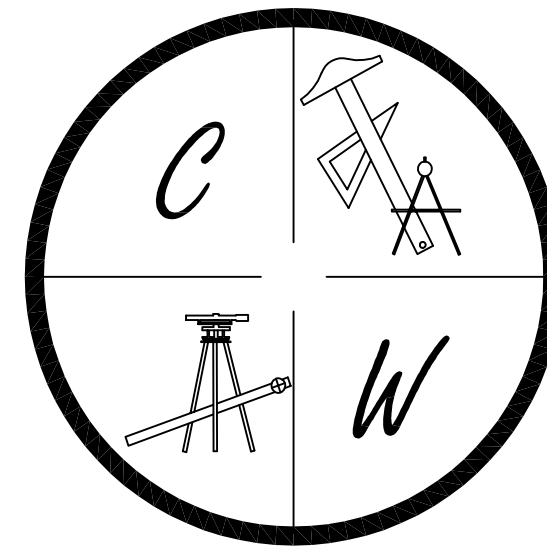


CWC MECHANICAL

NESTLE ROAD
JONESBORO, ARKANSAS

MARCH 29, 2010

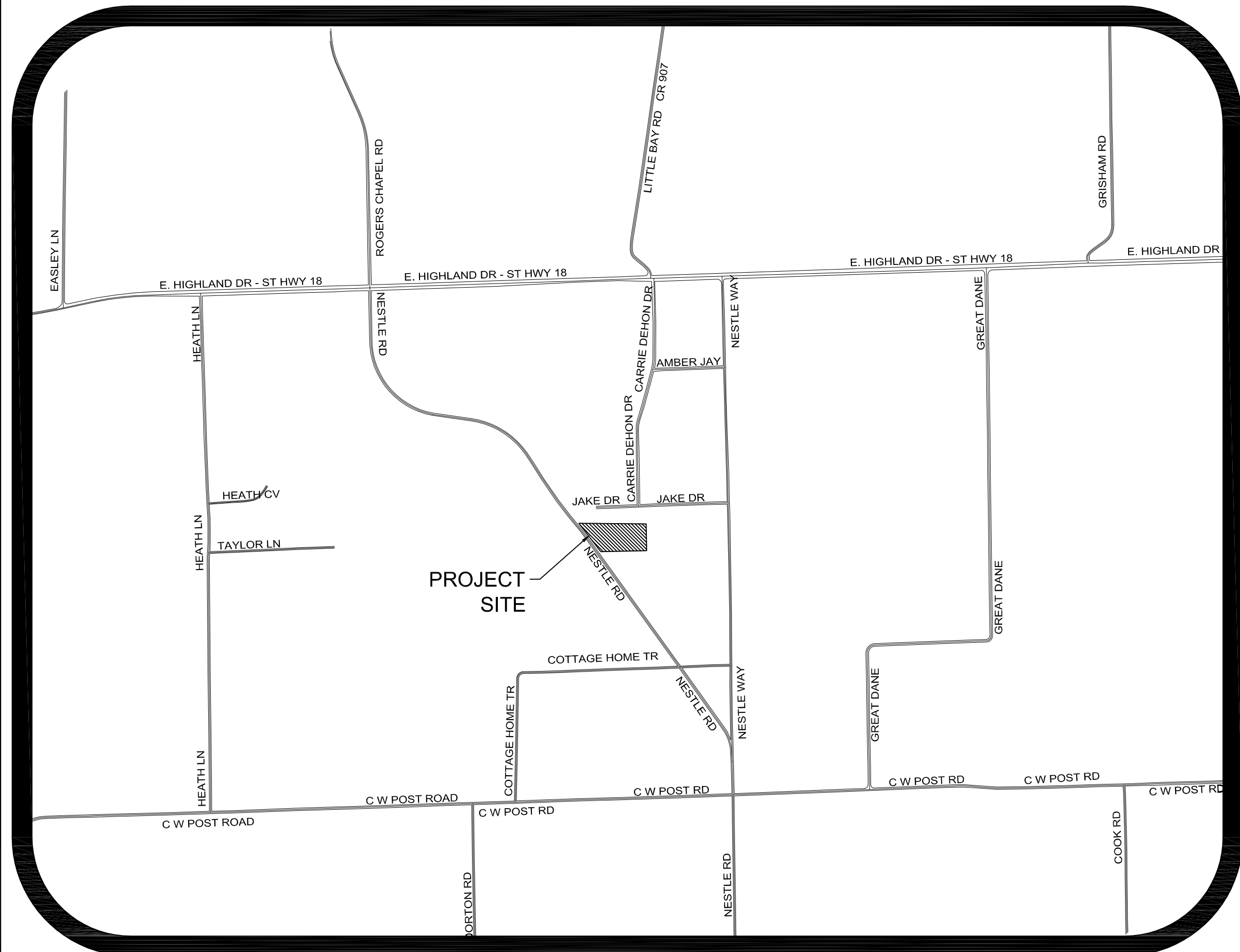


CARLOS WOOD, P.E.
ENGINEERING CONSULTANT
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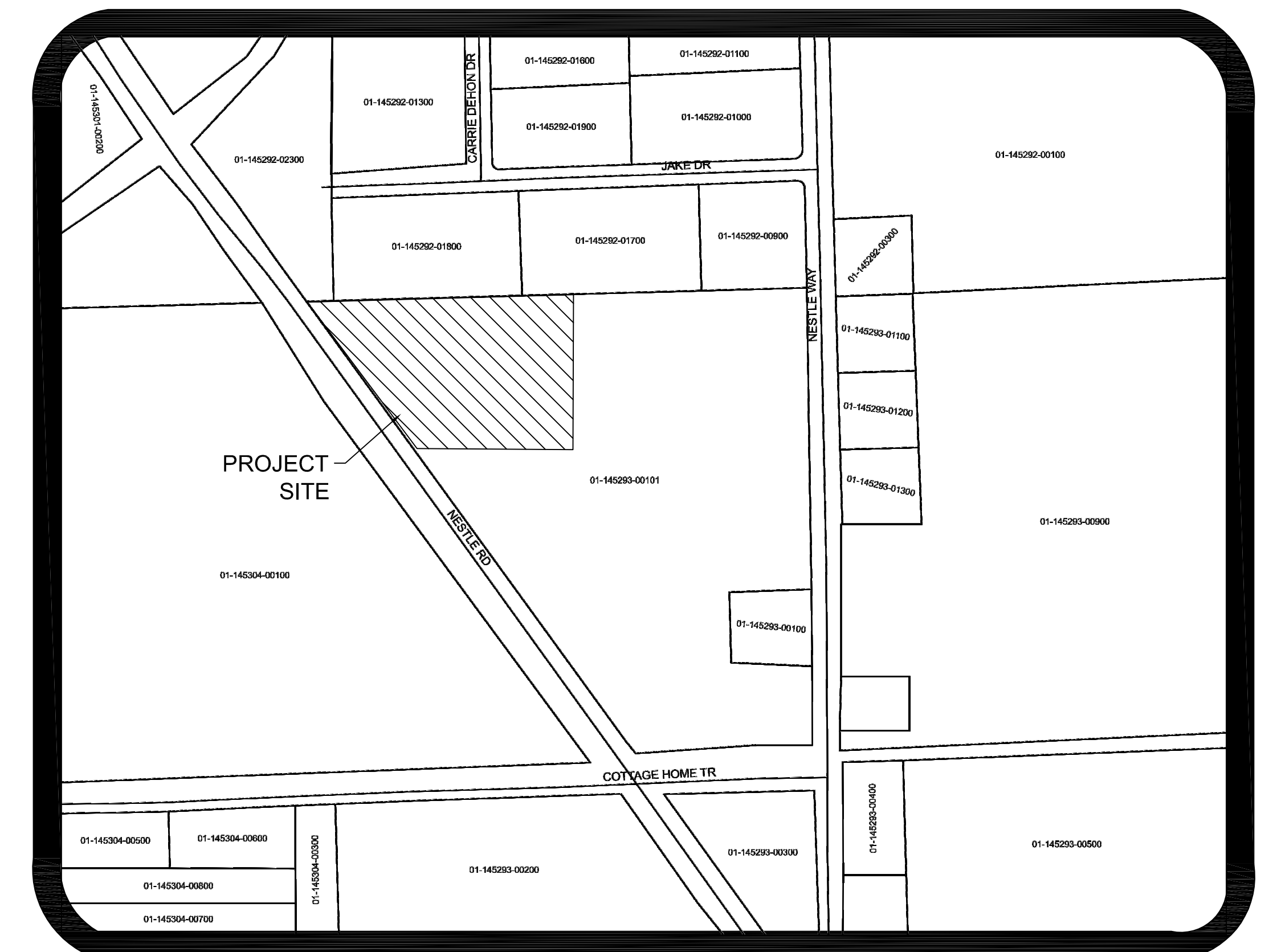
STREET VICINITY MAP

