

SITE DEVELOPMENT PLAN
3115 PARKER ANNEX ROAD

JONESBORO, CRAIGHEAD COUNTY, ARKANSAS

AUGUST 2012

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- 2 OF 3 GRADING/DRAINAGE PLAN
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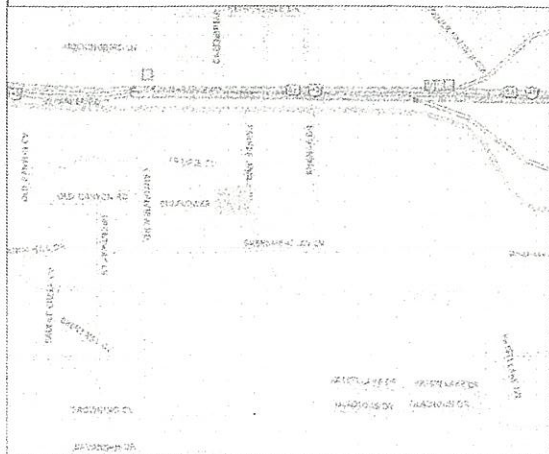
CITY OF JONESBORO
Jonesboro, AR

PRELIMINARY
 FINAL
 AS NOTED
 SITE PLAN

SP-12-257

_____ PLANNING
 _____ ENGINEERING
 _____ DATE

11/5/12

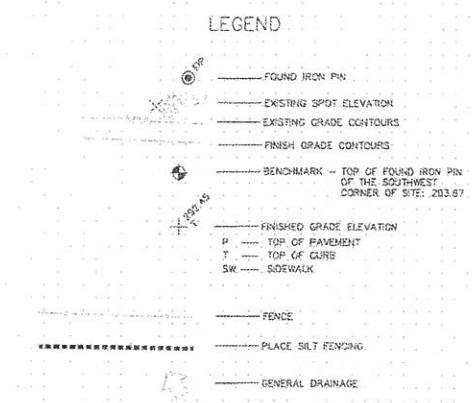
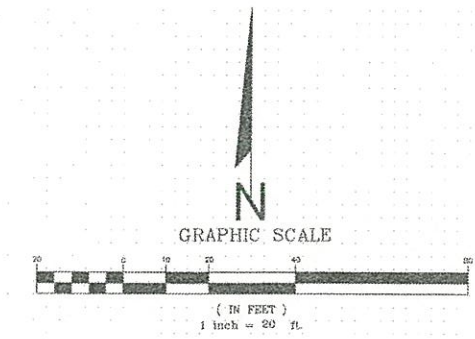
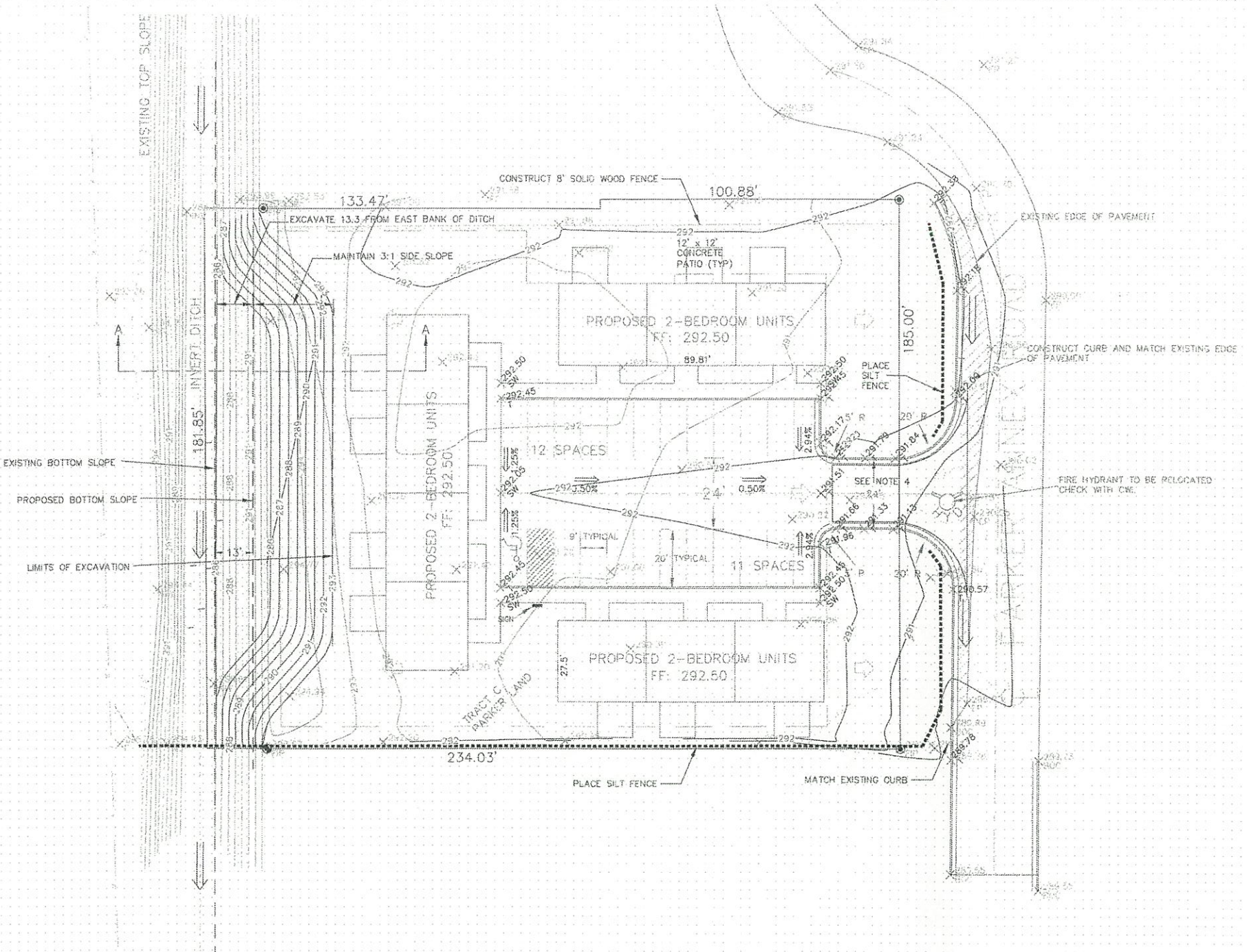


VICINITY MAP NTS



3115 PARKER ANNEX ROAD JONESBORO, ARKANSAS			
MCALISTER ENGINEERING CIVIL ENGINEERING AND LAND SURVEYING		DRAWN BY: JR	CHECKED BY: CWM
1013 CR 629 JONESBORO, AR 72404 870-631-1420		SCALE:	PROJECT 1249608
		DATE: 2AUG12	DWG NO: 1249608Harrison...
		DWG REV: 04E-14N-31	
CLARENCE W. "MAC" MCALISTER, PE, PS		JOB NO 1249608	SHEET 1 / 3

DATE	REVISION	BY



- NOTES
- OWNER INFORMATION: BOB HARRISON, 5412 CLEAR CREEK, JONESBORO, AR 72401
 - ARCHITECT INFORMATION: DARNELL & ASSOCIATES, 3110 PARKER ANNEX RD, JONESBORO, AR 72404
 - ENGINEER INFORMATION: MCALISTER ENGINEERING, 1013 CR 630, JONESBORO, AR 72404
 - PROPERTY NOT LOCATED IN FLOOD ZONE AS SHOWN BY FLOOD INSURANCE RATE MAP FOR CRAIGHEAD COUNTY, ARKANSAS AND INCORPORATED AREAS, COMMUNITY - JONESBORO, CITY OF, NUMBER 050048, PANEL 0132, SUFFIX C, EFFECTIVE DATE, SEPTEMBER 27, 1991.
 - (ADA COMPLIANCE) ACCESSIBLE PARKING AND ROUTE MAXIMUM SLOPES - CROSS-SLOPES 1:50 (2%), ACCESSIBLE ROUTE 1:20 (5%), RAMPS 1:12 (8.3%)
 - PLACE CONSTRUCTION ENTRANCE/EXIT TO CONTROL TRACKING OF SEDIMENT ONTO ROADWAYS.
 - ALL UTILITIES EXIST ON SITE; THE NEAREST FIRE HYDRANT IS AT THE WEST R/W OF PARKER ANNEX ROAD MIDWAY OF LOT.
 - STABILIZE SLOPES GREATER THAN 3:1 WITH TERRACED LANDSCAPING, RIPRAP, GEOTEXT, RETAINING WALL, PAVING OR OTHER ARCHITECT/ENGINEER APPROVED METHOD.
 - PARKING CALC PER SCHED A: RESIDENTIAL USES, MULTI-FAMILY - 2.25 SPACES PER TWO-BEDROOM UNIT, 10 X 2.25 = 23 SPACES REQUIRED; 23 SPACES PROVIDED WITH ONE BEING ADA COMPLIANT (VAN ACCESSIBLE)
 - INDIVIDUAL TRASH CONTAINERS TO BE USED.
 - ALL DRAINAGE STRUCTURES SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF JONESBORO, CRAIGHEAD COUNTY, ARKANSAS STORMWATER DRAINAGE DESIGN MANUAL.
 - SOIL TYPE: COLLINS SILT LOAM, OCCASIONALLY FLOODED (TYPE C) 0-1% SLOPES
 - MINIMUM REQUIRED ZONING SETBACKS: RESIDENTIAL 2 (R-2) STREET SETBACK - 25' SIDE SETBACK - 7.5' REAR SETBACK - 20'

