

Tree Identification Table:

No.	Size	Tree Identification:
1	24"	MAPLE
2	24"	MAPLE
3	17/0	CRATE MYRTLE
4	16"	MAPLE
5	12"	MAPLE
6	12"	MAPLE
7	30"	MAPLE
8	12"	HICKORY
9	16"	HICKORY
10	18"	MAPLE
11	24"	ELM
12	18"	MAPLE
13	24"	MAPLE
14	24"	MAPLE
15	14"	MAPLE
16	18"	HICKORY
17	2-6"	OAK
18	24"	BLACK CHERRY
19	18"	GUM
20	2-10"	CEDARS
21	6"	MAPLE
22	28"	PIN OAK
23	16"	WATER OAK
24	8"	MAPLE
25	10"	MAPLE

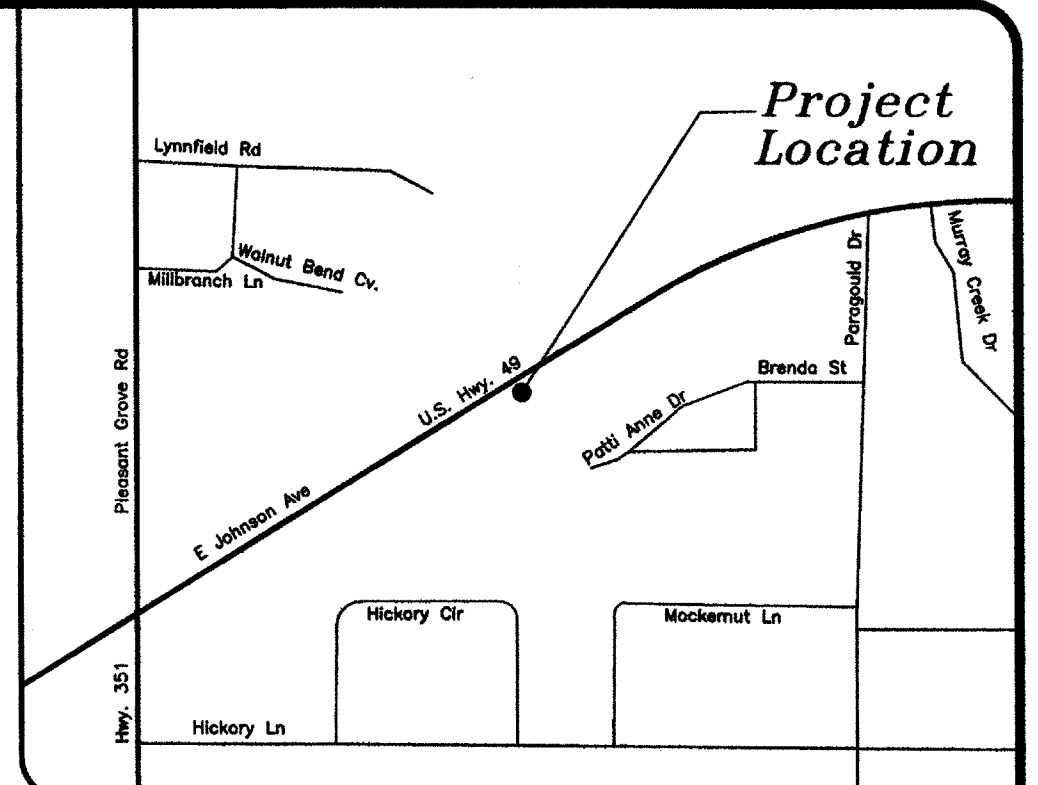
FLOOD STATEMENT:
 BY GRAPHIC PLOTTING OF THE INFORMATION SHOWN ON FLOOD INSURANCE RATE MAP NO. 05031C0044 C, DATED SEPTEMBER 27, 1991, INDICATES THAT PROPERTY SHOWN ON SURVEY LIES WITHIN:
 ZONE X UNSHADED (OTHER AREAS) AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOODPLAIN.
 COMMUNITY: JONESBORO, CITY OF
 NUMBER: 050048
 PANEL: 0044
 SUFFIX: G
 **FLOOD STATEMENT DOES NOT GUARANTEE AGAINST LOCALIZED FLOODING.

REFERENCE MATERIAL:
 1. U.S.G.S. 7.5 MINUTE "JONESBORO" QUADRANGLE.
 2. STATE OF ARKANSAS, STATE HIGHWAY COMMISSION, RIGHT OF WAY MAP, STATE HIGHWAY JONESBORO-FARVILLE, JOB 10729.
 3. RGB MINOR PLAT, RECORDED IN PLAT BOOK B, PAGE 68.
 4. TAYLOR MINOR PLAT, DATED 5-8-95, JOB NO. 95048 BY TROY L. SHEETS SURVEYING, RECORDED IN PLAT CABINET B, PAGE 136.
 5. PLAT OF SURVEY - LOT 1 RGB MINOR PLAT, BY HAYWOOD, KEARNEY, BARE & ASSOCIATES, INC., DATED 12/17/08, PROJECT NO. R009-0002-01.

ENCROACHMENT NOTES:
 1. GAS LINE CROSSES PROPERTY AS SHOWN ON SURVEY.

NOTES PERTAINING TO SCHEDULE (B), SECTION (II):
 SCHEDULE (B), SECTION (II) SPECIAL EXCEPTION, NON-STANDARD, SURVEY RELATED ITEM (10) OF FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FOR TITLE INSURANCE, FILE NO. 1200661-969, BEARING AN EFFECTIVE DATE OF JUNE 18, 2012, 7:00 AM.
 10. POSSIBLE EASEMENT BY WILLIAM P. COUCH AND JESS COUCH TO SOUTHWESTERN BELL TELEPHONE COMPANY FILED FOR RECORD OCTOBER 17, 1978 AND RECORDED IN BOOK 282 AT PAGE 517, RECORDS OF CRAIGHEAD COUNTY, ARKANSAS. (SURVEYOR CAN NOT DEFINITELY DETERMINE HOW OR WHERE DOCUMENT AFFECTS SUBJECT PROPERTY. HOWEVER, SURVEYOR HAS ASSUMED THAT THE EXISTING TELEPHONE LINE AS SHOWN ON SURVEY IS THE LINE WITHIN SAID DOCUMENT.)

GENERAL NOTES:
 1. THE PROJECT ELEVATIONS ARE BASED ON CITY OF JONESBORO "GPS MONUMENTS" MONUMENT 93. (GEOID 20090 (NAO 83) (NAO 80) (AR NORTH ZONE).
 PROJECT BENCHMARK #1: ELEVATION = 295.80' - TOP OF SET MAG NAIL WITH SHINER.
 PROJECT BENCHMARK #2: ELEVATION = 292.99' - TOP OF SET MAG NAIL WITH SHINER.
 2. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR HAS LOCATED UTILITIES AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AND A THOROUGH SEARCH OF THE PREMISES.
 3. ANY SERVICED AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED TO SURVEYOR, AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVICEDS AND RESTRICTIONS ARE SHOWN HEREON.
 4. NO SURVEYOR OR ANY OTHER PERSON OTHER THAN A LICENSED ARKANSAS ATTORNEY MAY PROVIDE LEGAL ADVICE CONCERNING THE STATUS OF TITLE TO THE PROPERTY DESCRIBED IN THIS SURVEY (THE "SUBJECT PROPERTY"). THE PURPOSE OF THIS SURVEY, AND THE COMMENTS RELATED TO THE SCHEDULE B-4 EXCEPTIONS, IS ONLY TO SHOW THE LOCATION OF BOUNDARIES AND PHYSICAL OBJECTS IN RELATION THERETO, TO THE EXTENT THAT THE SURVEY INDICATES THAT A LEGAL INSTRUMENT "AFFECTS" THE SUBJECT PROPERTY, SUCH STATEMENT IS ONLY INTENDED TO INDICATE THAT PROPERTY BOUNDARIES INCLUDED IN SUCH INSTRUMENT INCLUDE SOME OR ALL OF THE SUBJECT PROPERTY. THE SURVEYOR DOES NOT PURPORT TO DESCRIBE HOW SUCH INSTRUMENT AFFECTS THE SUBJECT PROPERTY OR THE ENFORCEABILITY OR LEGAL CONSEQUENCES OF SUCH INSTRUMENT.
 5. THIS PROPERTY IS WITHIN THE CITY OF JONESBORO, ARKANSAS.
 6. THE NEAREST FIRE HYDRANT IS AS SHOWN ON SURVEY.
 7. CONTOUR INTERVAL = 1 FOOT.
 8. NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM CRAIGHEAD COUNTY TAX CARDS AND DEEDS.
 9. SURVEYOR MADE AN ATTEMPT TO HAVE UNDERGROUND UTILITIES LOCATED BY CALLING THE ARKANSAS ONE-CALL SYSTEM (TICKET #120730-1303), DATED 7/30/12. SURVEYOR WAS ABLE TO FIND GAS AND TELEPHONE UTILITIES MARKED IN FIELD.
 10. WATER LINE INFORMATION SHOWN ON SURVEY IS PER UTILITY MAPS PROVIDED BY MARGARET NORRIS, CITY OF JONESBORO, DATED 7/9/12. THE LOCATION OF WATER LINE IS APPROXIMATE.
 11. THE SIZE AND TYPE OF THE GAS LINE SHOWN ON SURVEY IS PER UTILITY MAPS PROVIDED BY JEFF HERBERT, CENTERPOINT ENERGY, DATED 7/9/12. LOCATION OF GAS LINES ARE APPROXIMATE.
 12. PER STEVE MITCHELL, ARKANSAS HIGHWAY TRANSPORTATION DEPARTMENT, DATED 7/6/12, "HIGHWAY 49 IN THAT LOCATION HAS 4 TRAVEL LANES AND A CONTINUOUS CENTER TURN LANE. THERE ARE NO PLANS TO WIDEN AT THIS TIME."
 13. LEFT BLANK INTENTIONALLY.
 14. SURVEYOR DID NOT RECEIVE ANY INFORMATION FROM THE TITLE INSURER REGARDING THE CURRENT ZONING CLASSIFICATION OF THE PROPERTY OR ANY REQUIREMENTS RELATED TO THE APPLICABLE ZONING CLASSIFICATION. SURVEYOR OBTAINED THE ZONING INFORMATION REFLECTED ON THIS SURVEY ON HIS OWN. THE USER OF THIS SURVEY SHOULD CONSULT AN ATTORNEY OR TITLE INSURER TO VERIFY THE ZONING CLASSIFICATION OF THE PROPERTY AS WELL AS THE APPLICABLE RESTRICTIONS AND REQUIREMENTS ASSOCIATED WITH SUCH ZONING CLASSIFICATION.
 15. SURVEYOR DID NOT OBSERVE ANY ABOVE GROUND EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
 16. SURVEYOR DID NOT OBSERVE ANY ABOVE GROUND EVIDENCE OF SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
 17. SURVEYOR NOTES THAT THE PROPERTY ABUTS THE RIGHT OF WAY OF E. JOHNSON AVE., U.S. HIGHWAY 49, STATE HIGHWAY 1. ACCESS TO THE RIGHT OF WAY MAY BE SUBJECT TO OTHER AGREEMENTS OR PROPER GOVERNMENTAL APPROVALS.
 18. NEWER IS OFFSITE.
 19. NO TEST BORE HOLES AT TIME OF SURVEY.
 20. PER CITY OF JONESBORO, MASTER STREET PLAN, THE RIGHT OF WAY FOR EAST JOHNSON STREET IS 120 FEET. THEREFORE, AN ADDITIONAL 10 FEET MAY NEED TO BE DEDICATED WHEN PLATED.



OWNERSHIP INFORMATION

- Parcel 01-144101-00500 (physical address) (Subjct Property) 4309 E. Johnson Jonesboro, AR (mailing address) Charles M. Johnson Deloris Johnson 4309 E. Johnson Jonesboro, AR 72401 (Deed Bk. 541, Pg. 157) Zoned R-1
- Parcel 01-144101-02100 (physical address) 4315 E. Johnson Ave. MJ Investments, LLC (mailing address) 3105 Barrington Cv. Jonesboro, AR 72404 (Deed Bk. 808, Pg. 52) Zoned C-3
- Parcel 01-144101-02101 (physical address) 4315 E. Johnson 742 Properties and Services, LLC (mailing address) 167 CR 7450 Jonesboro, AR 72405 (Warranty Deed Bk. 786, Page 793) Zoned C-3
- Parcel 01-144101-15300 (physical address) 4221 E. Johnson Broshier Investments LLLP (mailing address) 800 North 72nd St. Paragould, AR 72450 (Warranty Deed Bk. 2010R-002666) Zoned I-1
- Parcel 01-144101-00600 (physical address) 4301 E. Johnson Mildred Mosier (mailing address) 4301 E. Johnson Jonesboro, AR 72401 (Warranty Deed Bk. 461, Pg. 683) Zoned R-1

SUBJECT PROPERTY DESCRIPTION: (PER SURVEY)

PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 14 NORTH, RANGE 4 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 10; RUN THENCE SOUTH 00 DEGREES 48 MINUTES 06 SECONDS WEST, ALONG 40 ACRE LINE, 551.10 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST JOHNSON AVENUE (U.S. HIGHWAY 49) (STATE HIGHWAY 1); THENCE SOUTH 88 DEGREES 46 MINUTES 06 SECONDS WEST, ALONG SAID RIGHT OF WAY LINE 191.80 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 58 DEGREES 46 MINUTES 23 SECONDS WEST, ALONG SAID RIGHT OF WAY LINE, 199.94 FEET TO A POINT; THENCE SOUTH 31 DEGREES 07 MINUTES 46 SECONDS EAST, LEAVING SAID RIGHT OF WAY LINE, 217.80 FEET TO AN IRON PIPE; THENCE NORTH 88 DEGREES 48 MINUTES 24 SECONDS EAST, 199.99 FEET TO A 1/2 INCH REBAR WITH CAP; THENCE NORTH 31 DEGREES 08 MINUTES 39 SECONDS WEST, 217.80 FEET BACK TO THE POINT OF BEGINNING; SAID TRACT CONTAINING 43,553 SQUARE FEET OR 1.000 ACRES MORE OR LESS.