SCALE: 1" = 1000'



PARCEL VICINITY MAP

NOT TO SCALE



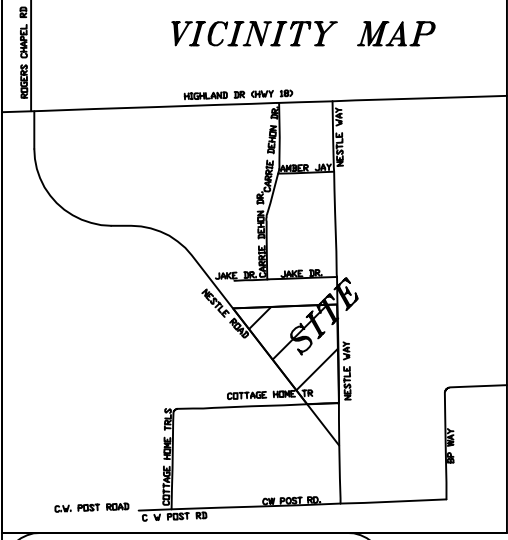
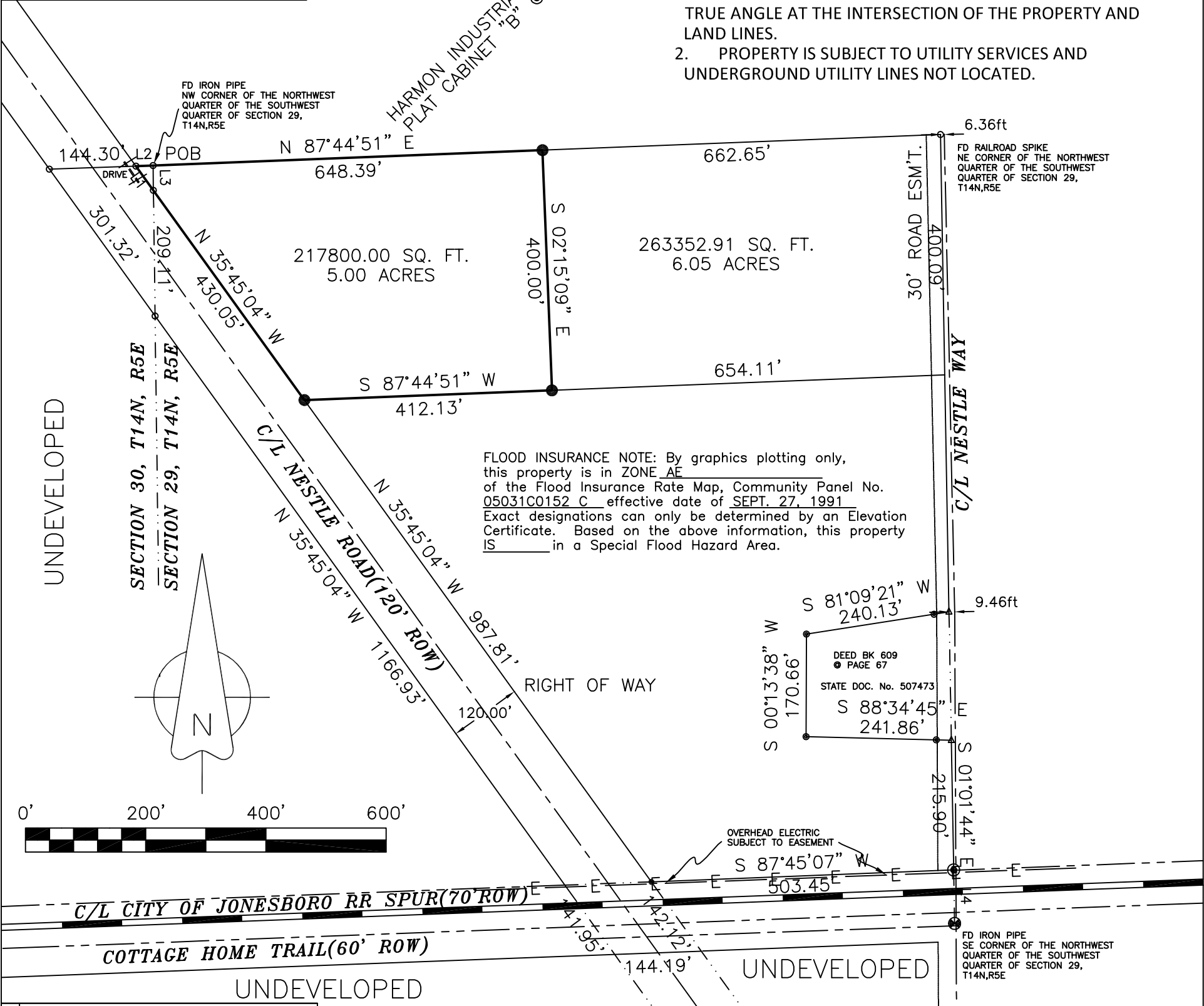
ARKANSAS ONE-CALL SYSTEM, INC.
1-800-482-8998 OR 811

SHEET LAYOUT	
PLAT	
SITE DEVELOPMENT PLAN	SP-1
EROSION CONTROL MAP	ECM-1

LINE	BEARING	DISTANCE
L1	N 35°45'04" W	49.77'
L2	N 87°58'59" E	28.55'
L3	N 00°45'15" W	41.40'
L4	S 01°01'44" E	89.00'

SURVEYORS NOTES:

1. BEARINGS ARE STATE PLANE GRID BEARINGS(NAD 83 DATUM)AS PER GPS OBSERVATION ON SITE DURING SURVEY AND ARE TO BE USE TO DEFINE THE GENERAL DIRECTION AND TRUE ANGLE AT THE INTERSECTION OF THE PROPERTY AND LAND LINES.
2. PROPERTY IS SUBJECT TO UTILITY SERVICES AND UNDERGROUND UTILITY LINES NOT LOCATED.



DESCRIPTION:
 A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER(4.99 AC.) OF SECTION 29, TOWNSHIP 14 NORTH, RANGE 5 EAST AND A PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER(0.01 AC.)OF SECTION 30, TOWNSHIP 14 NORTH, RANGE 5 EAST, CRAIGHEAD COUNTY, ARKANSAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 Beginning at the Northwest corner of the Northwest Quarter of the Southwest Quarter of said Section 29; thence North 87°44'51" East 1311.05 feet; thence South 01°01'44" East 794.54 feet; thence South 81°09'21" West 240.13 feet; thence South 00°13'38" West 170.66 feet; thence South 88°34'45" East 241.86 feet; thence South 01°01'44" East 215.90 feet; thence South 87°45'07" West 503.45 feet; thence North 35°45'04" West 1417.86 feet; thence North 35°45'04" West 49.77 feet; thence North 87°58'59" East 28.55 feet; to the point of beginning proper, having an area of 1081624.79 square feet, 24.83 acres more or less and being subject to all public and private roads and easements.

OWNER CERTIFICATION:
 WE HEREBY CERTIFY THAT WE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE ADOPT THE PLAN OF THE SUBDIVISION AND DEDICATED PERPETUAL USE OF ALL STREETS AND EASEMENTS AS NOTED AND WE FURTHER CERTIFY THAT WE HAVE READ AND ACKNOWLEDGED THE FOLLOWING STATEMENT.

SURVEYOR'S CERTIFICATION:

THIS IS TO CERTIFY I HAVE ON THIS DATE SURVEYED THE ABOVE DESCRIBED PROPERTY IN ACCORDANCE WITH MONUMENTS FOUND AND THIS PLAT CONFORMS TO THAT SURVEYED.