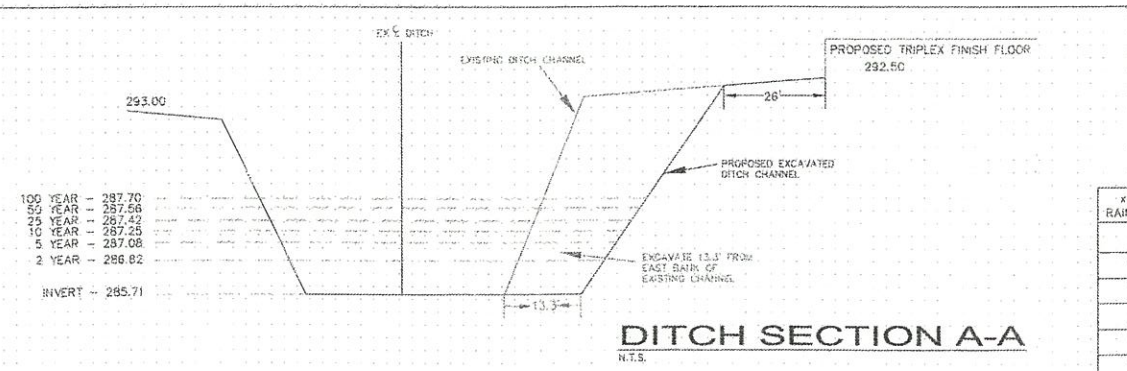
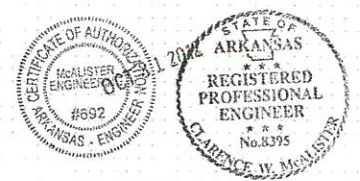


TABLE 1: SITE CALCULATIONS

# YEAR RAIN EVENT	Q (cfs) PRE-IMP POST-IMP	WATER DEPTH (ft)	WATER SURFACE ELEVATION (ft)	STORAGE REQUIRED (cf)	STORAGE PROVIDED (cf)
2	1.49 2.63	1.11	286.82	2301	2687
5	2.12 3.53	1.37	287.08	2912	3316
10	2.71 4.35	1.54	287.25	3398	3728
25	3.22 5.09	1.71	287.42	3929	4139
50	3.73 5.82	1.85	287.56	4371	4478
100	4.26 6.57	1.99	287.70	4817	4817



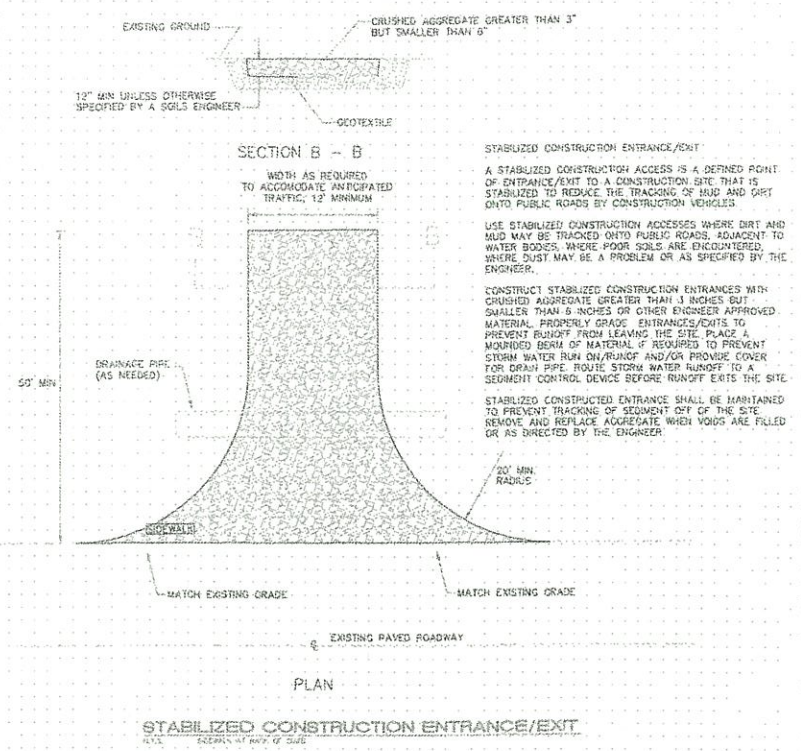
© Copyright 2012 McALISTER ENGINEERING



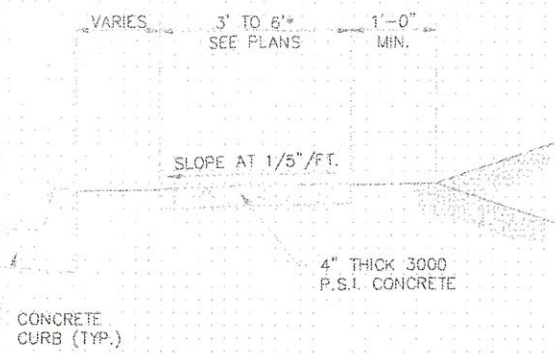
GRADING/DRAINAGE PLAN

3115 PARKER ANNEX
JONESBORO, ARKANSAS

MCALISTER ENGINEERING CIVIL ENGINEERING AND LAND SURVEYING 1013 CR 630 JONESBORO, AR 72404 870-691-1420	DRAWN BY: JH	CHECKED BY: CWM
	SCALE: 1" = 20'	PROJECT 1249608
	DATE: 2AUG12	CAD FILE 1249608Harrison...
	DWG REF: 04E-14N-31	
CLARENCE W. "MAC" MCALISTER, PE, PS	JOB NO. 1249608	SHEET 2 / 3

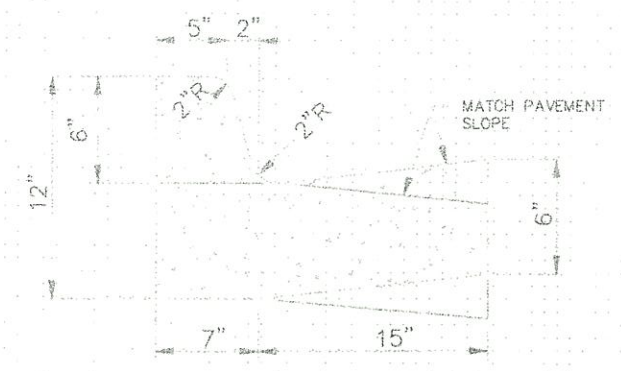


STABILIZED CONSTRUCTION ENTRANCE/EXIT
N.T.S.

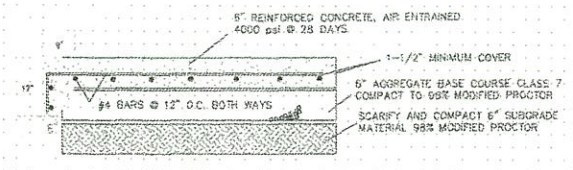


TYPICAL SECTION - SIDEWALK
N.T.S.

