

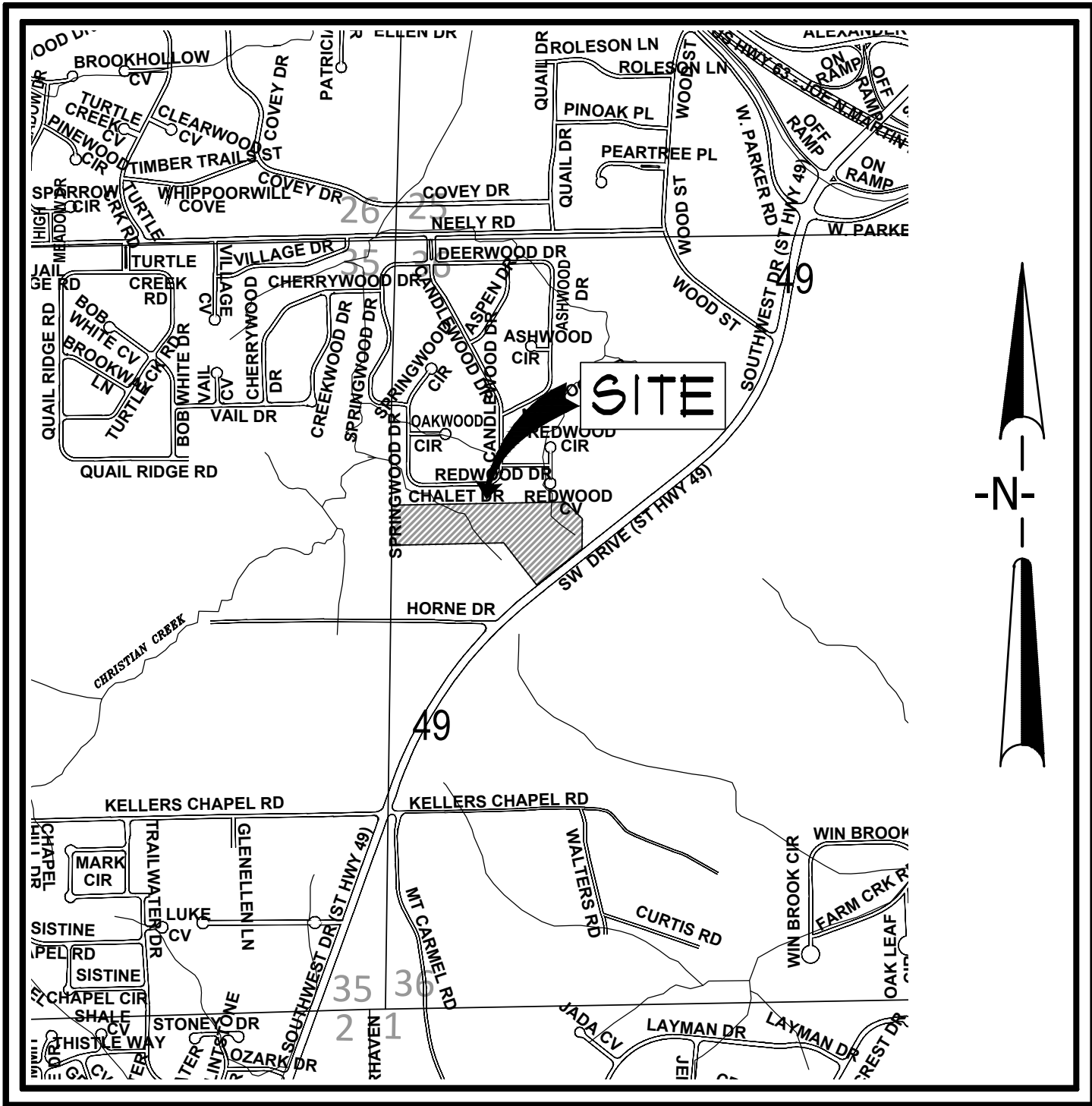
SITE DEVELOPMENT PLANS

FARMER HILLS

A COMMERCIAL DEVELOPMENT

PREPARED FOR  
FARMER ENTERPRISES, INC.