LEGEND

- OHE - PROPERTY LINE
- OHE - OVERHEAD ELECTRIC
- OHE - OVERHEAD UTILITY
- SS - GAS LINE
- SS - WATER LINE
- SS - SANITARY SEWER LINE
- SS - TREE/HEAVY VEGETATION LINE
- (a) PER TITLE COMMITMENT
- (b) PER DEED BK. 541, PG. 157
- (c) AS PER MEASURED IN FIELD
- (d) SHOWN FOR DIRECTION ONLY (LINE CONTINUES)
- (e) CALCULATED POINT
- (f) SET 1/2" REBAR w/CAP (UNLESS NOTED)
- (g) FND 1/2" REBAR w/CAP (UNLESS NOTED)
- WATER METER
- WATER VALVE (UNLESS NOTED)
- PLASTIC
- GAS METER
- LIGHT POLE
- PMT - PAD MOUNT TRANSFORMER
- METER POLE
- TELEPHONE PEDESTAL
- SEWER MANHOLE
- FIRE HYDRANT
- SIGN/SIGN POST
- GUY ANCHOR
- SOIL BORE
- POWER POLE w/TRANSFORMER
- POWER POLE
- POINT OF COMMENCEMENT
- ARHTD - ARKANSAS HIGHWAY TRASN. DEPT.
- CPS - COTTON PICKER SPINDLE
- POB - POINT OF BEGINNING
- NTS - NOT TO SCALE
- D.I.P. - DUCTILE IRON PIPE
- E.M. - ELECTRIC METER
- REF. - REFERENCE
- USE - UNDERGROUND ELECTRIC
- OHE - OVERHEAD ELECTRIC
- tp - TYPICAL
- IP - INTERMEDIATE PRESSURE
- w - WELDED
- METER/LIGHT POLE
- CABLE RISER

All Symbols May Not Appear On Drawing. Use As Applicable.

CERTIFICATION

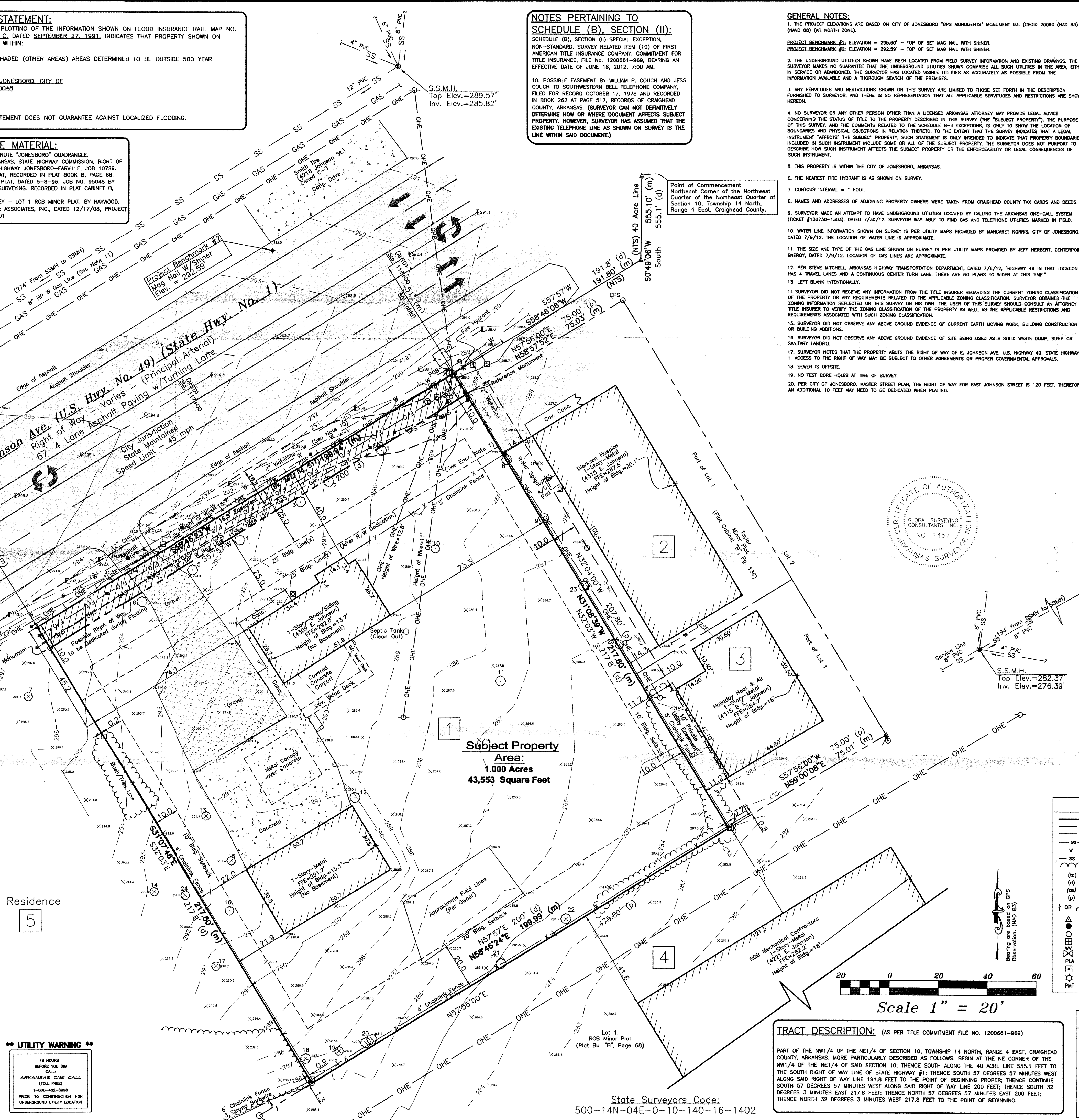
To O'Reilly Automotive Stores, Inc.; Waco Title Company, Inc.; First American Title Insurance Company:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Survey Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-5, 6(b), 7(a)(c), 8, 11(b), 13, 16, 17 and 18 of Table A thereof. The field work was completed on August 1, 2012.
 (Signed) _____ AR1402 _____ B/8/12 _____
 (Reg. No.) (Date)

TRACT DESCRIPTION: (AS PER TITLE COMMITMENT FILE NO. 1200661-969)

PART OF THE NW1/4 OF THE NE1/4 OF SECTION 10, TOWNSHIP 14 NORTH, RANGE 4 EAST, CRAIGHEAD COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE NE CORNER OF THE NW1/4 OF THE NE1/4 OF SAID SECTION 10; THENCE SOUTH ALONG THE 40 ACRE LINE 555.1 FEET TO THE SOUTH RIGHT OF WAY LINE OF STATE HIGHWAY #1; THENCE SOUTH 57 DEGREES 57 MINUTES WEST ALONG SAID RIGHT OF WAY LINE 191.8 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 57 DEGREES 57 MINUTES WEST ALONG SAID RIGHT OF WAY LINE 200 FEET; THENCE SOUTH 32 DEGREES 3 MINUTES EAST 217.8 FEET; THENCE NORTH 57 DEGREES 57 MINUTES EAST 200 FEET; THENCE NORTH 32 DEGREES 3 MINUTES WEST 217.8 FEET TO THE POINT OF BEGINNING.

ZONING: (z)
 THE SUBJECT SITE IS CURRENTLY ZONED R-1 (RESIDENTIAL DISTRICT) PER CITY OF JONESBORO PLANNING DEPARTMENT (870)-832-0408. HOWEVER, THE SITE WILL HAVE TO BE REZONED TO C-3 (GENERAL COMMERCIAL DISTRICT), TO ALLOW FOR THE CONSTRUCTION OF A RETAIL STORE. THEREFORE, THE AREA AND HEIGHT REGULATIONS FOR THE C-3 DISTRICT ARE LISTED AS FOLLOWS:
 (6) MAXIMUM HEIGHT
 MAXIMUM HEIGHT LIMITATION IS 35 FEET IN CR-1, C-4, AND C-2 DISTRICTS; 45 FEET IN C-3 AND I-1 DISTRICTS; AND THERE SHALL BE NO LIMITATION IN THE C-1 DISTRICT. CHIMNEYS, SMOKESTACKS, VENTILATORS, COOLING AND WATER TOWERS, BOLLARDS, CRAN ELEVATORS AND SLEWS, UTILITY AND FLAGPOLES, BELIEVES, SPIRES AND STEEPLES, AND MONUMENTS AND ORNAMENTAL TOWERS, MAY BE ERRECTED TO ANY HEIGHT NOT IN CONFLICT WITH THE AIRPORT OVERLAY DISTRICT OR OTHER CITY ORDINANCES. COMMUNICATION TOWERS ARE EXEMPT ONLY TO THE EXTENT AUTHORIZED THROUGH CONDITIONAL USE APPROVAL, IF SUCH USE IS NOT A USE PERMITTED BY RIGHT.
 (7) WHEN A NONRESIDENTIAL ZONE ADJUTS A RESIDENTIAL ZONE, SETBACKS FOR BOTH SHALL BE SAME AS THAT SETBACK FOR THE ADJUTING RESIDENTIAL ZONE.
 AREA REGULATIONS
 NONRESIDENTIAL USES (SQ. FT.) - 6,500
 MINIMUM LOT WIDTH (ALL USES) - 50'
 MIN. LOT DEPTH (ALL USES) - 100'
 STREET SETBACK - 25'
 INTERIOR SIDE SETBACK - 10'
 REAR SETBACK - 20'
 MAX. LOT COVERAGE - 60%
 *SEE ZONING ORDINANCE & OFF-STREET PARKING/LOADING REQUIREMENTS (SEC. 117-324) FOR ADDITIONAL RESTRICTIONS.
 **SEE LANDSCAPING AND SCREENING REQUIREMENTS (SEC. 117-326) FOR ADDITIONAL RESTRICTIONS.

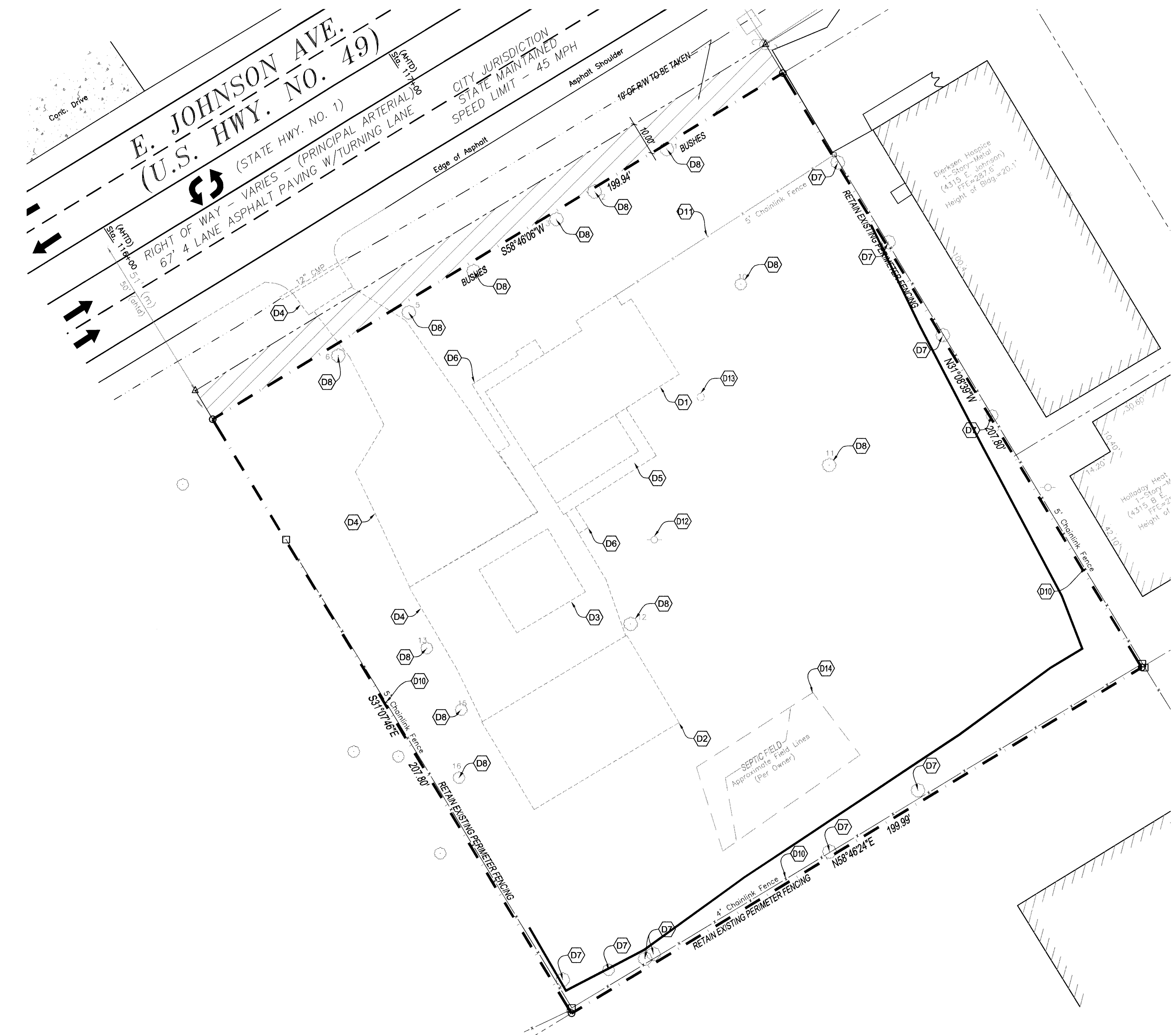
UTILITY CONTACTS:
 WATER/SEWER/ELECTRIC: CITY WATER & LIGHT MARGARET NORRIS 400 E. MONROE AVE. JONESBORO, AR 72401 870-930-3320
 TELEPHONE: CINDY COLE 870-972-7600
 GAS: CENTERPOINT ENERGY JEFF HERBERT 401 W. CAPITOL SUITE 600 LITTLE ROCK, AR 72201 501-377-4662
 DRAINAGE/STORM WATER MANAGEMENT: TRANS FISCHER 307 VINE ST. JONESBORO, AR 72401 870-932-2438
UTILITY WARNING
 48 HOURS BEFORE YOU DIG
 CALL ARKANSAS ONE CALL (TOLL FREE) 1-800-462-9898
 PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATION