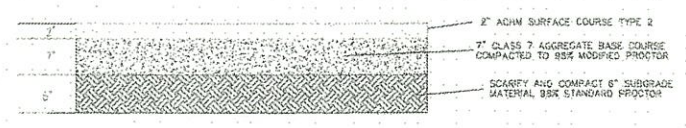
* PLACE GROOVE JOINTS ON 12' INTERVAL



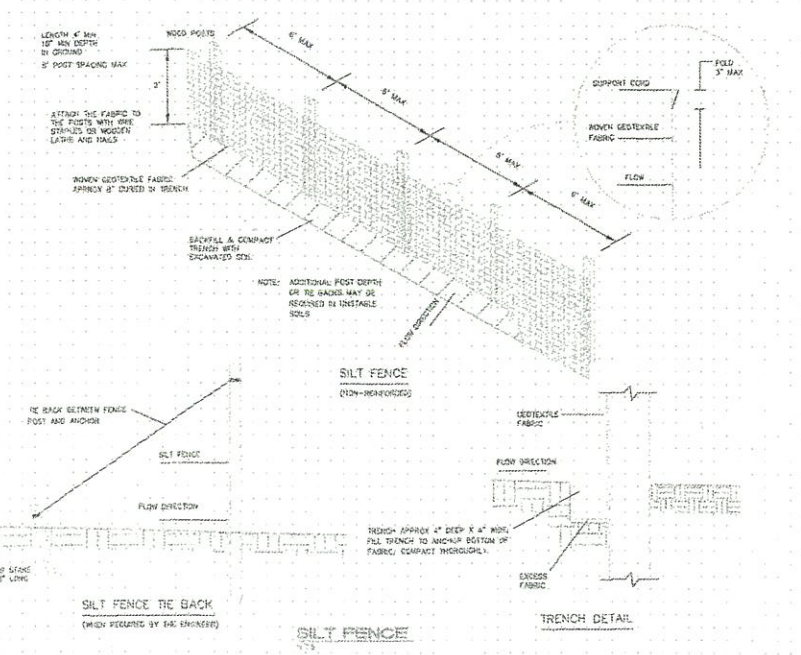
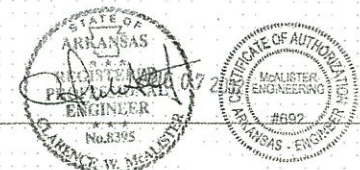
BARRIER CURB
N.T.S.



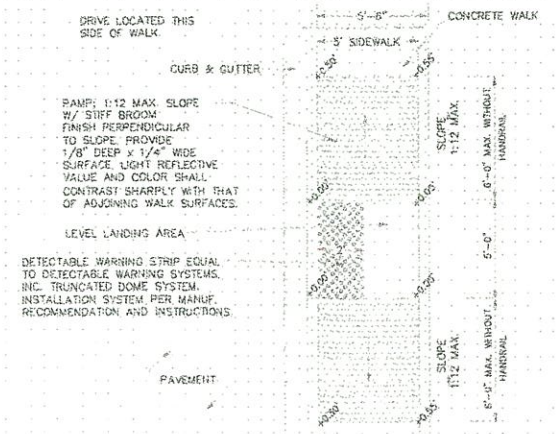
SECTION - CONCRETE PAVEMENT
W/ TURN DOWN



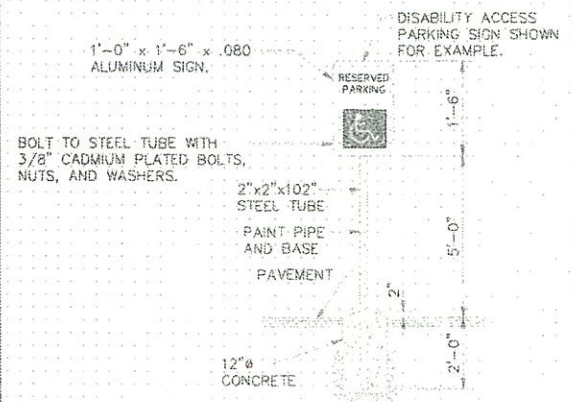
SECTION - ASPHALT DRIVE/PARKING
N.T.S.



SILT FENCE
N.T.S.

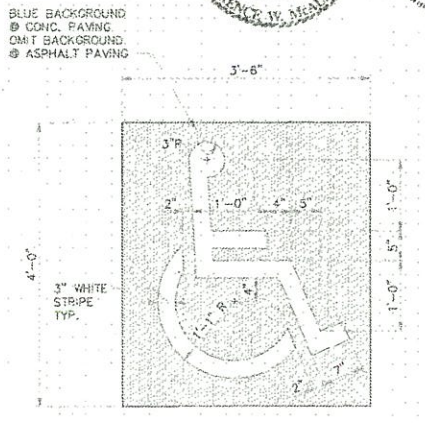


RAMP DETAIL
N.T.S.



SIGN DETAIL
N.T.S.

NOTE:
ALL SIGNS SHALL CONFORM TO MUTCD AND SHALL BE HIGH INTENSITY.



PARKING STALL SYMBOL
N.T.S.

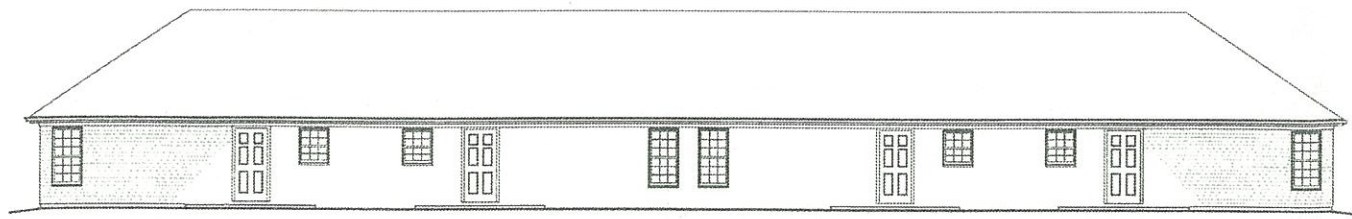
DETAILS



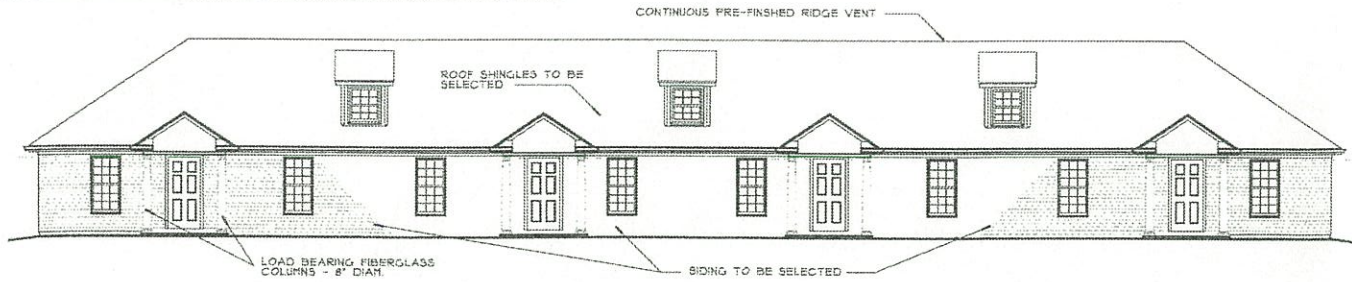
3115 PARKER ANNEX
JONESBORO, ARKANSAS

MCALISTER ENGINEERING
CIVIL ENGINEERING AND LAND SURVEYING
1613 CR 625 JONESBORO, AR 72404
870-951-1420

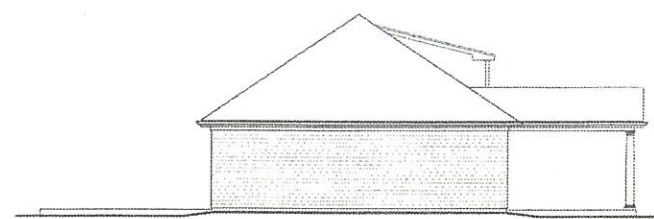
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DATE: 2AUG12	CAD NO: 1249608Harrison...
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CLARENCE W. "MAC" MCALISTER, PE, PS	JOB NO. 1249608 SHEET 3 / 3



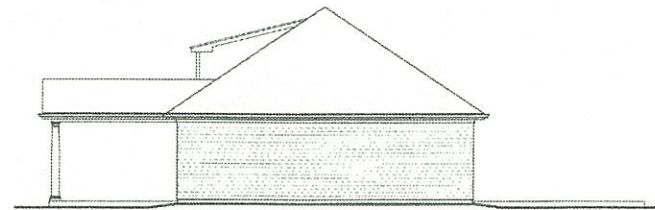
L01 rear elevation
 SCALE: 1/8"=1'-0" CONTENT: ARCHITECTURAL EXTERIOR BUILDING ELEVATION



