



3992 Poplar Ave Ste B Memphis TN 381
 901.527.2820 fax 901.572.7195

217 EAST STREET

JONESBORO, AR

1. GENERAL NOTES APPLY REGARDLESS OF WHETHER OR NOT THEY ARE NOTED ON EVERY SHEET OR TO A SPECIFIC DETAIL.
2. COMPLY WITH APPLICABLE NATIONAL CODES WITH INSTALLING AND FINISHING OPERATIONS FOR DOORS.
3. WORK INDICATED HEREIN BUT NOT NOTED OR REDESIGNED OTHERWISE SHALL BE PERFORMED AT NO ADDITIONAL CHARGE TO THE OWNER / TENANT.
4. FIELD VERIFY LAYOUT OF THE SPACE CAN BE ACCOMPLISHED AS DESIGNED. THE DESIGN / FINISH BE DETERMINED OF PROBLEMS WITH PROPOSED WALL LOCATIONS (CHECK THE CHALK LINES AND IN PLACE AND PRIOR TO THE FINISHING OF THE WALL TRACKS IN ORDER TO MAKE APPROPRIATE DECISIONS ON NECESSARY ADJUSTMENTS. PROJECT SHALL FIELD VERIFY & APPROVE CHALK LINES FOR APPROVAL PRIOR TO FINISHING WALL TRACKS.
5. MAINTAIN THE BASIS OF EXISTING FIRE RATED PARTITIONS AT INTERSECTIONS, CORNERS, AND / OR PENETRATIONS. FIRE RATED PARTITIONS SHALL BE FINISHED IN LINES WITH EXISTING LINES ABOVE FINISHED CEILING AS ADVISED BY THE FIRE MARSHAL AND BUILDING INSPECTOR.
6. MAINTAIN EXISTING LIFELINE FIRE PROTECTION DEVICES AND ALARMS TO CONFORM TO APPLICABLE REQUIREMENTS.
7. REVIEW EXISTING AND FIRE DEPARTMENT LOCATIONS WITH LOCAL FIRE MARSHAL. INSTALL DEVICES AND GRABBARS OF DEVICES FOR TRIP INTRUSIONS.
8. PROTECT EXISTING OCCUPANCY, HOUSING, AND SYSTEM FINISHES DURING THE CONSTRUCTION. INSTALL HOSE, SECURITY AND DIRT BARRIERS BETWEEN CONSTRUCTION AREA AND AREAS WHICH ARE PUBLIC OR OTHERWISE OCCUPIED.
9. PARTITIONS NOTED "DESIGN TO REMAIN" TO BE REFINISHED TO LIKE AND CONDITION AND / OR AS NECESSARY TO PREPARE SURFACE FOR NEW FINISH.
10. DIMENSIONS INDICATED ARE TO FACE OF ENDS OF NEW OR FACE OF EXISTING BOARD AT EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
11. FACE OF EXISTING BOARD CONSTRUCTION FINISHES EXISTING CONSTRUCTION FINISHES SHALL BE FORTH WITH DISCREPANCY LINE.
12. REMOVE OR REPLACE EXISTING FLOOR, CEILING AND WALL SURFACES OUTWARD DURING REMOVAL OF EXISTING FINISHES, AS REQUIRED TO PREPARE SURFACES FOR NEW FINISHES.
13. VERIFY CLEARANCES AND ELECTRICAL / PLUMBING REQUIREMENTS (NOT FINALLY TRAVEL WITH FIELD CONSTRUCTION INSTALLED, FIELD VERIFY SYSTEMS, VERIFY INSTALLED. ALL EQUIPMENT AND APPLIANCES CHECK CONTRACTOR SUPPLIED CONTRACTOR INSTALLED, UNLESS NOTED OTHERWISE.
14. INTERSECTIONS AND INTERIORS SHALL BE FINISHED AS APPLICABLE NOTED OTHERWISE.
15. ELECTRICAL RECEPTACLES SHALL BE FINISHED BY APL UNLESS NOTED OTHERWISE.
16. GROUPS OF RECEPTACLES SHALL BE FINISHED WITH INTER-SPACING BETWEEN THEM EXCEPT IN FIRE - RATED PARTITIONS.
17. ELECTRICAL, TELEPHONE, & DATA DEVICE FACE PLATES SHALL BE WHITE COLOR AS APPROVED BY ARCHITECT.
18. EXISTING ELECTRICAL RECEPTACLES SHALL REMAIN UNLESS NOTED OTHERWISE. VERIFY RECEPTACLES ARE OPERATIONAL. REVIEW DISCREPANCIES BETWEEN FIELD PLANS AND EXISTING CONDITIONS WITH ARCHITECT AND TENANT PRIOR TO INSTALLATION OF ELECTRICAL.

SYMBOL	DESCRIPTION	SHEET LEGEND	
	ROOM NOTE	COVER	COVER
	DIMENSION NUMBER	SITE	SITE
	INTERIOR ELEVATIONS	100	FLOOR PLAN
	WALL OR BUILDING SECTION	200	FLOOR PLAN
	DOOR SIZING / IDENTIFICATION	201	FLOOR PLAN
	FIRST FLOOR ELEVATION TARGET	300	CEILING PLAN
	PARTITION TYPE	400	FINISH PLAN
	WINDOW TAG (NOT USED)	401	FINISH PLAN
	ENLARGED DETAIL REFERENCE	500	ELEVATIONS
	ENLARGED PLAN REFERENCE	501	ELEVATIONS
	NORTH ARROW	600	SECTIONS
	COLUMN GRID (NOT USED)	FURN	FURNITURE PLAN
	FINISH WALL IDENTIFICATION		

