



## Planning & Zoning Department

307 Vine St.

Jonesboro, AR 72401

Ph# (870) 932-0406 / Fax#(870) 336-3036

**"Helping to Build A Better Community"**

### FINAL SUBDIVISION PLAT

#### GENERAL INFORMATION

Name of Subdivision: Barrington Park Phase 6

Location: South of Barrington Park Phase 5

Zoning District: R-1

Property Owner: Jim Abel

Property owner address: 117 Crestfield Dr, Jonesboro, 72404

Surveyor: H & S Hime Surveying

Phone #: 870-972-1288

Surveyor's Address: P.O. Box 353, Brookland

Zip Code: 72417

Applicant's Signature \_\_\_\_\_

Date: \_\_\_\_\_

#### THE FOLLOWING INFORMATION MUST BE INCLUDED FOR AN APPLICATION TO BE CONSIDERED COMPLETE:

1. The names and lines of all streets and roads, alleys lines, lot lines, building setback lines, block and lot numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations. Location and names of the nearest streets and/or alignments should be altered to match existing streets. Submission shall include overall vicinity map of nearest adjacent platted subdivisions at scale. *(Revised: ORD-07:45, February 6, 2007)*

2. Sufficient data to determine readily and reproduce on the ground, the location, bearing and length of every street line, lot line, boundary line, block line and building line whether curved or straight and including true North point. This shall include the radius, central angle and tangent distance for the center line of curved streets and curved property lines that are not the boundary of curved streets and curved property lines that are not the boundary of curved streets.

3. Profiles of all streets with natural and finished grades drawn to a scale of one (1") inch equals fifty (50') feet horizontal and one (1") inch equals ten (10') feet vertical or larger when required by the Planning Commission.

4. All dimensions to the nearest one-tenth (1/10) of a foot and angles to the nearest minute.

5. Location and description of monuments.

6. The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining unsubdivided property.

7. Date, title, name and location of subdivision, graphic scale and true North point.

8. Certificate of dedication by land owner.

9. The names and seal of the Registered Land Surveyor (in the state of Arkansas). Responsible for the survey and contour information on the plat.

10. The plan shall provide for all proposed utility lines in accord with existing policies, rules or regulations of the utilities, the city or other applicable regulations, and approval of the City Water and Light as to proposed sanitary sewer, water and electric lines, shall accompany the final plan.

11. a. Adequate provisions for drainage of surface water shall be made by the subdivider and shown on the plan and he shall file with the City Planning Commission a description, specifications and drawings prepared by a registered civil engineer in the State of Arkansas, which shall be adequate to provide drainage for area subdivided and/or adjacent areas attached by drainage across or from such tract. The minimum size pipe used in the subdivision shall not be less than eighteen (18) inches inside diameter. (Ord. No. 1986, Sec. 3)

b. If proposed subdivision is a portion of a tract which is later to be subdivided in its entirety, then a tentative master plan of the entire subdivision should be submitted with the plat of the portion first to be subdivided.

12. A development permit where required in accordance with Section 5-18.2 as amended, before final approval of final plat.

13. A registered engineer, in the state of Arkansas, will check the final plat for correctness, and placing his seal on drawings, charging the cost to the subdivider. (Ord. Nos. 909, 1290, and 1630)

14. Fees (See Fee Schedule).

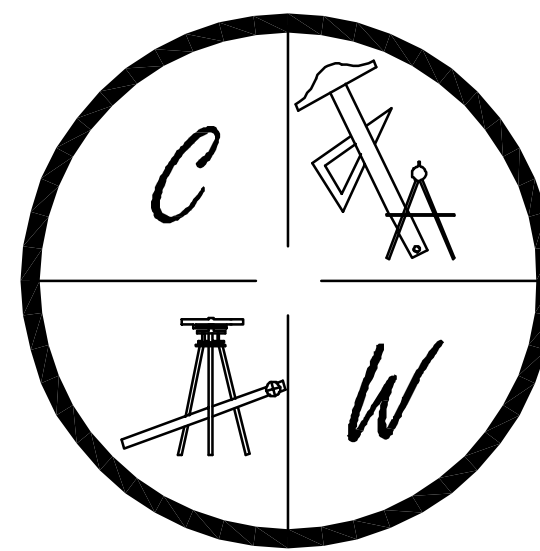
# BARRINGTON PARK

## PHASE VI

JONESBORO, ARKANSAS

FINAL STREET & DRAINAGE PLANS

FEBRUARY 28, 2012

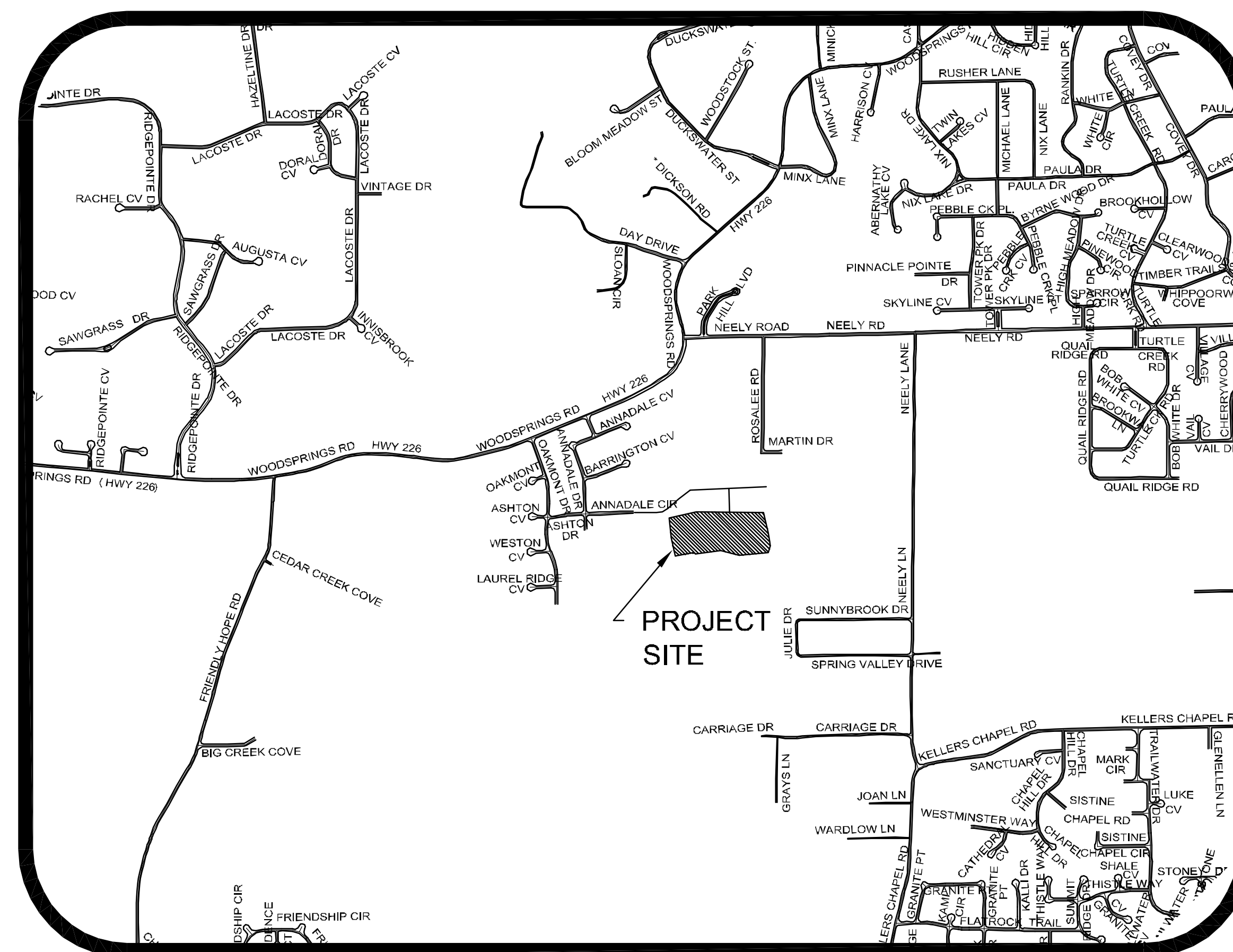


CARLOS WOOD, P.E.  
 ENGINEERING CONSULTANT  
 122 CR 375  
 BONO, AR 72416  
 PHONE/FAX: (870) 972-8335  
 EMAIL: WOODENGR@SBCGLOBAL.NET  
 WEBSITE: WWW.WOODENGR.COM



### PROJECT VICINITY MAP

SCALE: 1" = 1000'

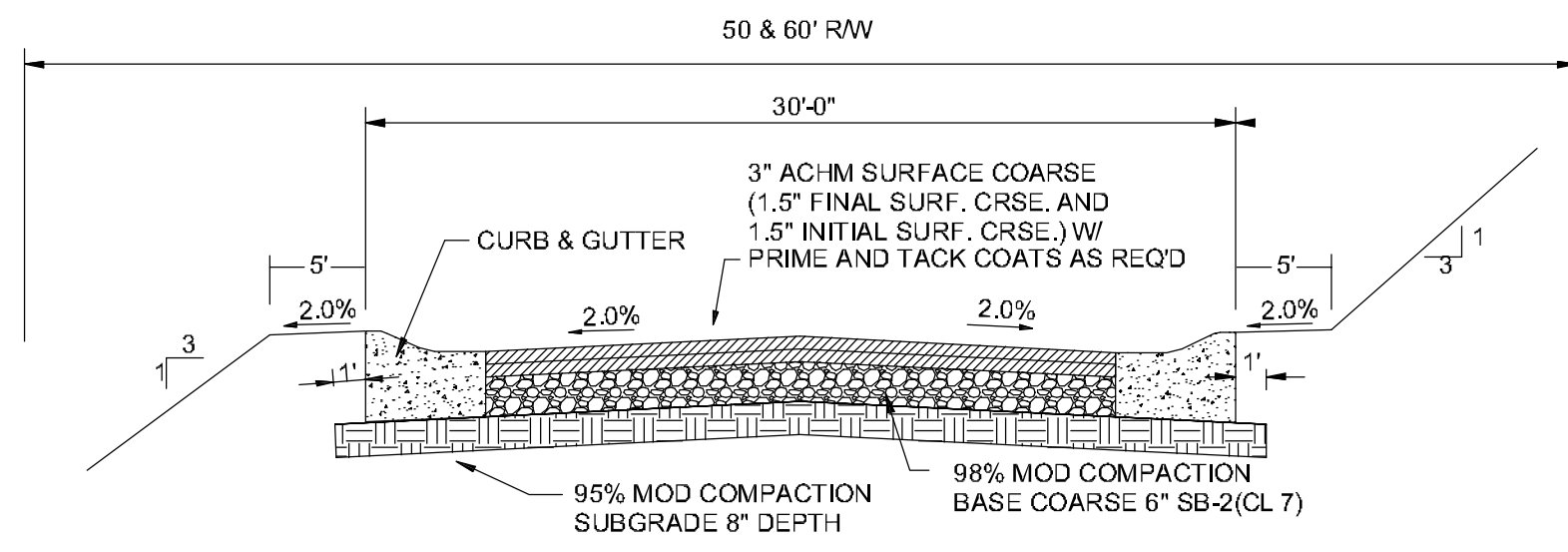


### SHEET LAYOUT

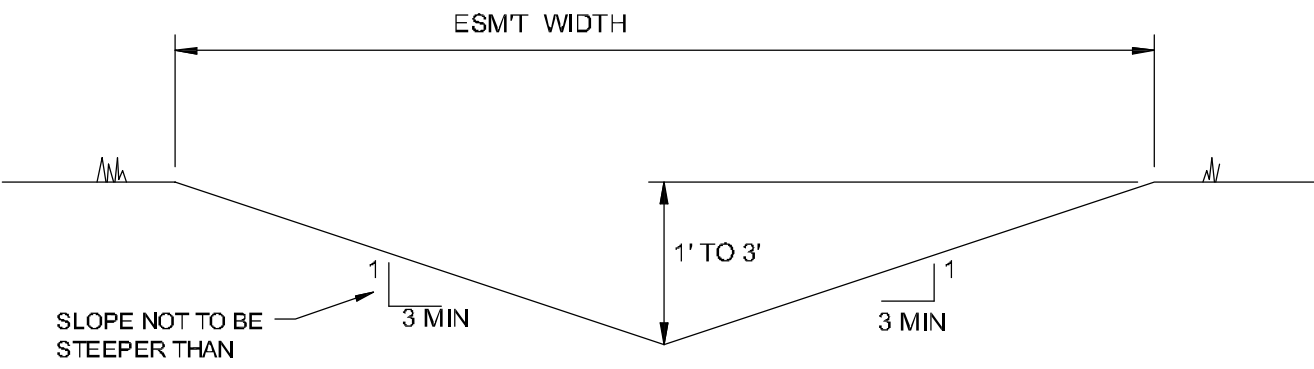
SHEET LAYOUT	
PLAT	
TOPOGRAPHY & DRAINAGE	STR-1
WELDON LANE/COVE & FARMINGTON DRIVE PLAN & PROFILE	STR-2
UTILITY PLAN	UTIL-1
EROSION CONTROL MAP	ECM-1
TYPICAL STREET DETAILS	DET-1



