Property Owner cannot acquire possession of the demised premises prior to the date above recited as the commencement date of this lease. Property owner shall not be deemed to be in default hereunder, and Tenant agrees to accept possession of the demised premises at such time as Property Owner is able to tender the same, Property Owner hereby waives payment of rent covering any period prior to the tendering of possession to Tenant hereunder.

1. **RENT.** In consideration of this lease. Tenant promises and agrees to pay Property Owner rent for said premises at the rates as follows:

Year one: \$10,000.00 monthly, \$120,000.00 per year.

Years two through five: \$120,000.00 per year.

One such monthly installment together with a security deposit equal to **\$10,000.00** shall be payable by Tenant to Landlord in advance, without demand, upon Tenant's Execution of his lease, and a like monthly installment shall be due and payable on or before the first day of each succeeding calendar month during the term hereof. Rent for any fractional month at the beginning or end of the lease term shall be prorated daily. All rent is due in the office of Property Owner on or before the first day of each month. If any installment of rent is not received by Property Owner by the fifth (5th) day of the month. Tenant agrees to pay Property Owner in additional rent, a late charge of \$15.00 per day retroactive to the first day of the month. If rent remains unpaid for thirty (30) days, Tenant agrees to pay interest at the rate of 1-1/2% per month on the unpaid balance, including late charges. The security deposit shall be held by Property Owner as security for the performance by Tenant of Tenant's covenant, and obligations under this lease, it being expressly understood that such deposit shall not be considered an advance payment of rental or a measure of Landlord's damages in case of default by Tenant. Upon the occurrence of any event of default by Tenant, Landlord may at Landlord's sole option, from time to time, without prejudice to any other remedy, apply such deposit to the extent necessary to any arrearages of rent and any other damage, injury expense, or liability caused to Property Owner by such event of default. Following any such application of the security deposit, Tenant shall pay to Property Owner

on demand the amount so applied to restore the security deposit to its original amount. If Tenant is not then in default hereunder, any remaining balance of such deposit shall be returned by Landlord to Tenant upon termination of lease upon delivery of the demised premises in good condition as hereinafter provided. If Property Owner transfers its interest in the demised premises during the lease term, Property Owner shall assign the security deposit to the transferee and hereafter shall have no further liability for the return of such security deposit.

2. USE. The demised premises shall be used and occupied by Tenant as a full-service restaurant, brewery, and private club. Tenant shall not use, or permit to be used, the demised premises for any other purpose. Tenant will not occupy or use, nor permit to be occupied or used any portion of the demised premises for any business or purpose which is unlawful in part or in whole or deemed to be disreputable in any manner, or extra hazardous on account of fire, nor permit anything to be done which will in any way increase the rate of any insurance on the Building or its contents, and in the event that, by reason of acts of Tenant, there shall be any increase in the rate of insurance on the Building or contents created by Tenant's acts or conduct of business then such acts shall be deemed to be an event of default hereunder and Tenant hereby agrees to pay the amount of such increase on demand, and acceptance of such payment shall not constitute a waiver of any of Landlord's rights hereunder. Tenant shall not engage in any use or activity, which violates any provision of Landlord's ground lease of the premises on which the building is located.

3. LANDLORD'S OBLIGATIONS. Property owner agrees to furnish Tenant while occupying the demised premises water, hot and cold at those points of supply provided for routine use of tenant of the building. Heat, air, and electric service in the manner and to the extent deemed by Landlord to be standard; but failure to any extent to furnish or any stoppage of these defined services, resulting from causes beyond control of Landlord or from any cause, shall not render Landlord liable in any respect for damages to person, property or business, nor be construed as an eviction of Tenant or work an abatement of rent, nor relieve Tenant from fulfillment of any covenant of agreement hereof. Should any equipment or machinery furnished by Property Owner break down, or for any cause cease to function properly. Property owner shall use reasonable diligence to repair same promptly, but Tenant shall have no claim for rebate of rent or damages on account of any interruptions in service occasioned thereby or resulting there from. Tenant shall pay to Property Owner on demand such charges as Property Owner may prescribe for any electric service required by Tenant for computers and other electrical equipment or other electric service deemed by Property Owner not to be standard. Tenant shall not use excessive amounts of utilities without Landlord's written consent on conditions set by Landlord.

4. TENANT'S REPAIRS AND ALTERATIONS. Tenant will not in any manner deface, damage, or injure the building, and will pay the cost of repairing any damage or injury done to the building or any part thereof by Tenant or Tenant's agents, employees, and invitees. Tenant shall throughout the term of this lease take diligent care of the demised premises and keep them free from waste and nuisance of any kind. Tenant agrees to keep the demised premises, including all fixtures installed by Tenant and any plate glass, in good condition and make all necessary repairs. At the end or termination of this lease, Tenant shall deliver up the demised premises with all improvements located thereon, except as provided in this paragraph, in good repair and condition, reasonable wear and tear exempted. Tenant shall not make or allow to be made any alterations or physical additions in or to the demised area without the prior written consent of Property Owner. At the termination of this lease Tenant shall, if Property Owner so elects, remove all alterations, physical additions or improvements erected by Tenant and restore the demised premises to their original condition, otherwise such improvements shall be delivered up to Property Owner with the demised premises. All furniture and moveable trade fixtures installed by Tenant may be removed by Tenant at the termination of this lease if Tenant so elects and shall be removed if Property Owner so elects. All such removals and restoration shall be accomplished in a good skillful manner so as not to damage the building. Tenant has inspected the demised premises and accepts them in their existing condition.