GENERAL NOTES

AG SYMBOLS

AS

SHEET LEGEND

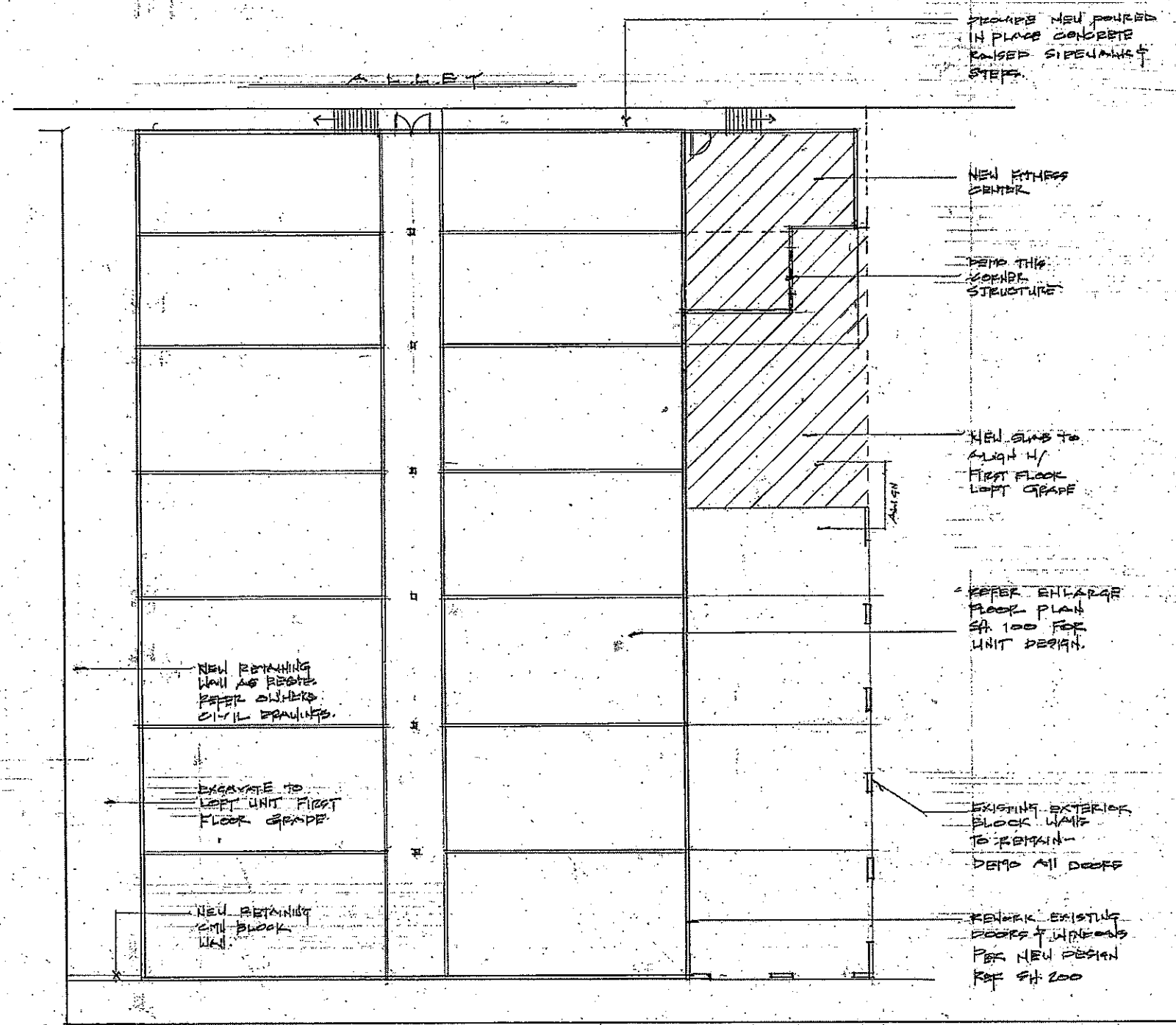
Project Name

EAST STREET LOFTS
 JONESBORO ARKANSAS

DATE:	05-25-09
PROJECT NO.:	07-105
Sheet Title:	COVER
Sheet Number:	COVER

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18

R
Q
P
N
M
L
K
J
H
G
F
E
D
C
B
A



REMOVE NEW POURED
IN PLACE CONCRETE
RAISED SIDEWALK &
STEPS

NEW 18\"/>

REMOVE THIS
CORE
STRUCTURE

NEW SLAB TO
ALIGN W/
FIRST FLOOR
LOFT GRADE

REFER ENLARGED
FLOOR PLAN
SH 100 FOR
UNIT DESIGN

NEW PARKING
W/IN AS BEST
REFER OTHER
CIVIL DRAWINGS

EXCAVATE TO
LEFT UNIT FIRST
FLOOR GRADE

NEW RETAINING
CML BLOCK
W/IN

EXISTING EXTERIOR
BLOCK WALLS
TO REMAIN -
REMOVE ALL DOORS

REMOVE EXISTING
DOORS & WINDOWS
FOR NEW DESIGN
REF SH 200

NOTES

ALL EXTERIOR SHELL
MODIFICATIONS AND
DESIGN BY OTHER
ARCHITECT

EAST AVE

A | SITE PLAN
SCALE = 1/8" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18



601 S. 2nd Street, Suite 37, Memphis, TN 381
901.527.1020 fax 901.527.7195 cell 901.628.8654
grdgroup@bellsouth.net

Project Name



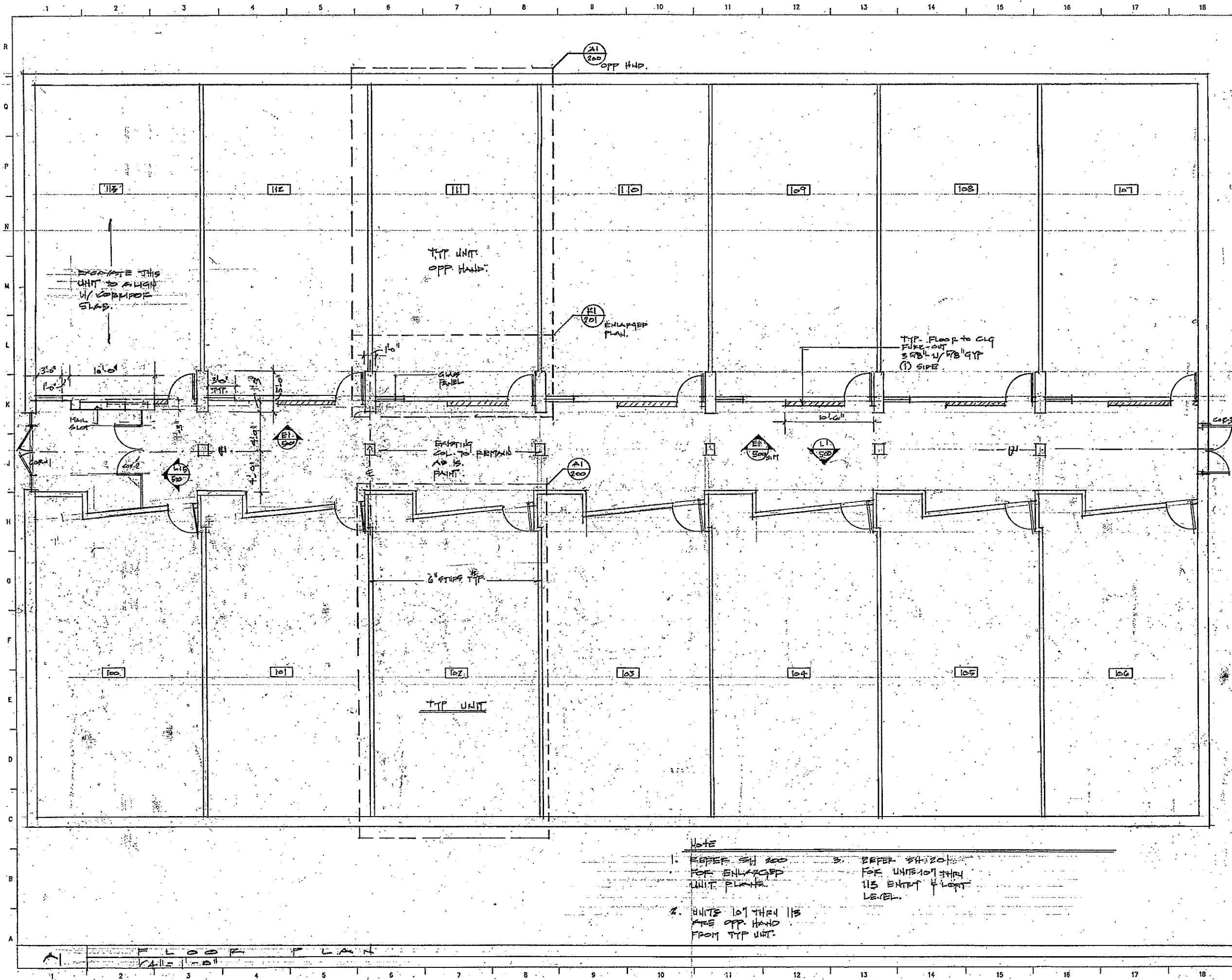
EAST STREET LOFTS
JONESBORO ARKANSAS

DATE	05-25-07
PROJECT NO.	07-105

Sheet Title
SITE PLAN

Sheet Number

SITE



Shady Six South Front Street Suite 27 Memphis, TN 381
 901.522.8290 fax 901.573.7365 call 901.628.2654
 gfdgroup@bellsouth.net

Project Name:



EAST STREET LOFTS
 JONESBORO ARKANSAS

DATE: 05.25.07
 PROJECT NO: 107-105

Sheet Title:
FLOOR PLAN

Sheet Number:
 100

NOTE

1. REFER SH 200 FOR ENLARGED UNIT PLAN.
2. UNITS 101 THRU 112 ARE OPP. HAND FROM TYP. UNIT.
3. REFER SH 200 FOR UNITS 101 THRU 112 ENTRY LEVEL.