H&S HIME PROFESSIONAL SURVEYING SERVICES
 PMB #283, 2704 SO. CULBERHOUSE STE "L"
 JONESBORO, ARKANSAS

LEGEND

- These standard symbols will be found in the drawing.
- FOUND CORNER AS NOTED
 - SET 1/2" REBAR W/ CAP
 - FD COTTON PICKER SPINDLE
 - ▲ HIGHWAY RIGHT OF WAY MARKER
 - FOUND REBAR
 - △ CALCULATED CORNER
 - X — FENCE LINE
 - E — E ELECTRIC
 - SET PK NAIL
 - ⊕ POWER POLE

HERBERT C. HIME
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF ARKANSAS NO. 1142
 SIGNATURE
 PLS # 1142

H & S HIME PROFESSIONAL SURVEYING SERVICES
 PMB # 283
 2704 SOUTH CULBERHOUSE
 SUITE "L"
 JONESBORO, ARKANSAS 72401
 PHONE: 870 972 1288
 FAX: 870 972 1011

REED MINOR PLAT OF

drawn: HH	A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, T14N, R5E AND A PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, T14N, R5E, CRAIGHEAD COUNTY, ARKANSAS
date: 2-15-2010	
scale: 1"=200'	client: TERRY L. REED ETAL

500-14N-05E-0-29-340-16-1142
 500-14N-05E-0-30-210-16-1142

- NOTES:**
- LOCATION MAP DRAWN TO A MINIMUM SCALE OF ONE INCH (1") EQUALS ONE THOUSAND FEET (1000') AND CLEARLY SHOWING CITY LIMITS AND STREETS WITHIN ONE-HALF (1/2) MILE RADIUS OF THE SITE
 - ON COVER SHEET**
 - ON DRAWING**
 - DRAWN TO A MINIMUM SCALE OF ONE INCH (1") EQUALS FIFTY FEET (50') AND INCLUDING A GRAPHIC SCALE
 - ON DRAWING**
 - CITY, COUNTY, AND STATE
 - JONESBORO, CRAIGHEAD COUNTY, ARKANSAS
 - DATE OF PLAN OR PLANS (IF THE SITE DEVELOPMENT PLAN CONSISTS OF MORE THAN ONE SHEET, THE SAME DATE SHOULD BE SHOWN ON ALL SHEETS FOR EASE OF REFERENCE)
 - ON DRAWING**
 - EXISTING ZONE DISTRICT
 - I-1
 - NAME, ADDRESS, TELEPHONE NUMBER AND FAX NUMBER OF ALL PROFESSIONAL CONSULTANTS
 - ON DRAWING**
 - SEAL OF THE APPROPRIATE PROFESSIONAL REGISTERED IN THE STATE OF ARKANSAS
 - ON DRAWING,**
 - ACREAGE AND SQUARE FOOTAGE OF THE SITE
 - 5.0 ACRES / 217800.00 FT²
 - MINIMUM REQUIRED STREET, SIDE, AND REAR SETBACKS AS SET OUT IN THE JONESBORO ZONING OR BY PRIVATE REQUIREMENTS, IF ANY EXIST, AND IF THEY ARE MORE RESTRICTIVE THAN THE ZONING ORDINANCE
 - ON PLAT**

- FLOODWAY AND FLOODPLAIN BOUNDARIES WITH ELEVATIONS REFERENCED TO, AND SHOWING THE EXACT LOCATION OF, THE NEAREST BENCHMARK, IF THE PROPERTY IS NOT AFFECTED BY A FLOODWAY OR IS NOT WITHIN A FLOODPLAIN, AN ENGINEER SHALL SO CERTIFY.
- THIS PROPERTY DOES LIE IN A FLOOD PLAIN AREA AS SHOWN ON CRAIGHEAD COUNTY, ARKANSAS AND INCORPORATED AREAS FLOOD INSURANCE RATE MAP PANEL NUMBER 05031C0152C DATE SEPTEMBER 27, 1991. BFE = 235.00 (NVGD 29) - 235.24 (NVGD 88)
- EXISTING AND PROPOSED LAND CONTOURS SHOWING VERTICAL CONTOURS NO GREATER THAN TWO FEET (2') ON DRAWING.
- NAMES AND ADDRESSES OF ALL OWNERS OF ADJOINING PROPERTY.
- NORTH: TROY COLEMAN
SOUTH: TERRY REED, 2919 DACUS LN, JONESBORO
EAST: TERRY REED
- LENGTH OF SITE BOUNDARIES MEASURED TO THE NEAREST 1/10 FOOT ON PLAT.
- VALUE OF ALL TRUE BEARINGS AND ANGLES AS DIMENSIONED IN DEGREES AND MINUTES ON PLAT
- LOCATION, SQUARE FOOTAGE, AND EXTERIOR DIMENSION, MEASURED FROM THE OUTSIDE WALLS OF ALL EXISTING AND PROPOSED BUILDINGS AND STRUCTURES LOCATED ON SUBJECT SITE. IF A PROPOSED BUILDING IS MORE THAN ONE STORY IN HEIGHT, THE GROSS FLOOR AREA OF THE ENTIRE STRUCTURE SHOULD BE SHOWN ON THE PLAN ON DRAWING.
- ALL PROPOSED IMPROVEMENTS IN THEIR EXACT RELATIONSHIP TO EXISTING CONTOURS AND OTHER TOPOGRAPHIC FEATURES ON DRAWING.

- EASEMENTS INDICATING LOCATION, DIMENSION, AND TYPE, IF NO EASEMENTS EXIST ON THE SITE, A NOTE TO THIS EFFECT SHOULD BE PLACED ON THE PLAN ON PLAT
- LOCATION, SIZE, & TYPE OF EXISTING AND PROPOSED UTILITIES:
- A. WATER MAINS & SERVICE LINES (ON & OFF SITE); NEAREST FIRE HYDRANT (CHECK W/ FIRE MARSHALL AT 870-932-2428 & NOTE RESULTS ON PLANS)
NEAREST FIRE HYDRANT IS LOCATED APPROX. 330' NORTH OF THE PROPERTY AT THE INTERSECTION OF JAKE DR & CARRIE DEHON DR. A FIRE HYDRANT IS ALSO LOCATED ON NESTLE DR. APPROX. 730 EAST & SOUTHEAST OF THE SOUTHEAST PROPERTY CORNER.
- B. SANITARY SEWER MAINS & SERVICE LINES (ON & OFF SITE)
SEPTIC SYSTEM TO BE APPROVED BY ARK HEALTH DEPT.
- C. GAS MAINS & SERVICE LINES (ON & OFF SITE)
NONE
- D. ELECTRICAL MAINS & SERVICE LINES
NONE
- E. STORM DRAIN MAINS & SERVICE LINES
ON DRAWING
- F. DUMPSTERS OR REFUSE RECEPTACLE
ON DRAWING
- G. DATE PLUMBING PLANS SUBMITTED TO ARK HEALTH DEPT TO BE SUBMITTED BY ARCHITECT OR PLUMBER
- DRAINAGE PLAN PREPARED & SEALED BY ARK LICENSED CIVIL ENGINEER W/ EXISTING & PROPOSED STORM WATER RUNOFF FLOW CALCULATIONS, EROSION CONTROL, & SWPP PLAN FOR SEDIMENT DISCHARGE CONTROL ON DRAWING & ENCLOSED REPORTS
- PARKING REQUIREMENTS:
OFFICE SPACE = 3,640 FT² (1 SPACE PER 300 FT²)
SHOP AREA = 10,000 FT² (1 SPACE PER 1,000 FT²)
SPACES REQUIRED = (3,640 + 300) + (10,000 + 1,000) = 12.13 + 10 = 22.13 SPACES
SPACES PROVIDED = 23 SPACES