5. ASSIGNMENT AND SUBLETTING. Tenant will not assign this lease or allow same to be assigned by operation of law or otherwise or sublet the demised premises or any part thereof without the prior written consent of Property Owner. Property owner shall have the right to transfer and assign, in whole or in part, any of its rights under this lease, and in the building and property referred to herein; and, to the extent that such assignee assumes Landlord's obligations hereunder. Property owner shall by virtue of such assignment be released from such obligations.

6. **MAINTENANCE.** Tenant will maintain the demised premises in a clean and healthful condition, and comply with all laws, ordinances, orders, rules, and regulations (state, federal, municipal, and other agencies or bodies having any jurisdiction thereof) with reference to use, condition, or occupancy of the demised premises.

7. **INDEMNITY.** Property owner shall not be liable for, and Tenant will indemnify and save harmless Property Owner from all fines, suits, claims, demands, and actions of any kind (including attorney's fees) by reason of any negligence, misconduct, or any breach, violation, or non-performance of any covenant hereof on the part of Tenant or Tenant's agents, employees, or invitees. Landlord shall not be liable or responsible for any loss or damage to any property or person occasioned by theft, fire, act of God, public enemy, injunction, riot, strike, insurrection, war, court order, requisition or order of governmental body or authority or other matter beyond the reasonable control of Landlord, or for any damage or inconvenience which may arise through repair or alteration of any part of the Building, or failure to make repairs, or from any cause whatever except Landlord's negligence.

8. **RULES AND REGULATIONS.** Tenant and Tenant's agents, employees, and invitees, will comply fully with all requirements of the rules of the building which are attached and made a part hereof as though fully set out herein. Landlord shall at all times have the right to change such rules and regulations or to amend them in such reasonable manner as may be deemed advisable for safety, care, and cleanliness of the building and for preservation of good order therein, all of which rules and regulations, changes and amendments, will be forwarded to Tenant in writing and shall be carried out and observed by Tenant. Tenant shall further be responsible for the compliance with such rules and regulations by the employees, servants, agents, visitors, and invitees of Tenant

9. **INSPECTION.** Landlord, or its officers, agents, and representatives shall have the right to enter into and upon any and all parts of the demised premise (a) at all reasonable hours to inspect same or clean or make repairs or alteration, or additions as Landlord may deem necessary, or (b) during business hours to show the demised premises to prospective tenants, purchasers or lenders, and Tenant shall not be entitled to any abatement or reduction of rent by reason thereof.

10. **CONDUCT OF BUSINESS.** Tenant will conduct his business, and control his agents, employees, and invitees in such a manner as not to create any nuisance, or interfere with, annoy, or disturb other tenants or Landlord in the management of the Building, Tenant will, during the term of this lease, continually and fully occupy the premises and conduct active business operations therein.

11. **CONDEMNATION.** If the Building or the demised premises shall be taken or condemned in whole or part for public purposes, then the term of this lease shall at the option of Property Owner forthwith cease and terminate.

12. **FIRE AND OTHER CASUALTY.** In the event that the Building should be damaged or destroyed by fire, tornado, or other casualty, landlord may at its option terminate this lease in which event the rent shall be abated during the unexpired portion of this lease effective with the date of such damage, or Landlord may proceed to rebuild and repair the Building and the demised premises whereupon Landlord shall proceed with reasonable diligence to restore the Building to substantially the same condition in which it was immediately prior to the happening of the casualty, except that Landlord shall not be required to rebuild, repair or replace any part of the partitions, fixtures, and other improvement, which may have been placed by Tenant or other tenants within the Building Landlord shall allow Tenant a fair diminution of rent during the time the demised premises are unfit for occupancy. In the event any mortgagee under a deed of trust, security agreement or mortgage on the building should require that the insurance proceeds be used to retire the mortgage debt. Property owner shall have no obligation to rebuild, and this lease shall terminate upon notice to Tenant. Any insurance which may be carried by Landlord or Tenant against loss or damage to the building or to the demised premises shall be for the sole benefit of the party carrying such insurance and under its sole control.

13. **HOLDING OVER.** Should Tenant, or any of its successors in interest, hold over the demised premises, or any part thereof, after the expiration of the terms of this lease unless otherwise agreed in writing, such holding over shall constitute and be construed as a tenancy from month to month only, at a rental equal to the rent paid for the last month of the term of this lease plus fifty percent (50%) of such amount. The inclusion of the preceding sentence shall not be construed as Landlord's consent for the Tenant to hold over.

14. **TAXES ON TENANT'S PROPERTY.** Tenant shall be liable for all taxes levied or assessed against personal property, furniture or fixtures placed by Tenant in the demised premises. If any such taxes for which Tenant are liable are levied or assessed against Landlord or Landlord's property and if Landlord elects to pay the same or if the assessed value of Landlord's property is increased by inclusion of personal property, furniture or fixtures placed by Tenant in the demised premises, and Landlord elects to pay the taxes based on such increase, Tenant shall pay to Landlord upon demand that part of such taxes for which Tenant is primarily liable hereunder.

15. **INCREASED EXPENSES.** Tenant is quoted a gross lease and shall receive no increased expenses. The term "operating expenses" as used herein, means all direct costs of operation and maintenance of the Building, as determined by standard accounting practices, and includes the following costs by way of illustration but not limitation; ad valorem taxes and assessments and personal property taxes (except those payable by the Tenant under the provisions of this lease), insurance premiums, licenses, permit and inspection fees utility charges, heating and air conditioning expenses, repairs, garbage and waste disposal expenses, salaries, labor, materials and supplies, maintenance contracts management and leasing expenses janitor services and supplies, security and alarm systems, pest control. The term "operating expenses," as used herein, shall not include depreciation on the building or equipment, interest, or capital expenditures.