JONESBORO, ARKANSAS  
FEBRUARY, 2024



VICINITY MAP

NOT TO SCALE

INDEX TO SHEETS

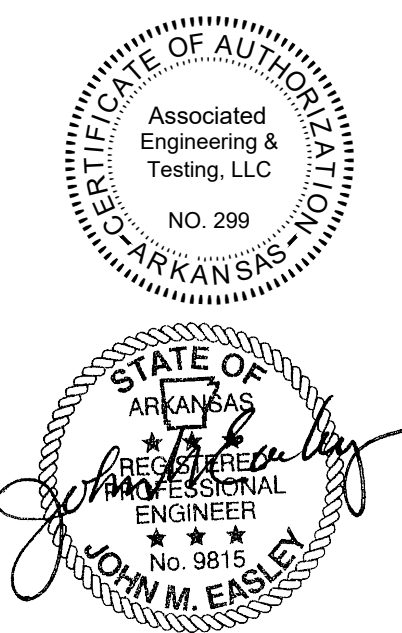
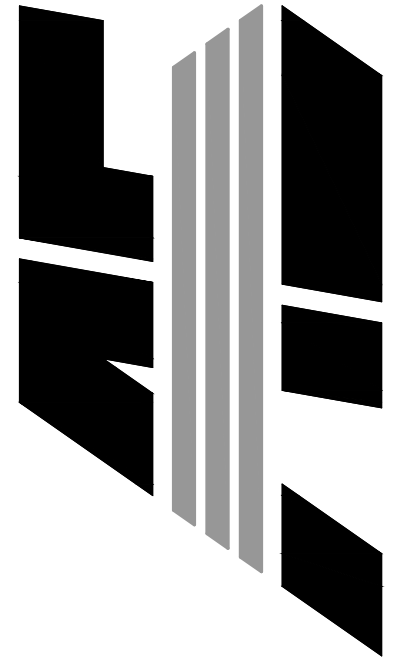
- CO01 COVER SHEET
- CO02 GENERAL NOTES
- CO03 TOPOGRAPHIC SURVEY
- CO04 RECORD PLAT
- CO05 UTILITY PLAN
- CO06 GRADING/PROFILE PLAN
- CO07 EROSION CONTROL PLAN
- CO08 STANDARD DETAILS
- CO09 EROSION CONTROL DETAILS



© Copyright 2023 AETLLC

FARMER HILLS  
A COMMERCIAL DEVELOPMENT  
SOUTHWEST DRIVE  
JONESBORO, ARKANSAS

ASSOCIATED  
ENGINEERING, LLC  
CIVIL ENGINEERING • LAND SURVEYING  
LAND PLANNING  
103 SOUTH CHURCH STREET • P.O. BOX 1462  
JONESBORO, AR 72403  
PH: 870-932-3594 • FAX: 870-935-1263



| NO. | DESCRIPTION  | DATE     |
|-----|--------------|----------|
| 3.  | COJ COMMENTS | 03/08/24 |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |

| COVER SHEET |              |          |      |
|-------------|--------------|----------|------|
| DATE:       | 02/21/2024   | DRAWN:   | COH  |
| CADD FILE:  | 21104-SDP-R3 | CHECKED: | JME  |
| DWG#:       |              | SHEET    |      |
| SCALE:      | AS SHOWN     |          | CO01 |

RESOURCE LIST

1. CITY OF JONESBORO - PLANNING AND ZONING  
DERREL SMITH, CITY PLANNER  
300 SOUTH CHURCH STREET  
JONESBORO, AR 72401  
879-932-0406
2. CITY OF JONESBORO - ENGINEERING  
CRAIG LIGHT, P.E.  
CITY ENGINEER  
307 VINE STREET  
JONESBORO, AR 72401  
870-932-2438
3. CODES DEPT. FIRE MARSHALL  
JASON WILLIS  
3215 E. JOHNSON AVE.  
JONESBORO, AR 72401  
870-932-2428
4. CITY WATER AND LIGHT - ENGINEERING  
JAKE RICE, P.E., P.S. - MANAGER  
400 EAST MONROE, P.O. BOX 1289  
JONESBORO, AR 72403  
870-935-5581, FAX: 870-930-3303  
SUSAN MIERDETH - ENGINEERING SERVICES DIRECTOR  
870-930-3320
5. CENTERPOINT ENERGY  
KEITH CRAIG - SERVICE TECHNICIAN  
3013 OLD FEEDHOUSE ROAD  
JONESBORO, AR 72404  
CELL: 870-897-3750
6. AT&T  
723 CHURCH, ROOM B 27  
JONESBORO, AR 72403  
PHIL FARLEY - AREA MANAGER INSTALLATION & REPAIR  
870-972-7827, FAX: 870-972-7610  
TOMMY GRAY - AREA MANAGER ENGINEERING DESIGN  
870-972-7587, FAX: 870-972-7533
7. SUDDEN LINK - CABLE TV  
1520 SOUTH CARAWAY ROAD  
JONESBORO, AR 72401  
BOB PROCK - CONSTRUCTION MANAGER  
870-933-8409 EXT: 212, FAX: 870-972-8141  
DEANNA HORNBACK - MANAGER  
JIMMY YANCY - FIELD MANAGER  
CELL: 870-219-8583