FLOOR PLAN

NOTES:
 1. ALL MECH, ELEC, PLUMBING DESIGN BUILD THRU CONTRACTOR
 2. ALL REQUIRED STAMPED & SEALED DRAWINGS BY CONTRACTOR

2. ALL REQUIRED STAMPED & SEALED DRAWINGS BY CONTRACTOR

ELECTRICAL LEGEND:

- STANDARD DUPLEX OUTLET
- 220V OUTLET
- △ STANDARD JUY JACK
- ▲ STANDARD TEL JACK

NOTE:
 1. ALL DEVICES & PLATES TO BE WHITE
 2. ALL DEVICES 15" AFF. UNLESS NOTED

WASH LINE INDICATES: MUD WORK AT WASTER BREAK PROVIDE RECESSED WATER CUT OFF & 220 PER POWER

RECESSED NICHE UNDER STAIRS

LINE OF HEADLINE POP ELEVATIONS

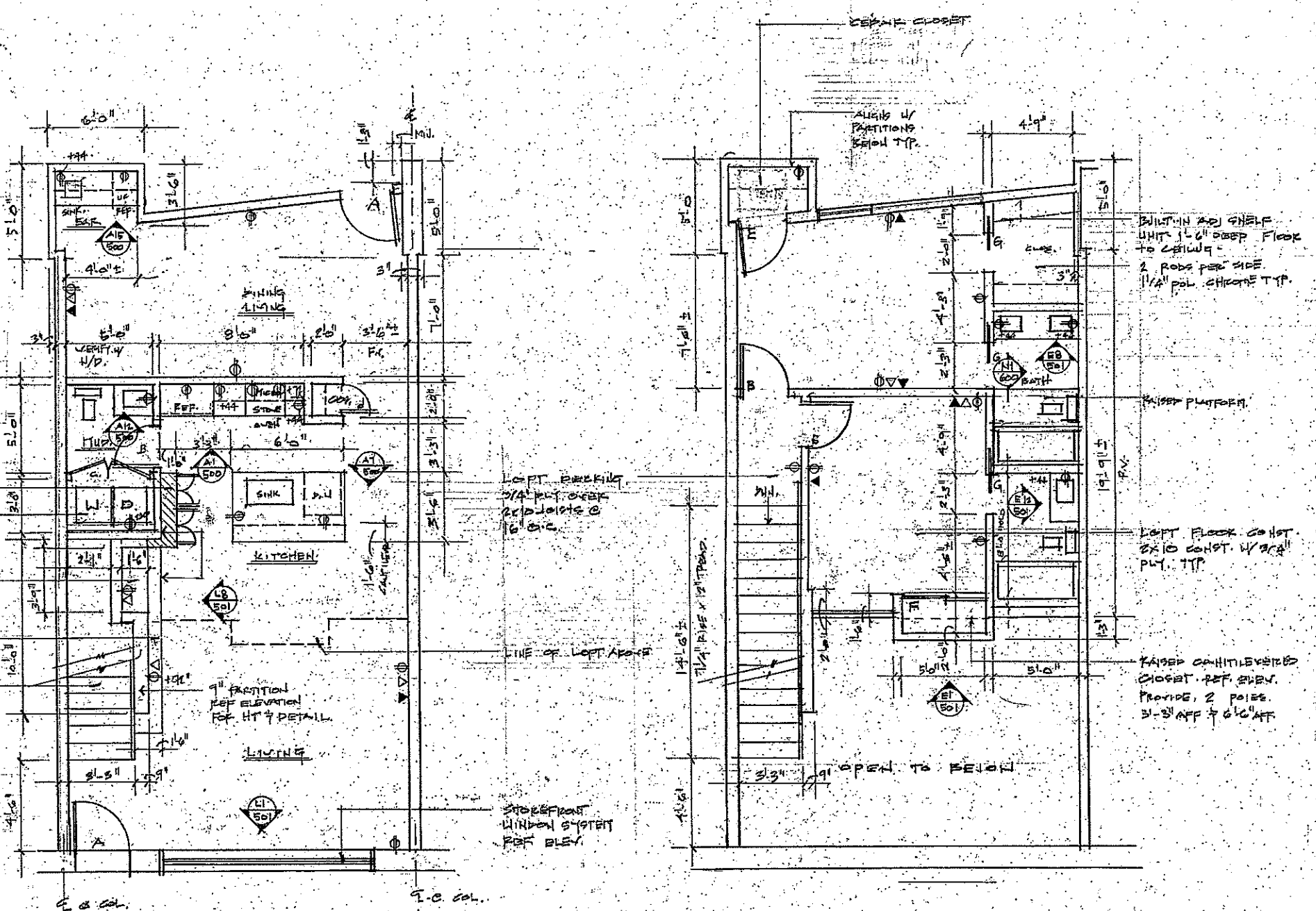
STAIRS - 2X12 THROUGHS W/ GLUED RISER - STAIRS - 2X12 THROUGHS W/ GLUED RISER - 1/2" POL. CHROME RAILING

PARTITION NOTES:

1. ALL FINISHING PARTITIONS 6" STUD W/ SOUND INSULATION
2. ALL INTERIOR WALLS 2X4 ROUST
3. ALL EXTERIORS RECEIVE SOUND INSULATION
4. ALL PARTITIONS FLOOR TO CEILING UNLESS NOTED
- 5.

TRIM NOTES:

1. ALL BASE PAINTED 1X2 SQ EDGE
2. ALL DOOR & WINDOW TRIM PAINTED 1X2 SQ EDGE



DOOR LEGEND:

- A. 2 1/2" x 7 1/2" SOLID CORE PENNY TAIL W/ REND BOLT
- B. 3 1/2" x 7 1/2" SOLID CORE PENNY TAIL SET
- C. PAIR 2 1/2" x 6 1/2" SOLID CORE DUMMY SET W/ ROLLER CATCH
- D. 1 1/2" x 7 1/2" SOLID CORE PASSAGE SET
- E. 3 1/2" x 7 1/2" SOLID CORE PASSAGE SET

DOOR NOTES:

- F. PAIR 2 1/2" x 6 1/2" MIRROR SLIDING GLASS DOORS
- G. 2 1/2" x 7 1/2" POCKET DOOR

PLUMBING FIXTURES:

- BATHROOMS**
- TOILET - KOHLER
- TOILET - MEMPHIS
- TOILET - UNIFORM
- KITCHEN**
- SINK - K-3353 31/2" x 21" UNDERMOUNT SS
- FAUCET - K-14109-44 RECLINING - POL CHROME
- DISPOSAL - LFP (SINKER)
- SINK - K-6589-1 UNDERMOUNT WHITE
- FAUCET - K-6666 WELLSPRING POL CHROME

FLOOR PLAN - FIRST
 3/8" = 1'-0"

FLOOR PLAN - LOFT
 3/8" = 1'-0"

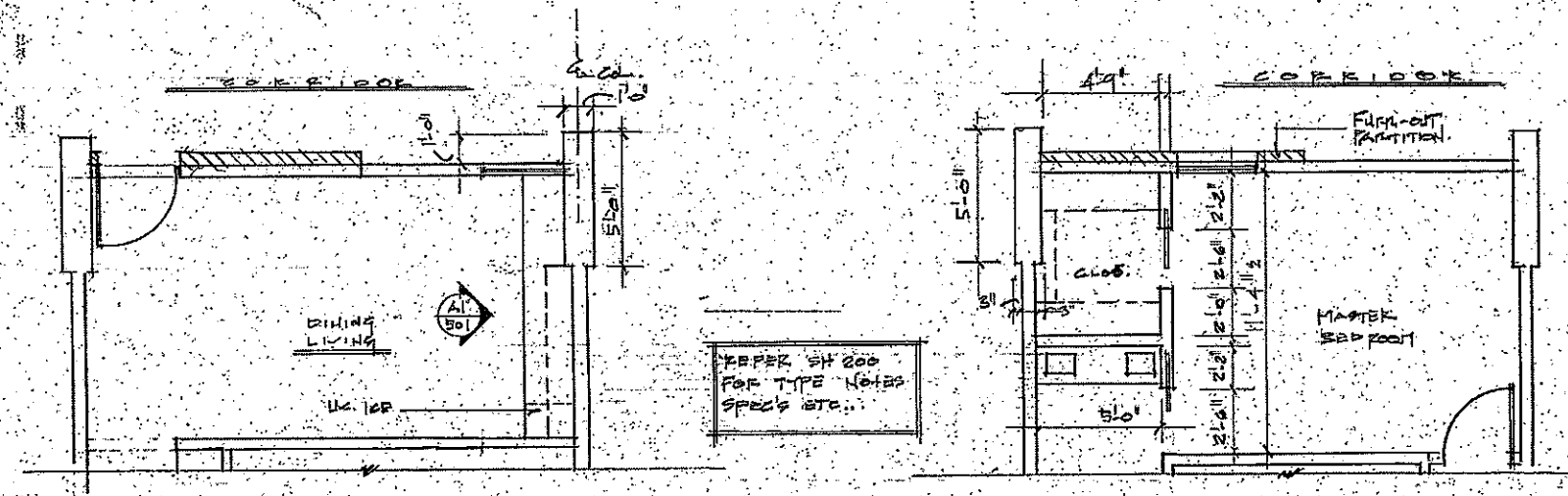


**EAST STREET LOFTS
 JONESBORO ARKANSAS**

DATE: 05-25-07
 PROJECT NO: 102-107

Sheet Title: **FLOOR PLAN**

Sheet Number: 200



KEEPER SH 200
 FOR TYPE NOTES
 SPEC'S ETC...