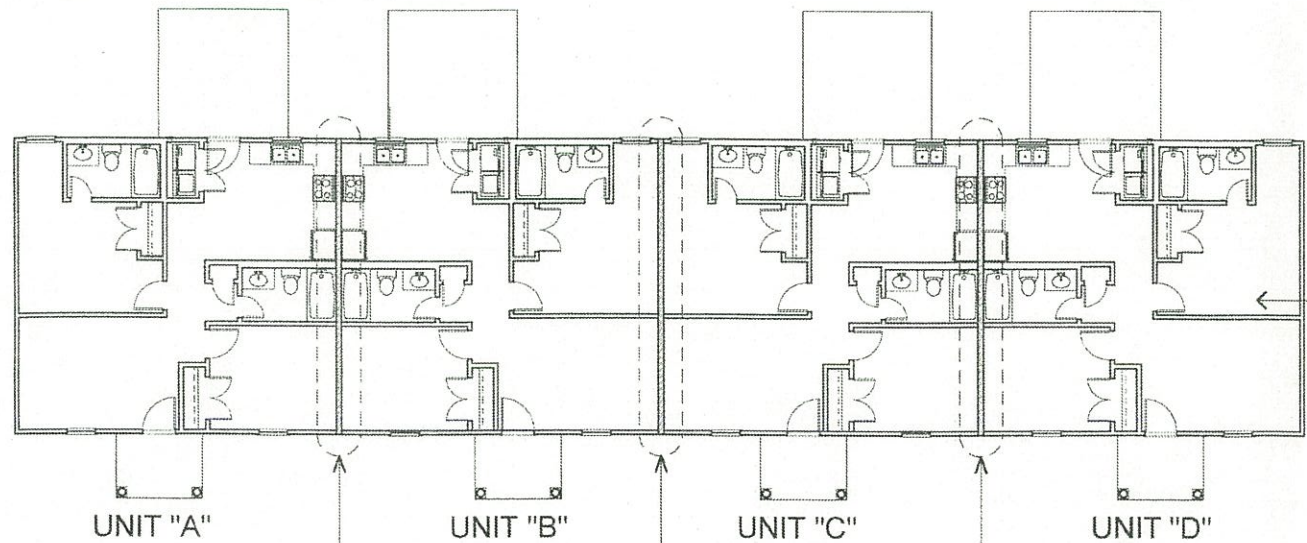
J01 front elevation
 SCALE: 1/8"=1'-0" CONTENT: ARCHITECTURAL EXTERIOR BUILDING ELEVATION



L10 left end elevation
 SCALE: 1/8"=1'-0" CONTENT: ARCHITECTURAL EXTERIOR BUILDING ELEVATION



J10 right end elevation
 SCALE: 1/8"=1'-0" CONTENT: ARCHITECTURAL EXTERIOR BUILDING ELEVATION



SEE DRAWING SHEET A201 AND A202 FOR LARGE SCALE FLOOR PLANS WITH NOTES, DIMENSIONS, ETC.

D01 floor plan
 SCALE: 1/8"=1'-0" CONTENT: ARCHITECTURAL PLAN - OVERALL BUILDING

APPLICABLE BUILDING CODES

ARCHITECTURAL	2004 INTERNATIONAL BUILDING CODE
EXISTING BUILDING	2004 IEBC
MECHANICAL	2003 IMC, 2003 IPC
ELECTRICAL	2008 NATIONAL ELECTRICAL CODE
FIRE PREVENTION	2001 IFC, NFPA LIFE SAFETY CODE 1001 - LATEST EDITION
FIRE PREVENTION HANDICAP	2001 ARKANSAS FIRE PREVENTION CODE CHAPTER II OF THE 2004 IBC, ICC/ANSI 111.1, 119.2

ARCHITECT'S STATEMENT:
 THIS IS TO CERTIFY THAT THE BID/CONSTRUCTION DOCUMENTS WERE PREPARED BY THE RESPONSIBLE REGISTERED PROFESSIONAL OR UNDER HIS/HER DIRECT SUPERVISION TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, THE DOCUMENTS WERE PREPARED TO BE IN COMPLIANCE WITH THE APPLICABLE CODES, ORDINANCES AND LAWS.
 BY: _____

CONST. TYPE
 TYPE V-B, UNPROTECTED, UNSPRINKLED

OCCUPANCY
 RESIDENTIAL R-2, APARTMENTS/TOWNHOUSE

BUILDING AREA AND HEIGHT
 IBC TABLE 503, CONST. TYPE V-B, RESIDENTIAL R-2
 2 STORIES ALLOWED, MAXIMUM AREA ALLOWED = 1,000 S.F.
 THIS BUILDING IS 1 STORY, FOUR LIVING UNITS CONTAINING 810 SQUARE FEET EACH FOR A TOTAL OF 3,240 SQUARE FEET
 TENANT SEPARATION WALLS ARE 180 HOUR RATED.
 SEE FIRE WALL DETAILS ON SH. A200 AND A201

A01 code compliance
 SCALE: N.T.S. CONTENT: CODE COMPLIANCE DATA

GENERAL NOTES

- ALL WORK AND MATERIALS ARE TO COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES.
- IN CASE OF DISCREPANCY BETWEEN APPLICABLE CODES AND THE DRAWINGS AND/OR SPECIFICATIONS OR DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENT.
- THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT. THE OWNER IS PERMITTED TO RETAIN COPIES OF THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR INFORMATION AND REFERENCE IN CONNECTION WITH THE OWNER'S USE AND OCCUPANCY OF THE PROJECT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS WHICH HAVE BEEN PREPARED FOR THIS PROJECT SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THE PROJECT NAME AND LOCATION IDENTIFIED IN THE TITLE BLOCK OF THESE DRAWINGS SHALL SERVE TO IDENTIFY THIS PROJECT FOR PURPOSES OF THIS NOTE. IF, IN THE OPINION OF THE ARCHITECT, THE TITLE BLOCK IDENTIFICATION OF THE PROJECT HAS BEEN ALTERED FOR USE ON A DIFFERENT SITE, IT WILL BE CONSIDERED A VIOLATION OF THE ARCHITECT'S RESERVED RIGHTS OF COPYRIGHT OF THE DOCUMENTS.

PLOTTED 06/02/10
 WILLIAM M. WAGE ARCHITECT

WMW Architecture
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 Interior Design
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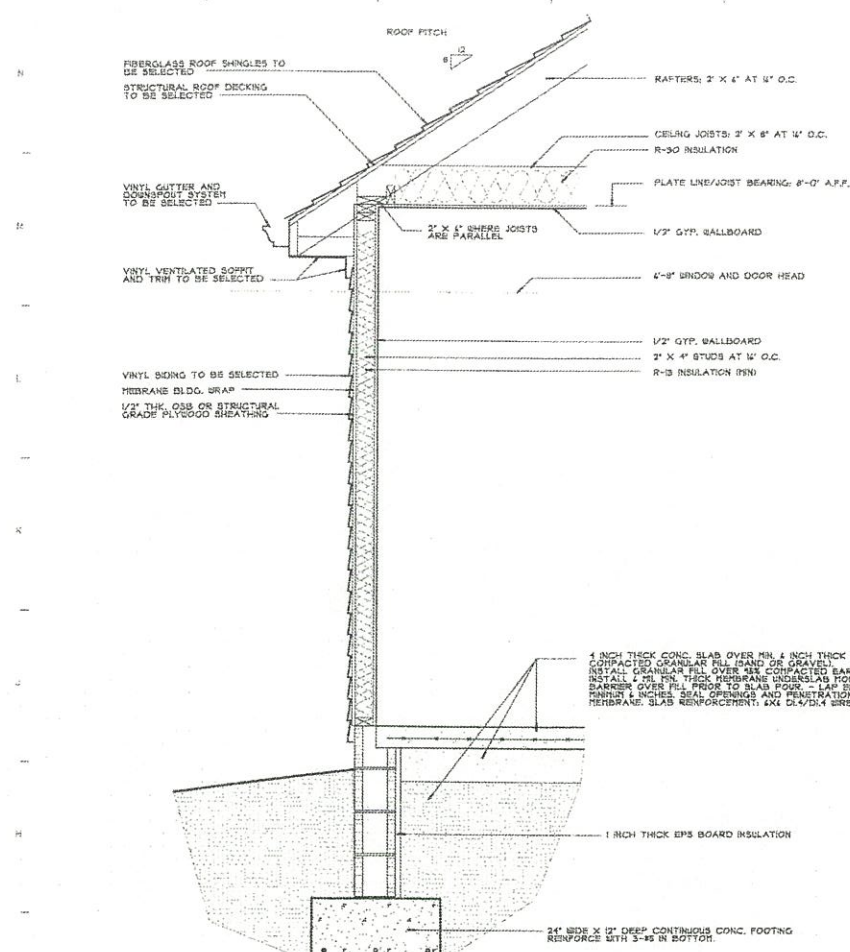
FOUR-PLEX APARTMENTS FOR BOB HARRISON
 3900 GRIFFIN STREET
 JONESBORO, ARKANSAS