16. **EVENTS OF DEFAULT.** The following events shall be deemed to be events of default

- (a) Tenant shall fail to pay any installment of the rent hereby reserved on or before the 5th of each month.
- (b) Tenant shall fail to comply with any term, provision, or covenant of this lease, other than the payment of rent, and shall not cure such failure within thirty (30) days after written notice thereof to Tenant.
- (c) Tenant shall make an assignment for the benefit of creditors.
- (d) Tenant shall file a petition under any section or chapter of the National Bankruptcy Act, as amended, or under any similar law or statute of the United States or any state thereof; or Tenant shall be adjudged bankrupt or insolvent in proceedings filed against Tenant thereunder.
- (e) A receiver or Trustee shall be appointed for all or substantially all the assets of Tenant
- (f) Tenant shall desert or vacate any substantial portion of the demised premises for a period of fifteen (15) days or more.
- (g) The assignment by Tenant of all or any part of its property or assets for the benefit of creditors of the levy of execution, attachment or taking of property, assets, or the leasehold interest of Tenant by process of law or otherwise in satisfaction of any judgment, debt, or claim.

17. **REMEDIES.** Upon the occurrence of any event of default specified in Paragraph 16 hereof, Property Owner shall have the Option to pursue any one or more of the following remedies without any Notice or demand whatsoever:

- (a) Terminate this lease in which event Tenant shall immediately surrender the demised premise to Landlord and if Tenant fails to do so, Landlord may, without prejudice to any other remedy which it may have for possession or arrearages in rent, enter upon and take possession and expel or remove Tenant and any other person who may be occupying the demised premises or any part thereof, by force if necessary, without being liable for prosecution or any claim of damages therefore; and Tenant agrees to pay to Landlord on demand the amount of all loss and damage which Landlord may suffer by reason of such termination, whether through inability to relet the demised premises on satisfactory terms or otherwise.
- (b) Enter upon and take possession of the demised premises and expel or remove Tenant and any other person who may be occupying the demised premises or any part thereof, by force, if necessary, without being liable for prosecution or any claim for damages therefore, said if Landlord so elect relet the demised premises and receive the rent therefore; and Tenant agrees to pay to Landlord on demand any deficiency that may arise by reason of such reletting and all expenses Landlord may incur in reletting the premises.

Pursuit of any of the foregoing remedies shall not preclude pursuit of any of the other remedies herein provided or any other remedies Provided by law, nor shall pursuit of any remedy herein provided constitute a forfeiture or waiver of any rent due to Property Owner hereunder or of any damages occurring to Property Owner by reason of the violation of any of the terms, provisions and covenants herein contained. Landlord's acceptance of rent following an event of default hereunder shall not be construed as Landlord's waiver of such event of default. No waiver by Property Owner of any violation or breach of any of the terms, provisions and covenants herein contained shall be deemed or construed to constitute a waiver of any other violation or breach of any of the terms, provisions, and covenants herein contained. Forbearance by Property Owner to enforce one or more of the remedies herein provided upon an event of default shall not be deemed or construed to constitute a waiver of such default. Tenant acknowledges that any payments received by Property Owner while Tenant is in default are accepted with full reservation of all rights hereunder by Property Owner

18. SURRENDER OF PREMISES. No act or thing done by the Property Owner or its agents during the term hereby granted shall be deemed an acceptance of a surrender of the demised premises, and no agreement to accept a surrender of the demised premises shall be valid unless the same be made in writing and subscribed by the Property Owner.

19. ATTORNEY'S FEES. In case Property Owner brings any act on under this lease or consults with or places said lease or any amount payable by Tenant thereunder with an attorney concerning or for the enforcement of any of Landlord's rights hereunder, then Tenant agrees in each and any such case to pay to Property Owner a reasonable attorney's fee.

20. RECEIPTS FROM ASSIGNEE OR SUBTENANT. The receipt by the Landlord of rent from any assignee, subtenant or occupant of the demised premises shall not be deemed a waiver of the covenant in this lease contained against assignment and subletting or an acceptance of the assignee, subtenant or occupant as Tenant or a release of the Tenant from further observance or performance by the Tenant of the covenants in this lease contained, on the part of the Tenant to be observed and performed. No provision of this lease shall be deemed to have been waived by the Property Owner unless such waiver be in writing signed by the Property Owner.

21. LANDLORD'S LIEN. Landlord shall have, at all times, a valid security interest to secure payment of all rentals and other sums of money becoming due hereunder from Tenant, and to secure payment of any damage or loss which Landlord may suffer by reason of the breach by Tenant of any covenant, agreement, or condition contained herein, upon all goods, wares, equipment, fixtures, furniture, improvements and other personal property of Tenant presently, or which may hereafter be situated on the demised premises, and all proceeds there from, and such property shall not be removed there from without the consent of Landlord until all arrearages in rent as well as any and all other sums of money then due to Landlord hereunder shall first have been paid and discharged and all the covenants, agreements and conditions hereof have been fully complied with and performed by Tenant. Upon the occurrence of an event of default by Tenant, Landlord may, in addition to any other remedies provided herein enter upon the demised premises and take possession of any and all goods, wares, equipment, fixtures, furniture, improvements and other personal property of Tenant situated on the premises, without liability for trespass or conversion, and sell the same at public or private sale, with or without having such property at the sale, after giving Tenant reasonable notice of the time and place of any public sale or of the time after which any private sale is to be made, at which sale the Landlord or its assigns may purchase unless otherwise prohibited by law. Unless otherwise provided by law, and without intending to exclude any other manner of giving Tenant reasonable notice, the requirement of reasonable notice shall be met if such notice is given in the manner prescribed in Paragraph 23 of this lease at least ten (10) days before the time of sale. Any sale made pursuant to the provisions hereof shall be deemed to have been a public sale conducted in a commercially reasonable manner if held in the demised premises or where the property is located after the time, place and method of sale and a general description of the types of property to be sold have been advertised in a local daily newspaper for five (5) consecutive days before the date of the sale. The proceeds from any such disposition, less any and all expenses connected with the taking of possession, holding, and selling of the property (including reasonable attorney's fees and legal expenses), shall be applied as a credit against the indebtedness secured by the security interest granted in this paragraph. Any surplus shall be paid to Tenant or as otherwise required by law, and the Tenant shall pay any deficiencies forthwith. Upon request by Landlord, Tenant agrees to execute and deliver to Property Owner a financing statement in form sufficient to perfect the security interest of Property Owner in the aforementioned property and proceeds thereof under the provisions of the Uniform Commercial Code in force in this state. Any statutory lien for rent is not hereby waived, the security interest herein granted being in addition and

supplementary thereto.