BENCHMARK LIST

1. ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
2. BENCHMARK #1 (ELEV.=419.62) IS TOP OF SANITARY SEWER MANHOLE LOCATED ON THE NORTH SIDE OF ARKANSAS STATE HWY. 49 (SOUTHWEST DRIVE) APPROXIMATELY 132 FEET NORTH AND 151 FEET EAST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY.

GENERAL NOTES

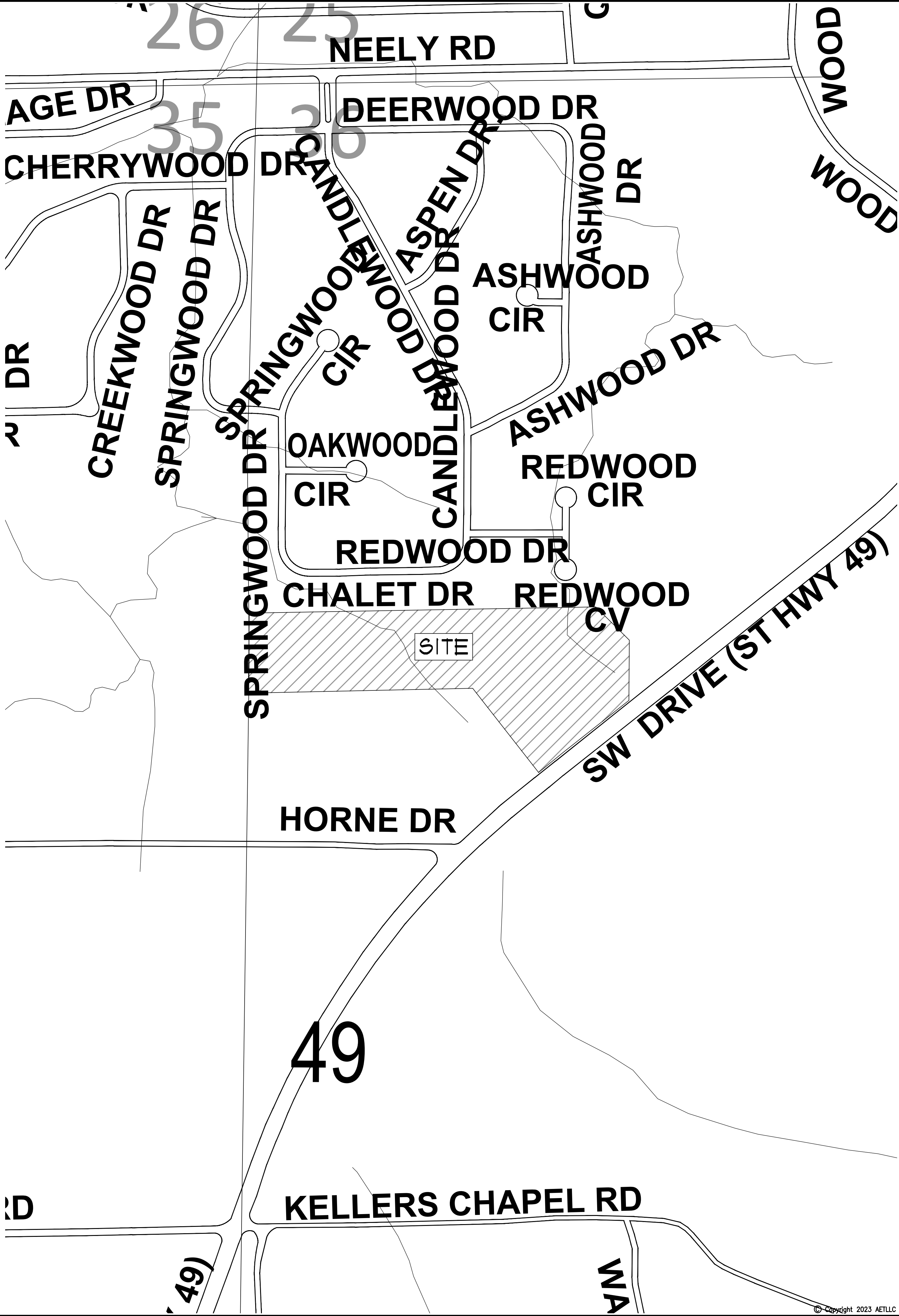
1. SCREENING AND BUFFERING ARE AS SHOWN.
2. EASEMENTS ARE AS SHOWN.
3. DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. PROPERTY IS CURRENTLY ZONED C-3, GENERAL COMMERCIAL DISTRICT.