COVER SHEET CODE DATA

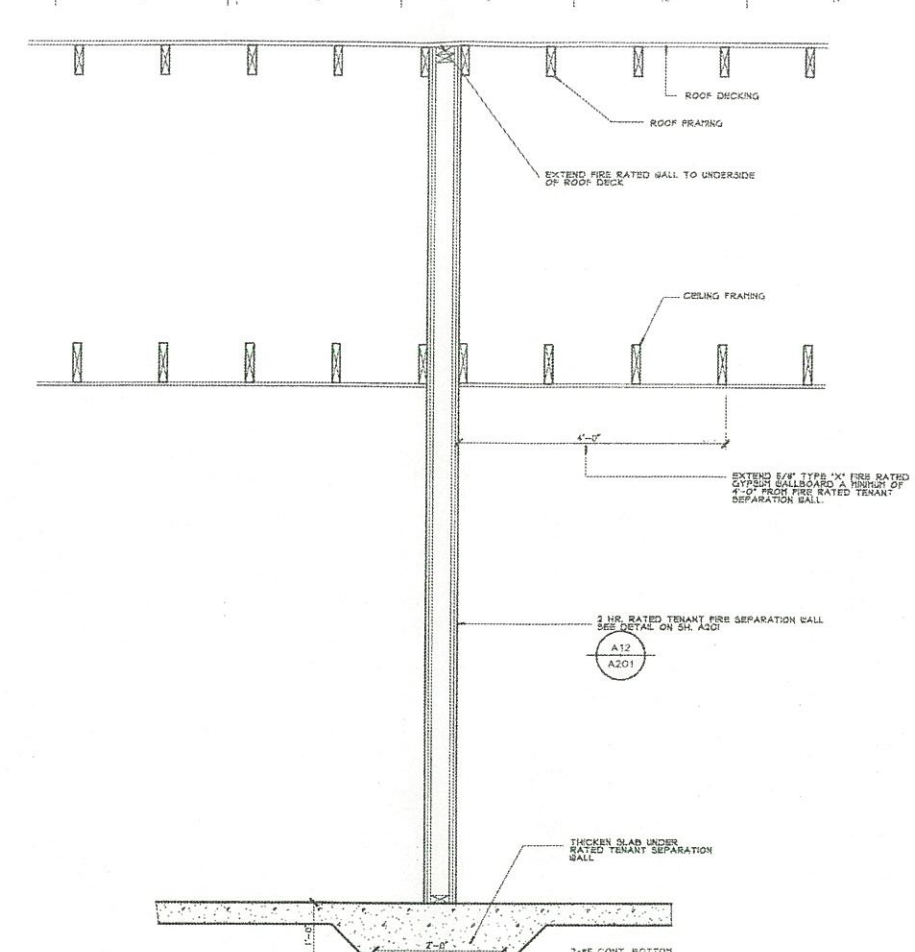
Scale	AS SHOWN	Date	06/02/10
Proj. No.	1016	File No.	1016A100c
Drawn By	WMW	Reviewed	WMW
Drawing No.	A100		

WILLIAM M. WAGE ARCHITECT
 ARKANSAS REG. NO. 721

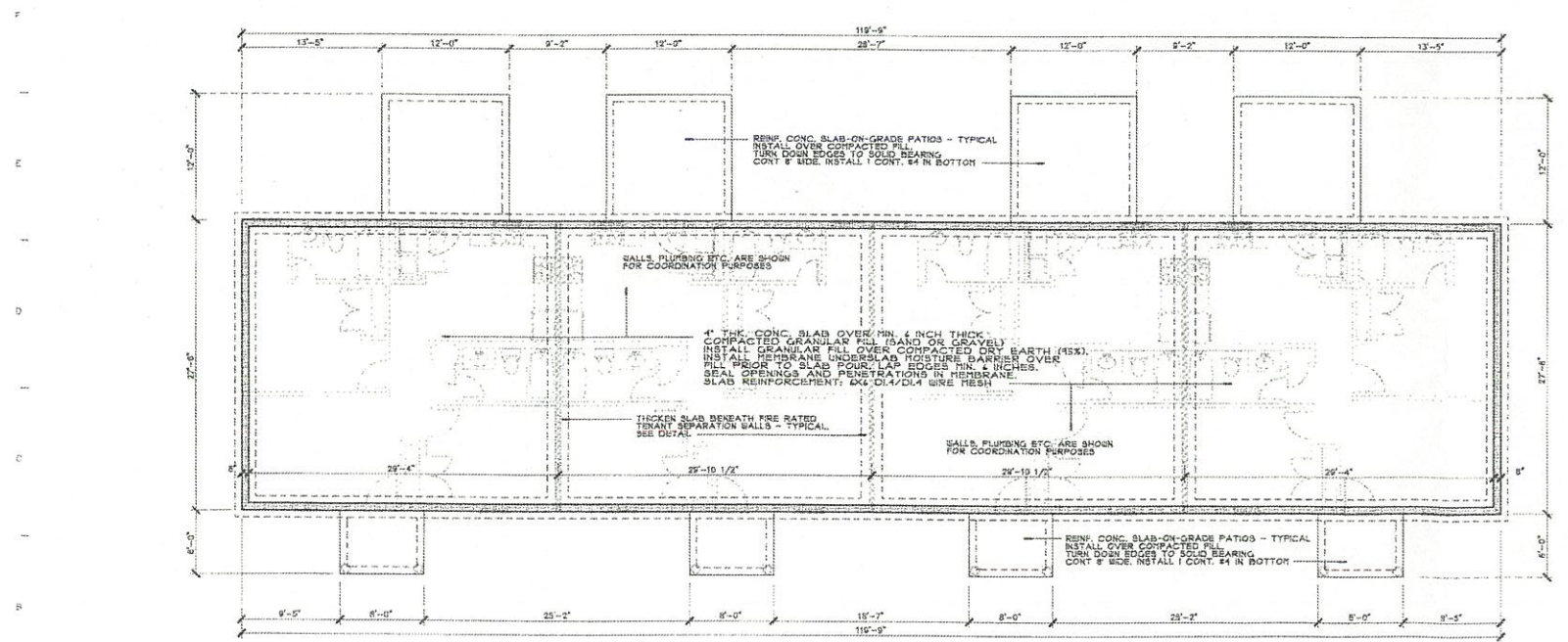
4 PLEX GRIFFIN



G01 typical wall section
 SCALE: 3/4"=1'-0"
 CONTENT: ARCHITECTURAL SECTION THRU TYPICAL WALL



G07 typical wall section
 SCALE: 3/4"=1'-0"
 CONTENT: ARCHITECTURAL SECTION THRU TYPICAL WALL



A01 foundation plan
 SCALE: 1/8"=1'-0"
 CONTENT: FOOTING, SLAB AND FOUNDATION

FOUNDATION NOTES

- FOUNDATIONS ARE DESIGNED FOR AN ASSUMED SOIL BEARING CAPACITY OF 2,000 PSF AT THE BOTTOM OF FOOTING. CONTRACTOR IS TO RETAIN THE SERVICES OF A GEOTECHNICAL OR SOILS ENGINEER TO TEST AND CERTIFY IN WRITING TO THE ARCHITECT/ENGINEER OF RECORD THAT THE SOIL CONDITIONS MEET THE SPECIFIED CRITERIA FOR THIS DESIGN WITHOUT DAMAGING SETTLEMENT. IF THE TESTING RESULTS SHOW THAT THE SOIL CONDITIONS DO NOT MEET THE CRITERIA, THE OWNER SHALL PAY FOR SERVICES OF THE GEOTECHNICAL OR REGISTERED PROFESSIONAL ENGINEER FOR SOIL TESTING, ANALYSIS, REPORT AND FOUNDATION DESIGN RECOMMENDATIONS.
- FOOTING MUST BE FOUNDED ON FIRM DRY GROUND.
- BACK FILL AROUND FOOTINGS - COMPACTED #1 & 8 INCH LAYERS TO 95% PROCTOR
- CONCRETE FOR FOOTINGS AND SLAB SHALL BE 3000 PSI @ 28 DAYS.
- CONCRETE EXPOSED TO WEATHER SHALL BE 4000 PSI @ 28 DAYS.
- DO NOT PLACE CONCRETE WHEN TEMPERATURE WILL FALL BELOW 40 DEGREES F IN A 24 HOUR PERIOD FOLLOWING PLACEMENT.
- MAKE ALL SAW CUTS AS SOON AS CONCRETE HAS SET ENOUGH, BUT IN NO CASE MORE THAN TWELVE HOURS AFTER PLACEMENT.
- CURE ALL CONCRETE BY COVERING WITH 5 MIL VINYL AND MAINTAINING COVERAGE PULLED TIGHT FOR A PERIOD OF 7 DAYS.
- CONCRETE MIX PROPORTIONS MUST COMPLY WITH ACI 318-89 CODE SECTIONS 5.2, 5.3, & 5.4.
- REINFORCING BARS SHALL BE ASTM A615-87 GRADE 60, LAP 30 BAR DIAMETERS OR 18 INCHES MIN. AT CORNERS AND SPLICES.
- PLACE THE CONCRETE ALLOWING A MAXIMUM OF 3" SLUMP. USE VIBRATORS AS REQUIRED TO CONSOLIDATE CONCRETE AROUND REINFORCING BARS.
- WELDED PLAIN WIRE FABRIC USED IN THE SLAB WORK MUST MEET ASTM A 185 SPECIFICATIONS AND PLACEMENT MUST BE MAINTAINED AT 2 INCHES BELOW FINISHED SURFACE.
- WIRE FABRIC MUST BE CUT SHORT 3 INCHES EACH SIDE OF SAW JOINTS.
- ALL INTERIOR CUTS UNDER THE SLAB FOR PLUMBING OR OTHER REQUIREMENTS MUST BE BACKFILLED WITH DRY MATERIAL AND COMPACTED TO 95% PROCTOR.
- BASE FOR SLAB MUST BE COMPACTED TO 95% PROCTOR PRIOR TO SAND FILL AND BARBER PLACEMENT.