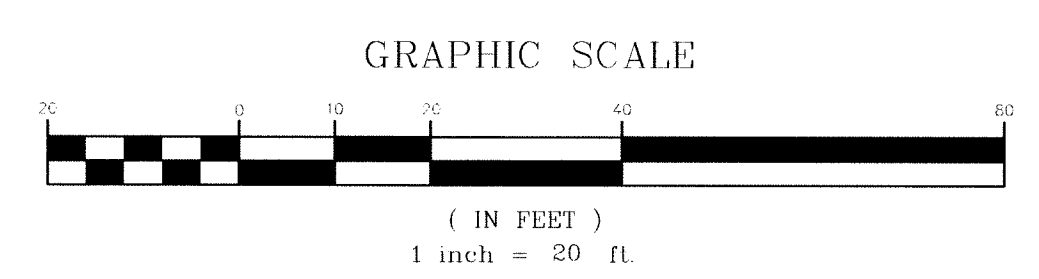
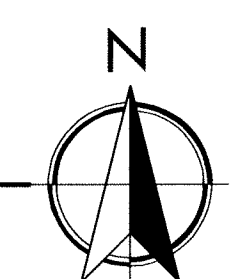
Global Surveying Consultants, Inc.
 Land Surveying • Planning • GPS • Subdivision • Design
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 North Little Rock, Arkansas 72118
 TELE: (501) 455-4984 FAX (501) 455-8158
 www.global-surveying.com
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF ARKANSAS
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DRAWN BY: CH/RB
 SURVEYED BY: CH/RB
 CHECKED BY: PCK/JSA
 PROJECT NO: 12-1039-00
 SHEET NO: SV1

ALL PLANS, DESIGNS, AND IDEAS SHOWN ON THIS DRAWING ARE THE PROPERTY OF GLOBAL SURVEYING CONSULTANTS, INC. AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN PERMISSION OF GSC, INC.



1 SITE DEMOLITION PLAN
D1 SCALE: 1" = 20'



GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. REMOVE ALL EXISTING SITE CONSTRUCTION AND DELETERIOUS MATERIALS UNLESS OTHERWISE NOTED.
- D. REFER TO SITE UTILITIES PLAN FOR DEMOLITION OF EXISTING UTILITIES.
- E. ALL DEMOLISHED MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.

KEY NOTES:

- (D1) EXISTING 1 STORY RESIDENTIAL HOUSE TO BE REMOVED.
- (D2) EXISTING 1 STORY METAL BUILDING TO BE REMOVED.
- (D3) EXISTING METAL CANOPY TO BE REMOVED.
- (D4) EXISTING GRAVEL AND CONCRETE DRIVE TO BE REMOVED.
- (D5) EXISTING CARPORT W/ CONCRETE DRIVE AND WOOD DECK TO BE REMOVED.
- (D6) CONCRETE SIDEWALK TO BE REMOVED.
- (D7) EXISTING TREES TO REMAIN.
- (D8) EXISTING TREES OR BUSHES TO BE REMOVED.
- (D9) NOT USED.
- (D10) EXISTING CHAIN LINK FENCE TO REMAIN.
- (D11) EXISTING CHAIN LINK FENCE TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION.
- (D12) EXISTING POWER POLE AND OVERHEAD LINE TO BE REMOVED.
- (D13) EXISTING POLE FOR SATELLITE T.V. TO BE REMOVED.
- (D14) EXISTING SEPTIC SYSTEM AND FIELD TO BE REMOVED.

SPECIAL HAZARDOUS MATERIALS NOTE:

1. AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
2. IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS CONTRACTOR IS TO PROVIDE PROPER HANDLING, REMOVAL AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
---	EXISTING ITEMS TO BE REMOVED

PATRICK G. BLEES
 architecture • planning • interior design

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SEAL:

2/1/13

PATRICK G. BLEES, ARCHITECT
 SIGNATURE: *[Signature]*
 1-11-13
 DATE ISSUED: 3329
 REG. NO.

Reilly AUTO PARTS
 EAST JOHNSON AVENUE
 JONESBORO, AR

SHEET TITLE:
 SITE DEMOLITION PLAN

REVISIONS:

NO.	DATE:	BY:

PROJECT NO: 12113.027
 DRAWN BY: MTF

D1
 SHEET 1 OF 1

EROSION CONTROL & MAINTENANCE PLAN NOTES:

1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND/OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO 10C3 FOR SILT FENCE CONSTRUCTION.
7. ALL GRASS SLOPES WHICH EXCEED 4:1 (H:V) SHALL UTILIZE CONTECH CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MATS TRM 450 OR APPROVED EQUAL. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- D. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

SITE EXCAVATION REQUIREMENTS:

1. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
2. FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATION FOR SITE EXCAVATION.
3. REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

PIPES NOTES:

1. PIPE MATERIALS SHALL BE IN ACCORDANCE WITH AND AS APPROVED BY THE CITY OR APPLICABLE AUTHORITY. REINFORCED CONCRETE PIPE (RCP), HIGH DENSITY POLYETHYLENE (HDPE), N-12 CORRUGATED METAL PIPE (CMP) MAY BE USED AS ALLOWED BY LOCAL GUIDELINES.
2. ALL PIPE IS TO BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS AND MEET COVER REQUIREMENTS PER THE MANUFACTURER.

CONSTRUCTION EGRESS NOTES:

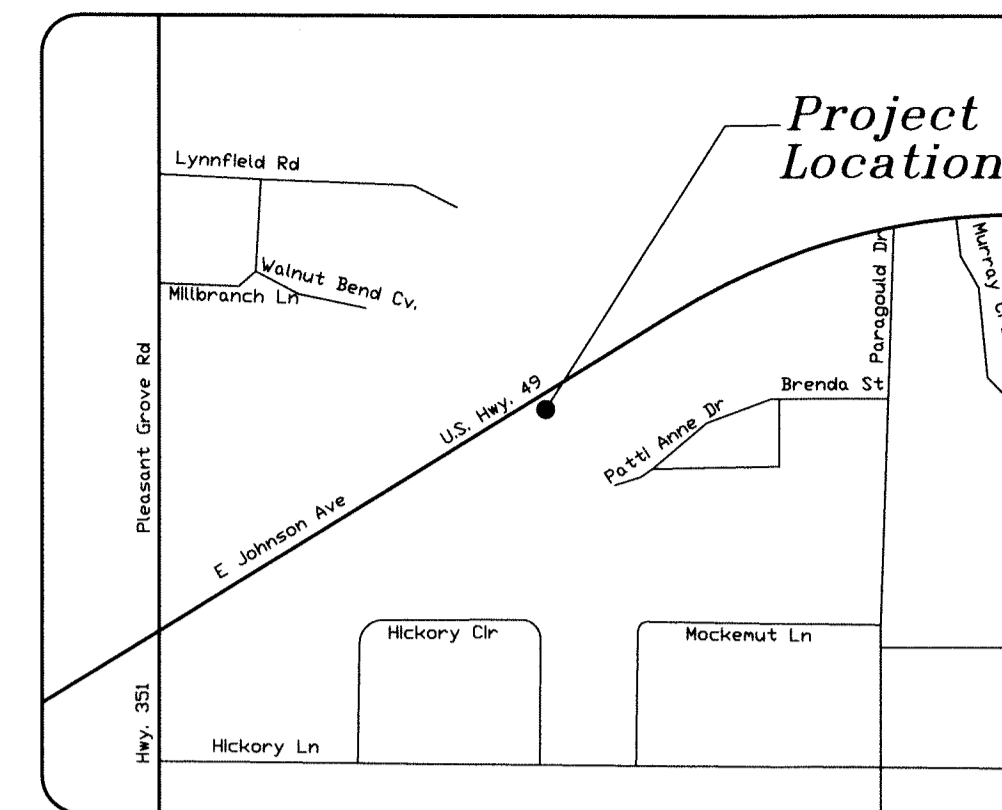
1. CONSTRUCTION EGRESS SHALL BE 25' MINIMUM WIDTH AND 30' MINIMUM LENGTH AND 6" MIN THICKNESS OF STONE (1.5"-3.5") COARSE AGGREGATE WITH GEOTEXTILE UNDERLINER. REFER TO THE CITY OR STATE FOR ANY ADDITIONAL REQUIREMENTS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER THE CITY OR STATE REQUIREMENTS.

STAGES OF CONSTRUCTION:

1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1
2. INSTALLATION OF CONSTRUCTION ENTRANCE. MONTH 1
3. INSTALLATION OF EROSION CONTROL FENCE. MONTH 1
4. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1
5. REMOVAL OF EXISTING PAVEMENT ON THE SITE. MONTH 1
6. INSTALLATION OF ALL STORMWATER DRAINAGE IMPROVEMENTS. MONTH 1
7. ROUGH GRADING. MONTH 1 & MONTH 2
8. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2
9. FINAL GRADING. MONTH 3
10. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD. MONTH 3
11. REMOVAL OF EROSION CONTROL FENCE. MONTH 3

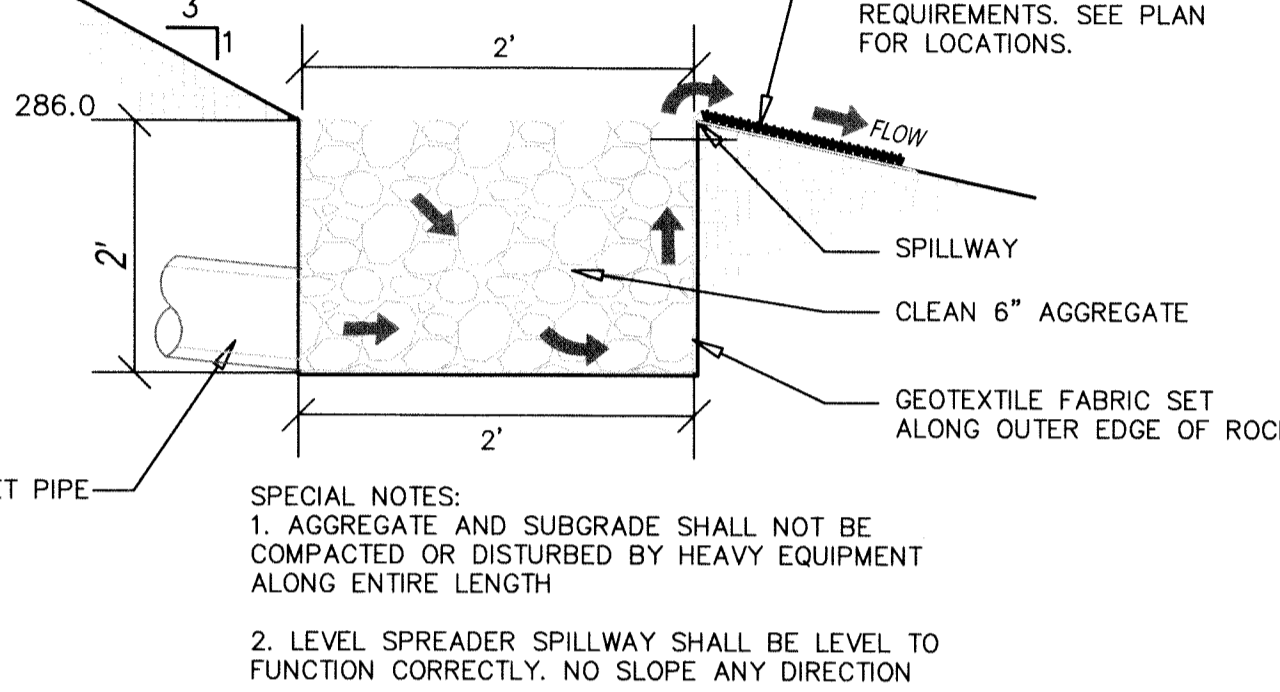
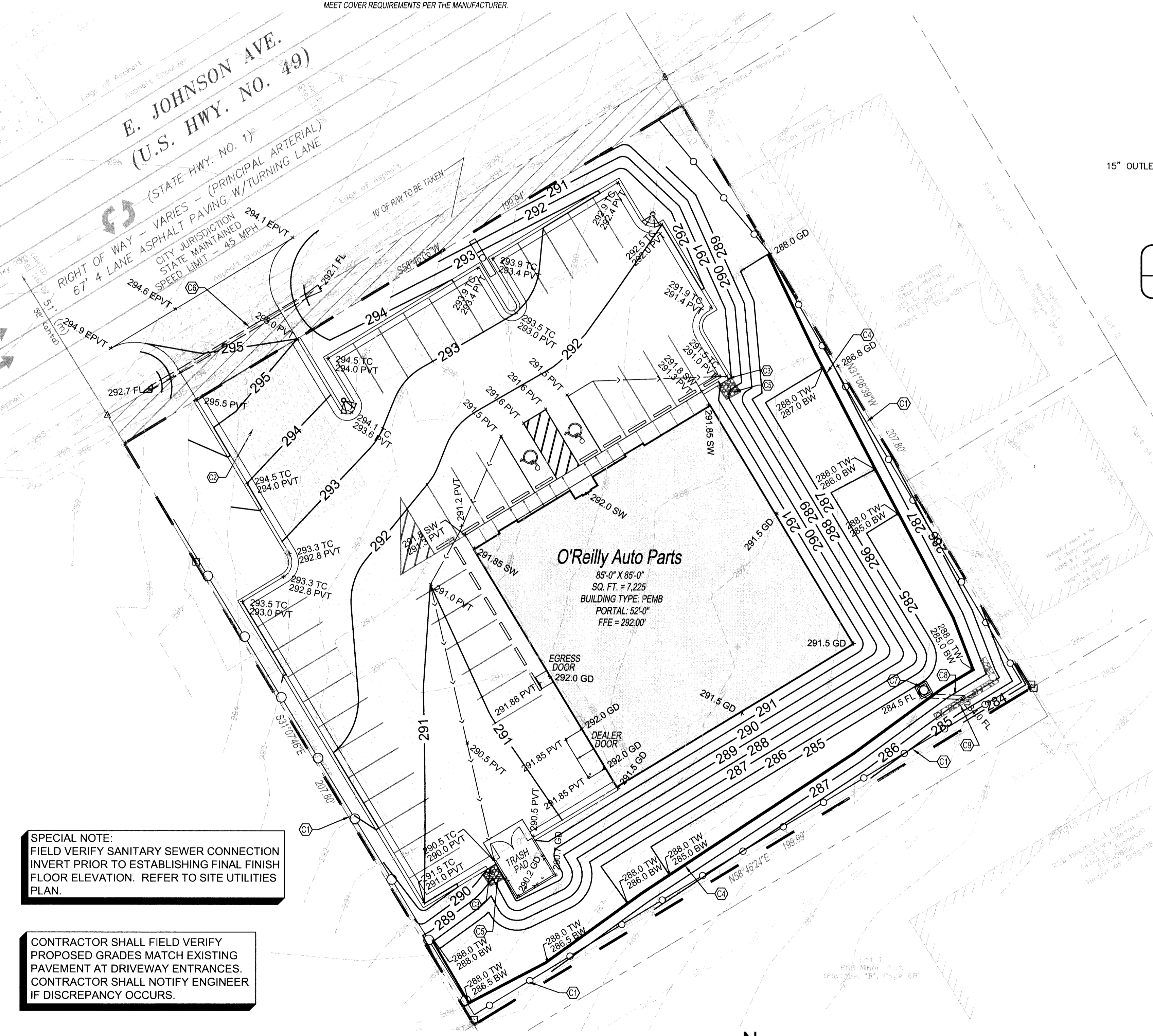
KEY NOTES:

- C1 LIMITS OF TEMPORARY EROSION CONTROL FENCE. REFER TO DETAIL 10C3
- C2 INSTALL CONSTRUCTION EGRESS PER NOTE
- C3 INSTALL 3" CURB CUT
- C4 INSTALL 350 LF OF 8" MODULAR BLOCK WALL. REFER TO DETAIL 3C1
- C5 INSTALL 5X5 RIP-RAP PAD. REFER TO DETAIL 4C1
- C6 INSTALL 60 LF OF 15" RCP STORM PIPE. SEE PIPE NOTES. REMOVED EXISTING 12" STORM PIPE
- C7 INSTALL 4x4' DETENTION OUTLET STRUCTURE. RIM=288.5 INV=284.5 REFER TO DETAIL 5C1
- C8 INSTALL 10 LF OF 15" PIPE. SEE PIPE NOTES
- C9 INSTALL 30 LF OF LEVEL SPREADER. REFER TO DETAIL 6C1



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 BY: AHT DRAWING # 10248-12 (C) NSBIWB-109-611

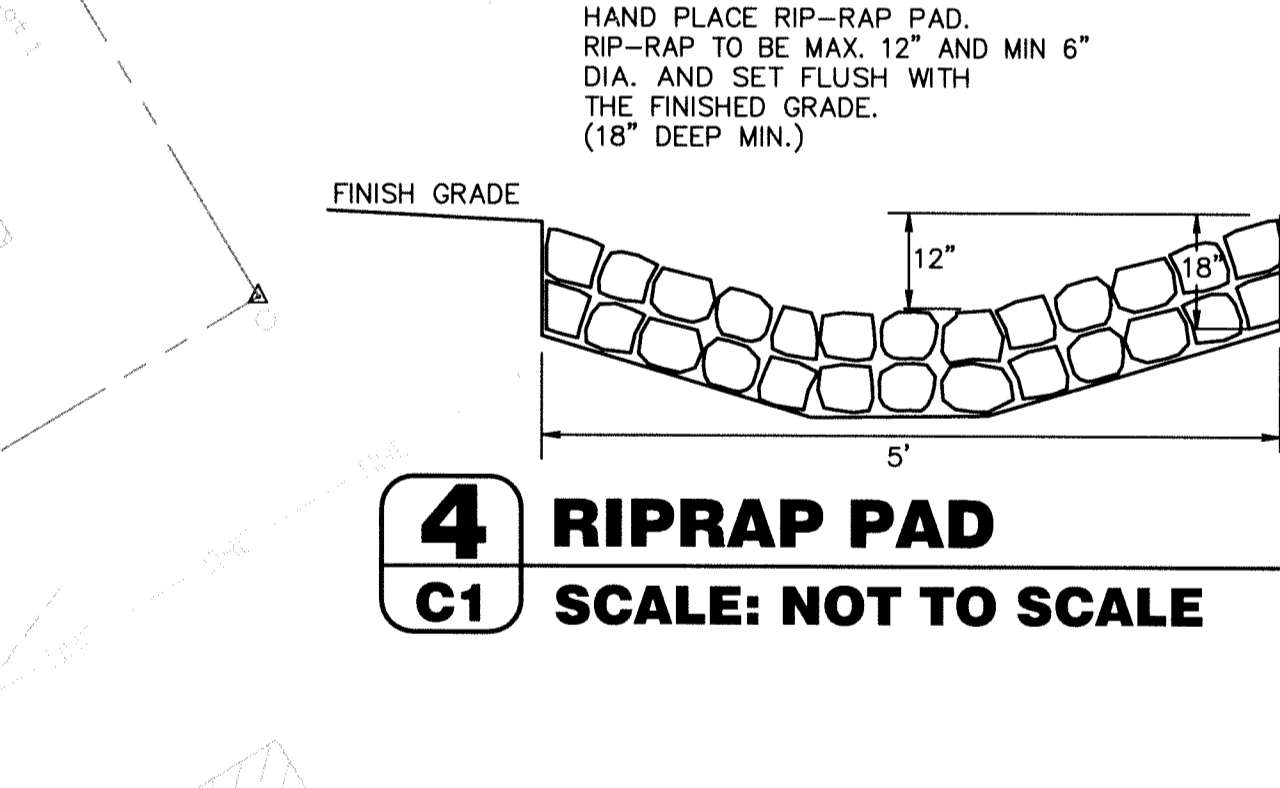
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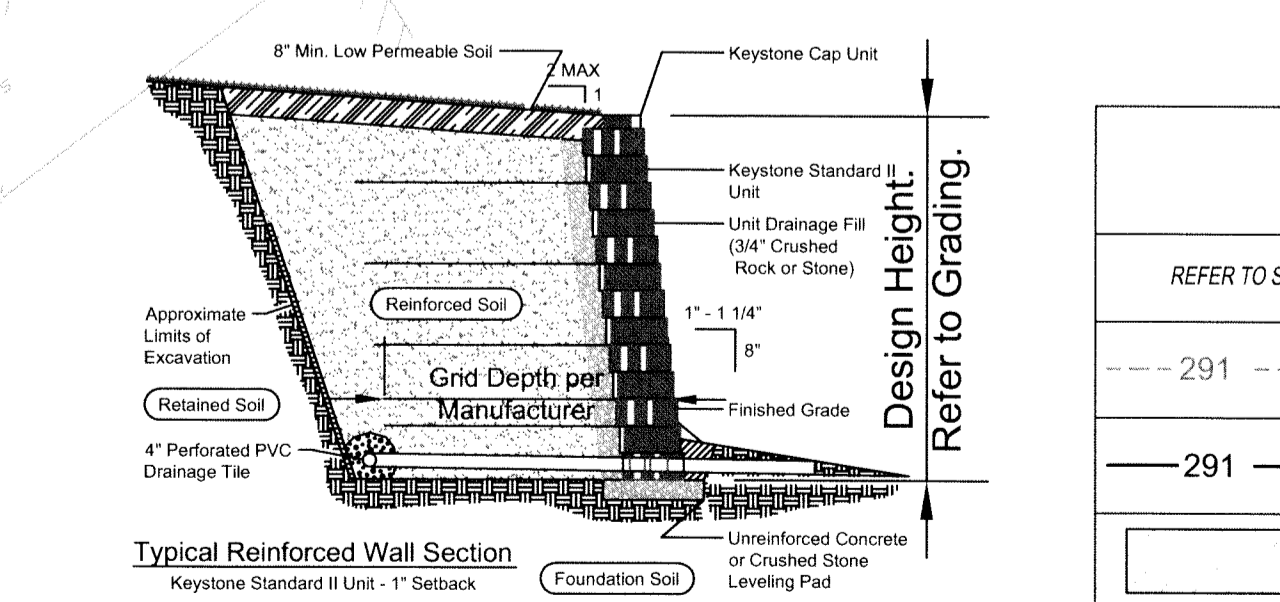
6 LEVEL SPREADER DETAIL
 C1 SCALE: NOT TO SCALE

SPECIAL NOTES:
 1. AGGREGATE AND SUBGRADE SHALL NOT BE COMPACTED OR DISTURBED BY HEAVY EQUIPMENT ALONG ENTIRE LENGTH
 2. LEVEL SPREADER SPILLWAY SHALL BE LEVEL TO FUNCTION CORRECTLY. NO SLOPE ANY DIRECTION

5 4'x4' DETENTION OUTLET
 C1 SCALE: NOT TO SCALE

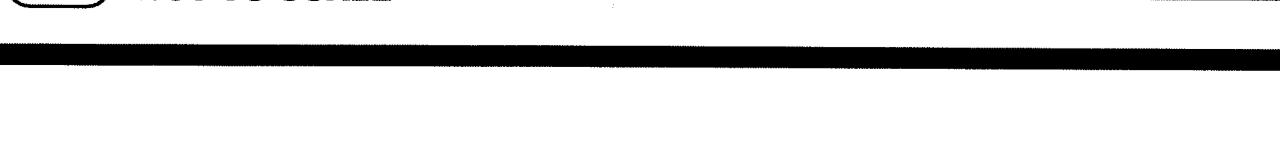


4 RIPRAP PAD
 C1 SCALE: NOT TO SCALE



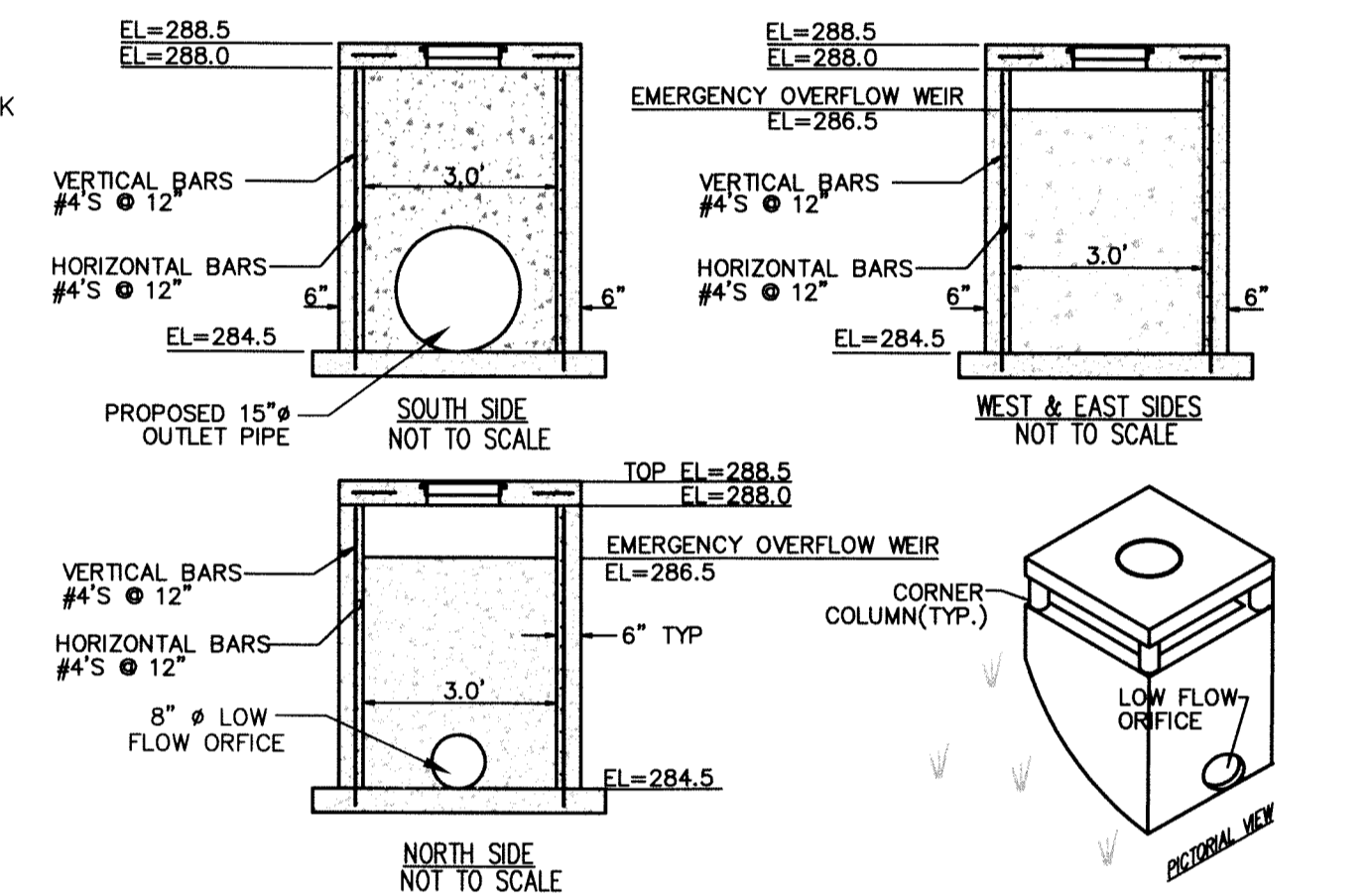
Retaining Wall Notes:
 1. LANDSCAPE BLOCK WALL TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS.
 2. CONTRACTOR SHALL FOLLOW ALL APPLICABLE LOCAL CODES AND REGULATIONS.
 3. LANDSCAPE BLOCK WALL UNITS SHALL BE FROM KEYSTONE WALLS (800-747-8971), ALLAN BLOCK (952-835-5309), OR EQUAL RETAINING WALL MANUFACTURER.
 4. WHEN SITE CONDITIONS REQUIRE, WRAP DRAINAGE TILE IN 3/4" AGGREGATE AND FILTER FABRIC WITH DRAINAGE COMPOSITE OR AGGREGATE BACK DRAIN SYSTEM, AS DIRECTED BY GEOTECHNICAL ENGINEER OR MANUFACTURER.
 5. CONTRACTOR TO COORDINATE SITE SPECIFIC DESIGN AND CONSTRUCTION DETAILS WITH KEYSTONE WALLS OR EQUAL.