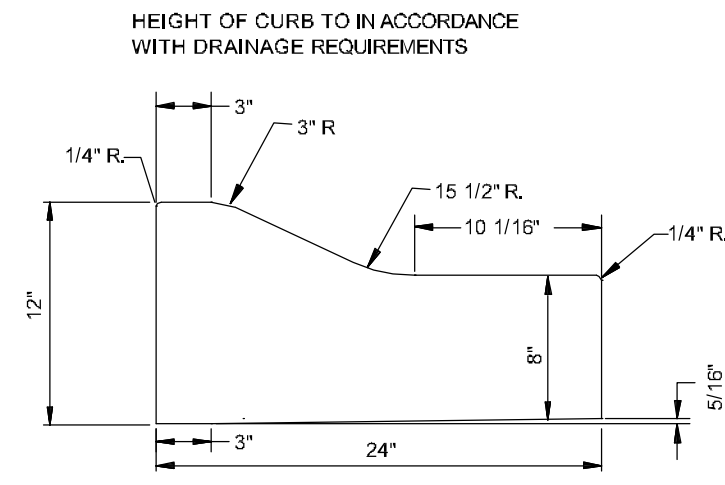
ARKANSAS ONE-CALL SYSTEM, INC.  
 1-800-482-8998 OR 811



**TYPICAL SECTION - INTERIOR STREETS**  
N.T.S.

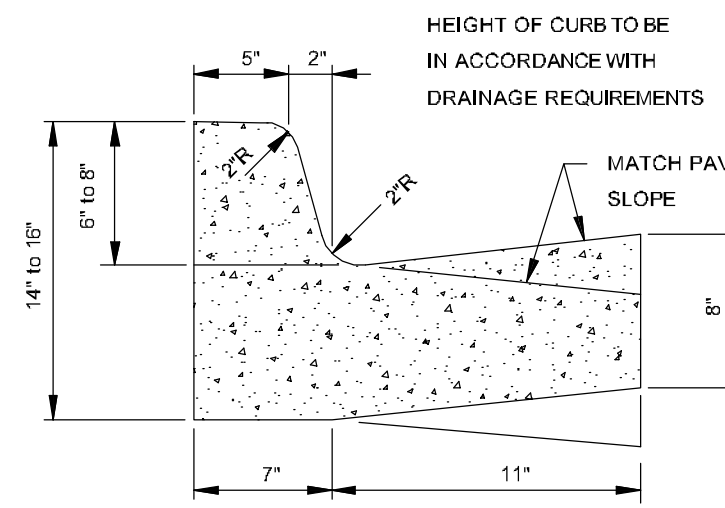


**'A' TYPICAL DITCH DETAIL**  
N.T.S.



**TYPE 'B' CURB & GUTTER**  
N.T.S.

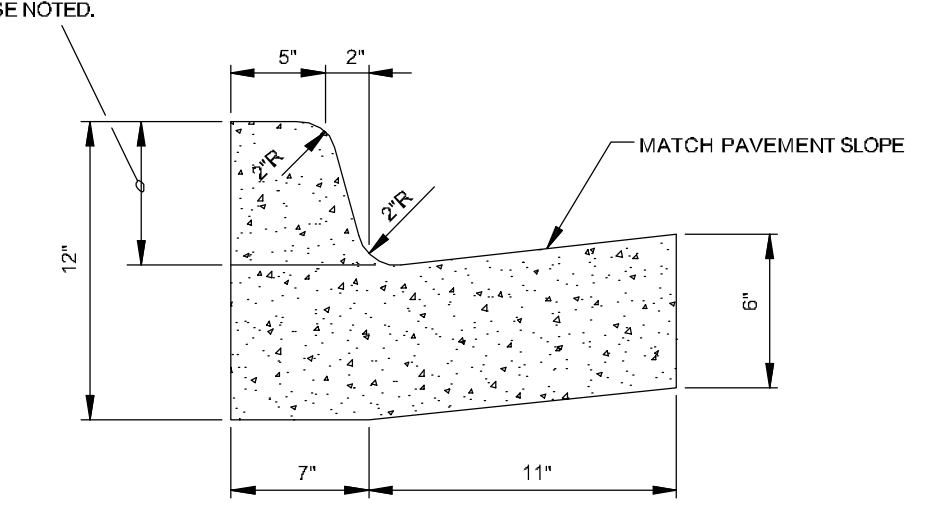
NOTE: CONTRACTION AND EXPANSION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF JONESBORO SPECIFICATIONS  
NO DRIVEWAY CUTS ALLOWED WITH THIS TYPE OF CURB



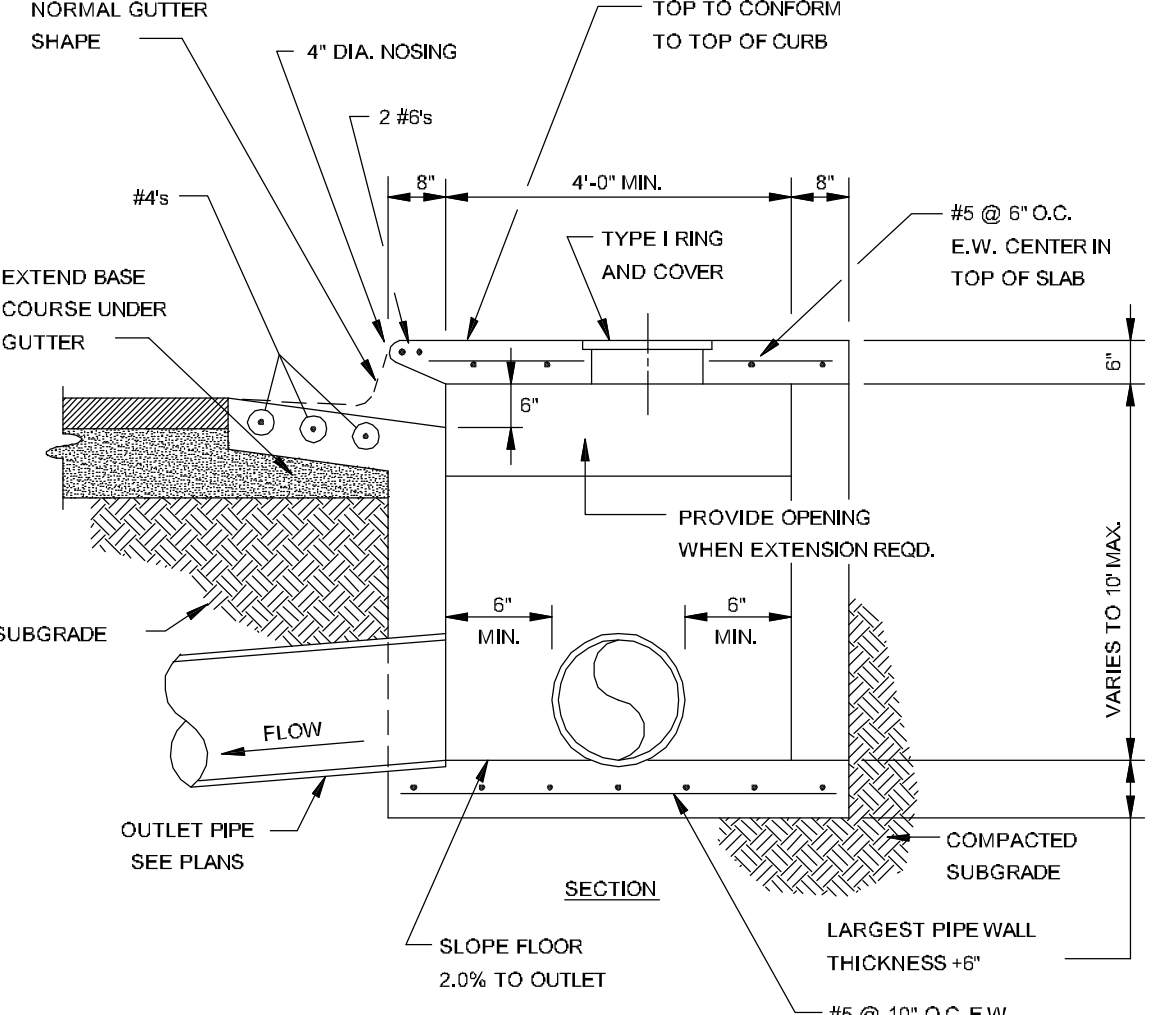
**TYPE 'A-18' (BARRIER) ARTERIAL STREETS**

**COMBINATION CURB & GUTTER**  
N.T.S.

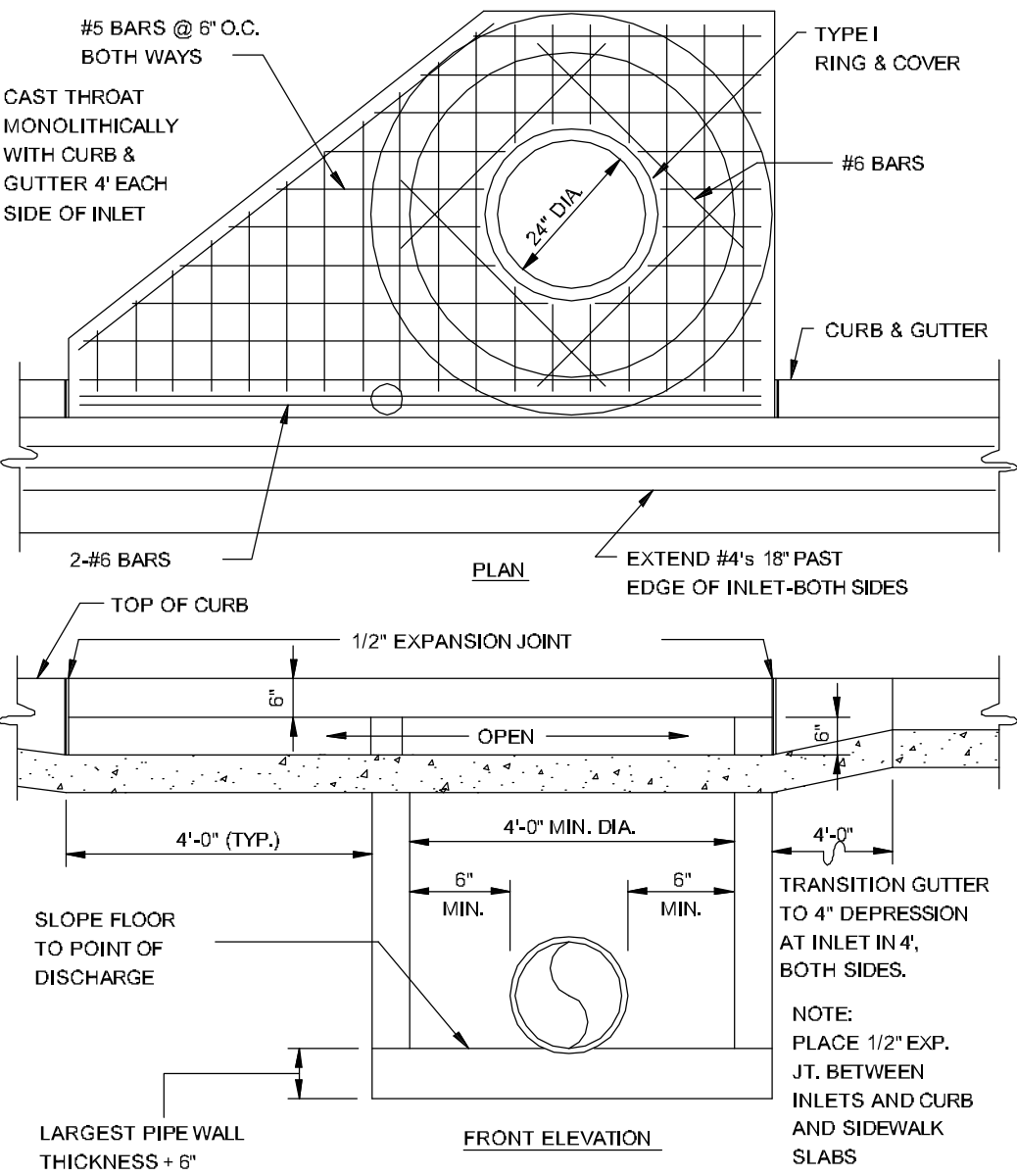
NOTE: CONTRACTION AND EXPANSION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.