GENERAL NOTES

- ALL WORK AND MATERIALS ARE TO COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES.
- IN CASE OF DISCREPANCY BETWEEN APPLICABLE CODE AND THE DRAWINGS AND/OR SPECIFICATIONS OR DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENT.
- BRICK MASONRY: THIS PROJECT HAS BEEN DESIGNED BASED ON THE USE OF MODULAR SIZE BRICK UNITS. 9 BRICK IS USED WHICH IS OTHER THAN MODULAR (3-5/8" X 2-1/4" X 1-5/8"). THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LAYOUT, SPACING, DETAILS AROUND OPENINGS, ADDITIONAL TIE, ETC AS MAY BE REQUIRED BECAUSE OF THE CHANGE.
- THE DRAWING SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND OTHER RESERVED RIGHTS, INCLUDING THE STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. THE OWNER IS PERMITTED TO RETAIN COPIES OF THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR INFORMATION AND REFERENCE IN CONNECTION WITH THE OWNER'S USE AND OCCUPANCY OF THE PROJECT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS WHICH HAVE BEEN PREPARED FOR THIS PROJECT SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THE PROJECT NAME AND LOCATION IDENTIFIED IN THE TITLE BLOCK OF THESE DOCUMENTS SHALL SERVE TO IDENTIFY THIS PROJECT FOR PURPOSES OF THIS NOTE. IF, IN THE OPINION OF THE ARCHITECT, THE TITLE BLOCK IDENTIFICATION OF THE PROJECT HAS BEEN ALTERED FOR USE ON A DIFFERENT SITE, IT SHALL BE CONSIDERED A VIOLATION OF THE ARCHITECT'S RESERVED RIGHTS OF OWNERSHIP OF THE DOCUMENTS.

PLOTTED
 06/02/10
 WILLIAM M. WAGE ARCHITECT

No. Revisions/Submissions Date
WMW Architecture
 Planning
 Interior Design
WILLIAM M. WAGE
 Architect
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 TEL: 870.336.3999
 Member American Institute of Architects

FOUR-PLEX APARTMENTS FOR BOB HARRISON
 3900 GRIFFIN STREET
 JONESBORO, ARKANSAS

FOUNDATION PLAN DETAILS/NOTES

Scale AS SHOWN Date 06/02/10
 Proj No. 1016 Rev No. 1016A200a
 Drawn By WSW Reviewed WSW
 Drawing No. **A200**
 WILLIAM M. WAGE ARCHITECT
 ARKANSAS REG. NO. 721

DOOR SCHEDULE		
MARK	SIZE	DESCRIPTION
DD1	3'-0" x 8'-0" x 1/4"	ENTRY DOOR TO BE SELECTED
DD2	2'-0" x 8'-0" x 1/4"	EXTERIOR DOOR TO BE SELECTED
DD3	2'-8" x 8'-0" x 1/4"	TO BE SELECTED
DD4	PR. 2'-0" x 8'-0" x 1/4"	TO BE SELECTED
DD5	2'-0" x 8'-0" x 1/4"	TO BE SELECTED

WINDOW SCHEDULE		
MARK	SIZE	DESCRIPTION
WO1	2'-8" x 5'-2"	DOUBLE OR SINGLE HUNG - TO BE SELECTED
WO2	2'-8" x 3'-0"	DOUBLE OR SINGLE HUNG - TO BE SELECTED

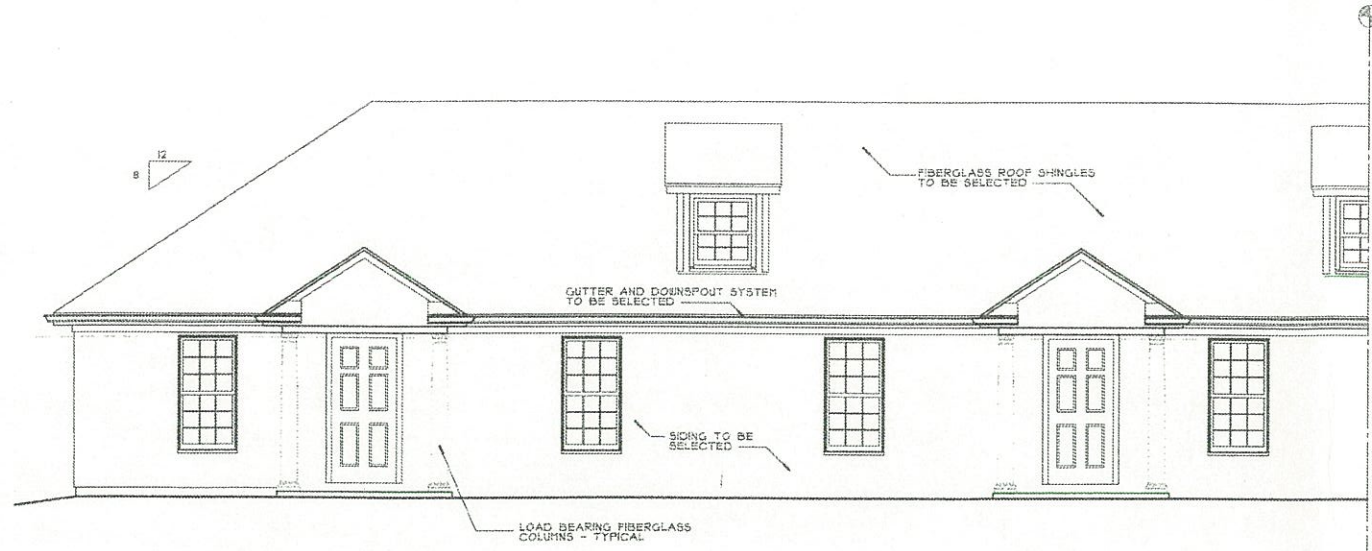
GENERAL NOTES

1. ALL WORK AND MATERIALS ARE TO COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES.

2. IN CASE OF DISCREPANCY BETWEEN APPLICABLE CODE AND THE DRAWINGS AND/OR SPECIFICATIONS OR DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENT.

3. BRICK MASONRY: THIS PROJECT HAS BEEN DESIGNED BASED ON THE USE OF MODULAR SIZE BRICK UNITS. IF BRICK IS USED WHICH IS OTHER THAN MODULAR 15/16" X 2 1/4" X 3 5/8", THE CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING THE LAYOUT, SPACING, DETAILS AROUND OPENINGS, ADDITIONAL TIEBARS, ETC. AS MAY BE REQUIRED BECAUSE OF THE CHANGE.

4. THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THE PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COPYRIGHT, PATENT, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. THE OWNER IS PERMITTED TO RETAIN COPIES OF THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR INFORMATION AND REFERENCE IN CONNECTION WITH THE OWNER'S USE AND OCCUPANCY OF THE PROJECT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS WHICH HAVE BEEN PREPARED FOR THIS PROJECT SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THE PROJECT NAME AND LOCATION IDENTIFIED IN THE TITLE BLOCK OF THESE DRAWINGS SHALL SERVE TO IDENTIFY THIS "PROJECT" FOR PURPOSES OF THIS NOTE IF, IN THE OPINION OF THE ARCHITECT, THE TITLE BLOCK IDENTIFICATION OF THE PROJECT HAS BEEN ALTERED FOR USE ON A DIFFERENT SITE, IT WILL BE CONSIDERED A VIOLATION OF THE ARCHITECT'S RESERVED RIGHTS OF OWNERSHIP OF THE DOCUMENTS.