K1 FLOOR PLAN - FIRST 3/8"=1'-0"
 K2 FLOOR PLAN - LEFT 3/8"=1'-0"

MILLWORK NOTES

- 1. ALL CABINETS TO BE MEDIUM DENSITY FIBERBOARD SHEET WOOD SQUARE EASELS
- 2. ALL SABS FLUSH OVERLAY 1/2" CORR. HINGES
- 3. ALL PULLS
- 4. EDGES & SURFACES HEAVY POL. CHROME

APPLIANCE SCHEDULE

- REFRIGERATOR - 36" WIDE
- MPQ BOSCH EVOLUTION
- NO PROCESSORS
- SPEC. COUNTER FRONT STAINLESS 1/2" DEEP WATER
- OVEN - 36" WIDE
- MPQ BOSCH 500 SERIES
- NO MBU 504
- SPEC. UNDERCOUNTER 30" CONNECTION STAINLESS
- COOKTOP - 36" WIDE
- MPQ BOSCH
- NO NGP PLATE
- SPEC. DROP-IN GAS COOKTOP STAINLESS
- DISHWASHER - 24" WIDE
- MPQ BOSCH INTEGRA
- NO BH5000
- SPEC. STAINLESS FRONT & INTERIOR
- MICROWAVE - 30" WIDE
- MPQ BOSCH
- NO HTM 9305H
- SPEC. UPPER CAB MOUNT STAINLESS
- UNDERCOUNTER - 100 FRASER
- MPQ U-LINE
- NO CLR-66
- SPEC. CUSTOM 1/4" WOOD FRONT MATCH CABINET

A1 MILLWORK NOTES A4

A5 APPLIANCE SCHEDULE A8

Project Name



EAST STREET LOFTS
 JONESBORO ARKANSAS

DATE	05.25.07
PROJECT NO.	107-134

Sheet Title
**FLOOR PLAN
 SCHEDULES**

Sheet Number

5000 S. South Front Street, Suite 127, Memphis, TN 38117
 901.571.5000 Fax 901.672.7385 Cell 901.628.8654
 pdg@pdg.com pdggroup@bellsouth.net

Project Name:

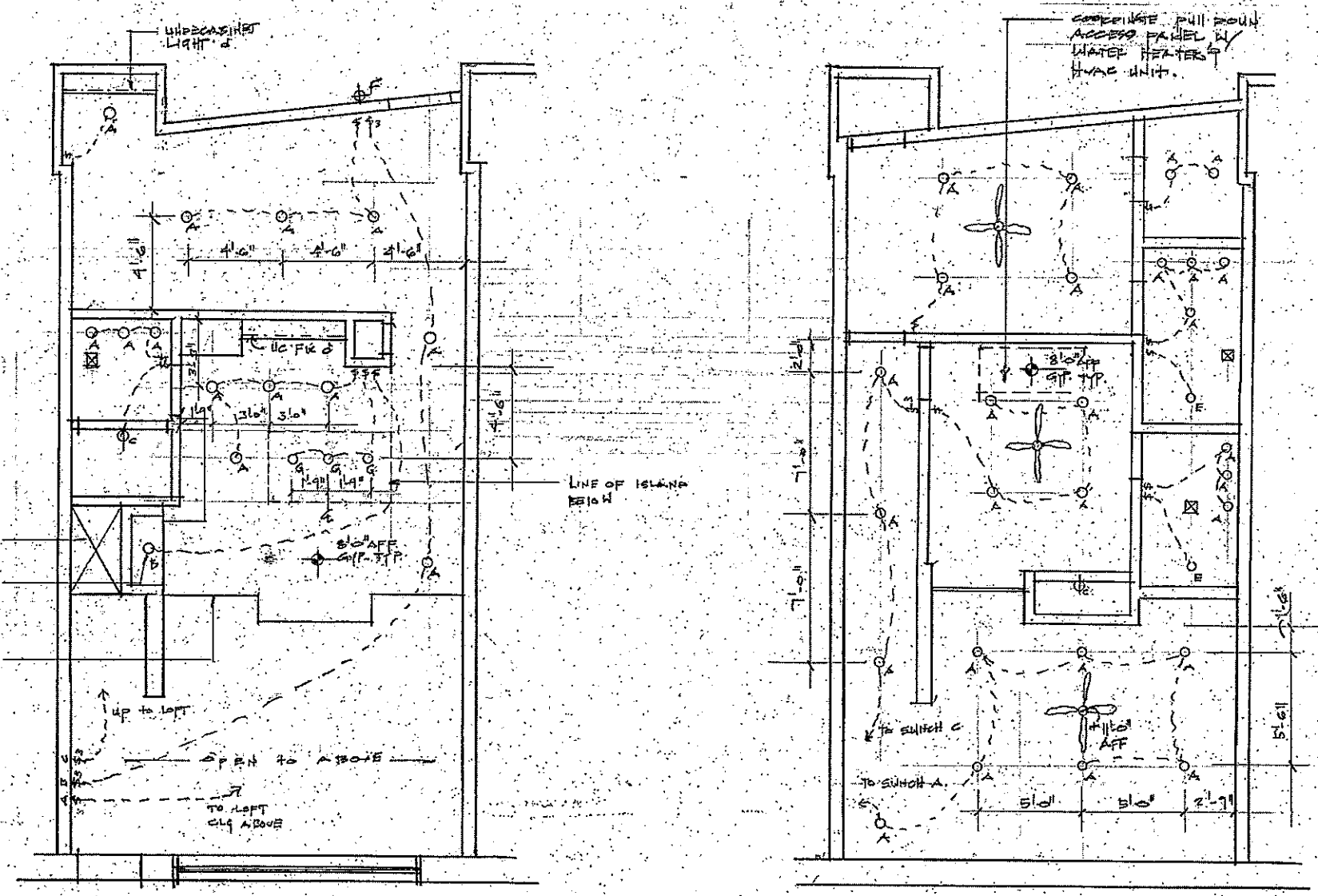


EAST STREET LOFTS
 JONESBORO ARKANSAS

DATE	05-25-07
PROJECT NO.	01-185

Sheet No.
 CEILING PLAN

Sheet Number:



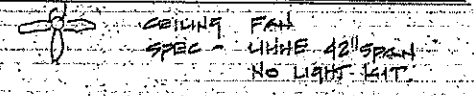
CEILING NOTES

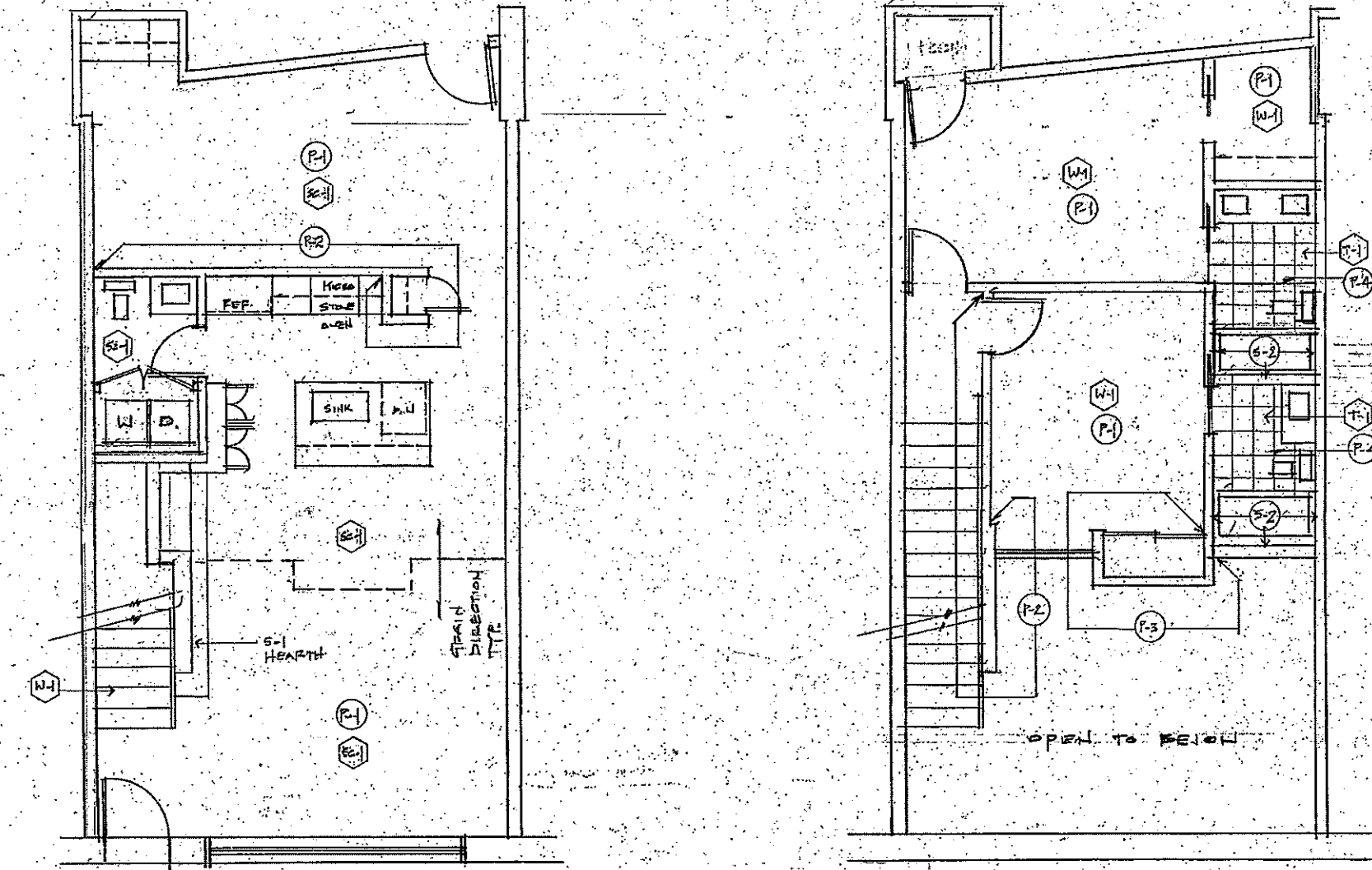
1. ALL CEILING PAINT CEILING WHITE U.N.O.
2. ALL CEILING 1/2" STIP 30.
3. PROVIDE MAX INSULATION BETWEEN FLOORS & ROOF.
4. ALL FIXTURES "EAP" OR EQUAL.
5. ALL DOWNLIGHTS TYPE A U.N.O.
6. ALL FIXTURES OWNER PROVIDED.
7. ALL FIXTURES ON SLIDE DIMMERS.

FIXTURE LEGEND

- RECESSED DOWNLIGHT SPEC 5" DIA STEPPED WHITE BAFFLE LAMP 75W PAR 30
- RECESSED DOWNLIGHT SPEC 5 1/2" DIA STEPPED WHITE BAFFLE LAMP 50W PAR 16
- WALL SURFACE MOUNT PORCELAN SOCKET LAMP - 50W PAR 30
- UNDERCABINET SPEC - STRIP FINITE LAMP - T2
- WET LOCATION RECESSED DOWNLIGHT SPEC 5" DIA LONG LAMP 75W PAR 30
- SURFACE MOUNT SCONCE
- CEILING MOUNT DECORATIVE PENDANT MOUNT 72" AFF
- ⊗ EXHAUST FAN

- WET LOCATION RECESSED DOWNLIGHT SPEC 5" DIA LONG LAMP 75W PAR 30
- SURFACE MOUNT SCONCE
- CEILING MOUNT DECORATIVE PENDANT MOUNT 72" AFF
- ⊗ EXHAUST FAN
- WAVE FLOOR STRIP SPEC - CONT STAGGERED STRIP LAMP - T4H T5





TPO ENTRANCE
 TUB/SHOWER PROOF
 FULL HT TILE T-2 @
 3 WALLS

OPEN TO BELOW

Project Name:



EAST STREET LOFTS
 JONESBORO ARKANSAS

DATE	05-25-07
PROJECT NO.	105-107

Sheet Title:
FINISH PLAN

Sheet Number:
 400

FINISH SYMBOLS

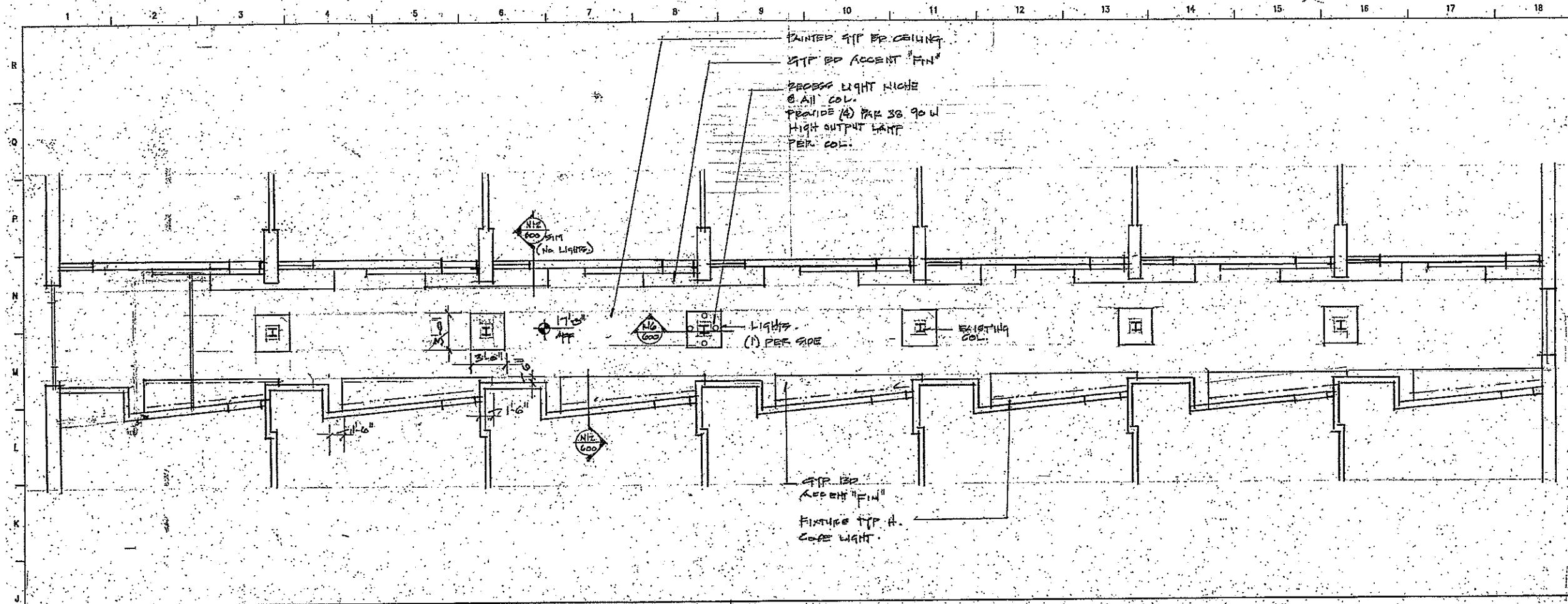
- FLOOR FINISH
- WALL FINISH
- SPECIFIC WALL FINISH

FINISH NOTES

1. REFER ELEVATIONS & SECTIONS FOR ADDITIONAL FINISH LOCATIONS
2. PAINT FINISHES
 GYP WALL - EGGSHELL
 MTL & WOOD - SEMI-GLOSS
 CABINETS - FLAT
3. ALL EXTERIOR DOORS PAINT P-5
 ALL INTERIOR DOORS PAINT P-6
 ALL DOOR FRAMES, BASES & TRIM PAINT TO MATCH ADJACENT WALL