22. **QUIET ENJOYMENT.** Landlord represents and covenants that it has full right, power, and authority to make this lease and that Tenant, upon the payment of the rentals and performing the covenants on Tenant's part to be performed hereunder, shall and may peaceably and quietly have, hold and enjoy the demised premises during the term hereof and any extensions thereof, free from interference or disturbance from Landlord, but subject to the terms and conditions of this lease. Property owner agrees to make reasonable efforts to protect Tenant from interference or disturbance by other tenants or third persons; however, Property owner shall not be liable for any such interference or disturbance, nor shall Tenant be released from any of the obligations of this lease because of such interference or disturbance.

23. **NOTICES.** Each provision of this lease, or of any applicable governmental law's ordinances, regulations, and other requirements with reference to the sending, mailing, or delivery of any notice, or with reference to the making of any payment by Tenant to Landlord, shall be deemed to be complied with when and if the following steps are taken:

(a) All rent and other payments required to be made by Tenant to Landlord shall be received by Property Owner at the address herein below set forth, or at such other address as Property Owner may specify from time to time by written notice delivered in accordance herewith.

(b) Any notice or document required to be delivered hereunder shall be deemed to be delivered when deposited in the United States mail, postage pre-paid, certified, or registered mail, (with or without return receipt requested), addressed to the parties hereto at the respective addresses set out opposite their names below or at such other address as they have theretofore specified by written notice delivered in accordance herewith:

24. **FORCE MAJEURE.** In the event the Landlord shall be delayed, hindered in, or prevented from the performance of any act required hereunder by reason of strikes, lockouts, labor troubles, inability to procure materials, failure of power, unavailability of utility service, restrictive governmental laws or regulations, riots, insurrections the act, the failure to act, or default of another party, war, or any other reason beyond Landlord's control, then performance of such act shall be excused for the period of the delay, and the period of the performance of any such act shall be extended for a period equivalent to the period of such delay.

25. **SEPARABILITY.** If any clause or provision of this lease is illegal, invalid or unenforceable under present or future laws effective during the term of this lease, then and in that event, it is the intention of the parties hereto that the remainder of this lease shall not be affected thereby, and it is also the intention of the parties to this lease that in lieu of each clause or provision of this lease that is illegal, invalid or unenforceable, there be added as a part of this lease a clause or provision as similar in terms to such illegal, invalid, or unenforceable clause or provision as may be possible and be legal, valid and enforceable.

26. **NO PERSONAL LIABILITY.** Anything in this lease to the contrary notwithstanding, Tenant agrees it will look solely to the estate and property of the Landlord in the Building of which the demised premises are a part, for the collection of any judgment (or other judicial process) requiring the payment of money by Landlord in the event of any default or breach by Landlord with respect to any of the terms, covenants and conditions of this Lease to be observed and/or performed by Landlord, and no other property or assets of the Landlord shall be subject to levy, execution or other procedures for the satisfaction of Tenants remedies.

27. **AMENDMENTS; BINDING EFFECT.** This lease may not be altered, changed, or amended, except by instrument in writing signed by both parties hereto. The terms, provisions, covenants, and conditions contained in this lease shall apply to, inure to the benefit of, and be binding upon the parties hereto, and upon their respective successors in interest and legal representatives, except as otherwise herein expressly provided.

28. **GENDER.** Words of any gender used in this lease shall be held and construed to include any other gender, and words in the singular number shall be held to include the plural, unless the context otherwise requires.

29. **CAPTIONS.** The captions contained in this lease are for convenience of reference only, and in no way limit or enlarge the terms and conditions of this lease.

30. **SUBORDINATION.** This lease shall be subject and subordinate at all times to the lien of existing mortgages deeds of trust and financing statements on the demised premises or the building and of mortgages, deeds of trust and financing statements which hereinafter may be made a lien on such property, also any renewal, modification, consolidation, or replacement or extension of any such existing or future mortgages, deeds of trust and financing statements.

31. **MECHANICS LIENS.** In no event shall Tenant allow any mechanics or other lien to exist against the demised premises. Tenant shall discharge or remove any such lien by bonding or otherwise promptly on notice by the Property Owner to do so. No provisions of this lease shall be construed as to constitute Tenant as the agent of or authorized to act for Landlord in doing any repairs, alterations, construction or any other kind of work on the demised premises and any person doing work upon or furnishing materials to or for such work shall look only to Tenant and the Tenant's interest in the demised premises for payment, therefore.

32. **WAIVER OF SUBROGATION.** Landlord and Tenant mutually agree to waive any right of subrogation which they may have against one another for any losses paid to them on any insurance policy or policies continued or in Connection with the demised premises or the building to the extent permitted by the terms of such policy or policies.

33. **RELOCATION.** If the Landlord should have need of the demised premises during the term of this lease, it is understood and agreed that the Landlord, at the Landlord's expense, may relocate the Tenant elsewhere in the building. In the event of such relocation the premises provided the Tenant shall be finished out in a condition reasonably comparable with the original space.