- SIGN LOCATION AND TYPE ON DRAWING
- SCREENING & BUFFERING ON DRAWING
- LANDSCAPING PLAN SHOWING LOCATION, SIZE, & TYPE OF EXISTING AND PROPOSED MATERIALS. LANDSCAPING MUST MEET JONESBORO ZONING ORDINANCE REQUIREMENTS.
LANDSCAPING LOCATIONS SHOWN ON DRAWING.
1 TREE OR 3 (5 GAL) SHRUBS PER 10 PARKING SPACES.
23 SPACES = 3 TREES OR 15 (5 GAL) SHRUBS).
PLANT QUALITY SHALL CONFORM TO THE MOST RECENT EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLICATION.
- RESTRICTIVE COVENANTS, GRANTS OF EASEMENTS, OR OTHER RESTRICTIONS IN A RECORDED FORM (NOTE ON PLAN IF NOT APPLICABLE)
NOT APPLICABLE
- COMMON OPEN SPACE AND PROPOSED AMENITIES (NOTE ON PLAN IF NOT APPLICABLE)
NOT APPLICABLE
- PROPOSED LIGHTING LOCATION, TYPE, DIRECTION & INTENSITY
ALL EXTERIOR LIGHTING FIXTURES SHALL BE LOCATED & DIRECTED SO THAT LIGHT DOES NOT "SPILL" ONTO ADJOINING PROPERTIES. UNIT LIGHT FIXTURES LOCATED ADJACENT TO FRONT & REAR ENTRANCES.
- LOCATION & CHARACTERISTICS OF ANY HISTORICAL STRUCTURES & SITES
NOT APPLICABLE
- OWNER'S SIGNATURE AND STATEMENT INDICATING DEVELOPMENT OWNER IS IN AGREEMENT WITH SITE DEVELOPMENT PLANS ON DRAWING

NAME OF THE DEVELOPMENT
CWC MECHANICAL
ADDRESS AND LOT NUMBER OF THE PROPERTY
REED MINOR PLAT

NAME, ADDRESS, TELEPHONE NUMBERS, FAX NUMBERS, AND SIGNATURES FOR ALL OWNERS OF THE PROPERTY AND THE APPLICANT

NAME	PHONE
ADDRESS	FAX
CITY	STATE
SIGNATURE	SIGNATURE

OWNER _____ DATE _____

CONTRACTOR _____ DATE _____

DESIGN PROFESSIONAL _____ DATE _____

I acknowledge my understanding that all site improvements shall conform to this approved Site Development Plan. The City Planner for the City of Jonesboro must approve, in writing, any deviations, variances, or changes from this approved Site Development Plan. All construction shall be in compliance with the Zoning Ordinance and with the conditions of the Zoning Permit, and with all laws and ordinances governing this type of work. The design professional (architect, engineer, or landscape architect) sealing the approved Site Development Plan shall periodically inspect the installation and construction of all site improvements shown on and required by the Site Development Plan. Upon completion of all site improvements and prior to issuance of a Certificate of Occupancy, the design professional shall submit a letter to the City Planner verifying that construction has been completed in accordance with the approved Site Development Plan.

SURVEY CONTROL REFERENCE MARKS:

- JONESBORO GPS MONUMENT # 14
- JONESBORO GPS MONUMENT # 01

VERTICAL CONTROL IS NAVD 88
HORIZONTAL CONTROL IS NAD 83

FLOODPLAIN ELEVATION REFERENCE MARK:

- NGS PID: FF0815, DESIGNATION: G 33

ELEVATION = 235.02 (NAVD 29)
235.26 (NAVD 88)