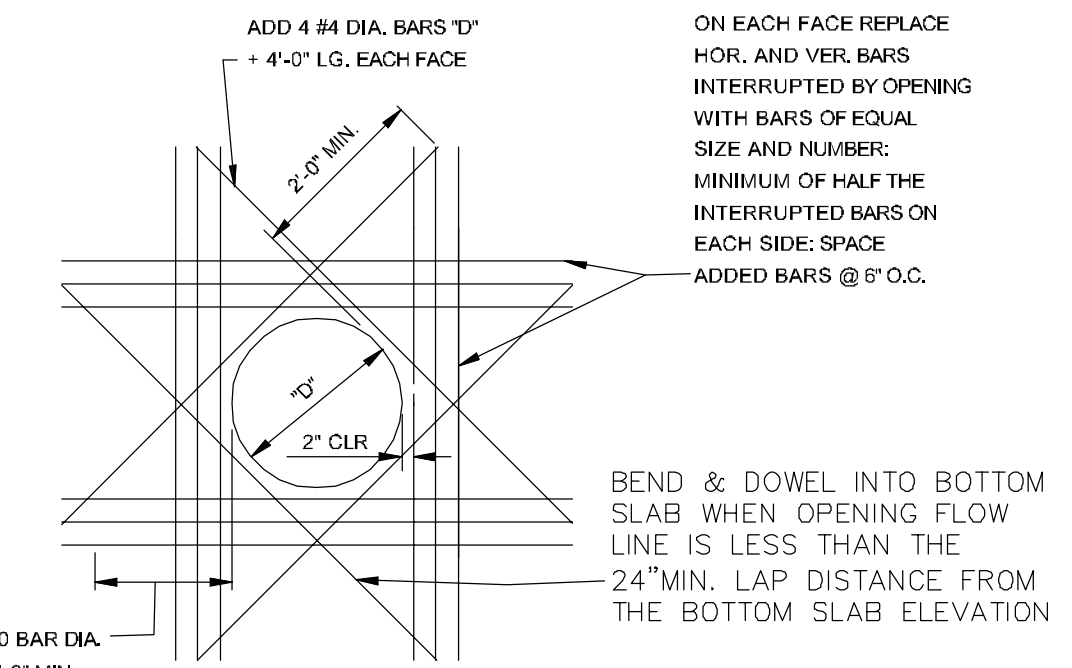
**TYPE 'A-18' (BARRIER) RESIDENTIAL & COLLECTOR STREETS**



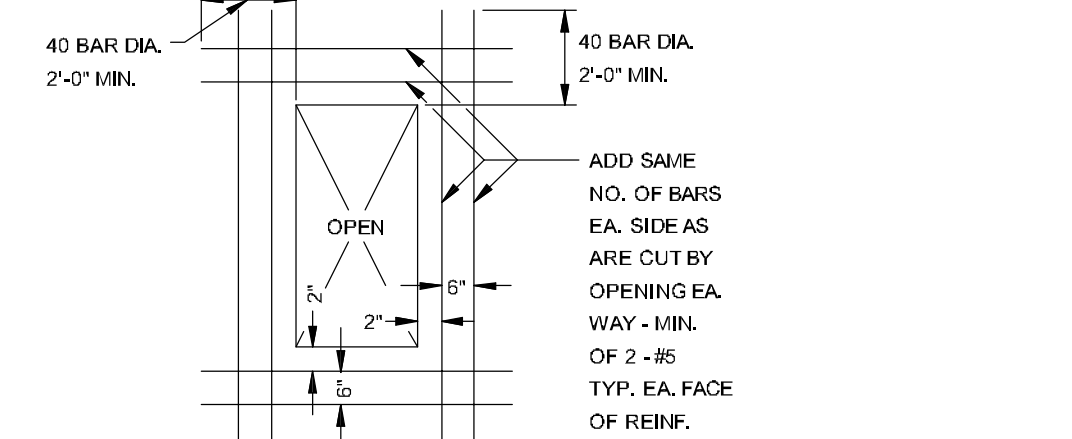
**SECTION - CIRCULAR CURB INLET**  
N.T.S.



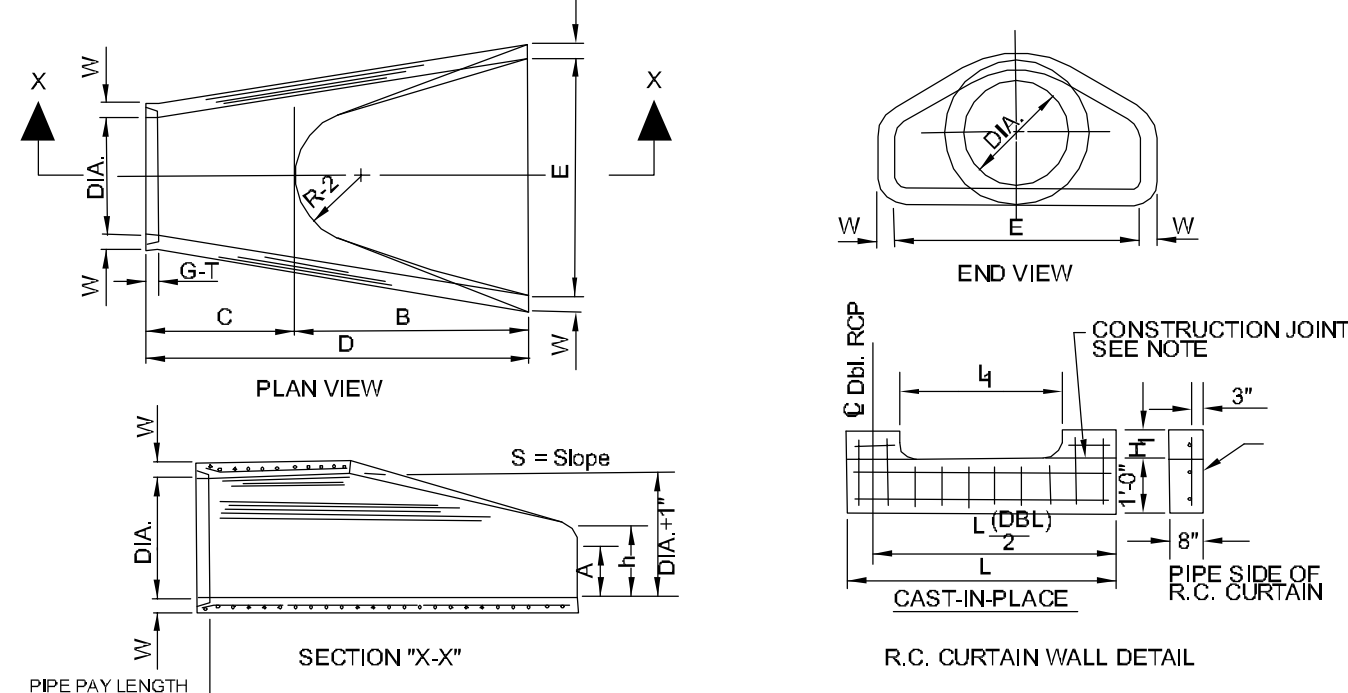
**CIRCULAR CURB INLET W/ INLET EXTENSION**  
N.T.S.



**ADDED REINFORCEMENT AT ROUND OPENING IN WALL OR SLAB**  
N.T.S.



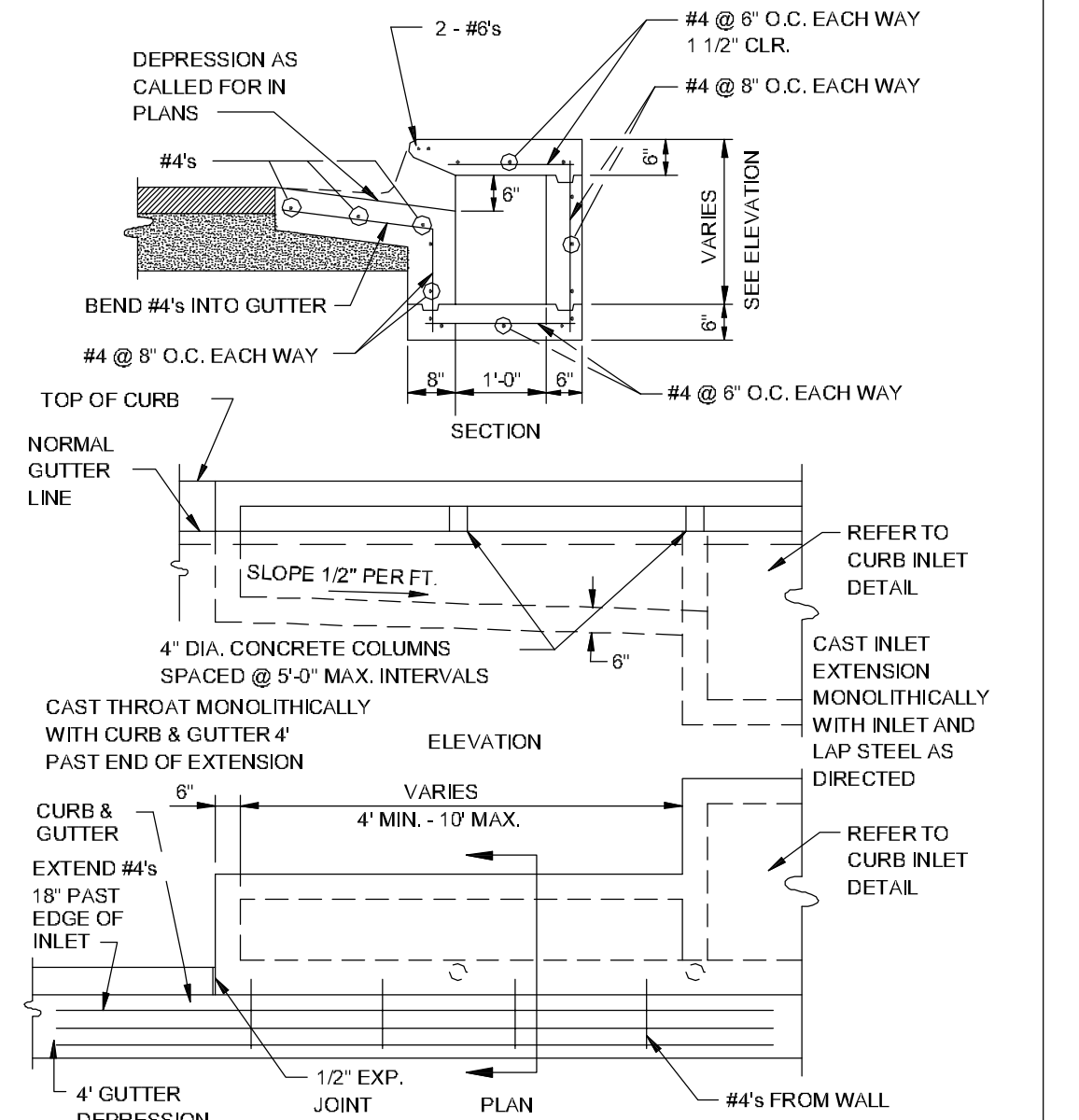
**ADDED REINFORCEMENT AT RECTANGULAR OPENING IN WALL OR SLAB**  
N.T.S.



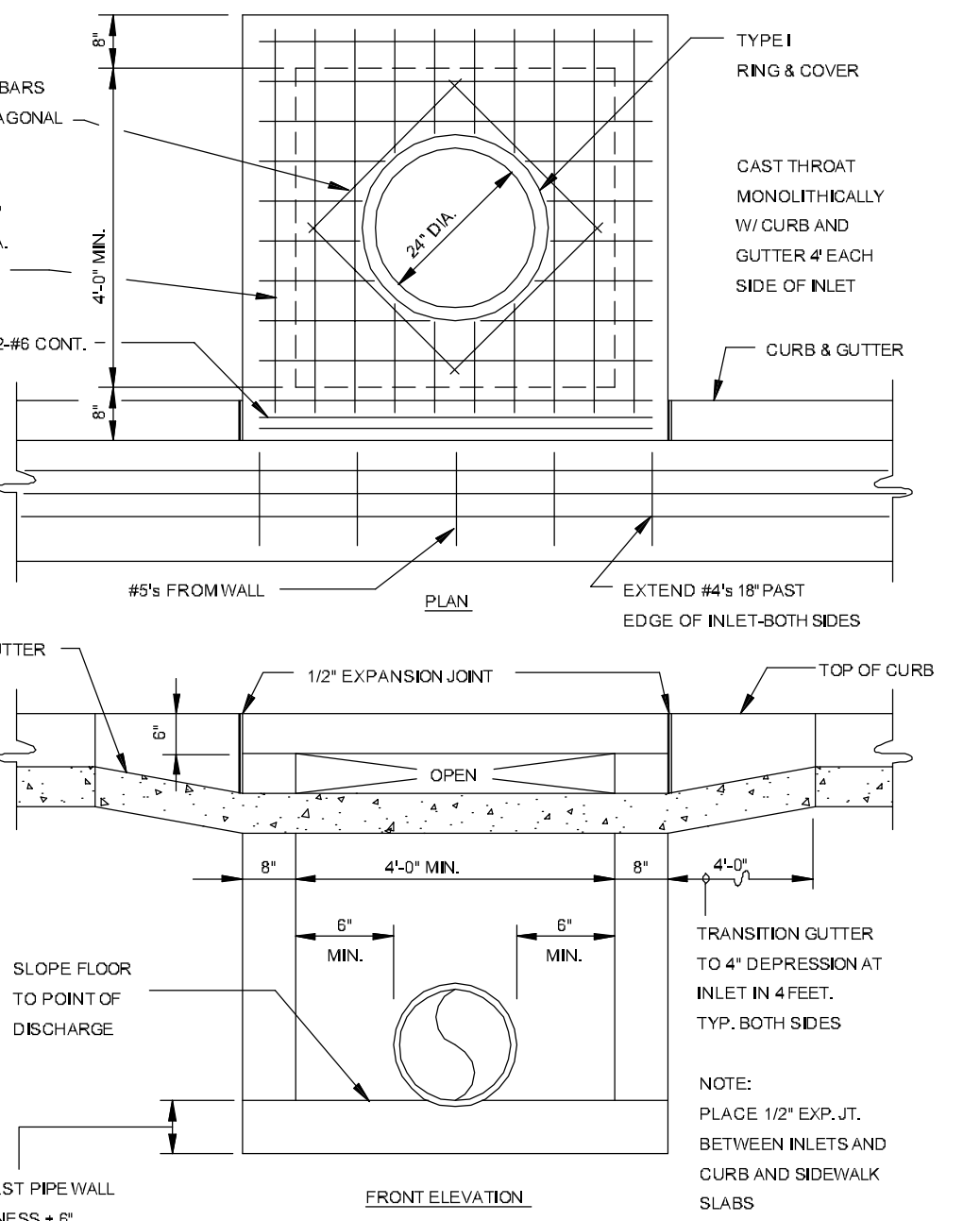
PIPE LENGTH	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	
18'	2 1/2"	9"	2-9"	35-10"	65-1"	35-0"	3-1"	18"	29"	15 1/2"	12"	2"	1000	150 1/2"													
24'	3"	9 1/2"	2-7 1/2"	32-0"	65-1 1/2"	40-0"	3-1"	25"	33 3/16"	16 13/16"	14"	2 1/2"	1600	151 1/2"													
30'	3 1/2"	10"	4"	27 1/2"	65-1 3/4"	45-0"	3-1"	31"	39"	18 1/2"	16"	3 1/2"	1540	154 5/8"													
36'	4"	10 1/2"	5"	24 1/4"	65-1 3/4"	50-0"	3-1"	37"	47 13/16"	24 5/16"	20"	3 1/2"	4100	155"													
42'	4 1/2"	10 3/4"	5 1/2"	24 1/2"	65-1 3/4"	55-0"	3-1"	43"	53 7/8"	27 1/2"	22"	3 1/2"	1380	253 1/2"													
48'	5"	10 3/4"	6"	20"	65-1 3/4"	60-0"	3-1"	49"	58 1/2"	28 1/2"	24"	3 1/2"	6550	252"													
54'	5 1/2"	11"	6 1/2"	18 1/2"	65-1 3/4"	65-0"	3-1"	55"	63 1/8"	31 1/8"	24"	4"	6770	253 1/2"													
60'	6"	11 1/4"	7"	16 1/2"	65-1 3/4"	70-0"	3-1"	61"	71 1/2"	33 11/16"	24"	5"	8270	254"													
72'	7"	12 1/4"	8 1/2"	15 1/2"	65-1 3/4"	80-0"	3-1"	73"	77 13/16"	38 15/16"	24"	6"	13250	255"													

- NOTES:  
1. The portion of the R.C. Curtain Wall beneath the Flared End Section (Lower 1'-0") shall be placed monolithically. The Flared End Section shall then be set in place and the remaining portions of the R.C. Curtain Wall placed.  
2. All reinforcing steel are #4 Bars at 6" O.C.  
3. No separate payment will be made for the Curtain Walls. They shall be considered subsidiary to the Flared End Sections.  
4. Tongue End On Upstream Section. Groove End On Downstream Section.