Know what's below.  
Call before you dig.

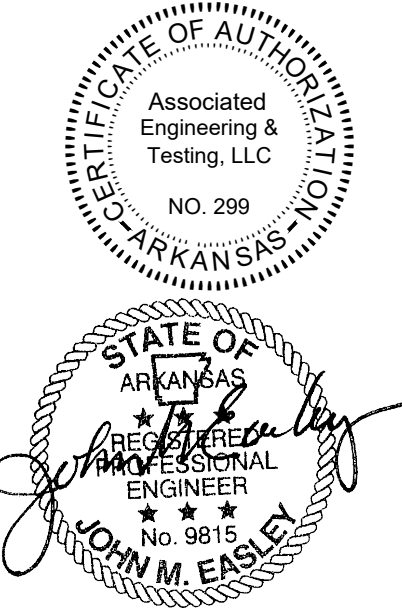
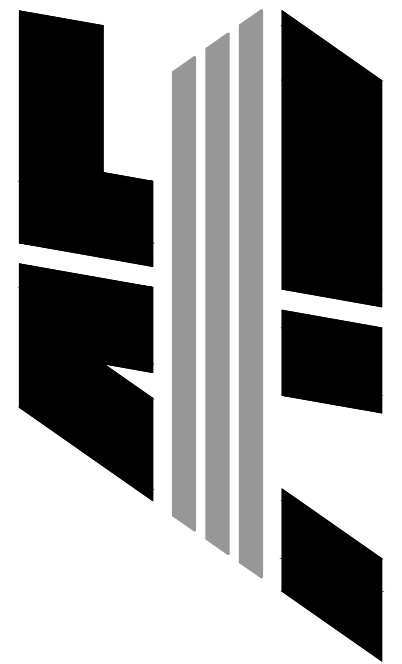
LEGEND