J01 partial front elevation
 SCALE: 1/4"=1'-0"
 CONTENT: PARTIAL ARCHITECTURAL BUILDING ELEVATION

DASH LINE INDICATES LOCATION OF ACOUSTICAL INSULATION. SEE FLR. PLAN PLAN SYMBOL:

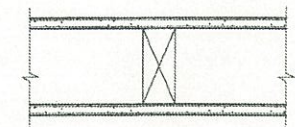
GYPSUM WALLBOARD, WOOD STUDS

One layer 1/2" regular gypsum wallboard or veneer base applied at right angles or parallel to each side of 2"x4" wood studs 16" o.c. with dc coated nails 1 7/8" long, 1/4" heads, 2" o.c. Wallboard nailed to top and bottom plates at 7" o.c. Stagger vertical and horizontal joints each side and opposite sides. (NLS)

Wall to extend from finish floor to structure above.

Brace and stiffen wall in accordance with requirements of applicable building code.

Install 1" thick fiberglass insul. per specifications where shown on drawings.



THICKNESS: 4 5/8" (4 1/2" nominal)
 APPROX. WEIGHT: 6 PSF

F12 WALL ASSEMBLY
 Typical Non-combustible Interior Partition
 SCALE: 3" = 1'-0"
 FIRE RATING: NC
 SOUND RATING STC: 30 to 34
 CA FILE NO.

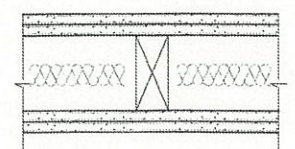
GYPSUM WALLBOARD/WOOD STUDS PLAN SYMBOL:

2 layers 5/8" thick gypsum wallboard applied either horizontally or vertically to each side of 2" x 4" wood studs spaced at 16" o.c. Attach inner layer of wallboard to studs with 1-7/8" dc coated nails spaced 6" o.c. Outer layer attached to studs over inner layer w/ 2-3/8" nails spaced 8" o.c. Vertical joints located over studs. All joints of face layers staggered with joints of base layer on opposite side.

Wall to completely seal space from finish floor to deck above.

Brace and stiffen wall as per stud manufacturer's printed recommendations when extending wall above finishing height listed below.

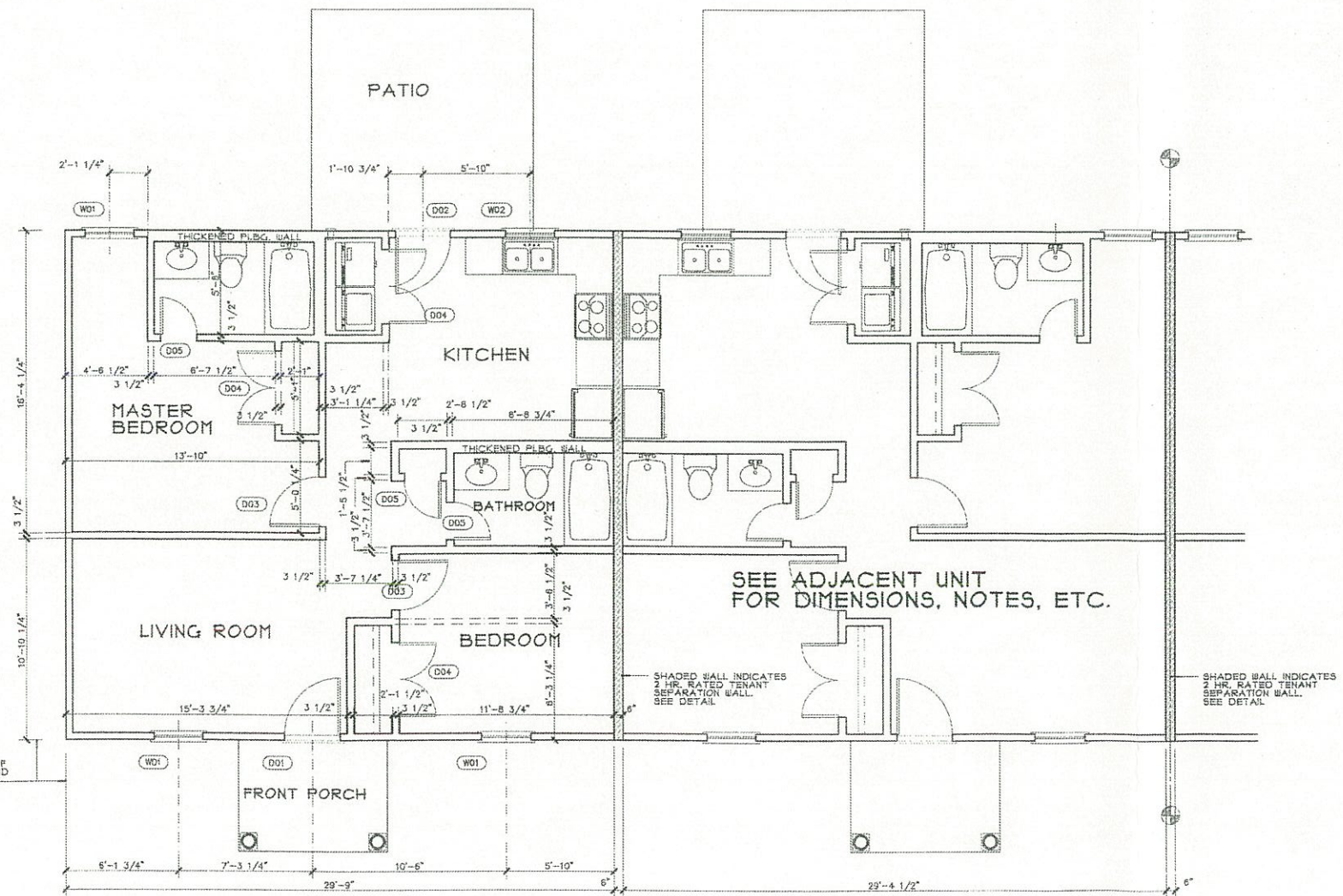
Wall shall be permanently stenciled above the decorative ceiling and max. 10' o.c. with the words "Fire and Smoke Barrier-Protect All Openings".



THICKNESS: 6 1/8" (6" NOMINAL)
 APPROX. WEIGHT: 12 PSF
 FIRE TEST: U.L. No. U301

TENANT SEPARATION WALL DETAIL

A12 WALL ASSEMBLY
 CA - Typical 2 Hour Separation
 SCALE: 3" = 1'-0"
 FIRE RATING: 2 HOUR
 SOUND RATING STC: 40 to 44
 CA FILE NO.



A01 partial floor plan
 SCALE: 1/4"=1'-0"
 CONTENT: ARCHITECTURAL PLAN - LEFT HALF OF BUILDING