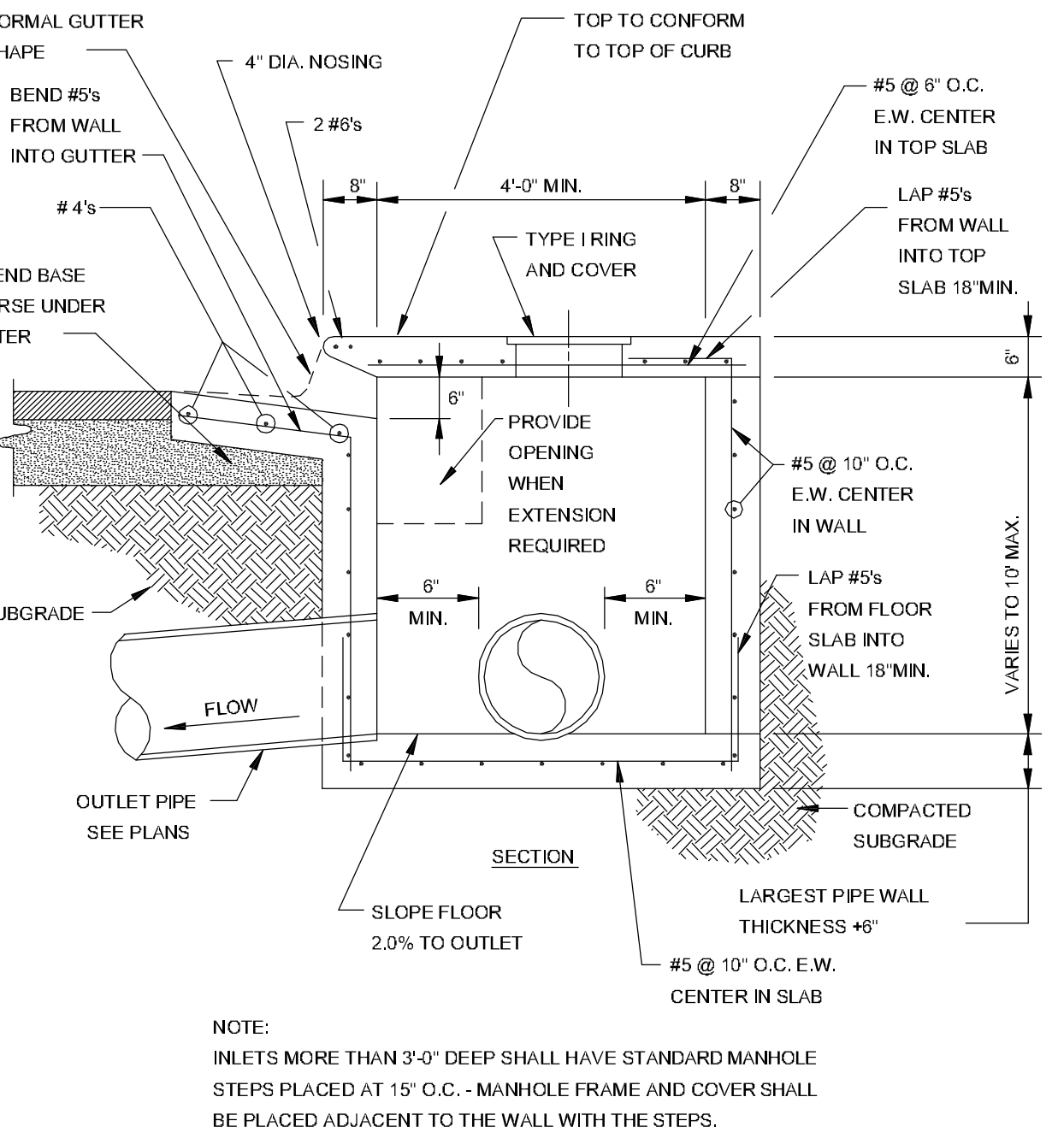
**FLARED END SECTION DETAIL FOR REINFORCED CONCRETE PIPE CULVERT**  
N.T.S.



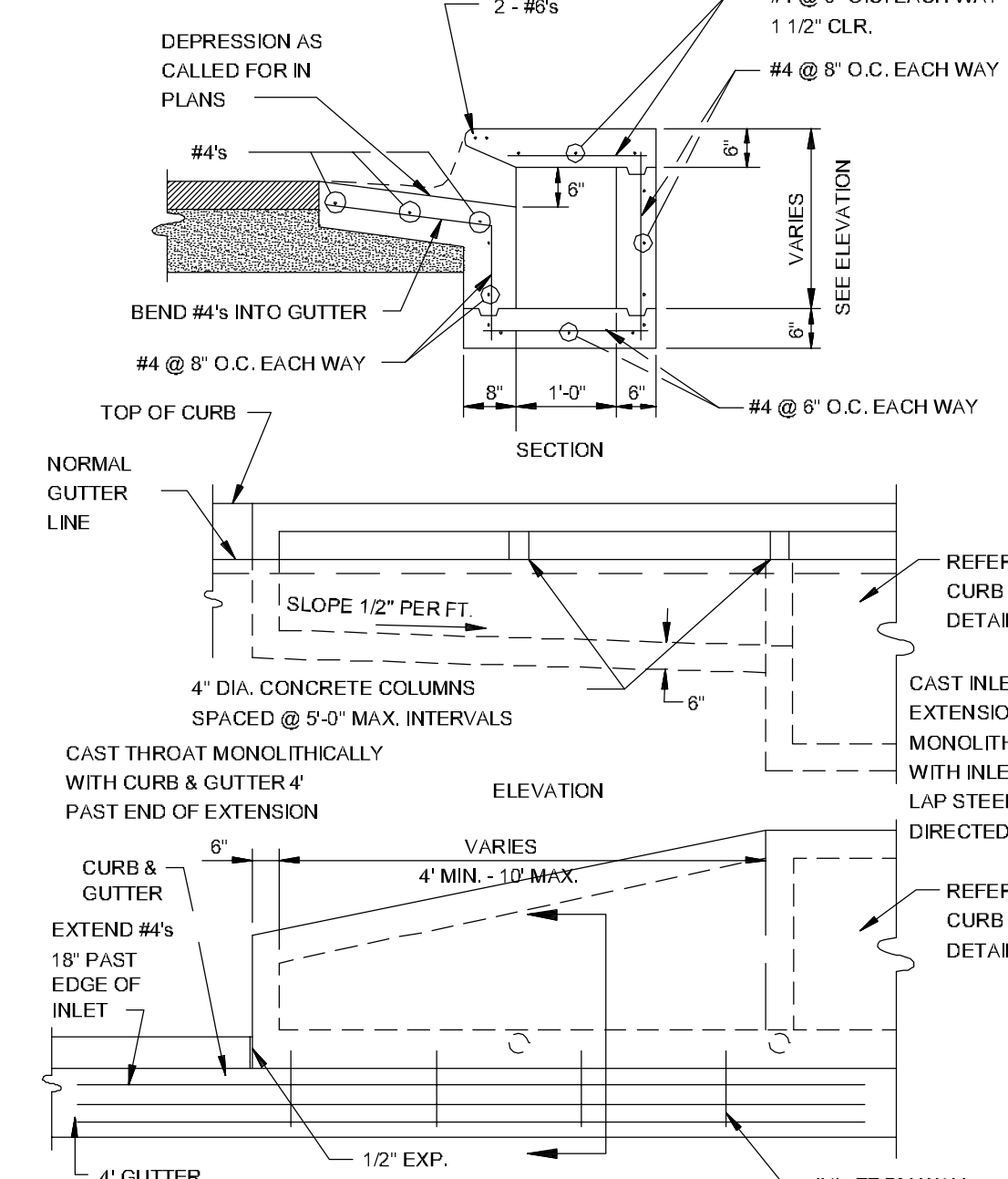
**RECTANGULAR CURB INLET EXTENSION**  
N.T.S.



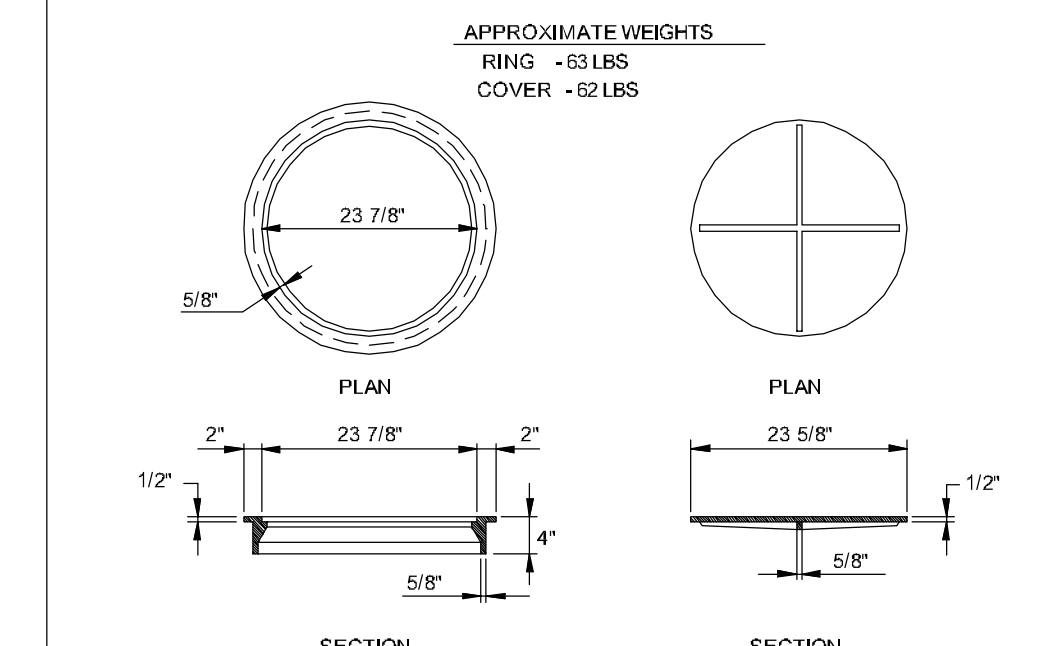
**RECTANGULAR CURB INLET**  
N.T.S.



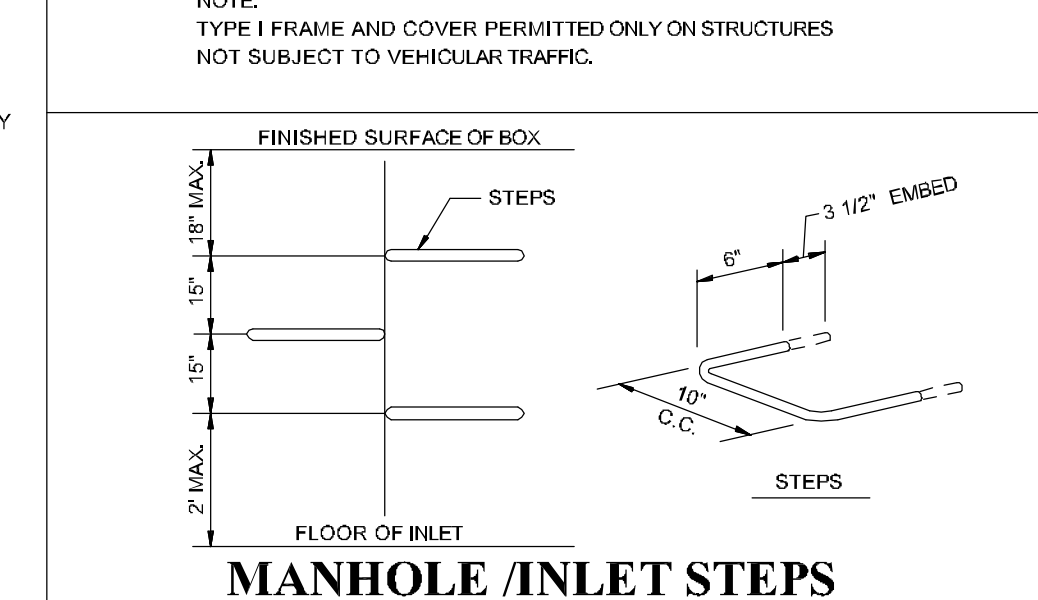
**SECTION - TYPICAL CURB INLET - TYPE 'A'**  
N.T.S.