FINISH LEGEND

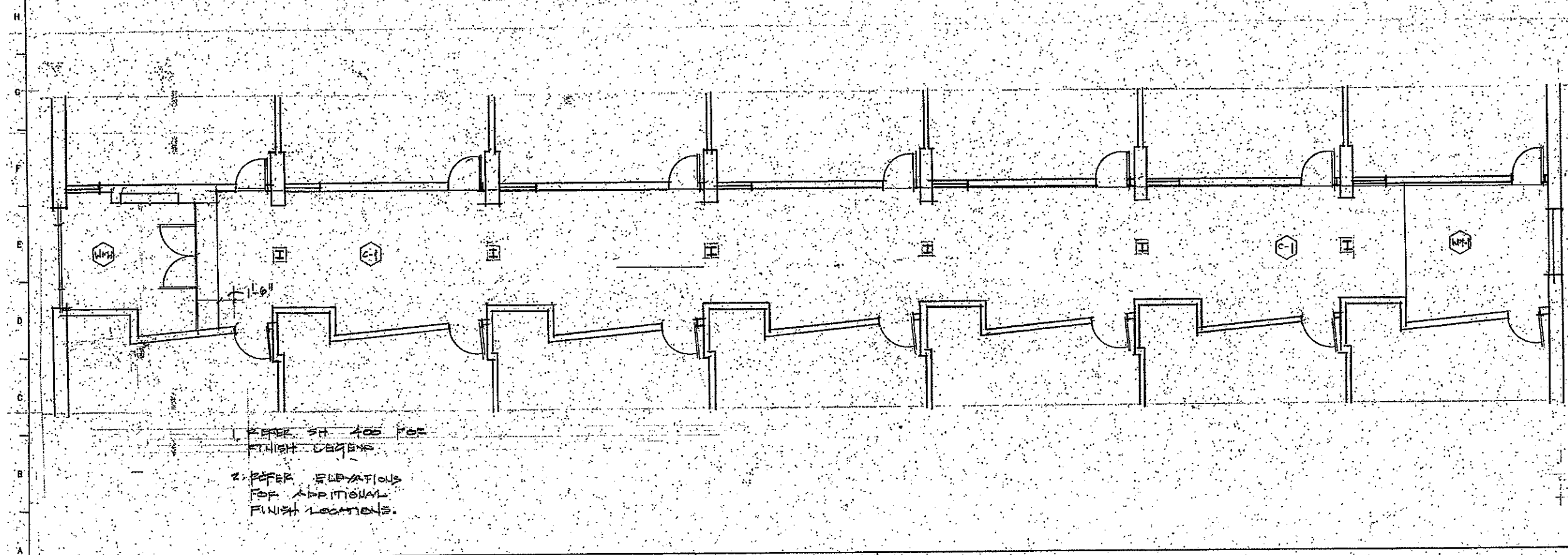
W-1	WOOD FLOORING MFG - OWNER PROVIDED SPEC - BAYBRO	T-2	TILE - SEE SPECIES - NOT USED	P-1	PAINT - GENERAL MFG - LOWES NO - WV35001 COLOR - COTTAGE LINEN	P-6	PAINT - ROOFS MFG - NO -
W-2	MILLWORK CABINETS MFG - MERCILANE COLOR - SABLE	S-1	STONE TOP - 2CM SPECIES - DARK EMPERADOR	P-2	PAINT - MFG - LOWES NO - WV39001 COLOR - BARNWOOD	P-7	PAINT - TRIM MFG - NO -
W-1	WALK OFF MAT MFG - HEUGA NAME - FLOX-603059 COLOR - ANTHRACITE 412	S-2	STONE TOP - 2CM SPECIES - CALCATA GOLD	P-3	PAINT - MFG - LOWES (VALPARK) NO - 6011-1 COLOR - FIRED EARTH		
		S-3	STONE TOP SPECIES - LUPARANO GOLD	P-4	PAINT - BASE MFG - NO -		
T-1	12x12 TILE SPECIES - DARK EMPERADOR COLOR - DARK 218	Z-1	CARPET MFG - MILLIKEN NAME - REMIX COLOR - FIREBRITE NO - AZ1 STONE INPAGO EXE - FIBREX GUE	P-5	PAINT - EXT. ROOF MFG - NO -		
S-1	STAINED CONCRETE COLOR - BLACK						



Crain + Tice Design Group


500 9th South Front Street, Suite 37, Memphis, TN 38102
 901.521.5905 Fax 901.521.7195 Cell 901.528.8654
 info@crain-tice.com

1 CORRIDOR CEILING PLAN
 VAI=1-01



2 CORRIDOR FINISH PLAN
 VAI=1-01

Project Name:



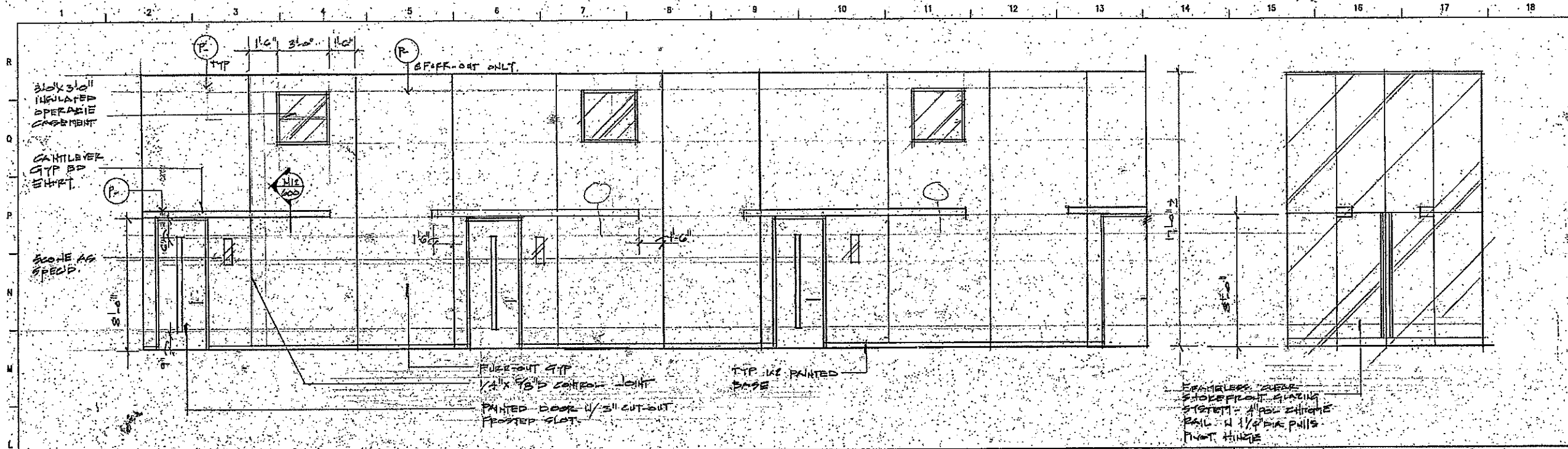
EAST STREET LOFTS
 JONESBORO ARKANSAS

DATE:	05-25-07
PROJECT NO.:	07-105

Sheet No.:

PUBLIC CORRIDOR
 CEILING PLAN
 FINISH PLAN

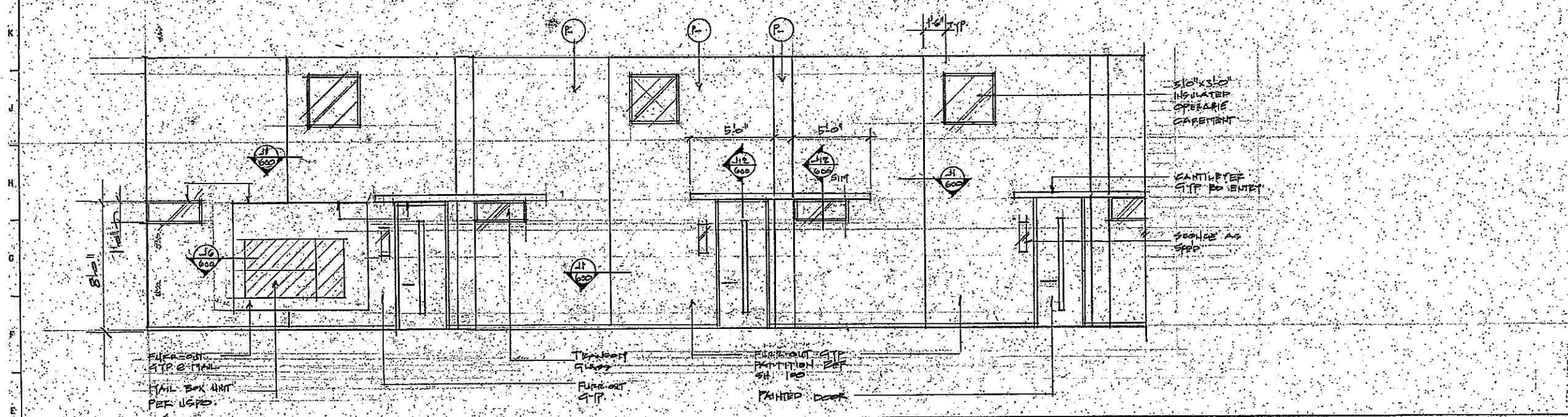
Sheet Number:



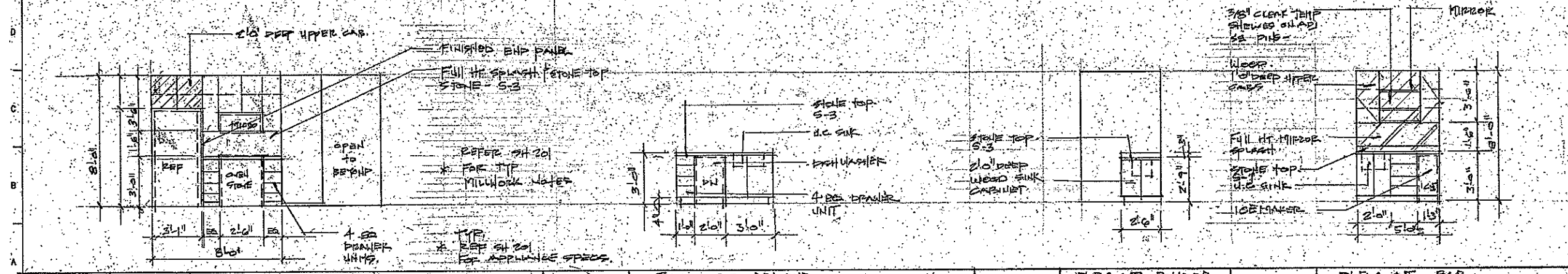
Design Group

May 2007 South Front Street Suite 37 Memphis, TN 38102-5200 Tel: 901.522.1187 Fax: 901.522.8454
 group@bellwood.com

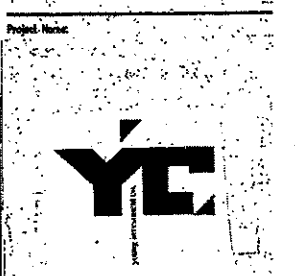
L1 ELEV AT TYP CORRIDOR 3/20/11-01 L15 ELEV AT ENTRY 3/20/11-01



E1 ELEV AT CORRIDOR 3/20/11-01

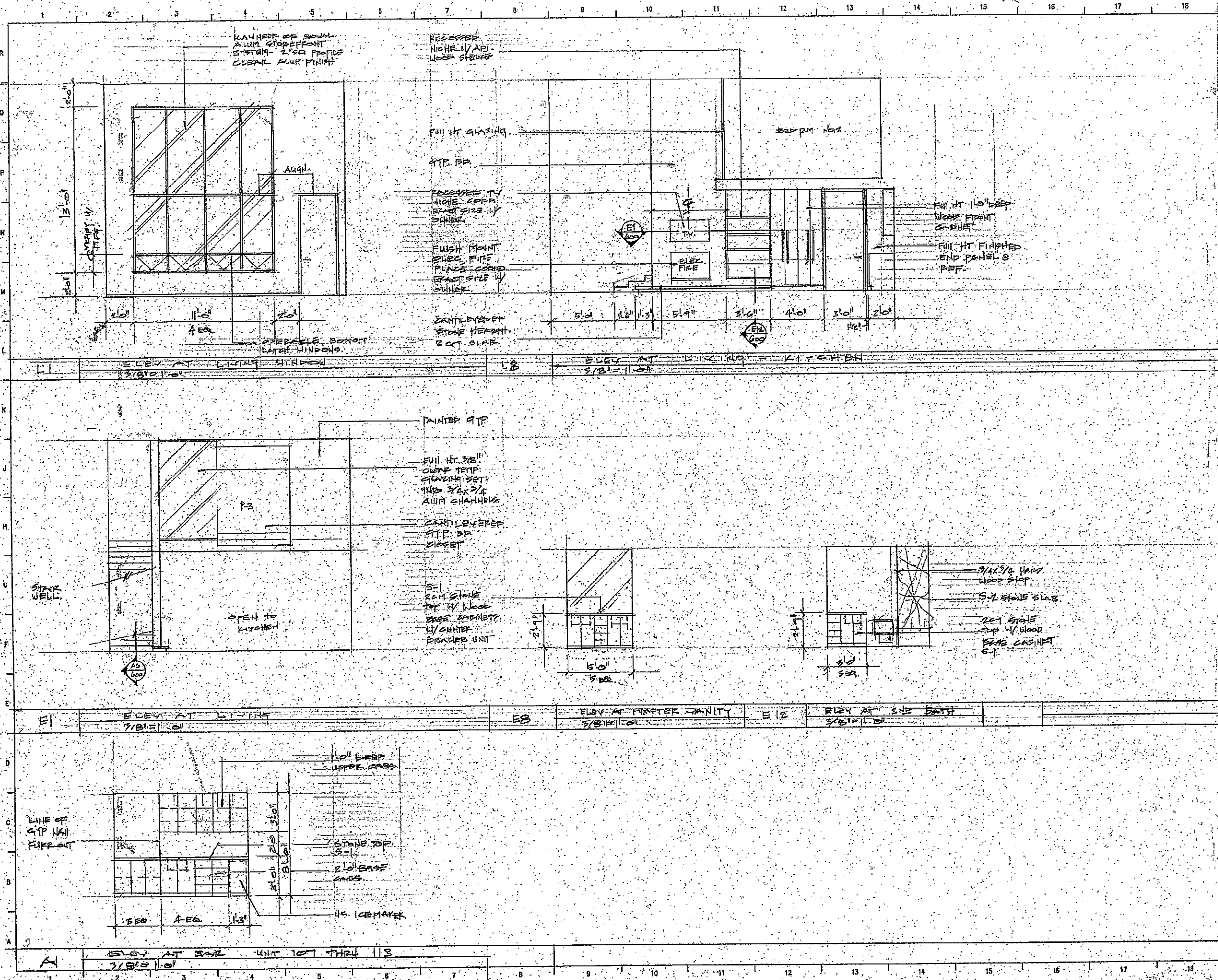


A1 ELEV AT KITCHEN 3/20/11-01 A7 ELEV AT ISLAND 3/20/11-01 A12 ELEV AT POWDER 3/20/11-01 A15 ELEV AT BAR 3/20/11-01



EAST STREET LOFTS
 JONESBORO ARKANSAS

DATE	05-25-07
PROJECT NO.	07-105
SHEET NO.	ELEVATION
SHEET NUMBER	500



Design Gro.