34. **RECORDING.** This lease shall not be recorded without Landlord's written consent.

WITNESS, the signature of the parties hereto in multiple copies, this 1st day of

April, AD 2025.

TENANT: Davy Carter

By: 

President

SHJ Concepts dba Bridge Street Brewery of Jonesboro

LANDLORD:

By: 

Bridge Street Investments, LLC

STATE OF ARKANSAS



Cole Jester

ARKANSAS SECRETARY OF STATE

To All to Whom These Presents Shall Come, Greetings:

I, Cole Jester, Arkansas Secretary of State of Arkansas, do hereby certify that the following and hereto attached instrument of writing is a true and perfect copy of

Application for Fictitious Name

of

BRIDGE STREET BREWERY OF JONESBORO

for

SHJ CONCEPTS

filed in this office

May 06, 2025

In Testimony Whereof, I have hereunto set my hand and affixed my official Seal. Done at my office in the City of Little Rock, this 6th day of May 2025.

A handwritten signature in cursive script, appearing to read "Cole Jester", is written over a horizontal line.

Cole Jester
Secretary of State

Online Certificate Authorization Code: 854964682b6b4a1ff42
To verify the Authorization Code, visit sos.arkansas.gov





App. for Fictitious Name for Domestic Nonprofit

Filing Information

Entity File Number: 811245102

Alt Entity Type: DomNonProfitNewCode

Entity Name: SHJ CONCEPTS

Fictitious Name: BRIDGE STREET BREWERY OF JONESBORO

File Date: 2025-05-06 15:58:48

Alt Tax Type: NonProfitCorporation

Filing Signature: JASON WILLETT

The character of the business being, or to be conducted under such fictitious name:
MicroBrewery-Restuarant Private Club

Principal

Address 1: 516 CATE AVENUE

City: JONESBORO

State: AR

Zip: 72401

Country: USA

Bridge Street Brewery

Shared Plates

BLIND TIGER SALSA ✓

Fresh tortilla chips 8

POTSTICKERS

choice of:

chicken teriyaki | kale & vegetable ✓

Served with jala mango dipping sauce 10

CRAZY CAULIFLOWER BITES

Roasted cauliflower, carrots,
buffalo sauce, ranch 10

ROSADA WHIPPED FETA

Chips, cauliflower, edamame,
fried jalapeños, carrot sticks,
cucumber sticks, green onions,
pistachios, sesame seeds 12

CHICKEN FUNDIDO QUESADILLAS

Smoked chicken, brisket queso, cheddar,
mushroom & onion piperade, salsa, crema 15

OVEN-BAKED BRISKET QUESO

Fresh tortilla chips 11

SMOKED WANGS

1 lbs of smoked wings, carrots 16

choice of:

house buffalo | prohibition secret sauce
street core sauce | nashville hot sauce

SHRIMP LETTUCE WRAP

Blackened shrimp, lettuce, onion sticks,
pickled onions, pickled carrots,
prohibition secret sauce 16

PORK BAO BUNS

Smoked pork belly, quick pickled cucumbers,
green onions, prohibition secret sauce,
side of quick pickled cucumbers 13

PORK BELLY BURNT ENDS

Pork belly burnt ends, quick pickled
cucumbers, pickled carrots, street core
sauce, sesame seeds 14

VERDE SMOKED PORK NACHOS

Pork, brisket queso, fried jalapeños,
green onions, street core sauce,
aji verde sauce 15

HUNTSVILLE PORK CHILI CHEESE FRIES

Huntsville pork chili, cheese, fries,
crema, green onions 12



Consuming raw or undercooked meats, poultry, seafood, shellfish, or eggs may increase your risk of food borne illness.

Entrees

PORK BELLY & CAULIFLOWER BOWL

Pork belly, roasted cauliflower,
roasted edamame, crispy potatoes, lettuce,
green onions, blind tiger salsa,
street core sauce, sesame seeds 18

FUNDIDO BRISKET BOWL

Sliced smoked brisket, brisket queso,
crispy potatoes, blind tiger salsa,
green onions, street core sauce,
sesame seeds 18

GINGER SCALLION NOODLES

Pork belly, blackened shrimp, bacon dashi,
fuku noodles, bok choy, quick pickled cucumbers,
scallions, pickled onions, sambal,
sesame seeds 19

HOMEMADE MEATBALLS & SPAGHETTI

homemade meatballs, spaghetti sauce, pasta,
parmesan, garlic bread 18

STREETCORE PORK BELLY TACOS

Corn tortilla, pork belly, cheese, slaw,
street core sauce 14

sub: chicken +2 | brisket +6 | turkey +4

SMASHED POTATO

Queso, cheddar, green onions, crema, butter,
gypsy seasoning 14

add-on: bacon 2 | pork 3 | pork belly 4
huntsville pork chili 4 | turkey 4
chicken 4 | brisket 6

BEEF SKEWER

Beef skewer, couscous blend,
malaysian flatbreads, grilled tomato 16

MOTA'S CHICKEN TIKKA

Grilled indian spiced chicken, couscous blend,
malaysian flatbreads, grilled tomato 16

Soups and Salads

GREEK GODDESS SALAD ✓

Couscous blend, cheddar, greens blueberries,
strawberries, tomato, pickled onions, pickled
carrots, chow chow, green goddess dressing 14

CAULIFLOWER & EDAMAME SALAD

Roasted cauliflower & edamame, greens,
onion sticks, tallulah gremolata,
simple lime vinaigrette, parmesan,
sesame seeds 14

BLACKENED SHRIMP BOK CHOY SALAD

Blackened shrimp, couscous blend, greens,
bok choy, roasted edamame, onion sticks,
aji verde, simple lime vinaigrette, parmesan 17