NORTHING: 543,437.124 EASTING: 1,732,141.236

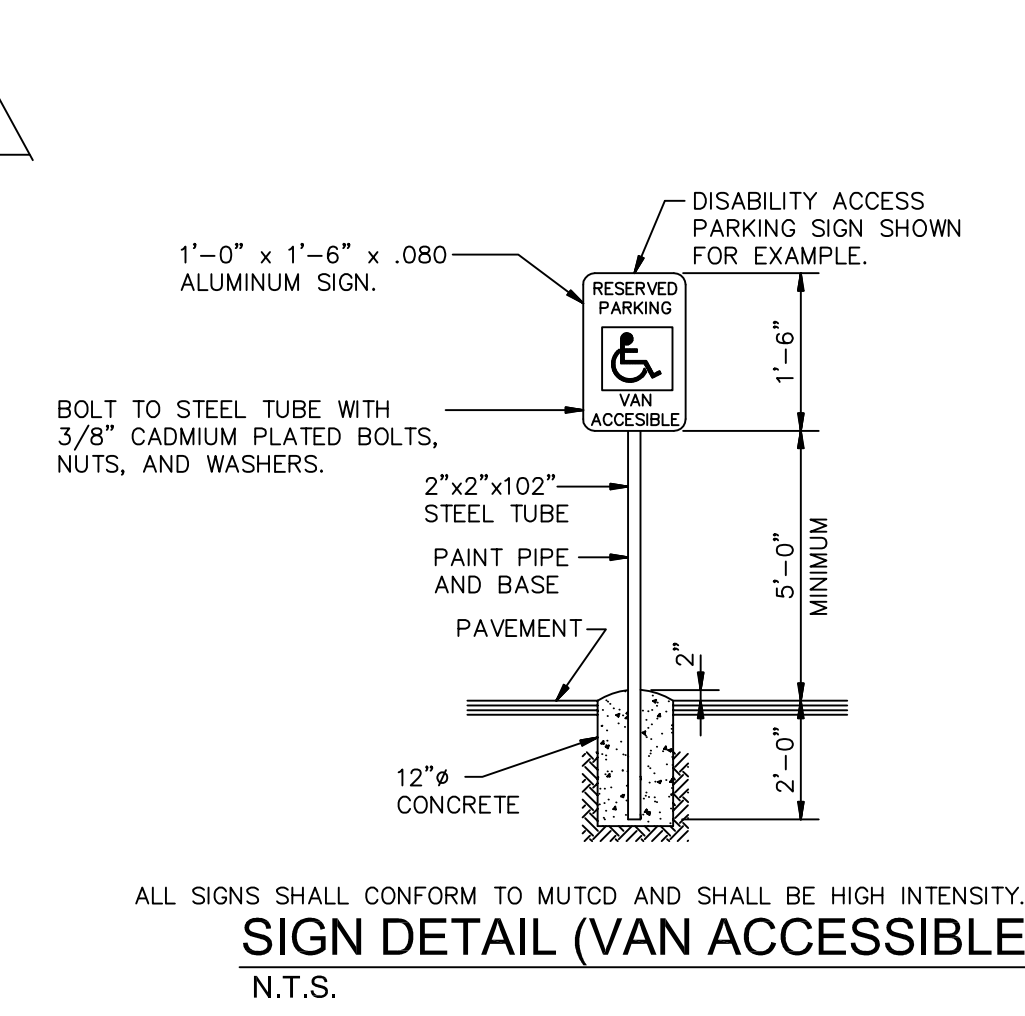
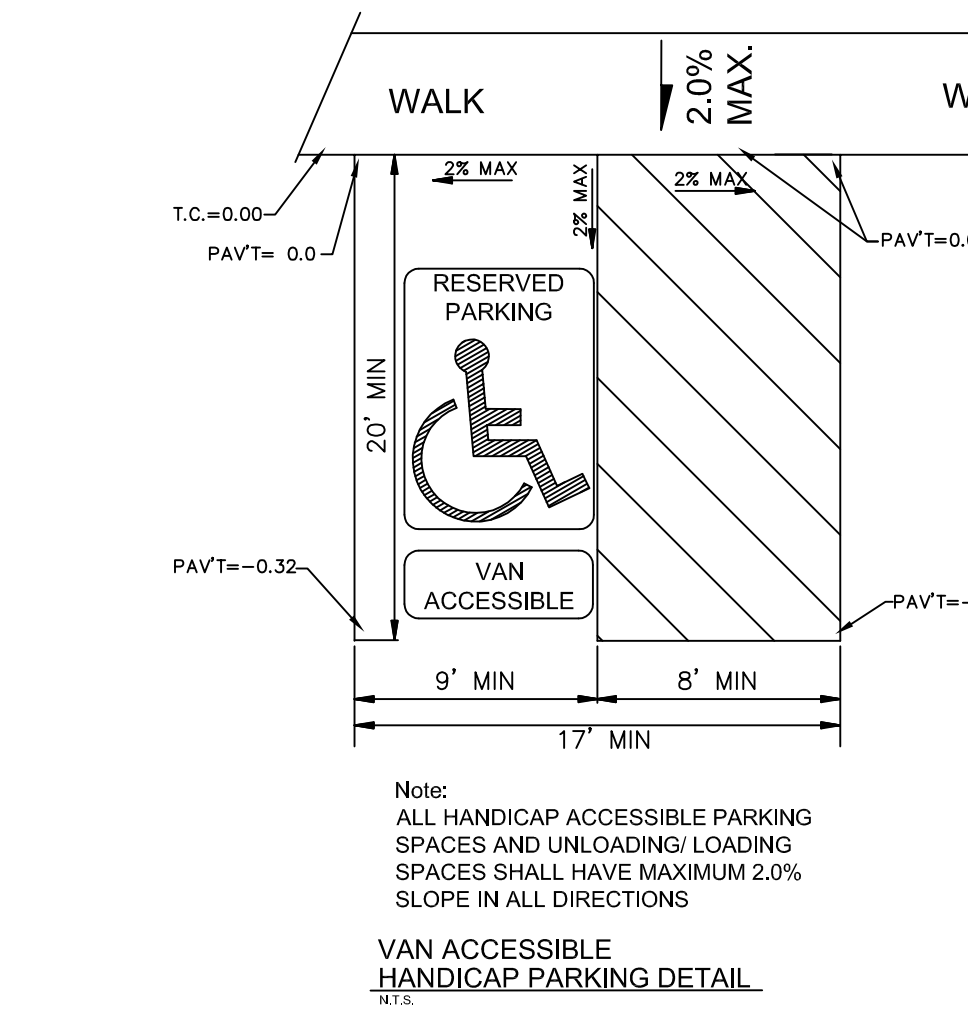
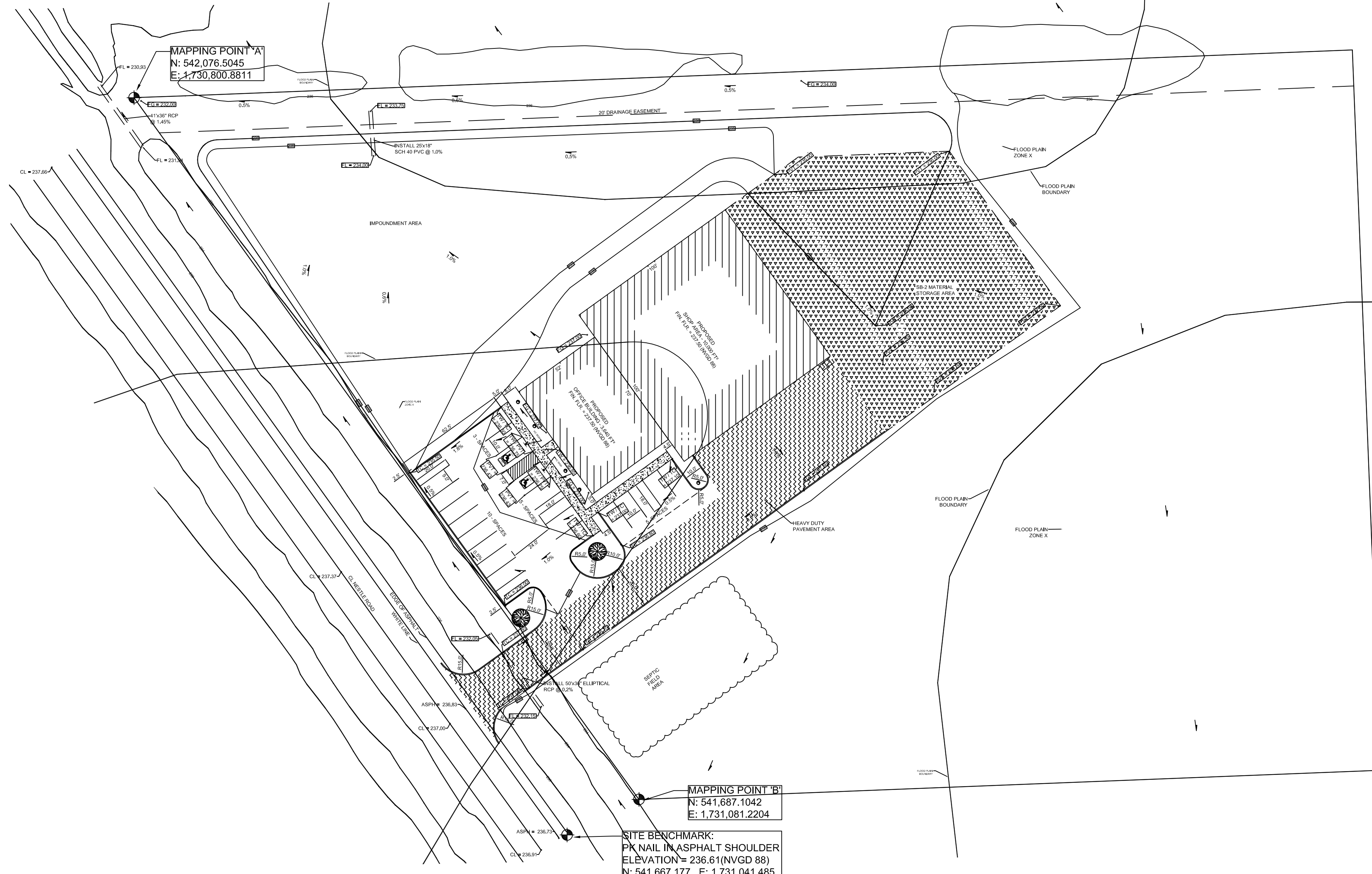
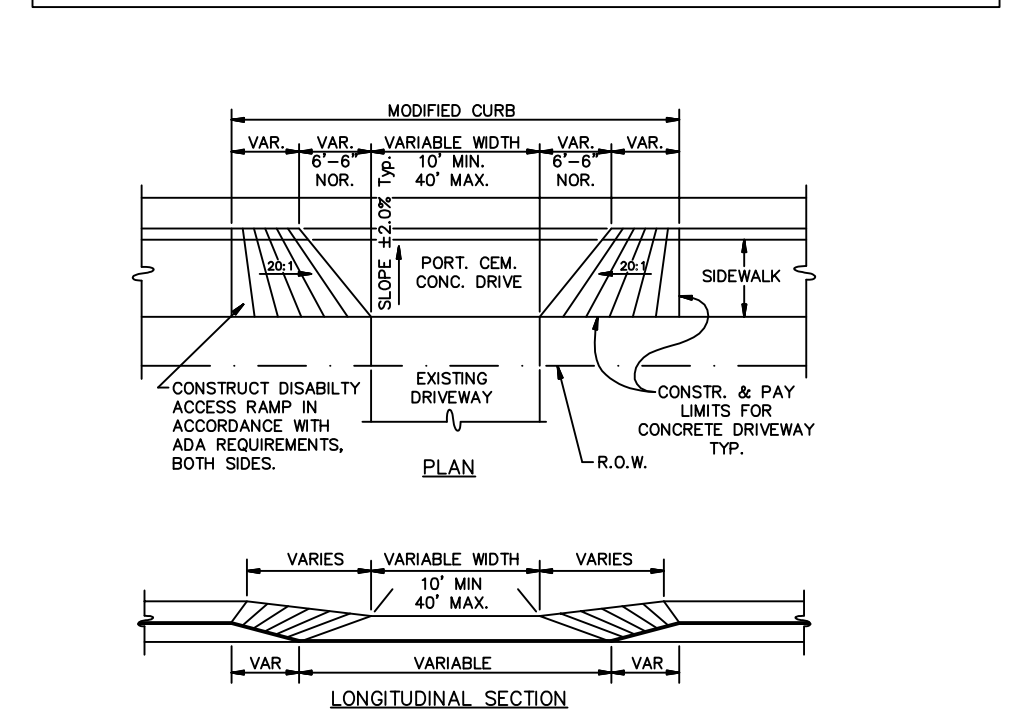
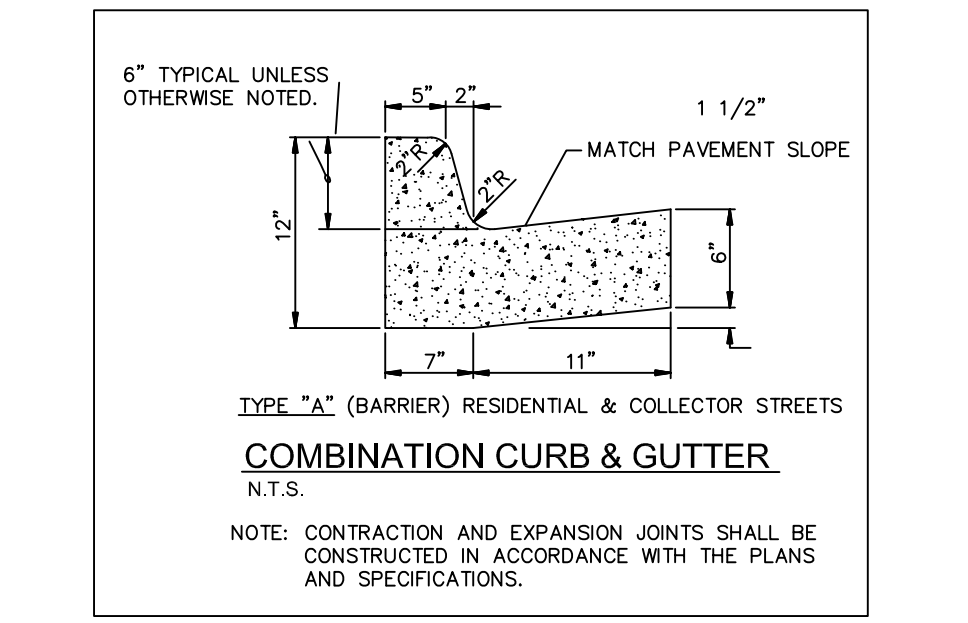
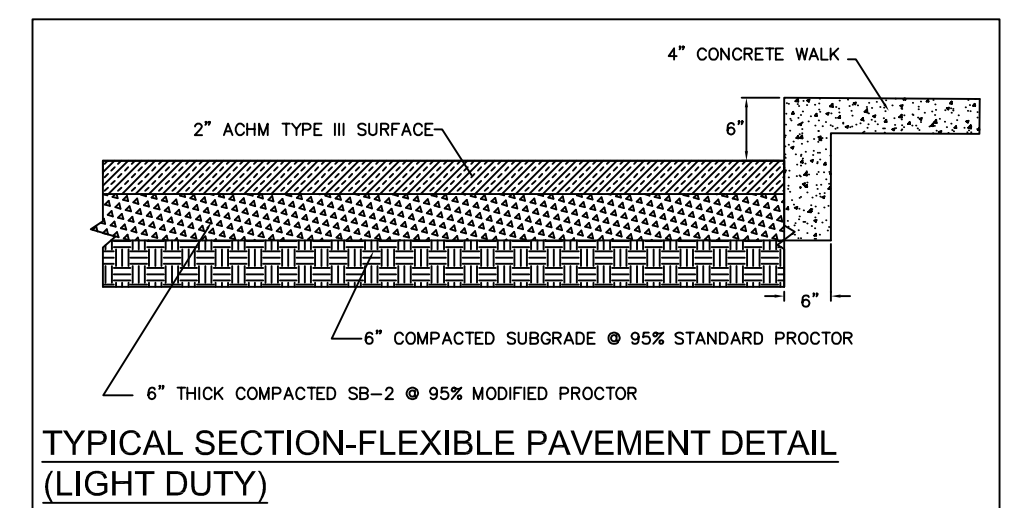