**ALTERNATE CURB INLET EXTENSION**  
N.T.S.

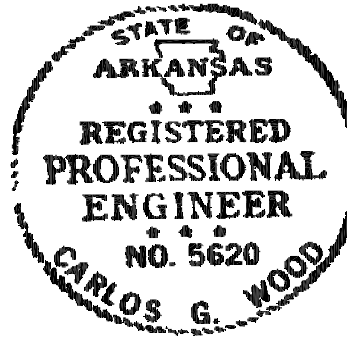


**TYPE I RING & COVER**  
N.T.S.



**MANHOLE / INLET STEPS**  
N.T.S.

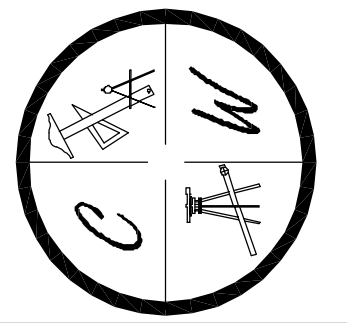
- STEPS SPECIFICATIONS:  
A. MANHOLE STEPS, CORROSION RESISTANT, COATED AND REINFORCED WITH STEEL PER ASTM C-475. STEEL REINFORCING MINIMUM 1/2" DIA/REBAR.  
B. CAPABLE OF SUPPORTING MINIMUM 300 LBS. LOAD.  
C. NON-SLIP TEXTURED TREADS.  
D. REQUIRED IN ALL STRUCTURES 3'-0" DEEP OR DEEPER, UNLESS SPECIFIED OTHERWISE.



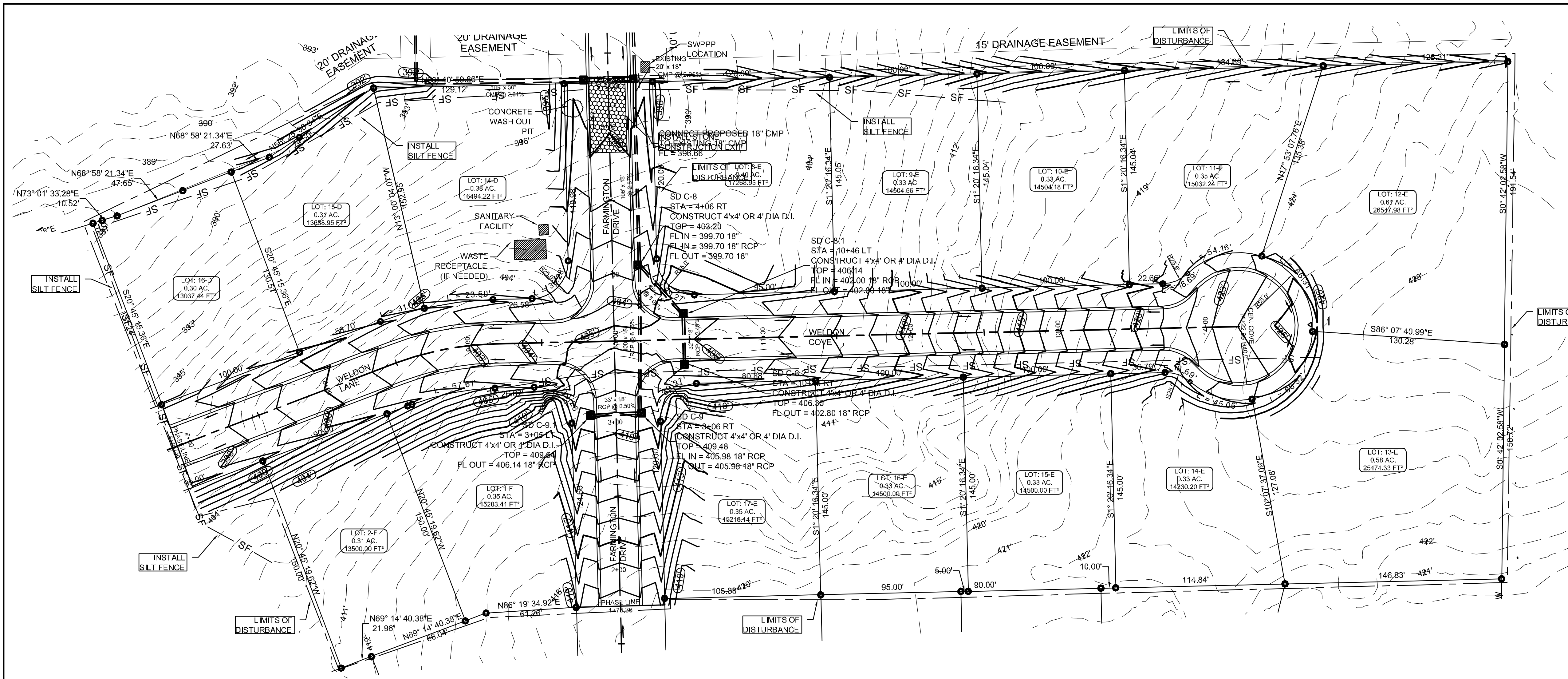
DATE: 1/3/18  
REV: 2/2/18

SCALE: AS SHOWN

**CARLOS WOOD, P.E.**  
ENGINEERING CONSULTANT  
122 CR 375  
BONO, AR 72416  
PHONE/FAX: (870) 972-8335  
EMAIL: WOODENGR@SBGLOBAL.NET  
WEBSITE: WWW.WOODENGR.COM