JOSEPHINE'S CAESAR SALAD

Smoked chicken, greens, onion sticks,
caesar dressing, parmesan,
cornbread croutons 16

HUNTSVILLE STYLE PORK CHILI

Cup 7 | Bowl 12

BRUNSWICK STEW

Classic southern-style stew with smoked meats &
vegetables, sweet cornbread. savory yet sweet
Cup 7 | Bowl 12

Handhelds

served with parmesan fries

sub: wrap | lettuce wrap | gluten free bread +2

BBQ TOFU BAHN MI ✓

Marinated BBQ tofu, fresh herbs,
pickled carrots, chow chow, tallulah gremolata,
street core sauce 14

SMOKED BRISKET SANDWICH

Sliced smoked brisket, smoked gouda,
mushroom & onion piperade,
quick pickled cucumbers, garlic butter,
bacon dashi, buttermilk ranch,
prohibition secret sauce 17

PROHIBITION BURGER

Short rib & brisket grind, cheddar,
lettuce, tomato, quick pickled cucumbers,
pickled onions, garlic butter, mayo, ketchup 18

PROHIBITION BEYOND BURGER

prohibition beyond burger, cheddar,
lettuce, tomato, quick pickled cucumbers,
pickled onions, garlic butter, mayo, ketchup 20

GRAND SLAM BURGER

double short rib & brisket grind, conecuh sausage,
pork belly, brisket, cheddar, street core sauce 25

GYPSY DOG CHICKEN SANDWICH

Smoked chicken, bacon, smoked gouda, parmesan,
pickled onions, garlic butter,
prohibition secret sauce, buttermilk ranch 14

CHILI CHEESE AND SLAW DOG

Crispy conecuh sausage, homemade
huntsville style pork BBQ chili, cheese,
coconut slaw, streetcore 15

UP IN THE CLUB

Smoked turkey, bacon, cheddar, lettuce,
tomato, aji verde 14

NASHVILLE HOT CHICKEN SANDWICH

Chicken fried crispy, coconut slaw,
quick pickled cucumbers,
nashville hot chicken sauce, brioche bun 15

PHILLY CHEESESTEAK

Choice of: shredded chicken or steak
peppers, onions and mushrooms, provolone,
hoagie roll 14

HOMEMADE MEATBALL SUB

homemade meatballs, marinara, cheese,
hoagie roll 15

SIDE SUBSTITUTIONS ✓

Sweet Potato Tots +3
Side House Salad +4
Side Caesar Salad +4
Side of Stew +5
Crispy Potatoes +3

Sides

PARMESAN FRIES 5

COCONUT SLAW 4

SWEET CORN BREAD & LOCAL JAM 5

SWEET POTATO TOTS 6 ✓

CRISPY POTATOES WITH AJI VERDE 5

CAESAR SALAD 5

HOUSE SALAD 5

cucumbers, tomatoes, croutons, parm

Kids

served with fries & Cheese-its

CHICKEN NUGGETS 8

GRILLED CHEESE 8

KIDS BURGER 8

CHEESE QUESADILLA 8

Dessert

CHEF'S CAKE

Rotation of cakes 9

PROHIBITION BREAD PUDDING

Topped with seasonal jam and
whipped cream 9

A 20% gratuity will
be added for parties
of six or more.



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Mail body: Bridge Street Brewery Photos