|     |                                      |  |                                         |  |                         |
|-----|--------------------------------------|--|-----------------------------------------|--|-------------------------|
| --- | BOUNDARY LINE                        |  | EXISTING FIRE HYDRANT                   |  | DOWNSPOUT               |
| --- | LOT LINES                            |  | PROPOSED FIRE HYDRANT                   |  | SPRINKLER CONTROL       |
|     | FOUND IRON PIPE                      |  | VALVE BOX                               |  | MAILBOX                 |
|     | FOUND COTTON-PICKER SPINDLE          |  | FIRE PROTECTION                         |  | TRASH COMPACTOR         |
|     | FOUND REBAR                          |  | EXISTING OVERHEAD ELECTRICAL LINE       |  | COLUMN                  |
|     | CITY OF JONESBORO G.P.S. MONUMENT    |  | EXISTING UNDERGROUND ELECTRICAL LINE    |  | BOLLARD                 |
|     | BENCH MARK                           |  | ELECTRIC TRANSFORMER / ELECTRIC METER   |  | HANDICAP SIGN           |
|     | R/W MONUMENT                         |  | POWER POLE                              |  | EXISTING FENCE LINE     |
|     | SET 1/4" IRON PIPE                   |  | POWER JUNCTION / COMMUNICATIONS BOX     |  | EXISTING GROUND CONTOUR |
| SS  | EXISTING SANITARY SEWER LINE         |  | SIGN LIGHTS / FLOOD LIGHTS              |  | FINISHED GROUND CONTOUR |
| SS  | PROPOSED SANITARY SEWER LINE         |  | LIGHT POLE                              |  | EXISTING TREE/SHRUB     |
|     | EXISTING SANITARY SEWER MANHOLE      |  | TRAFFIC SIGN                            |  | BASIN BOUNDARY          |
|     | PROPOSED SANITARY SEWER MANHOLE      |  | TRAFFIC SIGNAL                          |  | DRAINAGE FLOW           |
|     | EXISTING SANITARY SEWER CLEANOUT     |  | TRAFFIC LIGHT CONTROL                   |  | GENERAL DRAINAGE FLOW   |
|     | PROPOSED SANITARY SEWER CLEANOUT     |  | TRAFFIC SIGNAL W/ POLE                  |  | SWALE FLOW DIRECTION    |
| --- | PROPOSED SANITARY SEWER SERVICE LINE |  | EXISTING OVERHEAD COMMUNICATION LINE    |  | SILT FENCE              |
| W   | EXISTING WATER LINE                  |  | EXISTING UNDERGROUND COMMUNICATION LINE |  | ROCK CHECK DAM          |
| W   | PROPOSED WATER LINE                  |  | TELEPHONE PEDESTAL                      |  | RIP RAP AREA            |
|     | EXISTING WATER METER                 |  | EXISTING GAS LINE                       |  | INLET PROTECTION        |
|     | PROPOSED WATER METER                 |  | GAS METER                               |  | ROCK CHECK DAM          |
|     | EXISTING WATER VALVE                 |  | EXISTING STORM WATER MANHOLE            |  |                         |
|     | PROPOSED WATER VALVE                 |  | GRATED INLET                            |  |                         |