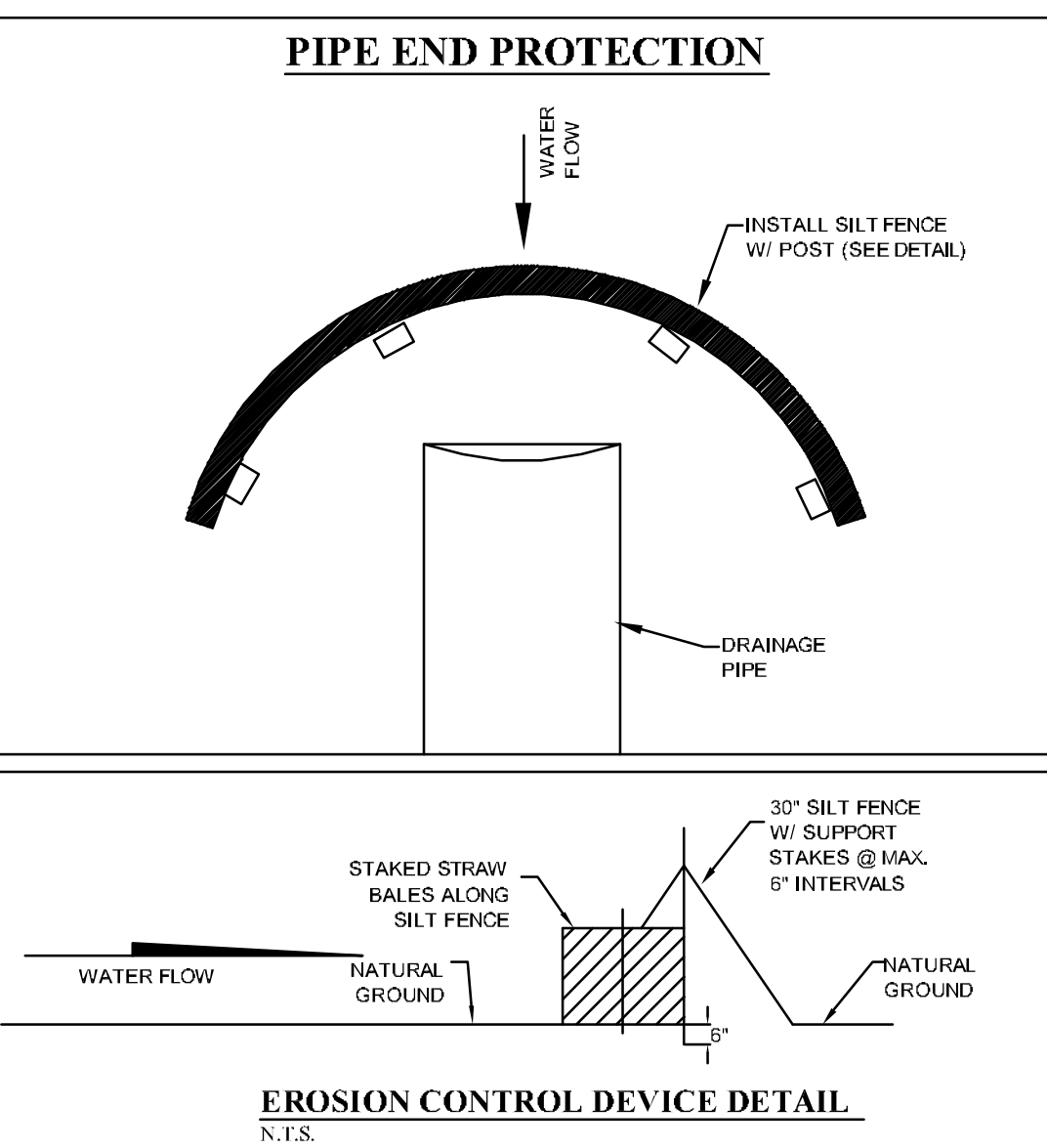
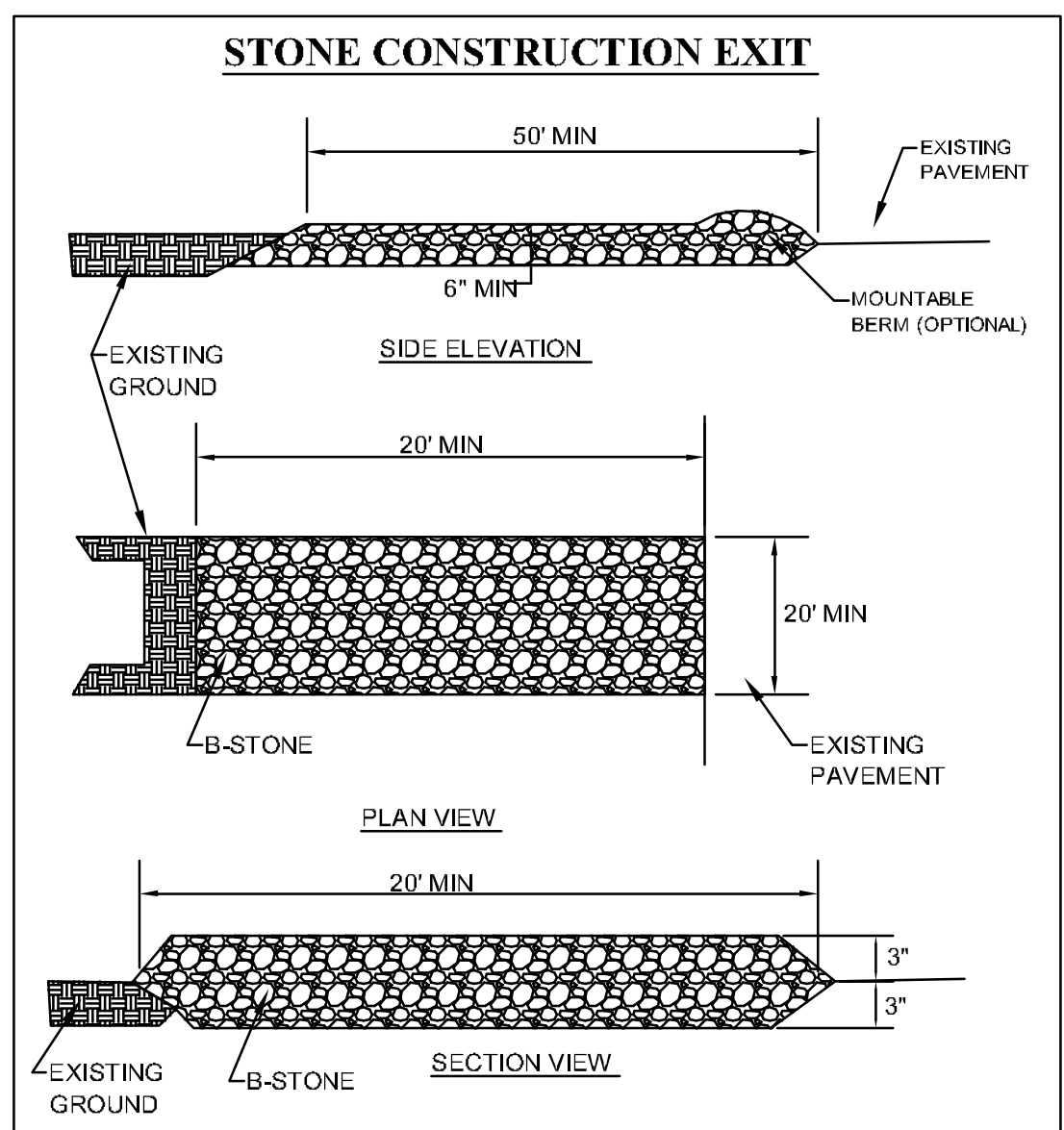
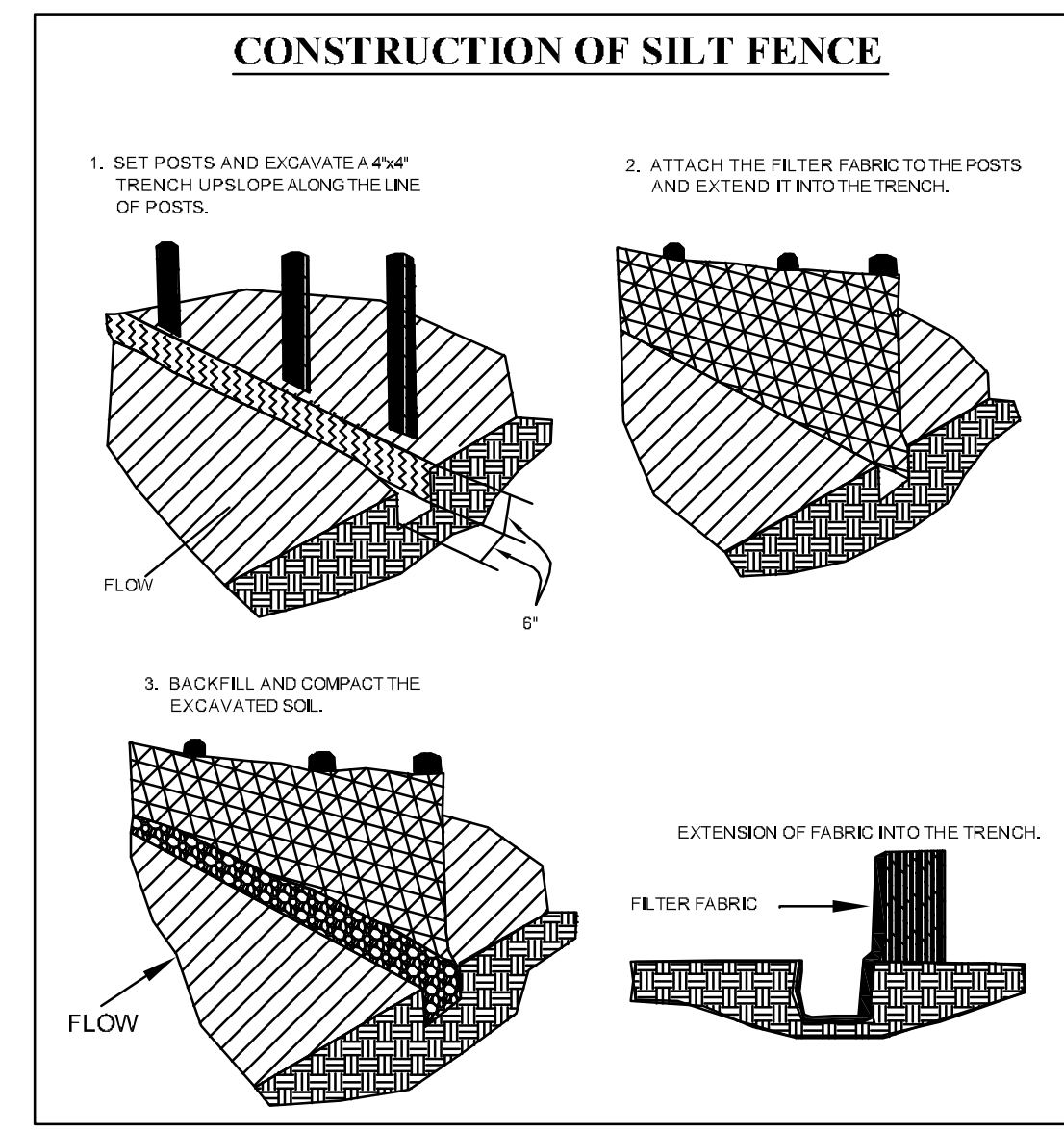
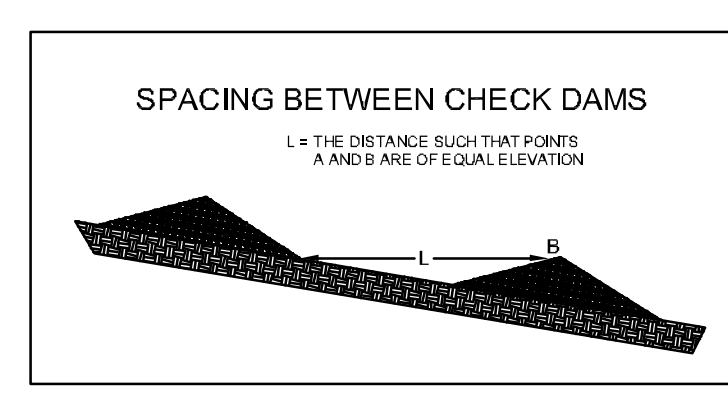
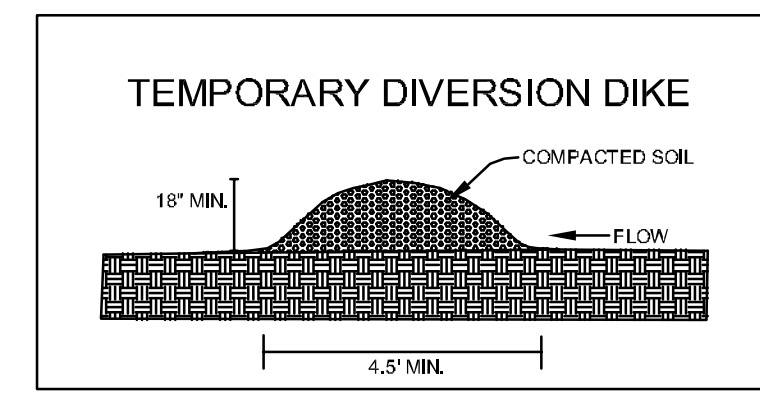
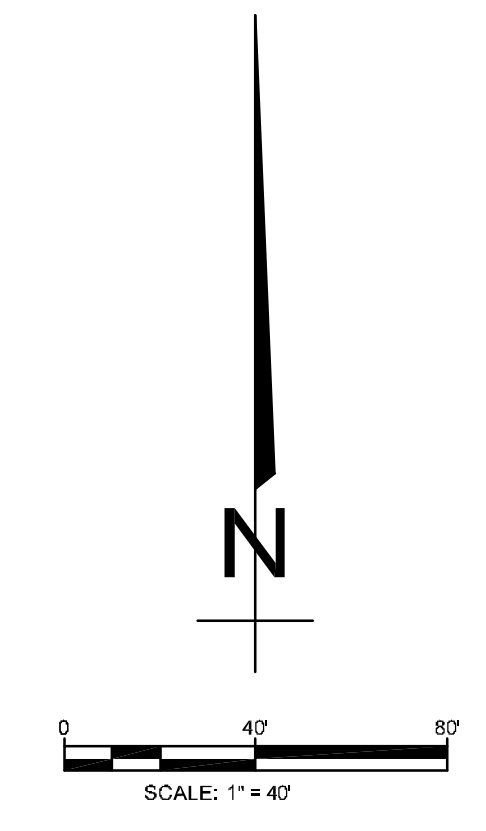
**OWNER / CONTRACTOR CERTIFICATION :**  
 I certify under penalty of law that I understand the terms and conditions of the General National Pollutant Discharge Elimination System (NPDES) Permit that authorizes the storm water discharges associated with the industrial activity from the construction site identified as part of this certification.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_  
 CONTRACTOR \_\_\_\_\_ DATE \_\_\_\_\_

**PROFESSIONAL PLAN CERTIFICATION :**  
 I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that all qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information submitted to, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

PRINTED NAME: \_\_\_\_\_ PRINTED TITLE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

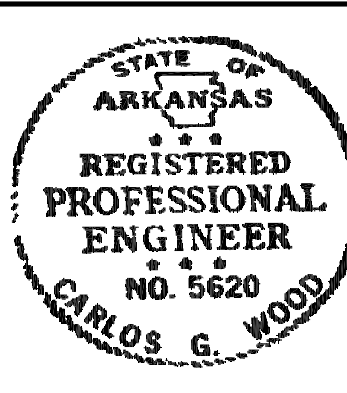
**NOTE:**  
 DEVELOPER SHALL OBTAIN REQUIRED ADEQ PERMIT PRIOR TO COMMENCING WORK ON THE SITE. PREPARE A SWPPP PLAN, AND DISPLAY THEM FOR PUBLIC ACCESS AT THE SITE.



**NOTES:**

- THIS DRAWING REPRESENTS THE SCHEMATIC MAP OF THE LOCATION AND TYPE OF THE MINIMUM EROSION CONTROL MEASURES ANTICIPATED FOR THIS SITE AND SHALL BE CONSIDERED A PART OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE CITY OF JONESBORO AND ADEQ. THIS MAP SHALL BE UPDATED AND MODIFIED PERIODICALLY AS SPECIFIED IN THE SWPPP PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF ARKANSAS NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT).
- THE OWNER SHALL BE RESPONSIBLE FOR SUBMITTING THE NOTICE OF INTENT TO THE CITY OF JONESBORO ENGINEERING DEPARTMENT AND ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AS REQUIRED BY THE GENERAL NPDES PERMIT REGULATIONS AND OBTAINING THE REQUIRED PERMIT FROM ADEQ.
- CONTRACTOR SHALL INSTALL, INSPECT, MAINTAIN, REPAIR, AND MODIFY ALL EROSION CONTROL MEASURES AND SWPPP PLAN IN ACCORDANCE WITH THE GENERAL PERMIT REQUIREMENTS TO KEEP THEM IN GOOD WORKING CONDITION THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. FAILURE TO MAINTAIN COMPLIANCE MAY RESULT IN THE DENIAL OF BUILDING AND CONSTRUCTION INSPECTIONS UNTIL CORRECTIONS HAVE BEEN MADE. CONTRACTOR SHALL MAINTAIN A CONTINUOUS UPDATED SWPPP PLAN AND MAP ON SITE (IN A CONTAINER MARKED AS SUCH TO IDENTIFY THE PLAN) IN A PUBLIC ACCESSIBLE LOCATION FOR REVIEW AND INSPECTION BY THE APPROPRIATE INSPECTORS.
- SILT FENCE & OTHER EROSION CONTROL DEVICES SHALL BE INSTALLED (AS SHOWN ON THE MAP) TO PREVENT MIGRATION OF SEDIMENT TO ADJACENT PROPERTIES & ALONG TOP OF DITCH BANK TO ENSURE THAT THE EXISTING DITCHES ARE NOT CONTAMINATED WITH SEDIMENT DURING CONSTRUCTION. ADDITIONAL LOCATIONS MAY BE NECESSARY AS CONSTRUCTION PROGRESSES. AREAS DISTURBED BY CONSTRUCTION SHALL BE TEMPORARILY SEEDED IN AREAS WHERE CONSTRUCTION CEASES FOR 14 DAYS AND PERMANENT SEEDING SHOULD BE INITIATED IMMEDIATELY (WEATHER PERMITTING) AT THE COMPLETION OF GRADING IN AREAS THAT CONSTRUCTION IS COMPLETED. THE LOCAL SOIL CONSERVATION SERVICE CAN BE CONTACTED FOR ASSISTANCE.
- CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION EXIT (PRIOR TO CONSTRUCTION) AT THE LOCATIONS CONSTRUCTION VEHICLES LEAVE THE SITE TO PREVENT DUST AND MUD TRACKING ONTO STREETS. CONTRACTOR SHALL CLEAN ALL TRACKING MATERIALS FROM STREETS AS FREQUENTLY AS NECESSARY TO MAINTAIN CLEAN STREETS AND AT A MINIMUM OF THE END OF THE DAY.
- AN INSPECTION SHALL BE MADE WEEKLY. ALL OBSERVED DEFICIENCIES OF THE BEST MANAGEMENT PRACTICES (BMPs) WILL BE RECORDED AND REPAIRED AS SOON AS POSSIBLE.
- SEDIMENT SHALL BE REMOVED FROM ALL EROSION CONTROL DEVICES WHEN SEDIMENT REACHES 50% OF THE DEVICE CAPACITY.
- A SOLID WASTE CONTAINER SHALL BE PROVIDED FOR SOLID WASTE REMOVAL.
- A TEMPORARY SANITARY SEWER CONTAINER SHALL BE PROVIDED.
- A CONCRETE WASTE PIT SHALL BE PROVIDED AS NEEDED DURING THE CONSTRUCTION OF THE SITE.
- TOTAL AREA IS 7.14 ACRES, TOTAL DISTURBED IS 4.0 ACRES.