Sent from my iPad

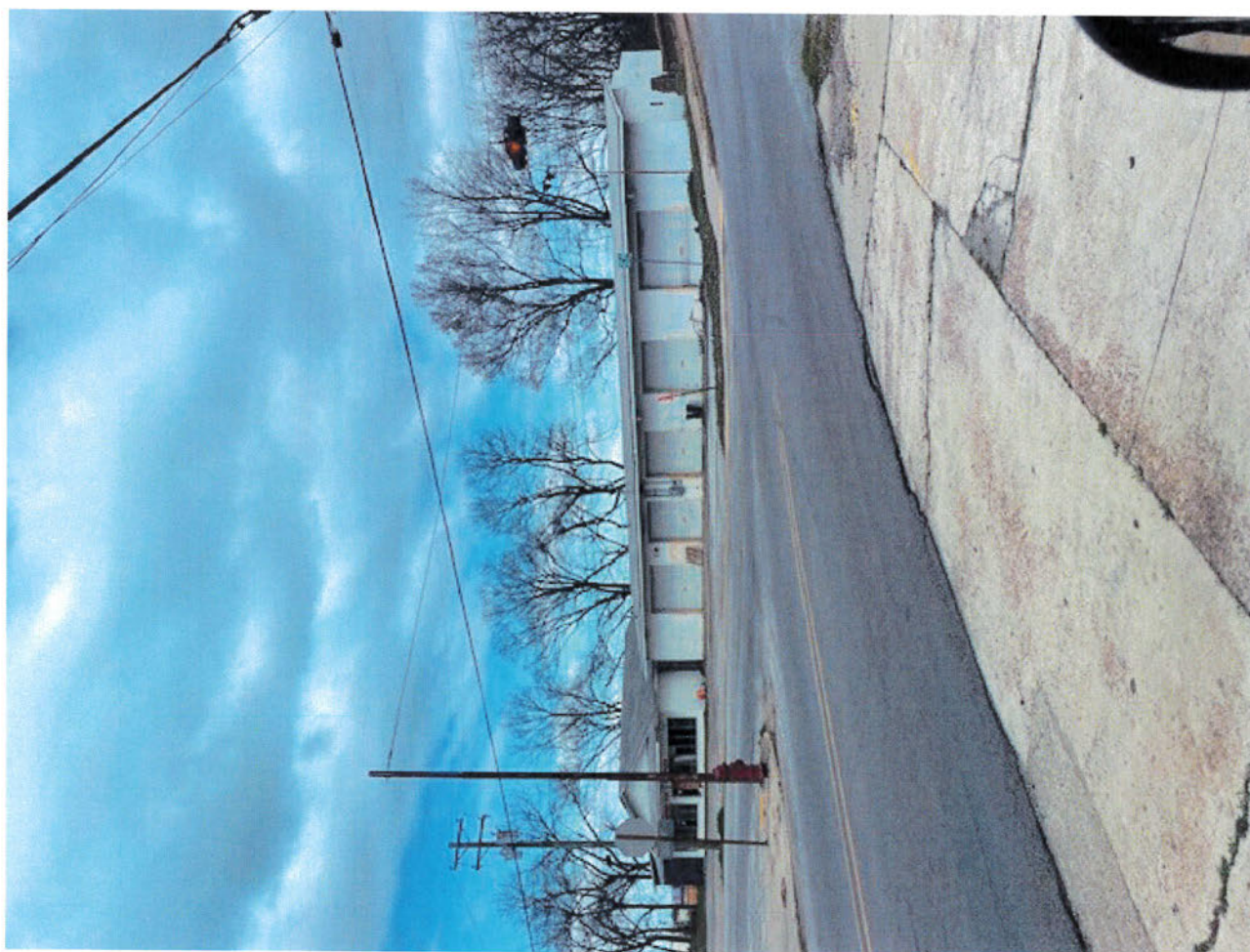
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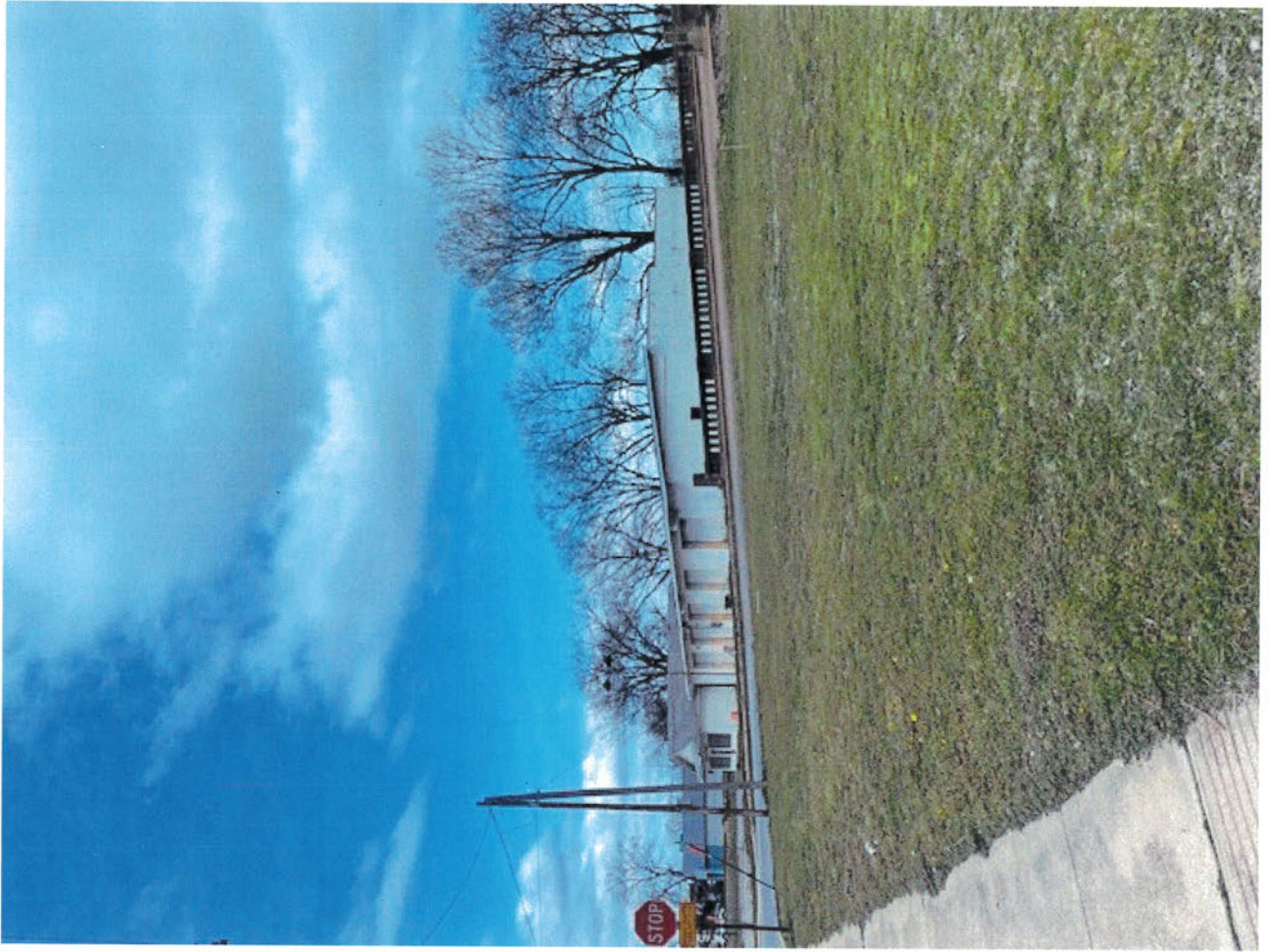
From: Jason Willett <jasonwillett@icloud.com>