3 MODULAR BLOCK WALL
 C1 NOT TO SCALE

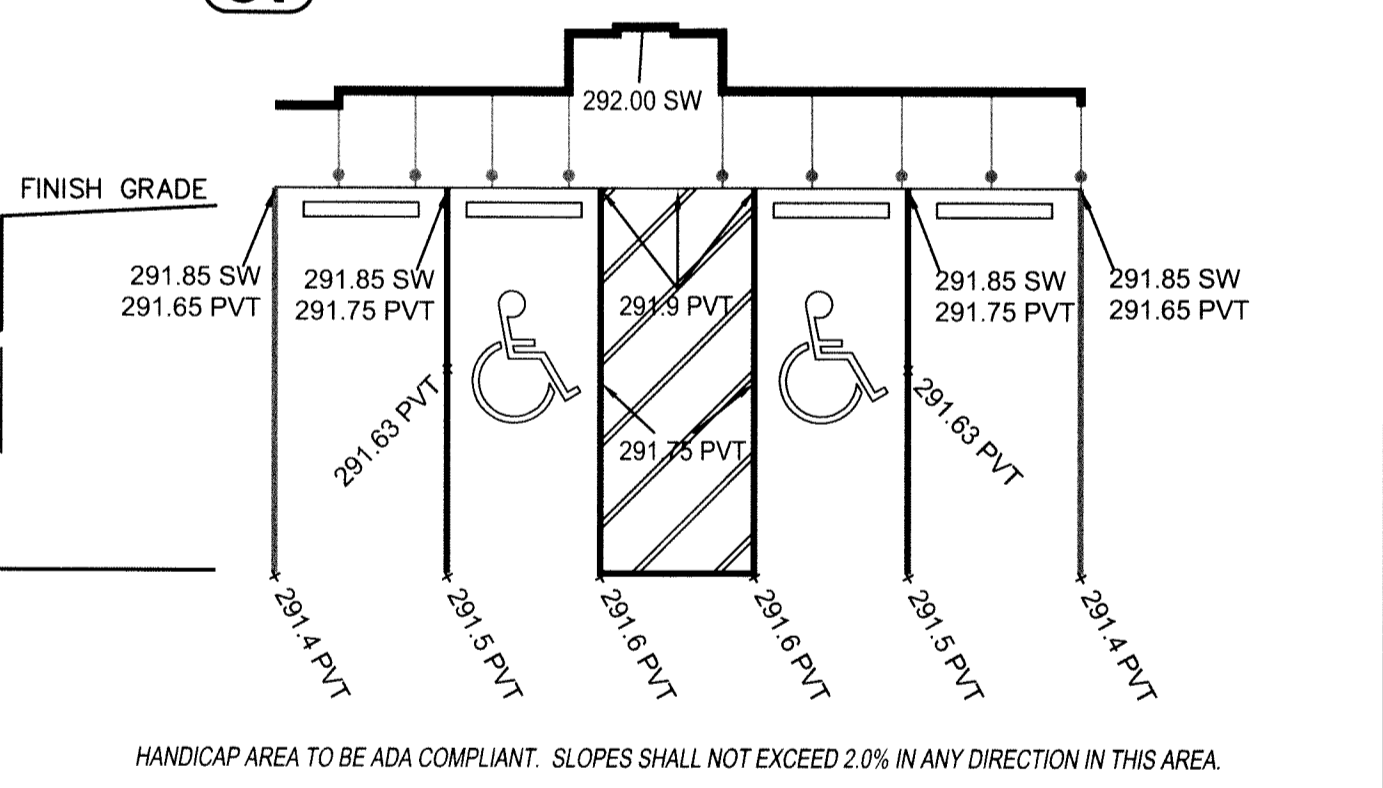


STORM WATER RUNOFF SUMMARY:

TOTAL PROPERTY AREA = 0.95 ACRES
 TOTAL DISTURBED AREA = 0.95 ACRES < 1.0 ACRES THEREFORE NO NOI
 EXISTING IMPERVIOUS AREA = 0.20 ACRES = 0.16 ACRES (20% REDUCED).
 DEVELOPED IMPERVIOUS AREA = 0.58 ACRES.
 DETENTION BASIN HAS BEEN PROVIDED PER CITY OF JONESBORO STORMWATER MANUAL. REFER TO SEPARATED STORMWATER REPORT.



2 HANDICAP PARKING DETAIL
 C1 SCALE: 1" = 10'



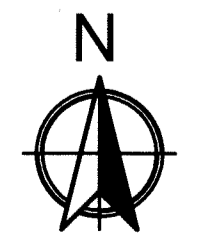
SYMBOLS LEGEND

REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.		NEW SPOT ELEVATIONS	
SYMBOL	DESCRIPTION	LIST	ABBREVIATION
---	EXISTING GRADE LINES	GRADE	NONE
- - -	PROPOSED NEW GRADE LINES	SIDEWALK	SW
—	NEW BUILDING CONSTRUCTION	TOP OF WALL	TW
—	NEW MONUMENT SIGN LOCATION	TOP OF CURB	TC
—	NEW CONCRETE PAVING BLOCK	TOP OF PAVEMENT	PVT
—	TEMPORARY EROSION CONTROL FENCE	NEW GRADE CONCRETE	GD
—	SURFACE FLOW ARROW	EXISTING GRADE	EGD
		EXISTING PAVEMENT	EPVT
		EXISTING SIDEWALK	ESW
		FLOW LINE	FL
		TOP OF BERM	TOP
		REFERENCE BENCHMARK:	
		TBM NO. 1:	
		MAG NAIL W/ SHINER	ELEV.=295.60' (NAVD 1988)
		TBM NO. 2:	
		MAG NAIL W/ SHINER	ELEV.=292.59' (NAVD 1988)

SPECIAL NOTE:
 FIELD VERIFY SANITARY SEWER CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION. REFER TO SITE UTILITIES PLAN.

CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES MATCH EXISTING PAVEMENT AT DRIVEWAY ENTRANCES. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.

1 SITE GRADING PLAN
 C1 SCALE: 1" = 20'



STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 NEIL S. BRADY
 REG. NO. 10319
 1-30-13

NEIL S. BRADY, ENGINEER
 SIGNATURE: *Neil S. Brady*
 DATE ISSUED: 01-14-13
 DATE ISSUED: 10319
 REG. NO.

Reilly AUTO PARTS
 EAST JOHNSON AVENUE
 JONESBORO, AR

SHEET TITLE:
 SITE GRADING PLAN

REVISIONS:
 NO. DATE: BY:

PROJECT NO: 12113.027
 DRAWN BY: AHT

C1
 SHEET 1 OF 3

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. ALL SITE DIMENSIONS TO THE GUTTER LINE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- E. PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR TO CONTACT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

KEY NOTES:

- 1 CONCRETE PAVING:
REFER TO DETAIL 1/C3.
- ALTERNATE #1:
ASPHALT PAVING REFER TO DETAIL 2/C3.
REFER TO PROJECT MANUAL.
- 2 CONCRETE PAVING:
REFER TO DETAIL 1/C3.
- 3 CONCRETE CURB:
REFER TO DETAIL 3/C3.
- 4 CONCRETE SIDEWALK:
REFER TO DETAIL 4/C3 AND STRUCTURAL DRAWINGS.
- 5 CONCRETE DOOR LANDING:
REFER TO DETAIL 4/C3 AND STRUCTURAL DETAILS. RAMP PAVING AS INDICATED. LANDING CAN BE POURED MONOLITHIC IF CONCRETE PAVING IS USED.
- 6 STEEL BOLLARD:
REFER TO DETAIL 6/C3. PROVIDE (2) AT TRASH PAD AND (2) AT OVERHEAD DOOR. PROVIDE (9) AT SIDEWALK. PROVIDE (2) AT GAS METER. REFER TO STRUCTURAL PLAN FOR LOCATION.
- 7 HANDICAP PARKING SIGN:
REFER TO DETAIL 7/C3.
- 8 NOT USED.
- 9 HANDICAP PARKING SYMBOL:
REFER TO DETAIL 5/C3.
- 10 HANDICAP ACCESS UNLOADING ZONE:
SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
- 11 SCREEN FENCE:
REFER TO DETAIL 12/C3.
- 12 SCREEN FENCE GATES:
REFER TO DETAIL 11/C3.
- 13 CONCRETE BUMPER BLOCK:
8'w x 5'h x 6'-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1'-6" LONG #4 REBAR (TO SIT LEVEL WITH PAVING).
- 14 PARKING LOT LIGHTING:
REFER TO SITE LIGHTING PLAN FOR LOCATION AND TYPE.
- 15 LIMITS OF NEW PAVING:
MATCH EXISTING PER CITY AND ID STATE STANDARDS.
- 16 NEW POLE SIGN:
FURNISHED AND INSTALLED BY OWNER.
REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 17 MODULAR BLOCK WALL. REFERENCE 3/C1 FOR DETAILS.
- 18 STRIPING:
PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT -YELLOW (2 COATS)

REFER TO LANDSCAPE PLAN FOR PLANTINGS

SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF PAVING
	NEW POLE SIGN LOCATION
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION

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DATE ISSUED: 1-11-13

REG. NO.: 3329

O'Reilly AUTO PARTS

EAST JOHNSON AVENUE
JONESBORO, AR

SHEET TITLE:
SITE DEVELOPMENT PLAN

REVISIONS:

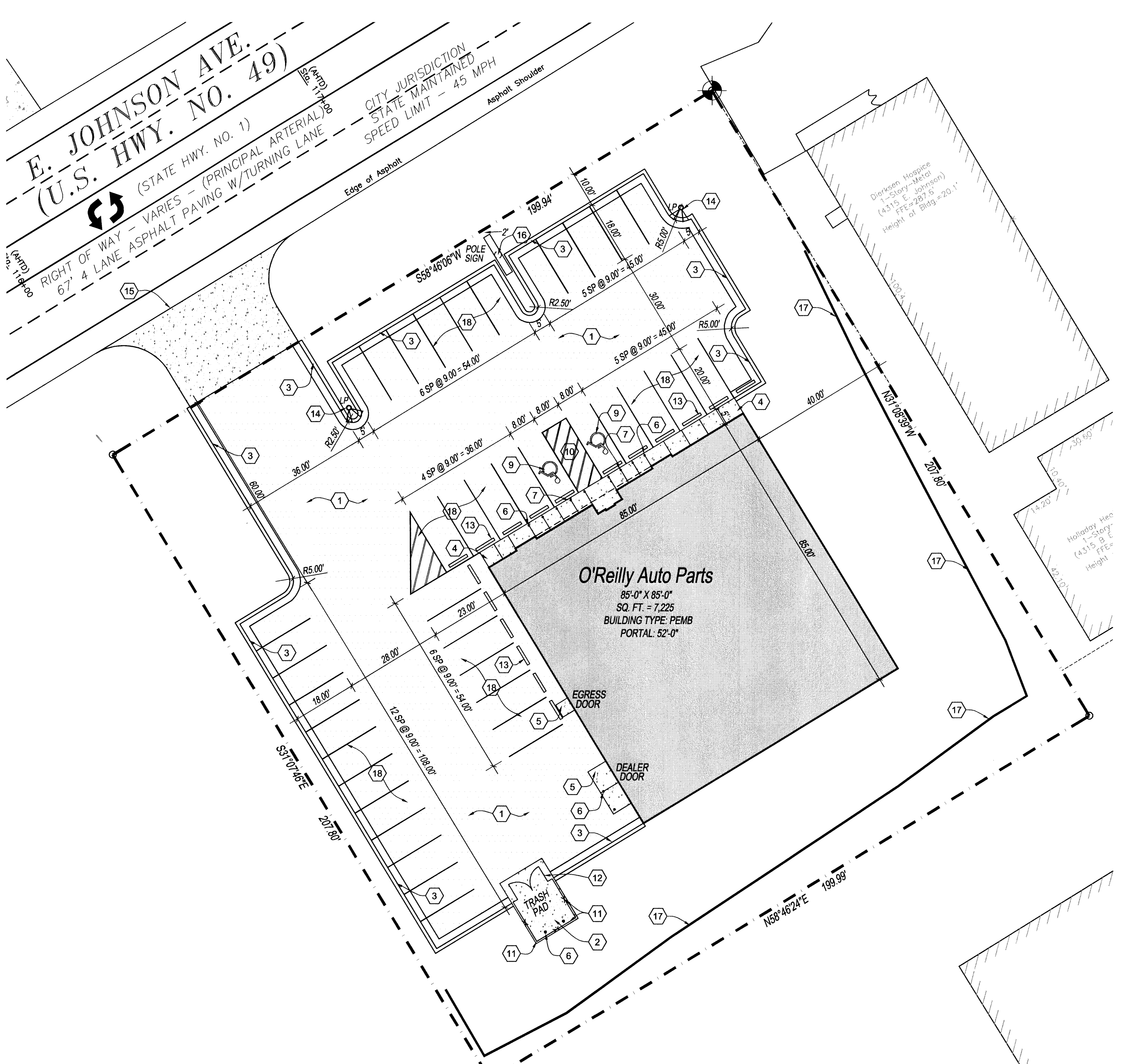
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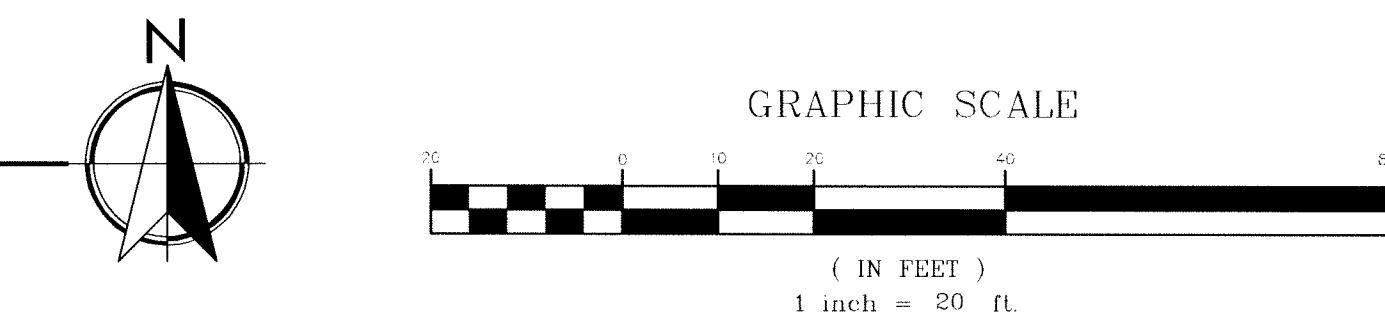
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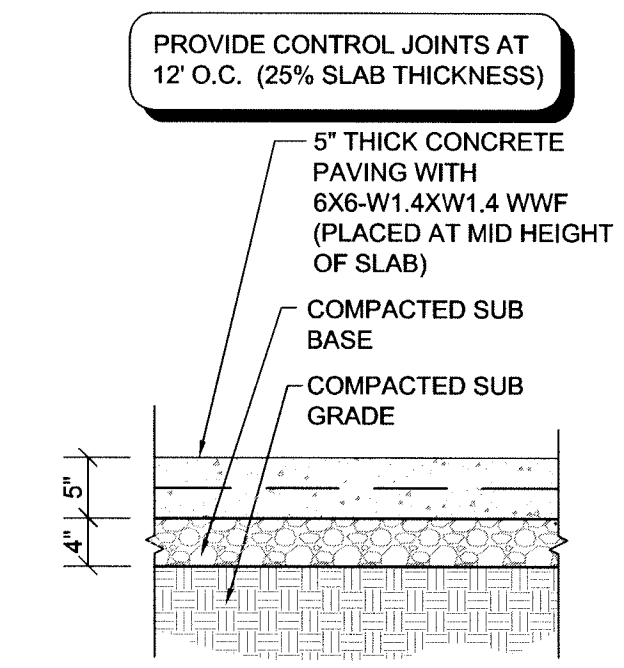


1 SITE DEVELOPMENT PLAN

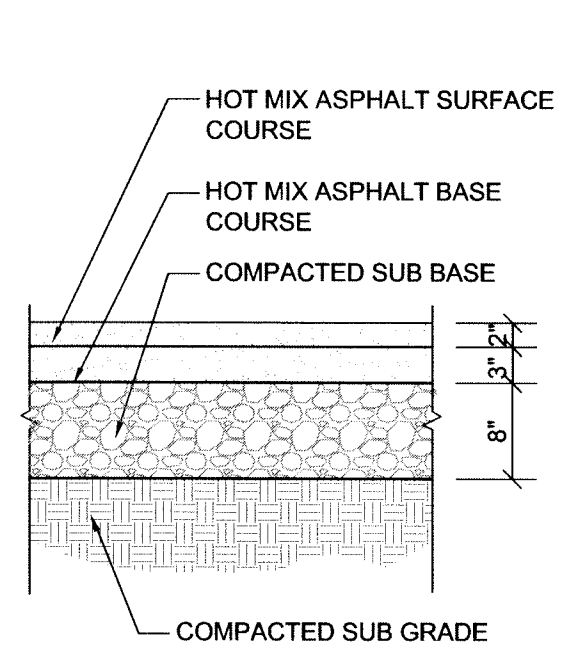
C2 SCALE: 1" = 20'



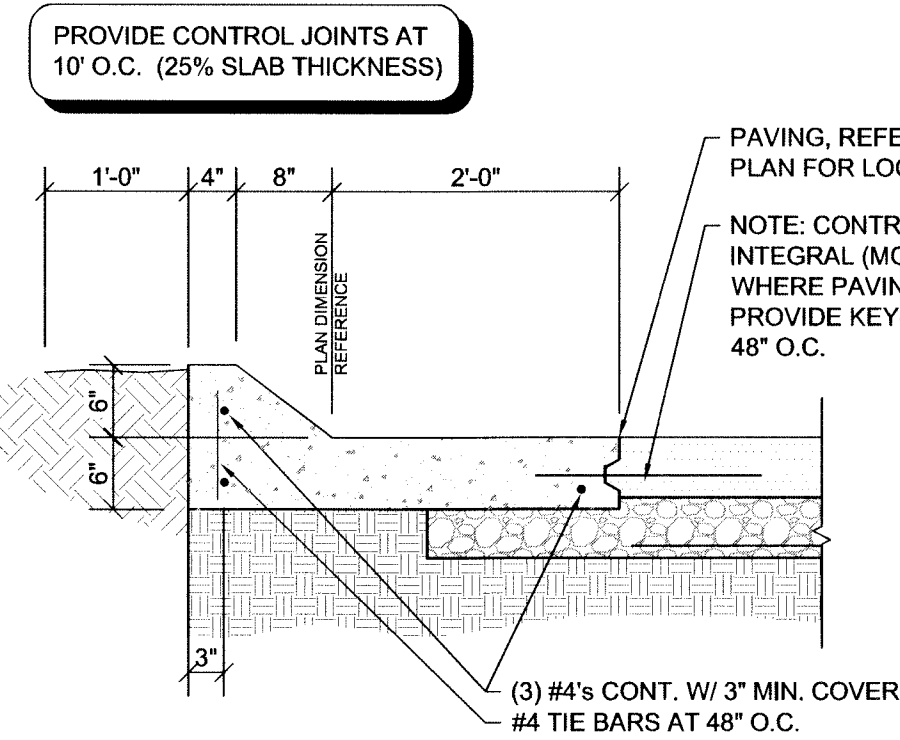
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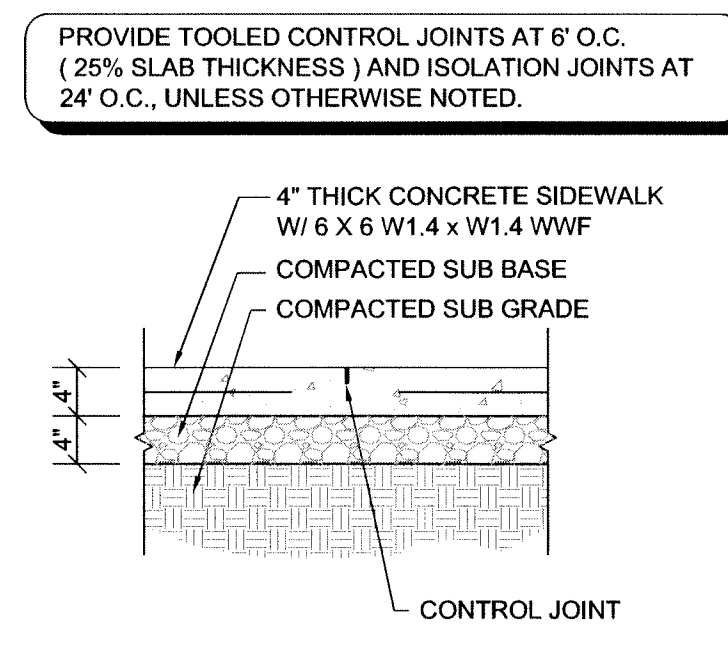
1 CONCRETE PAVING SECTION
 C3 SCALE: 3/4" = 1'-0"



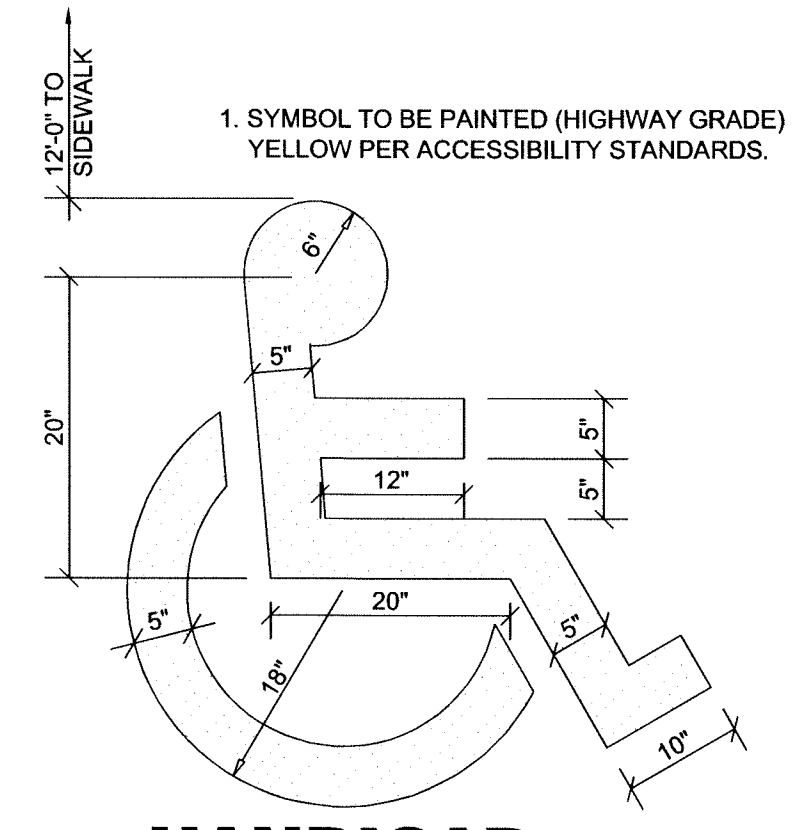
2 ASPHALT PAVING SECTION
 C3 SCALE: 3/4" = 1'-0"



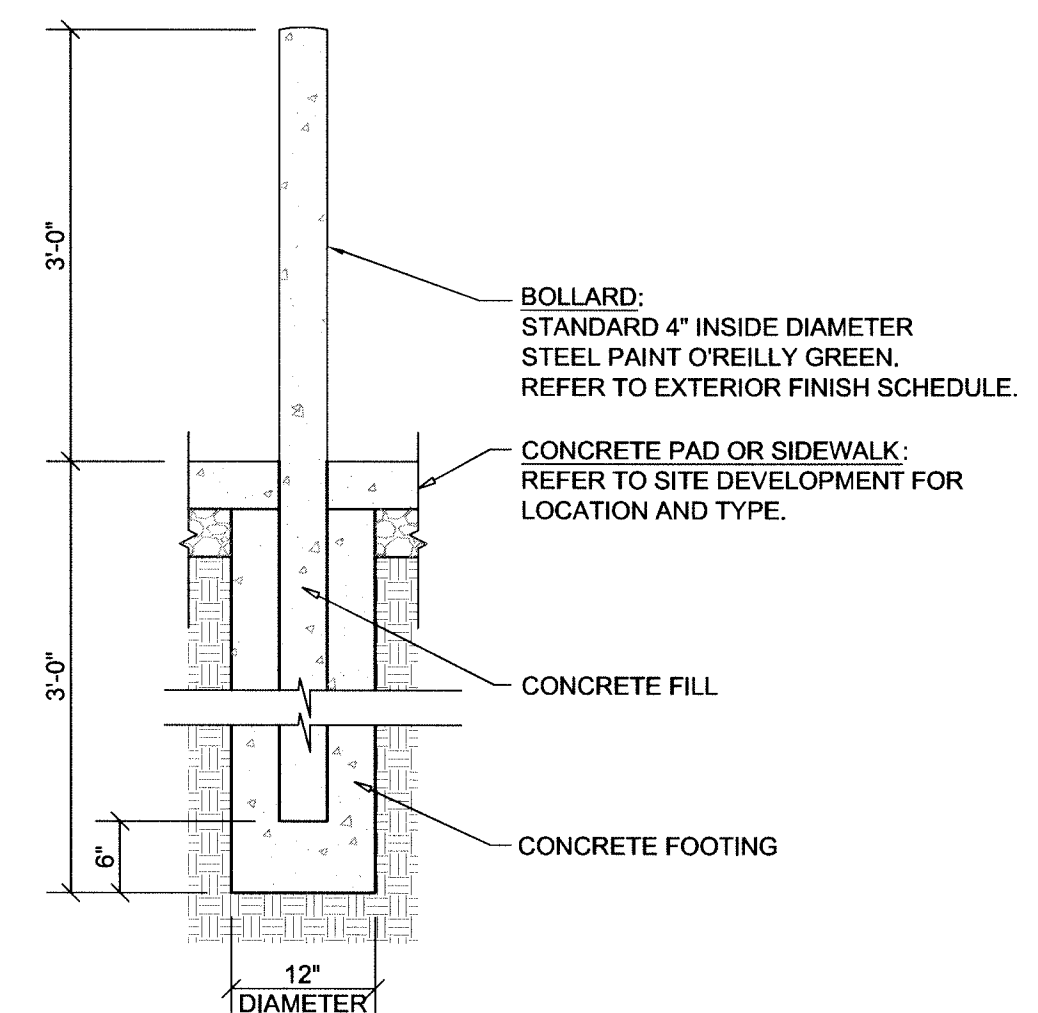
3 CONCRETE CURB SECTION
 C3 SCALE: 3/4" = 1'-0"