ECM-1

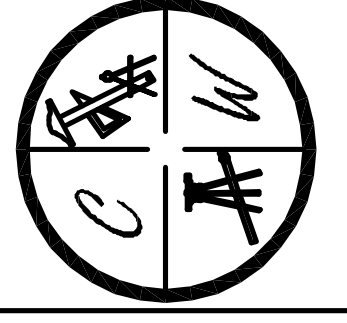


**BARRINGTON PARK PHASE VI**  
**JONESBORO, AR**  
 EROSION CONTROL MAP

DATE: 1/3/12  
 REV: 2/2/12

SCALE: 1" = 40'

CARLOS WOOD, P.E.  
 ENGINEERING CONSULTANT  
 122 CR 375  
 BONO, AR 72416  
 PHONE/FAX: (870) 972-8335  
 EMAIL: WOODENR@SBCGLOBAL.NET  
 WEBSITE: WWW.WOODENR.COM





# BARRINGTON PARK PHASE VI

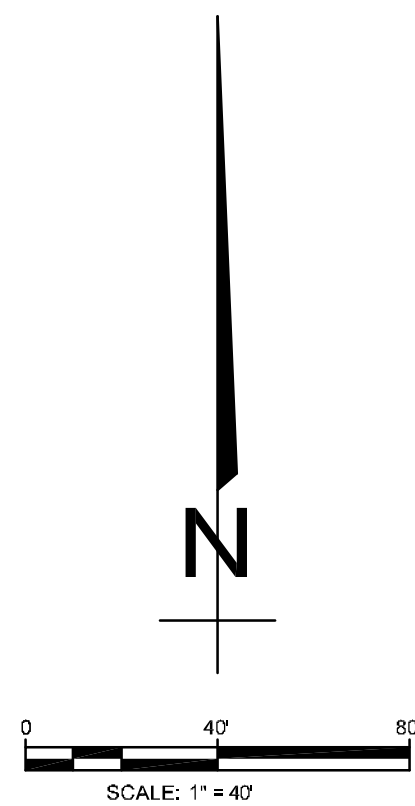
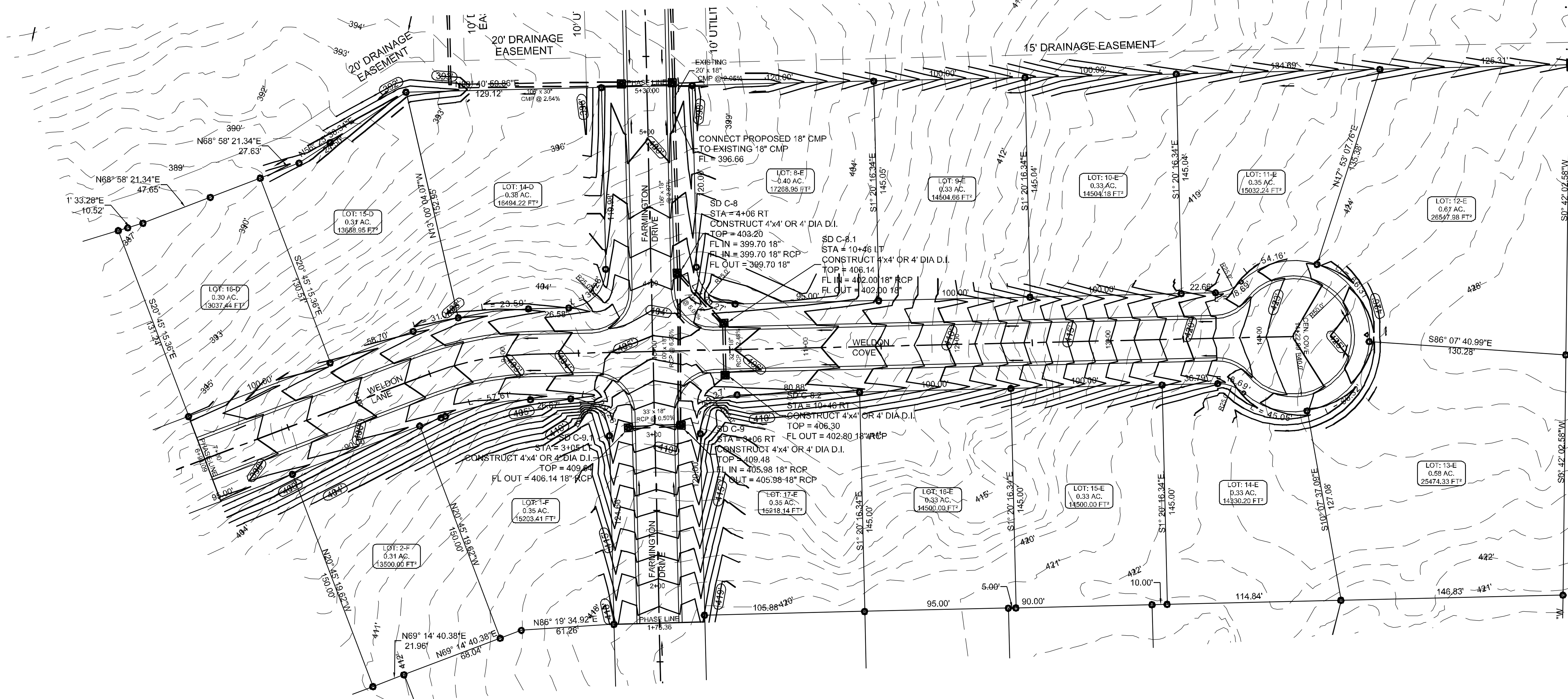
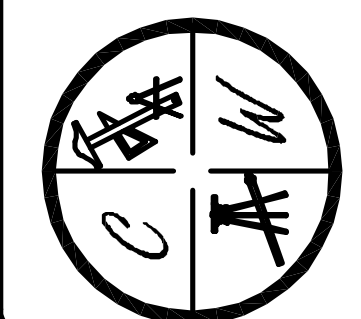
JONESBORO, AR

TOPOGRAPHY, DRAINAGE,  
& GRADING PLAN

DATE: 1/30/12  
REV: 2/28/12

DRAWN BY: EC

CARLOS WOOD, P.E.  
ENGINEERING CONSULTANT  
122 CR 375  
BONO, AR 72416  
PHONE/FAX: (870) 972-8335  
EMAIL: WOODENGR@SBCGLOBAL.NET  
WEBSITE: WWW.WOODENGR.COM



LEGEND	
	CURB
	EXISTING CONTOUR
	PROPOSED CONTOUR
	STORM DRAIN INLET
	STORM DRAIN PIPE
	BENCHMARK

**NOTE:**  
DEVELOPER SHALL OBTAIN GRADING PERMIT FROM THE CITY OF JONESBORO ENGINEERING DEPARTMENT PRIOR TO COMMENCING EARTHWORK AND/OR CLEARING OPERATIONS.

DEVELOPER SHALL OBTAIN REQUIRED ADEQ PERMIT PRIOR TO COMMENCING WORK ON THE SITE, PREPARE A SWPP PLAN, AND DISPLAY THEM FOR PUBLIC ACCESS AT THE SITE.

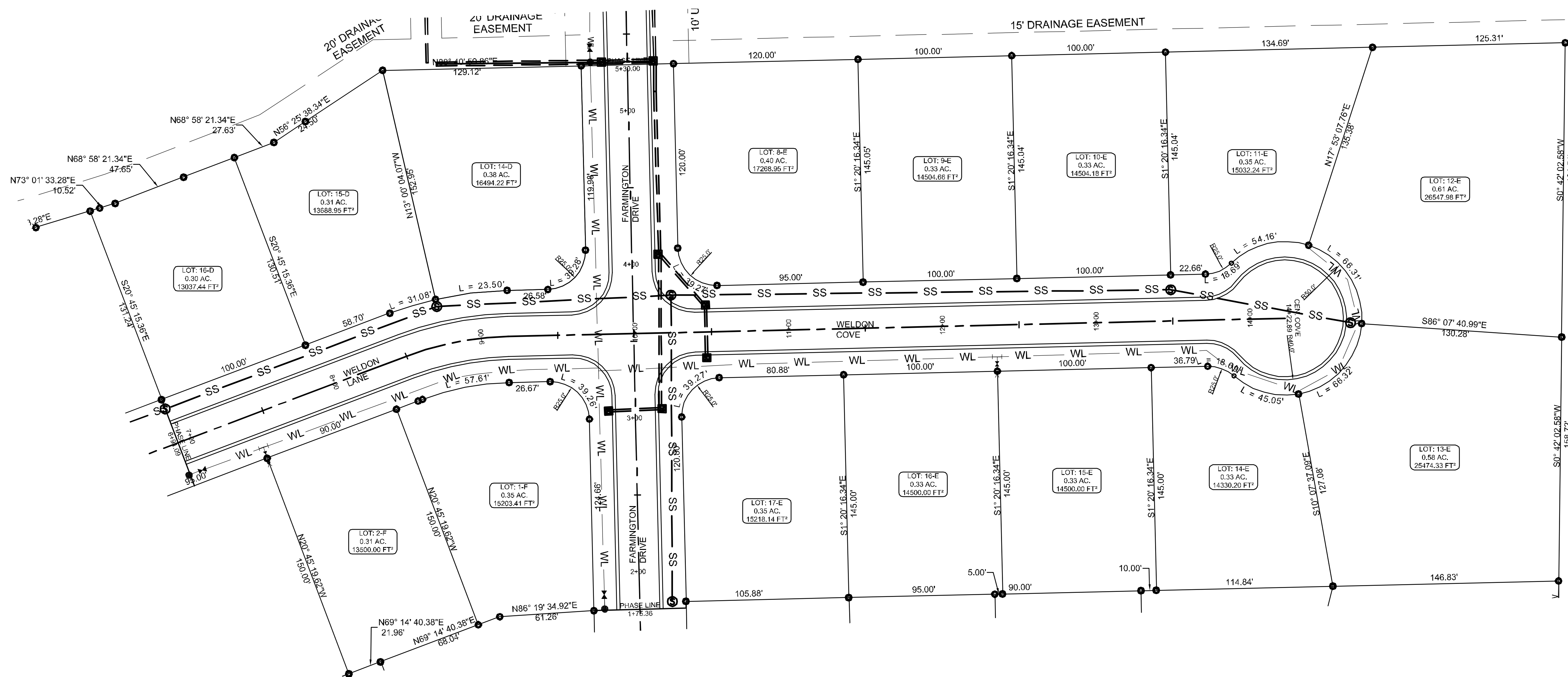
**SURVEY CONTROL REFERENCE MARKS:**

- JONESBORO MONUMENT # 89
- JONESBORO MONUMENT # 43

VERTICAL CONTROL IS NAVD 88  
HORIZONTAL CONTROL IS NAD 83





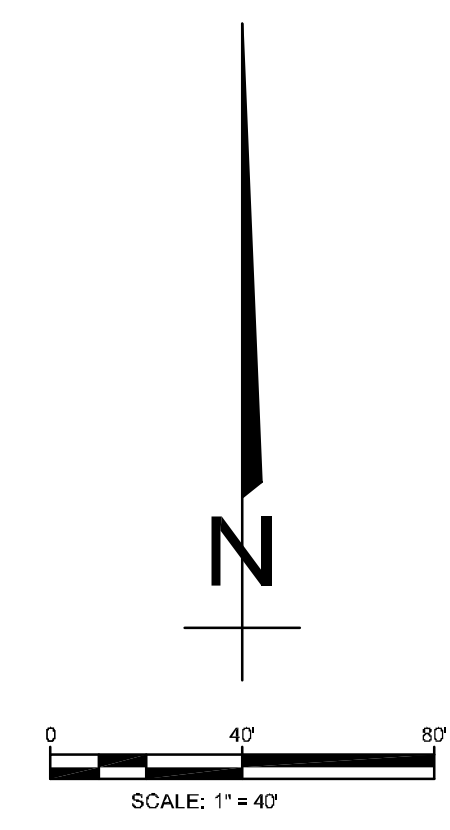


# BARRINGTON PARK PHASE VI

JONESBORO, AR  
PROPOSED  
UTILITY LAYOUT

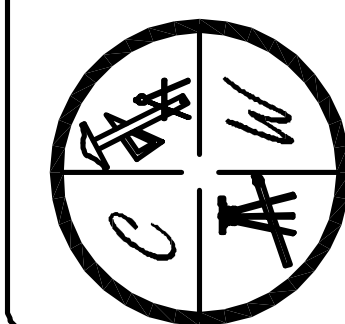
DATE: 1/3/12  
REV: 2/2/12

SCALE: 1" = 40'



LEGEND	
	CURB
	FIRE HYDRANT
	BLOW-OFF ASSEMBLY
	GATE VALVE
	WATER LINE
	SANITARY SEWER LINE
	SANITARY SEWER MANHOLE
	STORM DRAIN INLET
	STORM DRAIN PIPE

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BONO, AR 72416  
PHONE/FAX: (870) 972-8335  
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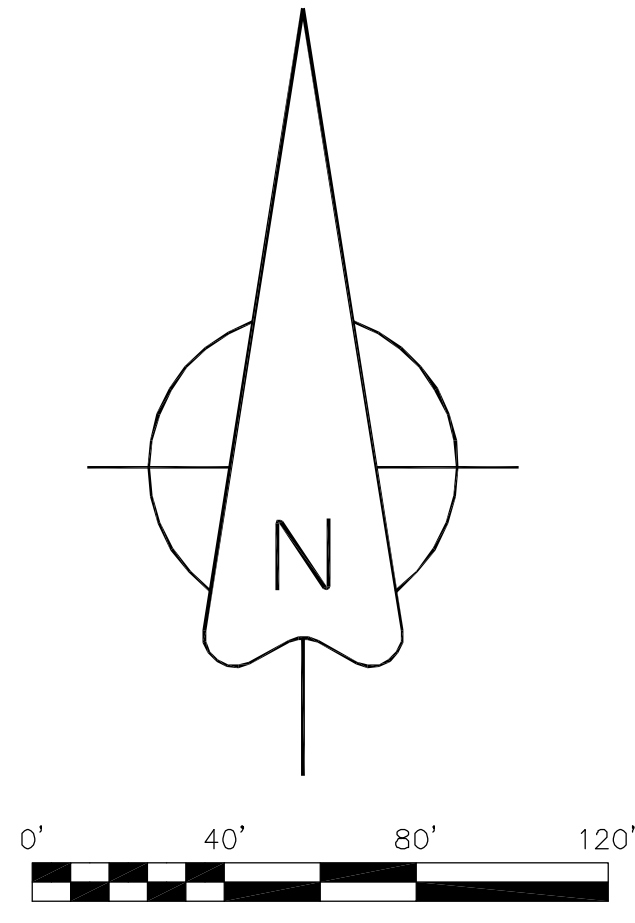




# LEGEND

These standard symbols will be found in the drawing.