Date: July 28, 2025 at 3:06:28 PM CDT

To: Jason Willett <jason@willettgroup.com>

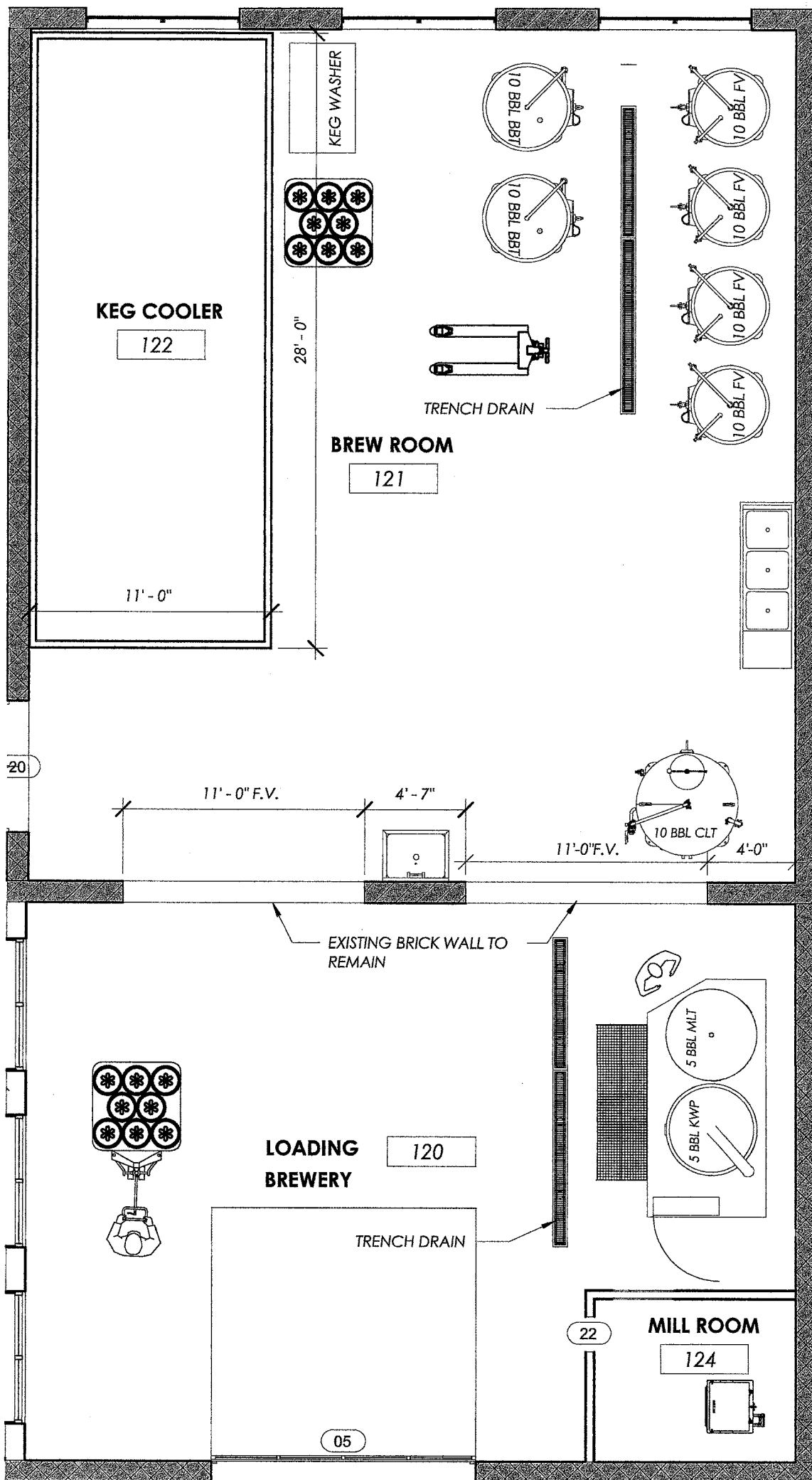
Subject: Bridge Street Brewery Photos





Sent from my iPhone





OFFICIAL RECEIPT

Receipt Date 07/30/2025 03:51 PM
Receipt Print Date 07/30/2025

Receipt # 00264344
Batch # 00030.07.2025

CITY OF JONESBORO
300 S. Church St. Ste 106
PO Box 1845
JONESBORO, AR 72403-1845
870-932-3042

For Permit Inspections call 870-933-4602

Account/License/Permit/Category:

CR 250.00

Detail:

01-134-0517-00

Alcohol Application Fee 516 C
ate Ave

250.00

Total 250.00

Payment Information:

Check 110014 250.00
Change 0.00

Bridge Street Brewery
Customer #: 000000

Cashier: tmmoss
Station: COLLECTIONSWIND

OFFICIAL RECEIPT

Receipt Date 07/31/2025 08:37 AM
Receipt Print Date 07/31/2025

Receipt # 00264374
Batch # 00131.07.2025

CITY OF JONESBORO
300 S. Church St. Ste 106
PO Box 1845
JONESBORO, AR 72403-1845
870-932-3042

For Permit Inspections call 870-933-4602

Account/License/Permit/Category:
CR

116.35

Detail:

01-000-0150-00

Proof of Publication

116.35

Total

116.35

Payment Information:

Credit Car 8210

116.35

Change

0.00

SHJ Concepts
Customer #: 000000
dba Bridge Street Brewery

Cashier: ALCooksey
Station: ALCOOKSEY

THE CITY OF JONESBORO
300 S CHURCH ST
JONESBORO AR 72403
870-932-3042

07/31/25

8:36 AM

TERM ID: *****705

***1

MANUAL

KEYED

CARD TYPE: MASTERCARD

ACCT #: *****8210

CREDIT SALE

REF #: 614816101

TRAN #: 2115

AUTH #: 916173

AVS: Z

DESCRIPTION:

AMOUNT

USD

\$116.35

APPROVED

X

I AGREE TO PAY THE ABOVE TOTAL
AMOUNT ACCORDING TO CARD ISSUER
AGREEMENT

MERCHANT COPY