6145 S. South Front Street Suite 27 Memphis, TN
 901.521.2800 Fax 901.572.7195 *Call 901.521.2804
 info@designgro.com

Project Name

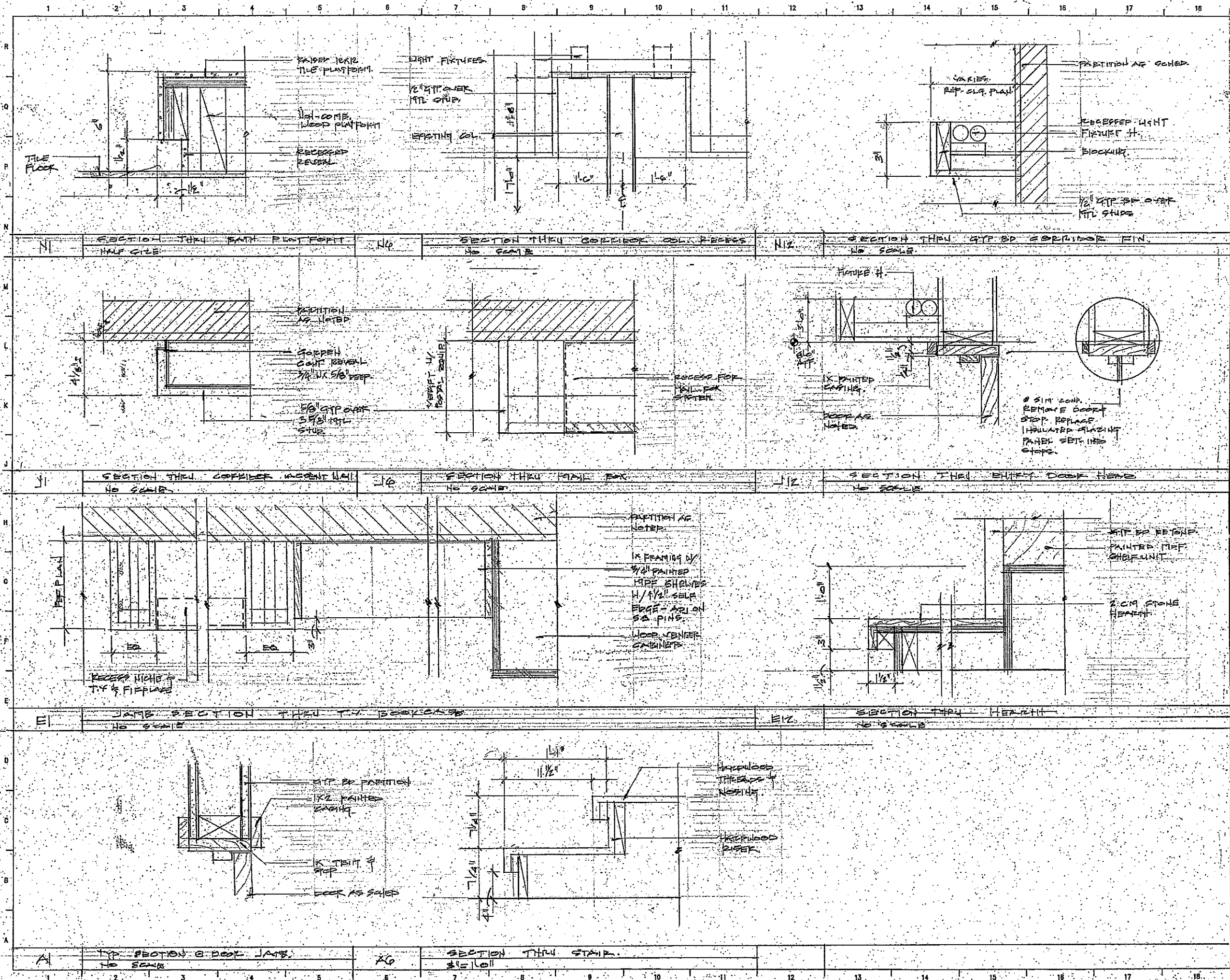


EAST STREET LOFTS
 JONESBORO ARKANSAS

DATE: 05-25-07
 PROJECT NO: 104-3105

Sheet Title:
 ELEVATIONS

Sheet Number:



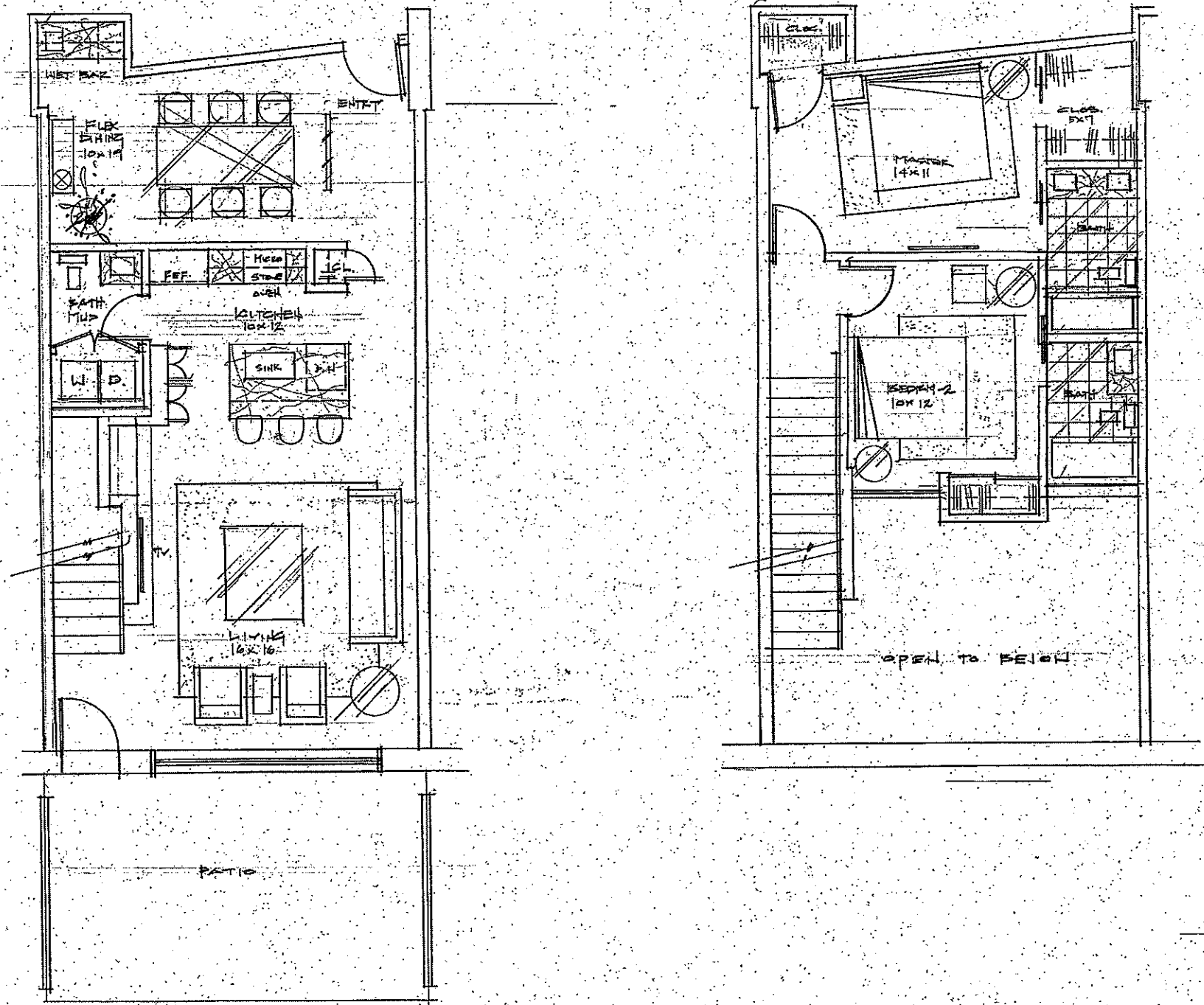
Y&C Design Group
 544 S. South Front Street, Suite 27, Memphis, TN
 901.522.8200 Fax 901.522.8555 Cell 901.522.8254
 yandc@yandcgroup.com

Project Name
Y&C
 EAST STREET LOFTS
 JONESBORO ARKANSAS

DATE	05-25-07
PROJECT NO.	1011105
Sheet Title	SECTIONS
Sheet Number	

Design Group

1004 1/2 South First Street Suite 27 Memphis, TN 38152-8807 Fax: 901.572.7196 Cell: 901.528.5854 info@hellscat.net



Project Name:



EAST STREET LOFTS
JONESBORO ARKANSAS

DATE:	
PROJECT NO.:	105-107

Sheet Title:
FURNITURE PLAN

Sheet Number:

FUR 1

FURNITURE PLAN - FIRST FLOOR FURNITURE PLAN - LOFT