- ⊙ FOUND CORNER AS NOTED
- SET 1/2" REBAR W/ CAP
- ⊙ FD COTTON PICKER SPINDLE
- ▲ HIGHWAY RIGHT OF WAY MARKER
- ⊙ FOUND REBAR
- △ CALCULATED CORNER
- FENCE LINE
- ELECTRIC
- ⊙ SET PK NAIL
- ⊕ POWER POLE

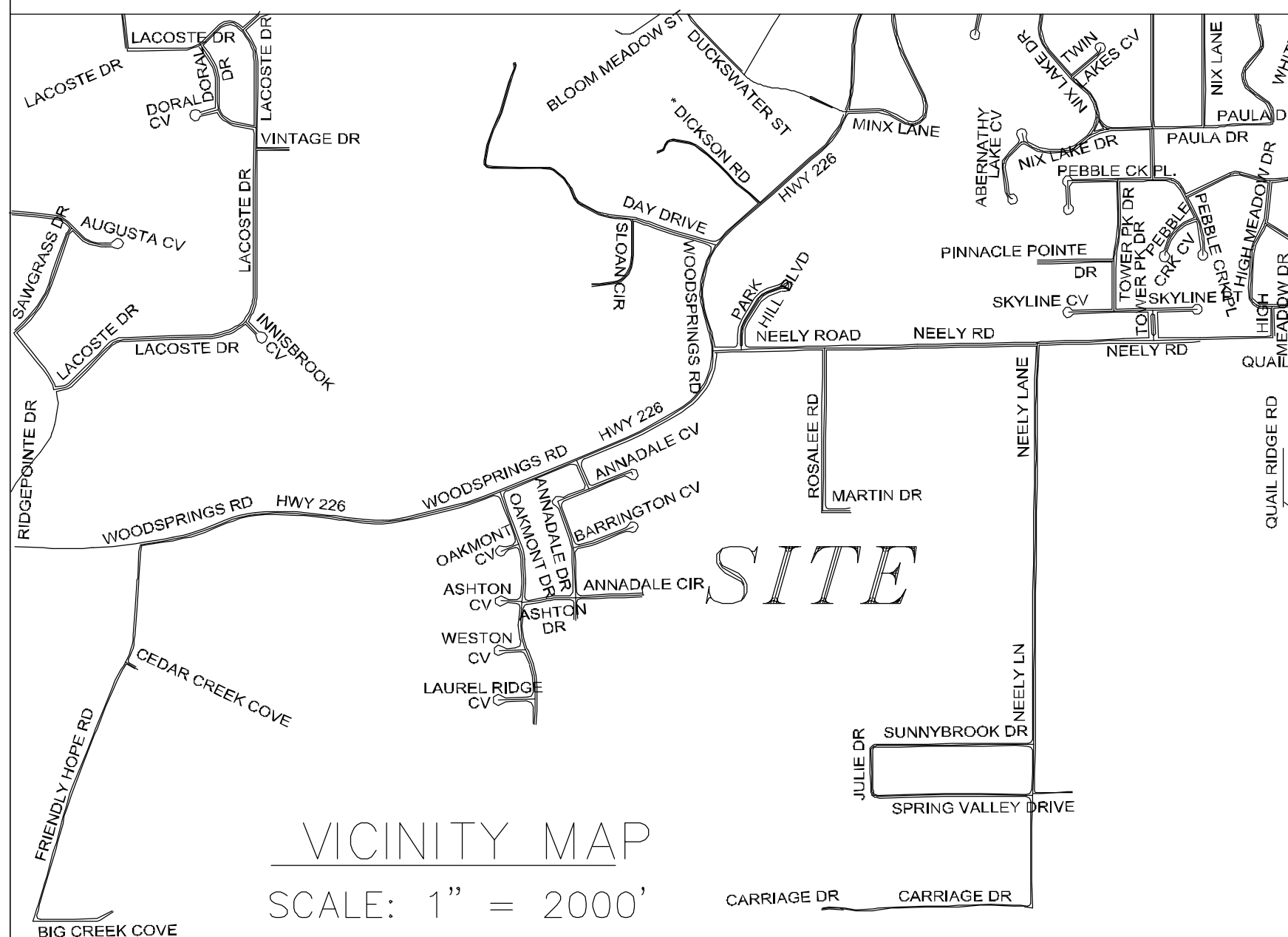


BEARINGS ARE NAD 83 SPC GRID BEARINGS AS GPS OBSERVATION AND USGS TIES ARKANSAS NORTH ZONE CONVERGENCE ANGLE 0°43'30.53" SCALE FACTOR -0.99999432

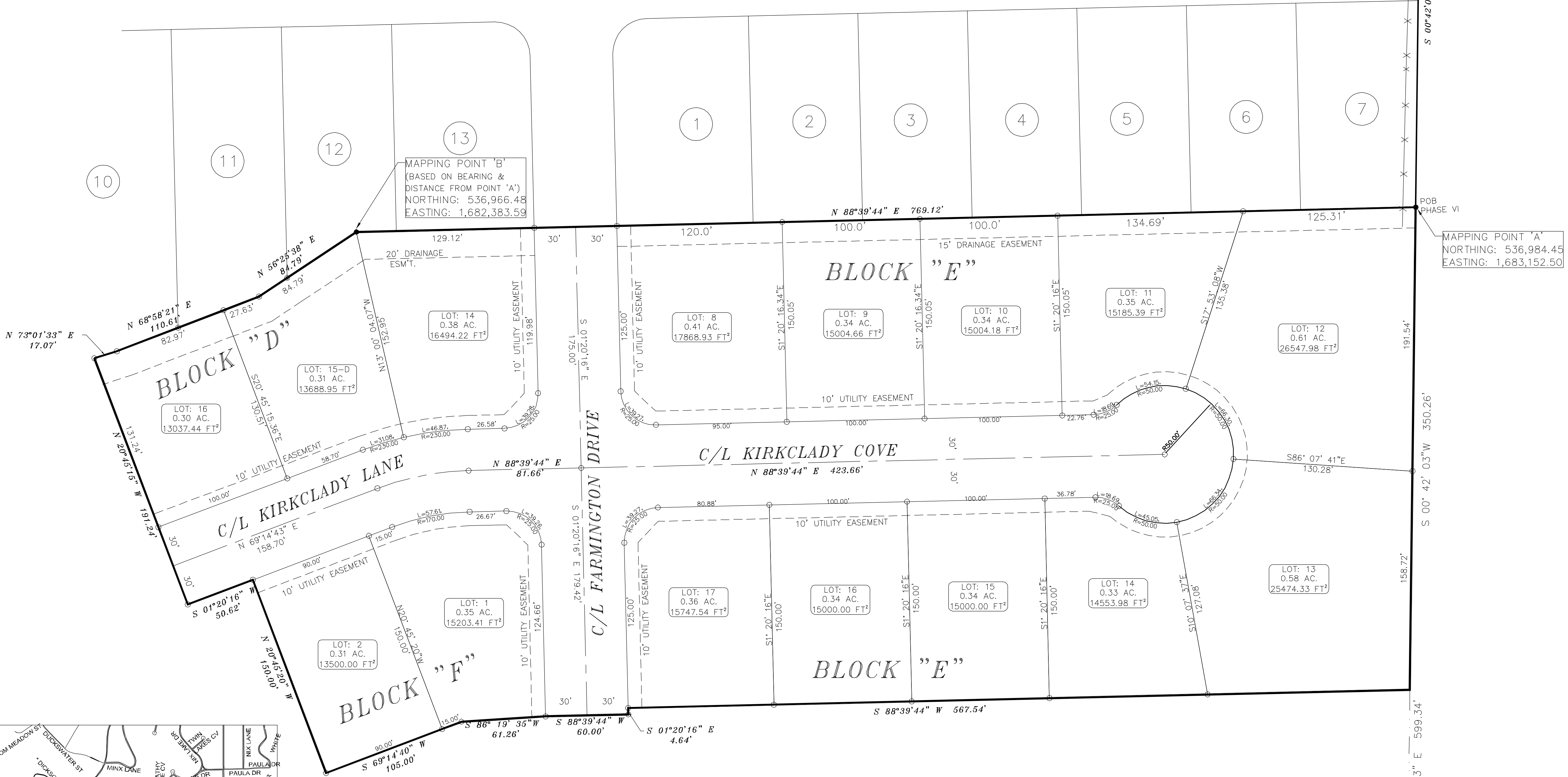
### NOTE:

- 25' FRONT YARD BUILDING SETBACK
- 7.5' SIDE YARD BUILDING SETBACK
- 25' REAR YARD BUILDING SETBACK

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in **ZONE X** of the Flood Insurance Rate Map, **Community Panel No. 05031C0150 C & 05031C0131 C**, effective date of **Sept. 27, 1991**. Exact designations can only be determined by an Elevation Certificate. Based on the above information. This property **IS NOT** in a Special Flood Hazard Area.



VICINITY MAP  
SCALE: 1" = 2000'



### DESCRIPTION:

A PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 14 NORTH, RANGE 3 EAST, CRAIGHEAD COUNTY, ARKANSAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Commencing at the Northeast corner of the Southeast Quarter of the Northeast Quarter of said Section 34; thence North 00°42'03" West 360.23 feet to the point of beginning proper; thence South 00°42'03" West 350.26 feet; thence South 88°39'44" West 567.54 feet; thence South 01°20'16" East 4.64 feet; thence South 88°39'44" West 60.00 feet; thence South 86°19'35" West 61.26 feet; thence North 69°14'40" West 105.00 feet; thence North 20°45'20" West 150.00 feet; thence South 01°20'16" West 50.62 feet; thence North 20°45'15" West 191.24 feet; thence North 73°01'33" East 17.07 feet; thence North 68°58'21" East 110.61 feet; thence North 66°25'38" East 84.79 feet; thence North 88°39'44" East 769.12 feet; to the point of beginning proper, having an area of 311,020.63 square feet, 7.14 acres more or less and being subject to all public and private roads and easements

### SURVEYOR'S CERTIFICATION :

THIS IS TO CERTIFY I HAVE ON THIS DATE SURVEYED THE ABOVE DESCRIBED PROPERTY IN ACCORDANCE WITH MONUMENTS FOUND AND THIS PLAT CONFORMS TO THAT SURVEYED.

**H&S HIME PROFESSIONAL SURVEYING SERVICES**

POB No. 353  
BROOKLAND, ARKANSAS 72417

### OWNER CERTIFICATION:

WE HEREBY CERTIFY THAT WE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE ADOPT THE PLAN OF THE SUBDIVISION AND DEDICATED PERPETUAL USE OF ALL STREETS AND EASEMENTS AS NOTED AND WE FURTHER CERTIFY THAT WE HAVE READ AND ACKNOWLEDGED THE FOLLOWING STATEMENT.

THE SUBDIVIDER OR DEVELOPER MUST, BEFORE THE SALE OF ANY LOT OR LOTS, EITHER COMPLETE THE IMPLEMENTS DESIGNED IN SECTION 15.16.01 OF THE JONESBORO SUBDIVISION REGULATION AND AS SPECIFICALLY IDENTIFIED IN THE RECORD PLAT AND SUPPORT DOCUMENTATION OR FURNISH THE METROPOLITAN AREA PLANNING COMMISSION EVIDENCE THAT AN APPROPRIATED FUNDED ESCROW AGREEMENT IN THE AMOUNT OF CONTRACT COST OF STREET IMPROVEMENTS REQUIRED BY SECTION 16.15.01 THAT ARE NOT COMPLETED AT THE DATE OF SALE OF THE LOT OR LOTS FROM CLOSEST IMPROVED STREET TO AND INCLUDING ALL FRONT FEET OF SAID LOT OR LOTS

FD IRON PIPE  
NE CORNER  
SE 1/4, NE 1/4, SECTION 34  
T14N, R3E

MAPPING POINT 'A'  
NORTHING: 536,984.45  
EASTING: 1,683,152.50

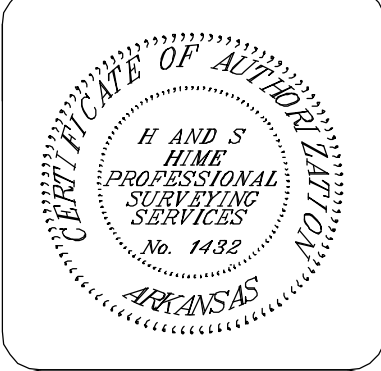
FD IRON PIPE  
SE CORNER  
SE 1/4, NE 1/4, SECTION 34  
T14N, R3E

**H&S HIME PROFESSIONAL SURVEYING SERVICES**

PHONE: 870-972-1288  
FAX: 870-972-1011  
E-MAIL: hshime\_dutch@yahoo.com

**BARRINGTON PARK, PHASE VI  
RECORD PLAT  
JONESBORO, ARKANSAS**

DATE: 2/28/2012  
REV:  
DRAWN BY: HH/BGW



HERBERT C. HIME  
REGISTERED PROFESSIONAL SURVEYOR  
STATE OF ARKANSAS  
NO. 1142  
SIGNATURE  
PLS # 1142