FARMER HILLS  
A COMMERCIAL DEVELOPMENT  
SOUTHWEST DRIVE  
JONESBORO, ARKANSAS

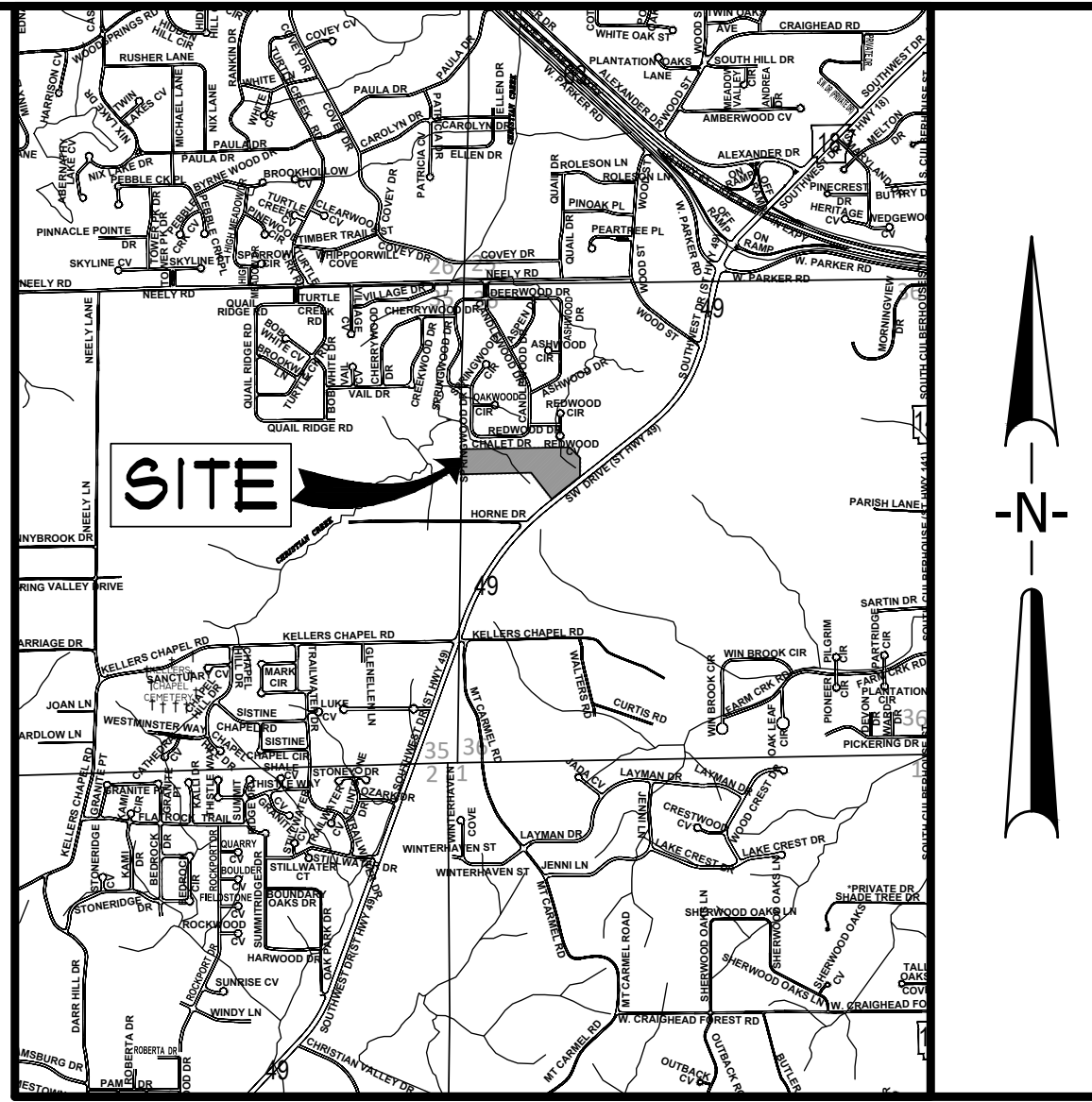
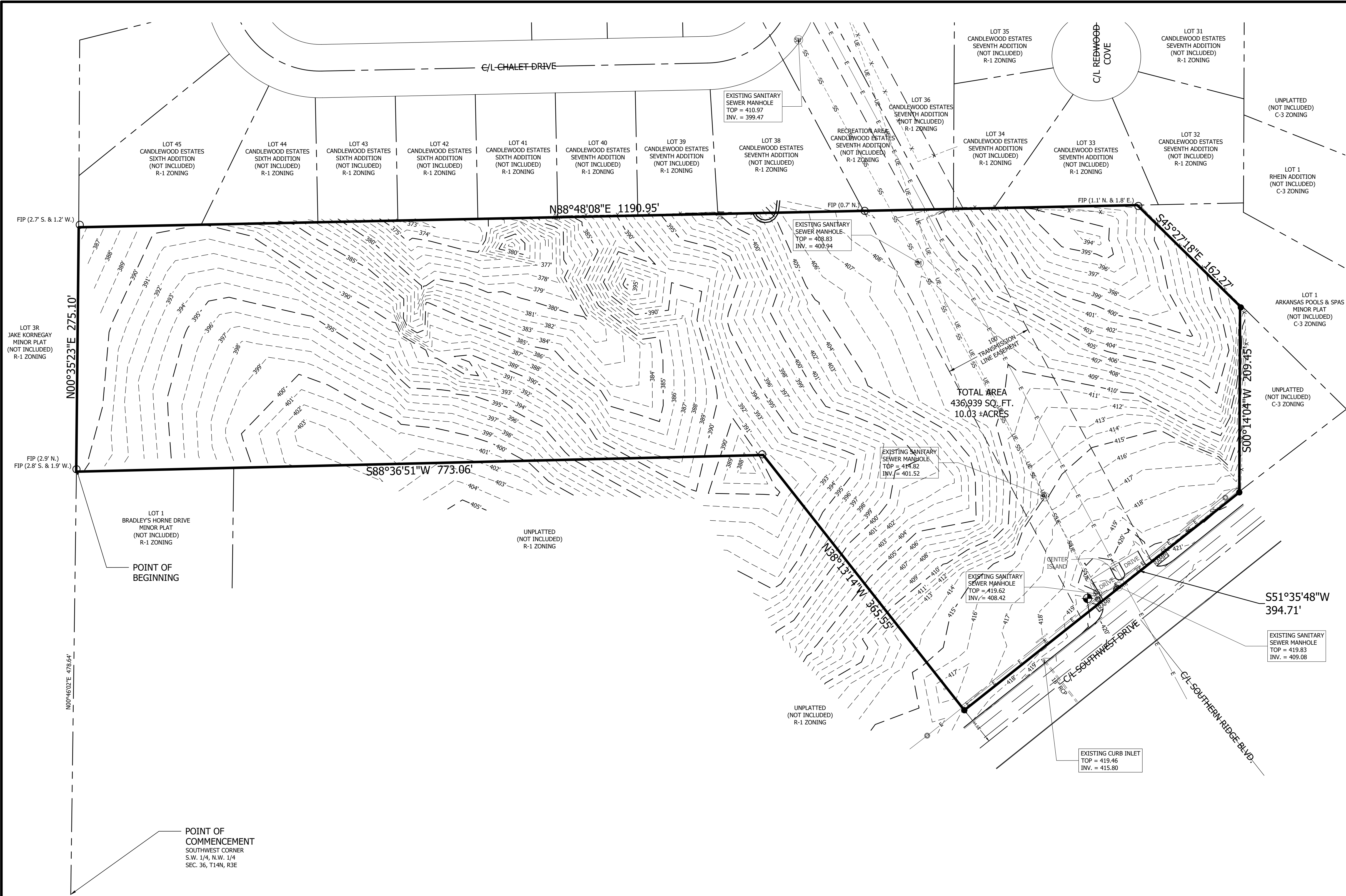
ASSOCIATED  
ENGINEERING, LLC  
CIVIL ENGINEERING • LAND SURVEYING  
LAND PLANNING  
103 SOUTH CHURCH STREET • P.O. BOX 1462  
JONESBORO, AR 72403  
PH: 870-932-3594 • FAX: 870-935-1263