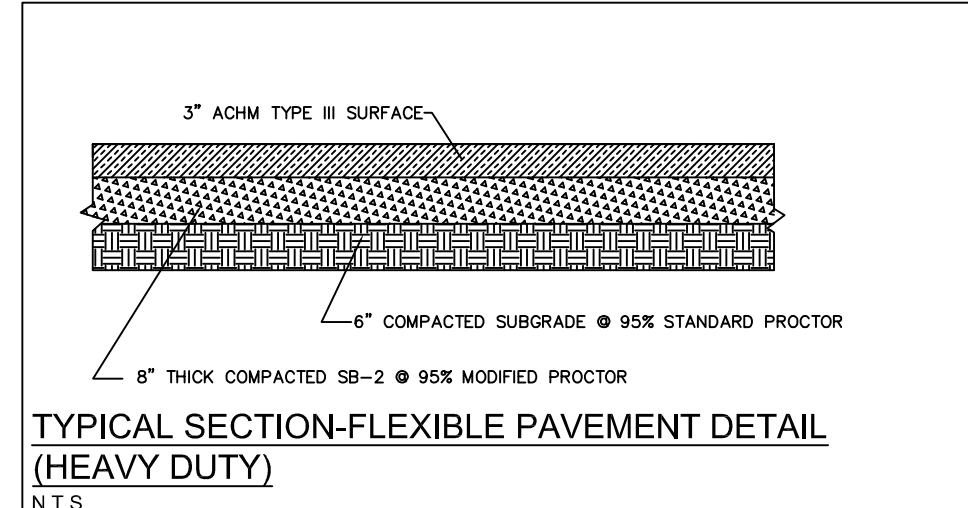
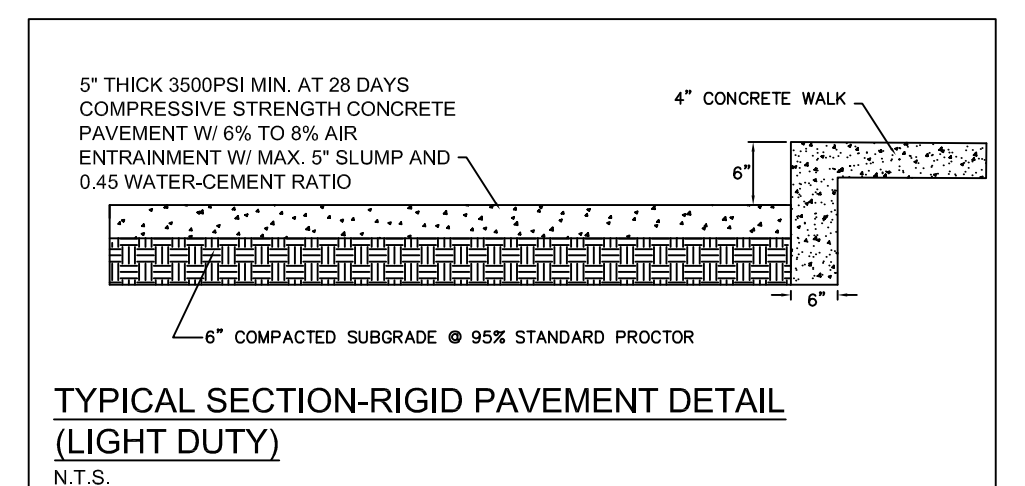
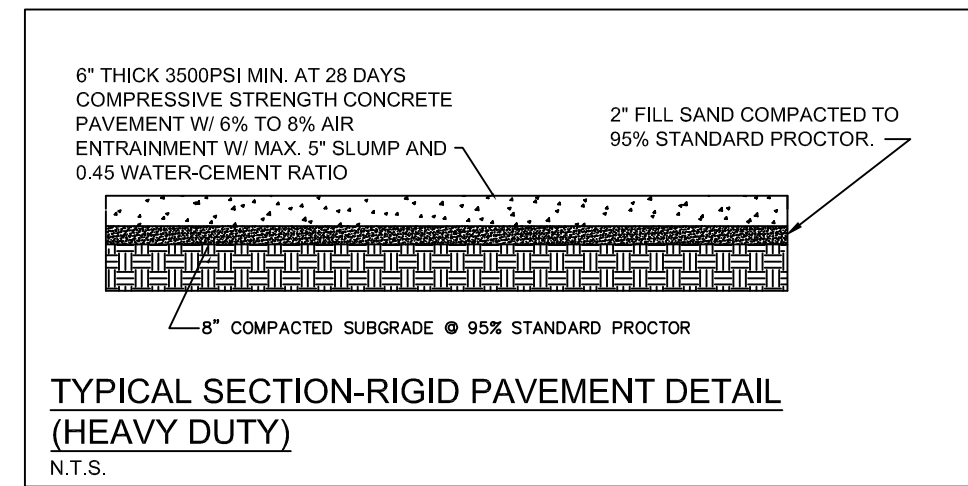
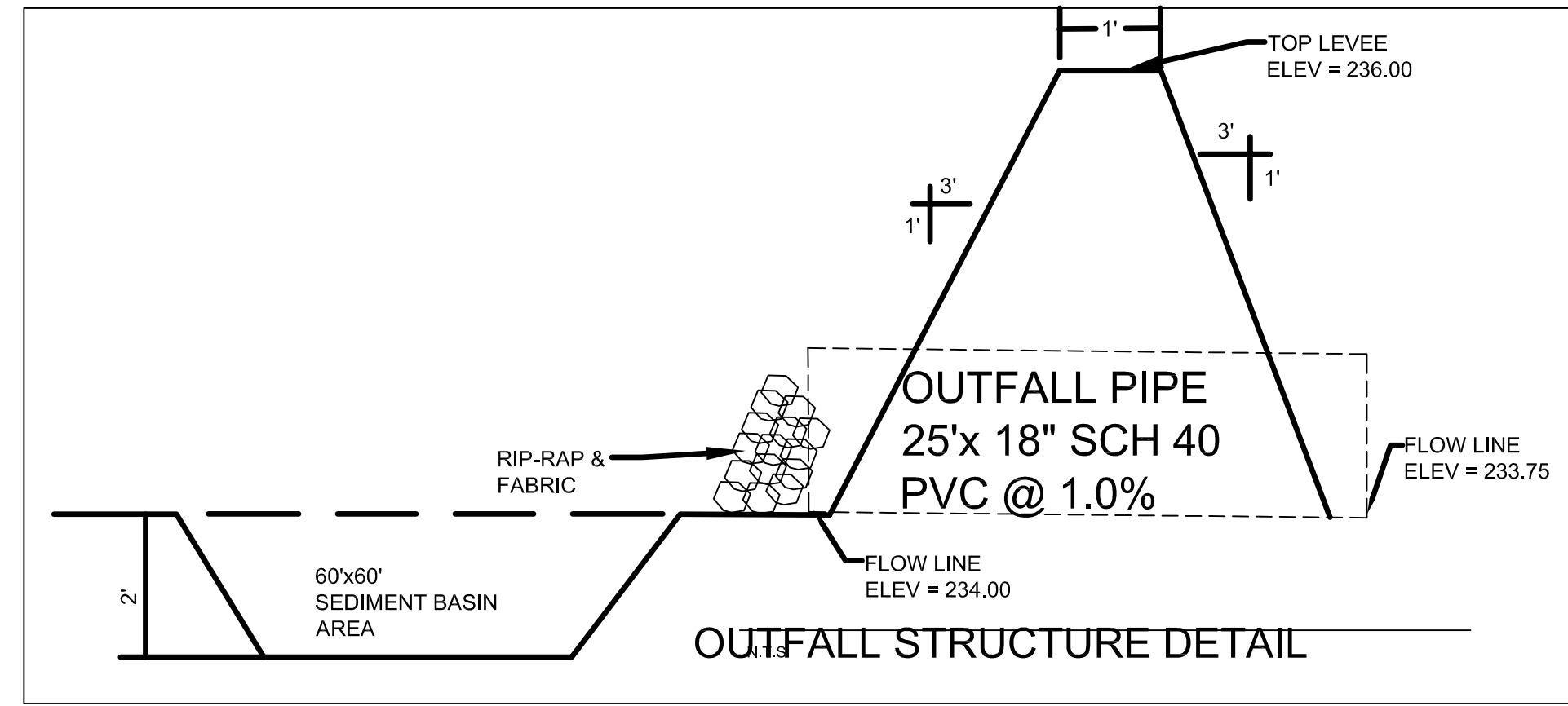
NOTE:
DEVELOPER SHALL OBTAIN GRADING PERMIT FROM THE CITY OF JONESBORO ENGINEERING DEPARTMENT PRIOR TO COMMENCING EARTHWORK AND/OR CLEARING OPERATIONS.