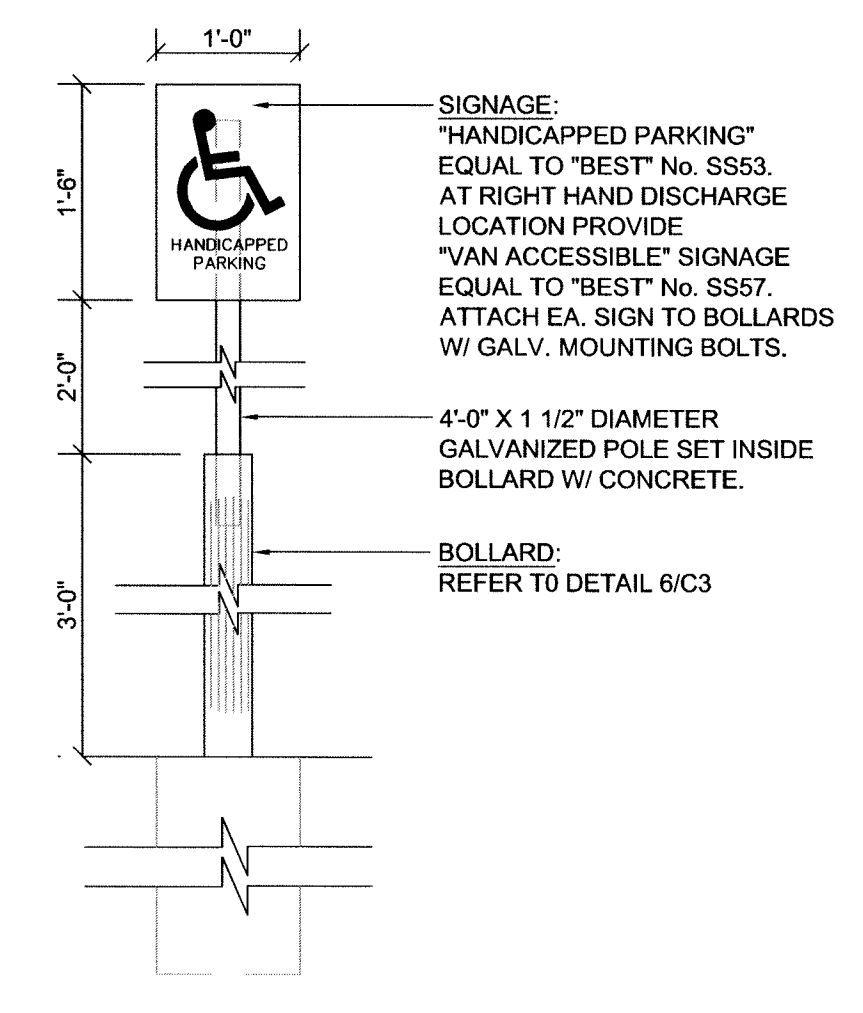
4 CONCRETE SIDEWALK SECTION
 C3 SCALE: 3/4" = 1'-0"



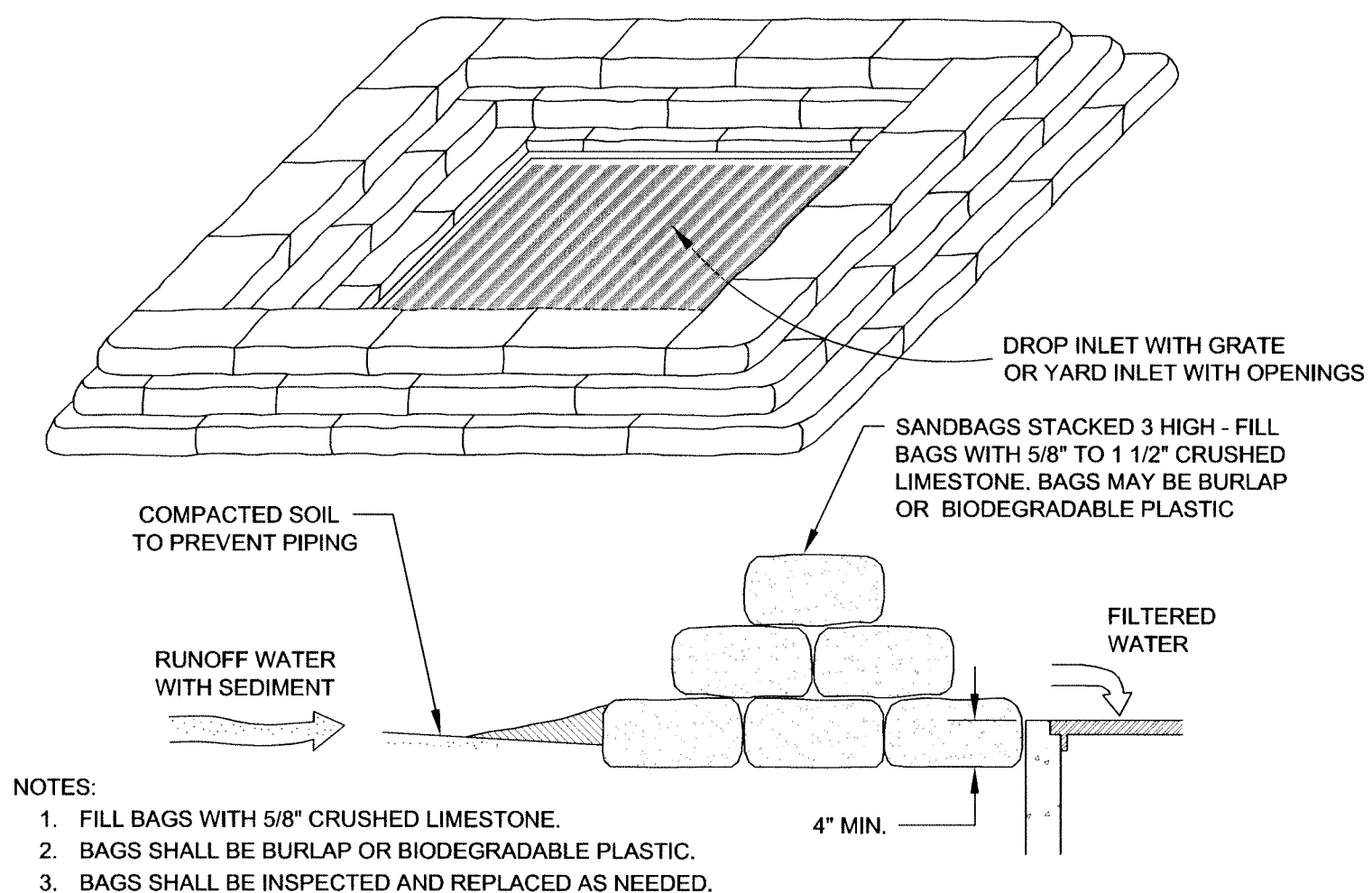
5 HANDICAP PARKING SYMBOL
 C3 SCALE: 3/4" = 1'-0"



6 STEEL BOLLARD SECTION
 C3 SCALE: 3/4" = 1'-0"

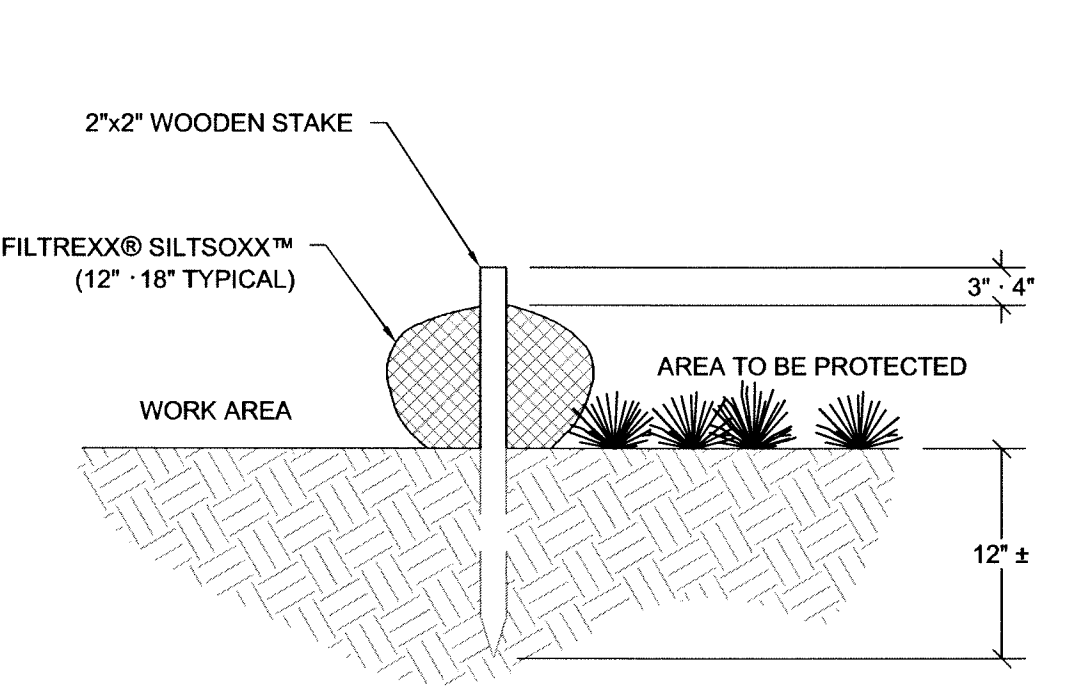
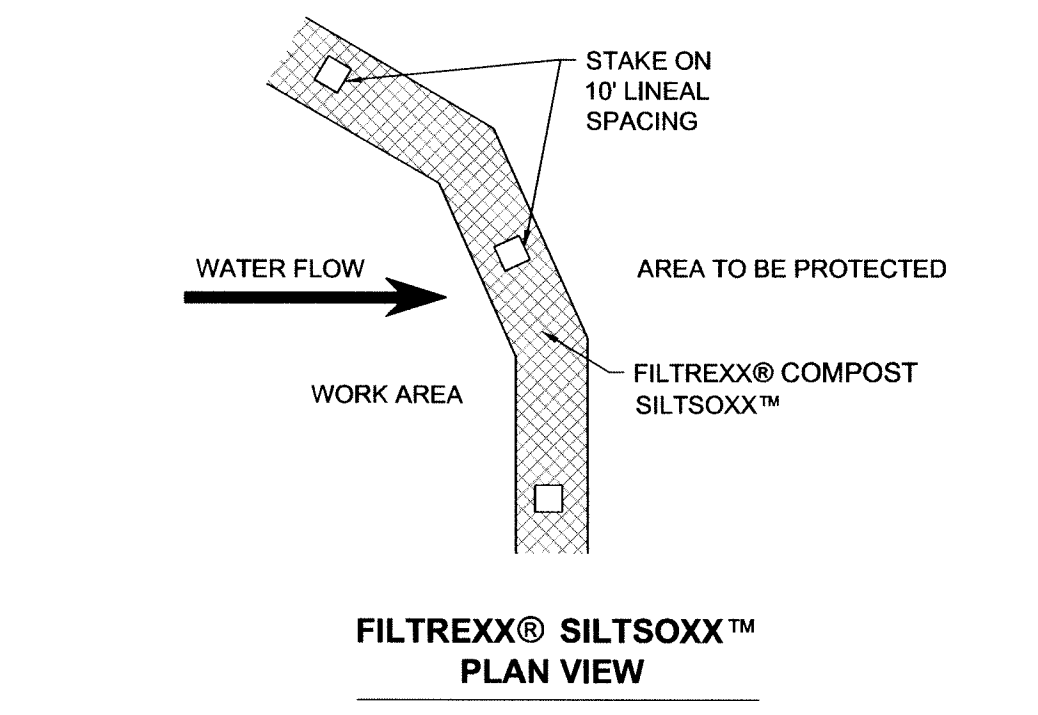