PLOTTED
 06/02/10
 WILLIAM M. WAGE ARCHITECT

No. Revisions/Submissions Date

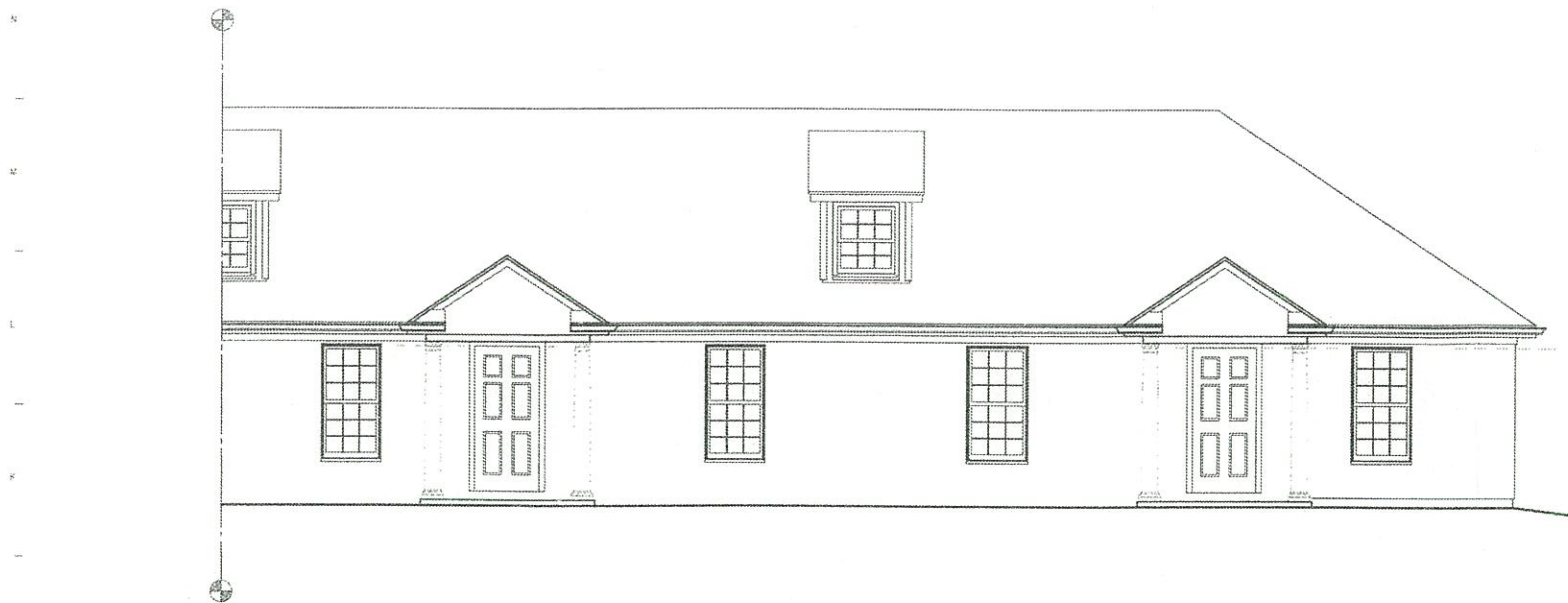
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FOUR-PLEX APARTMENTS FOR BOB HARRISON
 3900 GRIFFIN STREET
 JONESBORO, ARKANSAS

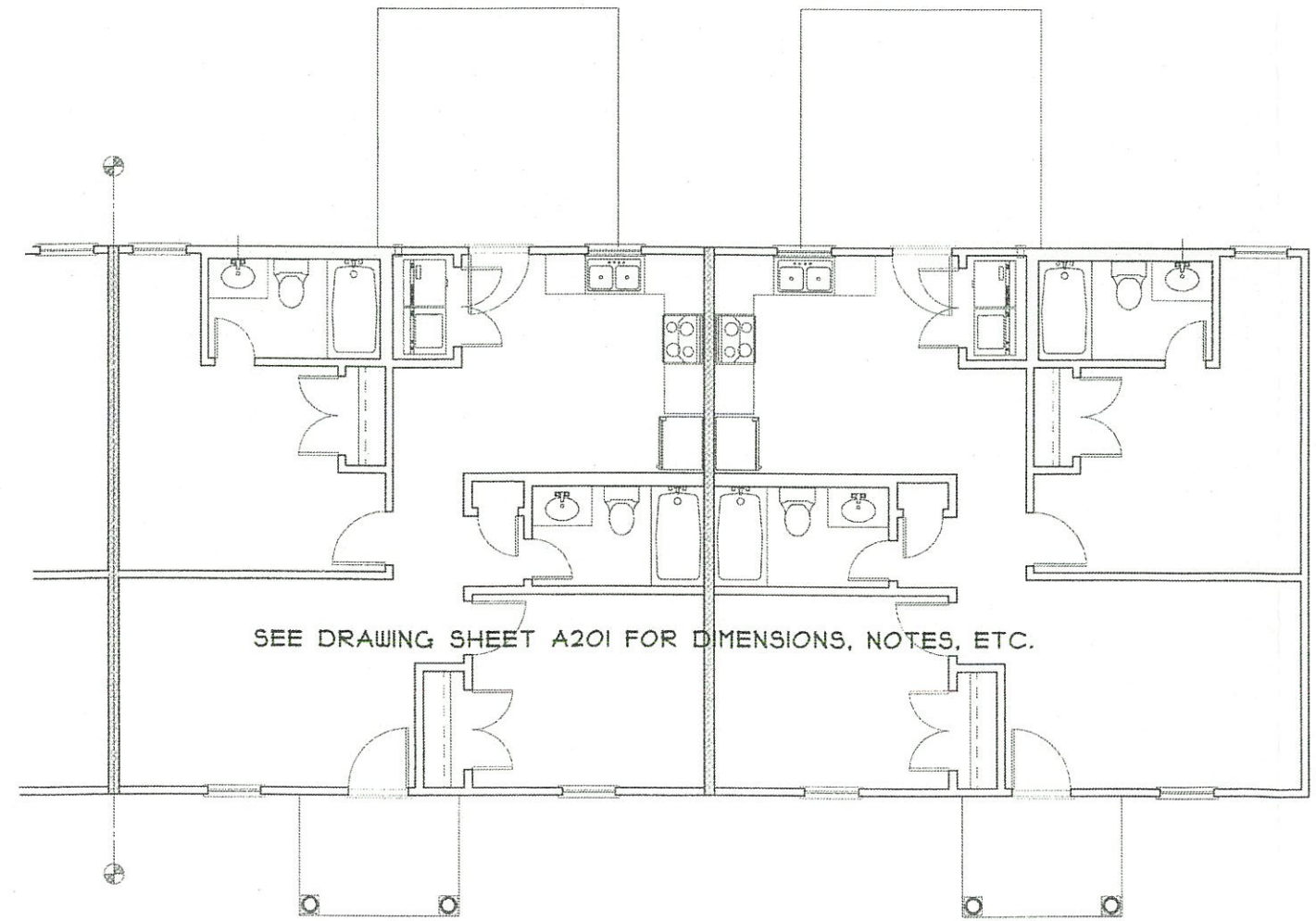
Drawing Title
PARTIAL FLOOR PLAN AND ELEVATION

Scale: AS SHOWN
 Date: 06/02/10
 Proj. No.: 1016
 File No.: 1016A201u
 Drawn By: WMW
 Reviewed: WMW
 Drawing No.: **A201**

WILLIAM M. WAGE ARCHITECT
 ARKANSAS REG. NO. 721



J01 partial front elevation
 SCALE: 1/4"=1'-0" CONTENT: PARTIAL ARCHITECTURAL BUILDING ELEVATION



SEE DRAWING SHEET A201 FOR DIMENSIONS, NOTES, ETC.

A01 partial floor plan
 SCALE: 1/4"=1'-0" CONTENT: ARCHITECTURAL PLAN - RIGHT HALF OF BUILDING

GENERAL NOTES

- 01 ALL WORK AND MATERIALS ARE TO COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES.
- 02 IN CASE OF DISCREPANCY BETWEEN APPLICABLE CODE AND THE DRAWINGS AND/OR SPECIFICATIONS OR DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENT.
- 03 BRICK MASONRY: THIS PROJECT HAS BEEN DESIGNED BASED ON THE USE OF MODULAR SIZE BRICK UNITS. IF BRICK IS USED OTHER THAN MODULAR (3-5/8" X 2-1/4" X 1-1/8"), THE CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING THE LAYOUT, SPACING, DETAILS AROUND OPENINGS, ADDITIONAL TIE, ETC. AS MAY BE REQUIRED BECAUSE OF THE CHANGE.
- 04 THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. THE OWNER IS PERMITTED TO RETAIN COPIES OF THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR INFORMATION AND REFERENCE IN CONNECTION WITH THE OWNER'S USE AND OCCUPANCY OF THE PROJECT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS WHICH HAVE BEEN PREPARED FOR THIS PROJECT SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THE PROJECT NAME AND LOCATION IDENTIFIED IN THE TITLE BLOCK OF THESE DRAWINGS SHALL SERVE TO IDENTIFY THIS PROJECT FOR PURPOSES OF THIS NOTE. IF, IN THE OPINION OF THE ARCHITECT, THE TITLE BLOCK IDENTIFICATION OF THE PROJECT HAS BEEN ALTERED FOR USE ON A DIFFERENT SITE, IT SHALL BE CONSIDERED A VIOLATION OF THE ARCHITECT'S RESERVED RIGHTS OF OWNERSHIP OF THE DOCUMENTS.

PLOTTED
 08/02/10
 WILLIAM M. WAGE ARCHITECT

No.	Revisions/Submissions	Date

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**FOUR-PLEX APARTMENTS
 FOR
 BOB HARRISON
 3900 GRIFFIN STREET
 JONESBORO, ARKANSAS**

Drawing Title
**PARTIAL FLOOR PLAN
 AND ELEVATION**

Scale	Date
AS SHOWN	08/02/10
Drawn By	Reviewed
WMW	WMW

Drawing No.
A202



WILLIAM M. WAGE ARCHITECT
 ARKANSAS REG. NO. 721