DEVELOPER SHALL OBTAIN REQUIRED ADEQ PERMIT PRIOR TO COMMENCING WORK ON THE SITE. PREPARE A SWPP PLAN, AND DISPLAY THEM FOR PUBLIC ACCESS AT THE SITE.

LEGEND

- CURB
- HEAVY DUTY PAVEMENT AREA
- SB-2 PAVEMENT AREA
- DRAIN FLOW
- BENCHMARK
- FIRE HYDRANT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- TW = TOP WALK
- TC = TOP CURB
- FG = FINISHED GROUND
- PVT = PAVEMENT
- EXISTING SPOT ELEVATION
- WL = WATER LINE
- SS = SANITARY SEWER LINE
- OE = OVERHEAD ELECTRIC
- SANITARY SEWER MANHOLE
- POWER POLE

YEAR	PRE FLOW CFS	POST FLOW CFS	IMPOUNDMENT (REQUIRED) ACFT	IMPOUNDMENT (PROVIDED) ACFT
Q 2	8.27	14.28	0.360	
Q 10	14.63	23.86	0.630	
Q 100	22.86	35.49	0.965	1.138



SP-1

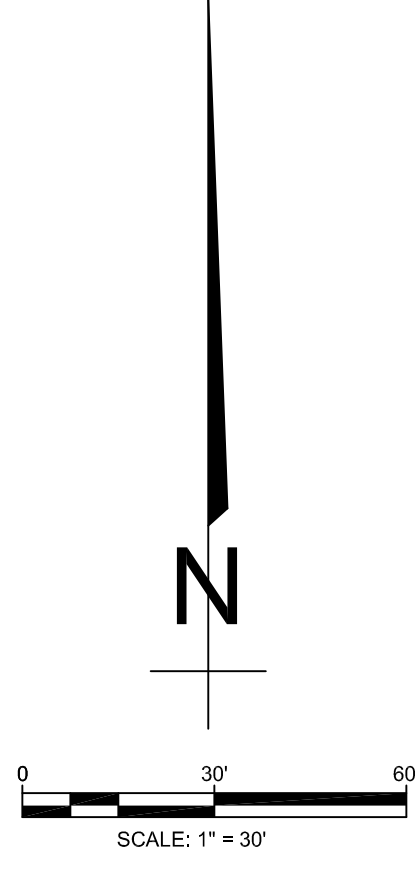
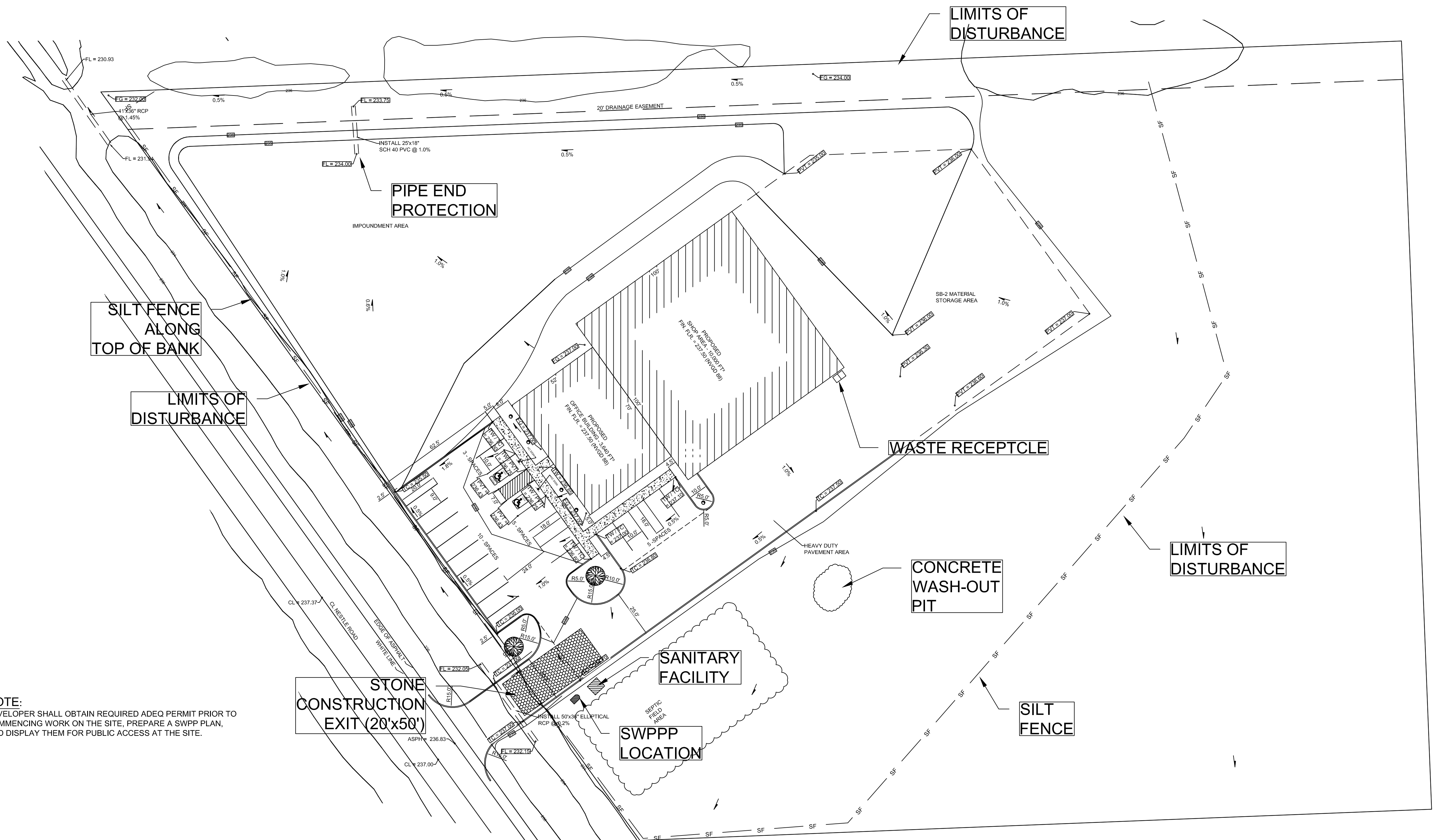
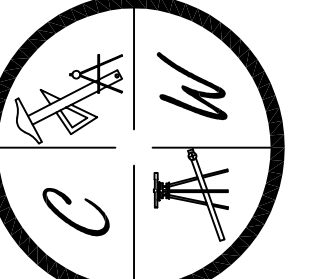
STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER NO. 5620 CARLOS G. WOOD