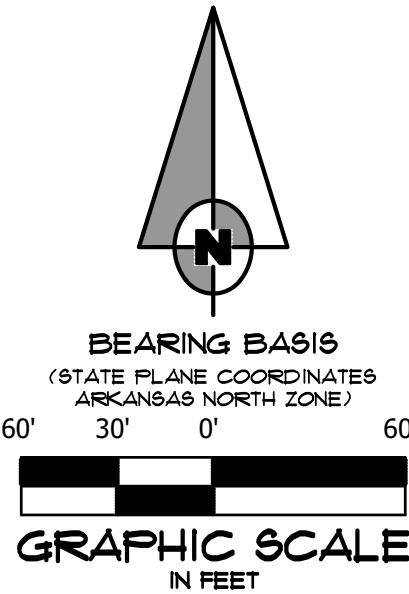
| NO. | DESCRIPTION  | DATE     |
|-----|--------------|----------|
| 3.  | COJ COMMENTS | 23/08/24 |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |

INDEX  
SHEET

|            |              |          |      |
|------------|--------------|----------|------|
| DATE:      | 02/21/2024   | DRAWN:   | COJ  |
| CADD FILE: | 21104-SDP-R3 | CHECKED: | JME  |
| DWG#       |              | SHEET    |      |
| SCALE:     | AS SHOWN     |          | C002 |



VICINITY SKETCH  
NOT TO SCALE



| LEGEND |                                        |
|--------|----------------------------------------|
|        | = BOUNDARY LINE                        |
|        | = ADJACENT LOT LINE                    |
|        | = EASEMENT LINE                        |
|        | = FOUND IRON PIPE                      |
|        | = FOUND REBAR                          |
|        | = SET 1-1/4" IRON PIPE W/ PS #1314 CAP |
|        | = EXISTING SANITARY SEWER LINE         |
|        | = SANITARY SEWER MANHOLE               |
|        | = EXISTING SANITARY SEWER LINE         |
|        | = WATER VALVE                          |
|        | = FIRE HYDRANT                         |
|        | = EXISTING OVERHEAD ELECTRICAL LINE    |
|        | = POWER POLE                           |
|        | = GUY WIRE                             |
|        | = ELECTRIC PULL BOX                    |
|        | = TELEPHONE PEDESTAL                   |
|        | = STORM GRATED INLET                   |
|        | = EXISTING FENCE LINE                  |
|        | = EXISTING GROUND CONTOUR              |
|        | = BENCHMARK                            |