7 HANDICAP PARKING SIGN
 C3 SCALE: 3/4" = 1'-0"

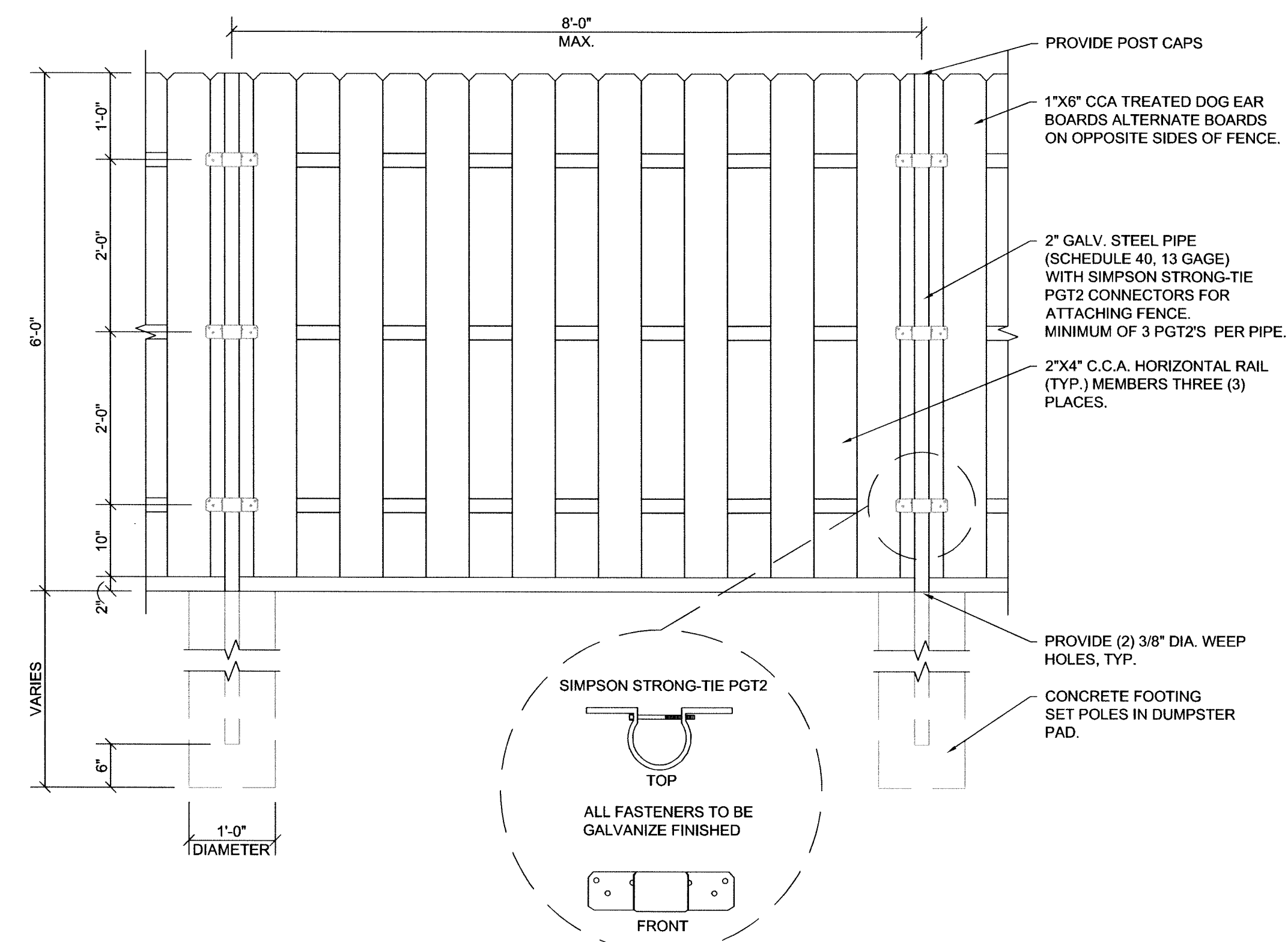


8 INLET SEDIMENT FILTER
 C3 SCALE: NOT TO SCALE

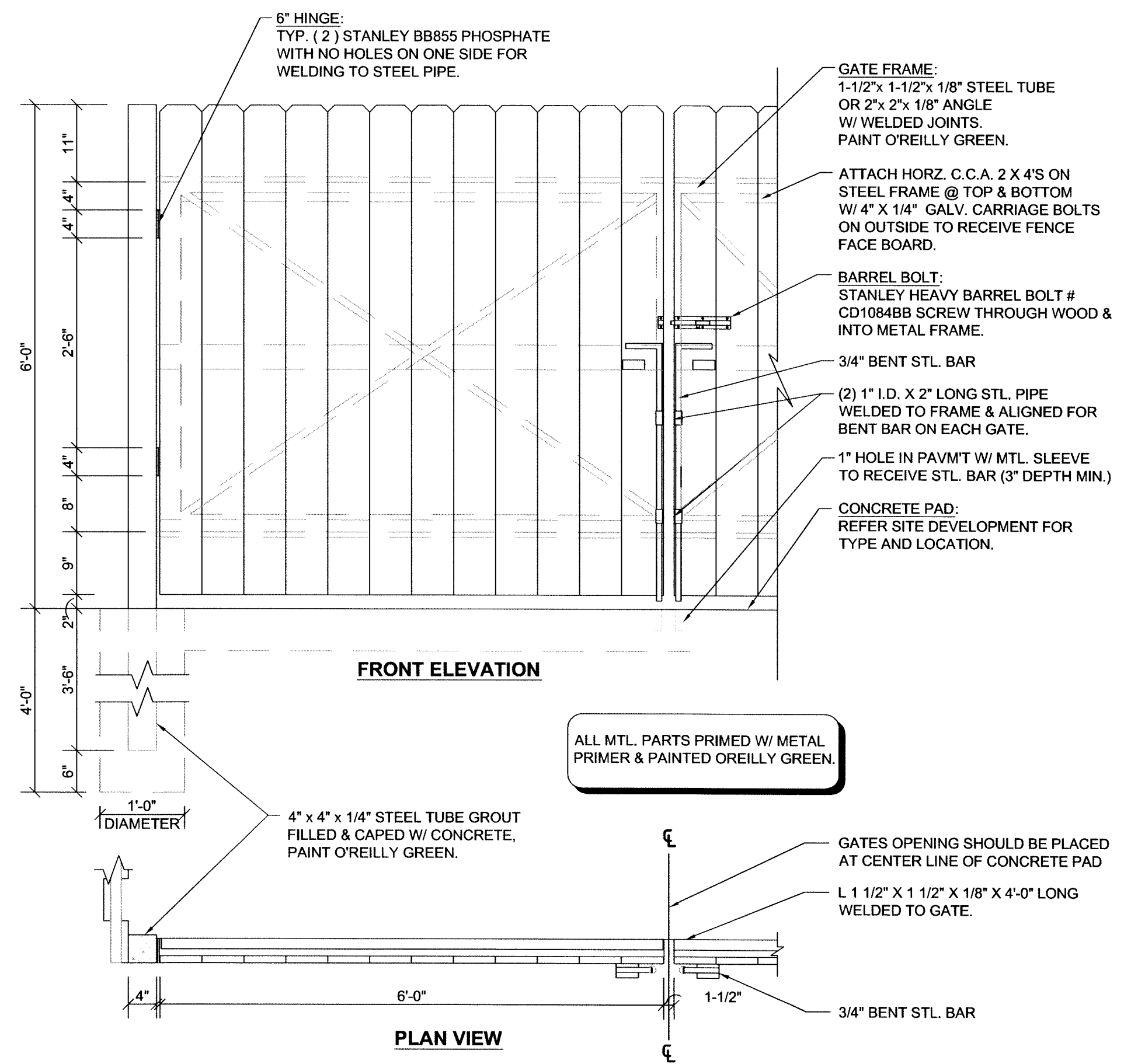
9 NOT USED
 C3 SCALE: N.T.S.



10 FILTREXX SILTSOXX™
 C3 SCALE: NTS



11 SCREEN FENCE DETAIL
 C3 SCALE: 3/4" = 1'-0"



12 SCREEN FENCE GATE DETAIL
 C3 SCALE: 3/4" = 1'-0"

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 JONESBORO, AR

SHEET TITLE:
 SITE DEVELOPMENT PLAN

REVISIONS:

NO.	DATE:	BY:

PROJECT NO: 12113.027
 DRAWN BY: BJN

C3
 SHEET 3 OF 3

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PLANTING SCHEDULE					
REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS ALL PLANTINGS MAY BE SUBSTITUTED DUE TO REGION OR LOCAL REQUIREMENTS IF NECESSARY, AND WITH OWNER APPROVAL					
MARK	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	DETAIL
(A)	COMPACT ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	X	5 GAL.	4/L2
(B)	ACE OF HEARTS REDBUD	CERCIS CAVADENSIS 'ACE OF HEARTS' PP# 17, 161	X	6" BB	3/L2
(C)	DOLCHICA SPIREA	SPIRAEA X BUMALDA 'DOLCHICA'	X	5 GAL.	4/L2

GENERAL NOTES:

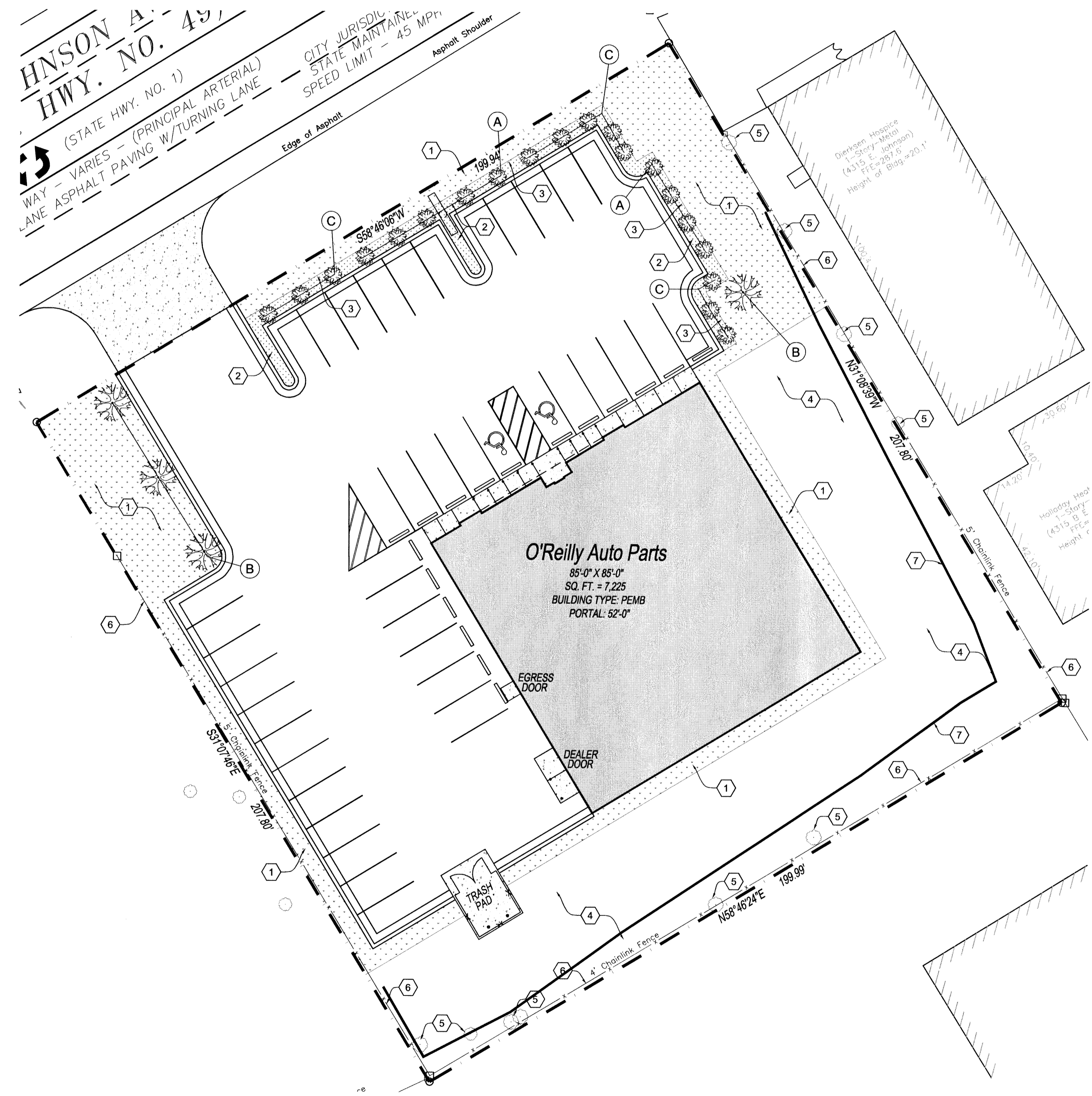
- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- D. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS.
- E. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE OWNER'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- F. PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS. DO NOT PLANT TREES OVER OR WITHIN 8' OF UNDERGROUND UTILITIES.
- G. QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.
- H. ROCKHOUND, GRADE AND PROVIDE 4" TOPSOIL AT ALL SOD, SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS.
- I. WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE AND THE PROJECT SPECIFICATIONS.
- J. RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE RIGHT-OF-WAY.
- K. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- L. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LOCAL JURISDICTION'S STANDARDS AND SPECIFICATIONS.

KEY NOTES:

- 1 AREA OF SOD. REFER TO DETAIL 1/L2.
- 2 CREEK GRAVEL. REFER TO DETAIL 2/L2.
- 3 4" BLACK POLYVINYL EDGING, TYP.
- 4 HYDRO MULCH / SEED AND STRAW: (UNLESS NOTED OTHERWISE) ALL AREAS DISTURBED BY CONSTRUCTION ARE FIRST TO BE FINE GRADED AND THEN FOLLOWED BY HYDRO MULCH OR SEED AND STRAW OVER MIN. 4" TOPSOIL STOCKPILED FROM SITE OR HAULED IN AS REQUIRED.
- 5 EXISTING TREES TO REMAIN. TRIM/PRUNE AS REQUIRED AND REMOVE DEAD OR DISEASED BRANCHES. TRIM LOWER BRANCHES AS REQUIRED FOR EASE OF LAWN MAINTENANCE
- 6 EXISTING PERIMETER CHAINLINK FENCE TO REMAIN.
- 7 MODULAR BLOCK WALL. REFERENCE 3/C1 FOR DETAIL.

LANDSCAPE SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	NEW POLE SIGN LOCATION
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	AREA OF SOD LAWN AREA WHICH EXCEEDS 25% SLOPE TO BE PROVIDED WITH SOD. REFER TO GRADING PLAN
	CREEK GRAVEL
	NEW SHRUB REFER TO PLANTING SCHEDULE FOR SIZE AND TYPE
	NEW TREE REFER TO PLANTING SCHEDULE FOR SIZE AND TYPE



1 LANDSCAPE PLANTING PLAN

L1 SCALE: 1" = 20'



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SHEET TITLE: LANDSCAPE PLANTING PLAN

REVISIONS:

NO:	DATE:	BY:

PROJECT NO: 12113.027
DRAWN BY: BJN

L1

SHEET 1 OF 3