CWC MECHANICAL
JONESBORO, AR

SITE PLAN

DATE: 3/29/10
REV:
DRAWN BY: RGW

CARLOS WOOD, P.E.
ENGINEERING CONSULTANT
PMB 261
2704-L S. CULBERHOUSE
JONESBORO, AR 72401
PHONE/FAX: (870) 972-8335
EMAIL: WOODENGR@SBCGLOBAL.NET
WEBSITE: WWW.WOODENGR.COM



LEGEND	
	CURB
	ASPHALT
	SB-2
	DRAIN FLOW
	BENCHMARK
	FIRE HYDRANT
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	TW = TOP WALK
	TC = TOP CURB
	TWL = TOP RETAINING WALL
	PVT = PAVEMENT
	EXISTING SPOT ELEVATION
	SILT FENCE
	POWER POLE

OWNER / CONTRACTOR CERTIFICATION:
I certify under penalty of law that I understand the term and conditions of the General National Pollutant Discharge Elimination System (NPDES) Permit that authorizes the storm water discharges associated with the industrial activity from the construction site identified as part of this certification.

OWNER _____ DATE _____
CONTRACTOR _____ DATE _____

PROFESSIONAL PLAN CERTIFICATION:
I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that all qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

PRINTED NAME: _____ PRINTED TITLE: _____
SIGNATURE: _____ DATE: _____

NOTE:
DEVELOPER SHALL OBTAIN REQUIRED ADEQ PERMIT PRIOR TO COMMENCING WORK ON THE SITE. PREPARE A SWPP PLAN, AND DISPLAY THEM FOR PUBLIC ACCESS AT THE SITE.

- NOTES:**
- THIS DRAWING REPRESENTS THE SCHEMATIC MAP OF THE LOCATION AND TYPE OF THE MINIMUM EROSION CONTROL MEASURES ANTICIPATED FOR THIS SITE AND SHALL BE CONSIDERED A PART OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE CITY OF JONESBORO AND ADEQ. THIS MAP SHALL BE UPDATED AND MODIFIED PERIODICALLY AS SPECIFIED IN THE SWPPP PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF ARKANSAS NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT).
 - THE OWNER SHALL BE RESPONSIBLE FOR SUBMITTING THE NOTICE OF INTENT TO THE CITY OF JONESBORO ENGINEERING DEPARTMENT AND ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AS REQUIRED BY THE GENERAL NPDES PERMIT REGULATIONS AND OBTAINING THE REQUIRED PERMIT FROM ADEQ.
 - CONTRACTOR SHALL INSTALL, INSPECT, MAINTAIN, REPAIR, AND MODIFY ALL EROSION CONTROL MEASURES AND SWPPP PLAN IN ACCORDANCE WITH THE GENERAL PERMIT REQUIREMENTS TO KEEP THEM IN GOOD WORKING CONDITION THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. FAILURE TO MAINTAIN COMPLIANCE MAY RESULT IN THE DENIAL OF BUILDING AND CONSTRUCTION INSPECTIONS UNTIL CORRECTIONS HAVE BEEN MADE. CONTRACTOR SHALL MAINTAIN A CONTINUOUS UPDATED SWPPP PLAN AND MAP ON SITE (IN A CONTAINER MARKED AS SUCH TO IDENTIFY THE PLAN) IN A PUBLIC ACCESSIBLE LOCATION FOR REVIEW AND INSPECTION BY THE APPROPRIATE INSPECTORS.
 - SILT FENCE & OTHER EROSION CONTROL DEVICES SHALL BE INSTALLED (AS SHOWN ON THE MAP) TO PREVENT MIGRATION OF SEDIMENT TO ADJACENT PROPERTIES & ALONG TOP OF DITCH BANK TO ENSURE THAT THE EXISTING DITCHES ARE NOT CONTAMINATED WITH SEDIMENT DURING CONSTRUCTION. ADDITIONAL LOCATIONS MAY BE NECESSARY AS CONSTRUCTION PROGRESSES. AREAS DISTURBED BY CONSTRUCTION SHALL BE TEMPORARILY SEEDED IN AREAS WHERE CONSTRUCTION CEASES FOR 14 DAYS AND PERMANENTLY SEEDED WITHIN 14 DAYS OF THE COMPLETION OF CONSTRUCTION. THE LOCAL SOIL CONSERVATION SERVICE CAN BE CONTACTED FOR ASSISTANCE.
 - CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION EXIT (PRIOR TO CONSTRUCTION) AT THE LOCATIONS CONSTRUCTION VEHICLES LEAVE THE SITE TO PREVENT DUST AND MUD TRACKING ONTO STREETS. CONTRACTOR SHALL CLEAN ALL TRACKING MATERIALS FROM STREETS AS FREQUENTLY AS NECESSARY TO MAINTAIN CLEAN STREETS AND AT A MINIMUM OF THE END OF THE DAY.
 - AN INSPECTION SHALL BE MADE WEEKLY. ALL OBSERVED DEFICIENCIES OF THE BEST MANAGEMENT PRACTICES (BMPs) WILL BE RECORDED AND REPAIRED AS SOON AS POSSIBLE.
 - SEDIMENT SHALL BE REMOVED FROM ALL EROSION CONTROL DEVICES WHEN SEDIMENT REACHES 50% OF THE DEVICE CAPACITY.
 - A SOLID WASTE CONTAINER SHALL BE PROVIDED FOR SOLID WASTE REMOVAL.
 - A TEMPORARY SANITARY SEWER CONTAINER SHALL BE PROVIDED.
 - A CONCRETE WASTE PIT SHALL BE PROVIDED AS NEEDED DURING THE CONSTRUCTION OF THE SITE.