### SURVEYOR'S NOTES

- THIS DRAWING WAS PREPARED FOR FARMER ENTERPRISES, INC. AND IS NOT ASSIGNABLE.
- NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS SURVEYOR FOR EASEMENTS, RESTRICTIONS, RESERVATIONS OR RIGHTS-OF-WAY AFFECTING THIS PROPERTY. ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- BENCHMARK #1 (ELEV.=419.62) IS TOP OF SANITARY SEWER MANHOLE LOCATED ON THE NORTH SIDE OF ARKANSAS STATE HWY. 49 (SOUTHWEST DRIVE) APPROXIMATELY 132 FEET NORTH AND 151 FEET EAST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY.
- ALL UTILITY LOCATIONS SHOWN HEREON WERE LOCATED BY FIELD MEASUREMENTS OF VISIBLE OBSERVATIONS AND/OR EXISTING UTILITY MAPS. ASSOCIATED ENGINEERING, LLC MAKES NO WARRANTY OR GUARANTEE TO THE UTILITIES SHOWN OR NOT SHOWN HEREON. FURTHERMORE ASSOCIATED ENGINEERING, LLC MAKES NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF EXISTING UTILITY MAPS. IF PRECISE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED THE CLIENT/ CONTRACTOR SHALL COORDINATE WITH SAID UTILITY OWNER TO EXPOSE SAID UTILITY FOR LOCATION AND/OR DEPTH. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ANY AND ALL UTILITY LOCATIONS AND/OR DEPTHS BEFORE EXCAVATION.
- SUBJECT PROPERTY IS CURRENTLY ZONED C-3, GENERAL COMMERCIAL DISTRICT. ADJACENT PROPERTIES ARE ZONED C-3 AND R-1 AS SHOWN. STANDARD BUILDING SETBACKS FOR C-3 ZONING ARE AS FOLLOWS: STREET=25' SIDE=10' REAR=20' MAXIMUM LOT COVERAGE IS SIXTY PERCENT (60%). MAXIMUM HEIGHT LIMITATION IS FORTY-FIVE FEET (45').
- SUBJECT PROPERTY IS LOCATED WITHIN "X", AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN, AS DESIGNATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR CRAIGHEAD COUNTY AND INCORPORATED AREAS, COMMUNITY PANEL 05031C0150C (PANEL 150 OF 200). EFFECTIVE DATE- SEPTEMBER 27, 1991.
- THE FOLLOWING DOCUMENTS WERE USED TO PREPARE THIS SURVEY:
  - RECORD PLAT OF CANDLEWOOD ESTATES SEVENTH ADDITION, RECORDED IN PLAT CABINET "A", PAGE 60 AT JONESBORO, ARKANSAS.
  - RECORD PLAT OF CANDLEWOOD ESTATES SIXTH ADDITION, RECORDED IN PLAT CABINET "A", PAGE 28 AT JONESBORO, ARKANSAS.
  - PLAT OF SURVEY FOR PAUL FINNICUM BY DALE ADAMSON, RECORDED IN PLAT BOOK "H", PAGE 87 AT JONESBORO, ARKANSAS.
  - UNRECORDED PLAT OF SURVEY FOR ALEC FARMER BY TROY L. SHEETS, DATED MAY 14, 1992.

### DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 14 NORTH, RANGE 3 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 14 NORTH, RANGE 3 EAST, CRAIGHEAD COUNTY, ARKANSAS: THENCE NORTH 00°46'02" EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36, A DISTANCE OF 478.64 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°35'23" EAST, A DISTANCE OF 275.10 FEET; THENCE NORTH 88°48'08" EAST, DEPARTING SAID WEST LINE, A DISTANCE OF 1190.95 FEET; THENCE SOUTH 45°27'18" EAST, A DISTANCE OF 162.27 FEET TO A POINT ON THE EAST LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36; THENCE SOUTH 00°14'04" WEST, ALONG SAID EAST LINE, A DISTANCE OF 209.45 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HWY. 49 (SOUTHWEST DRIVE); THENCE SOUTH 51°35'48" WEST, ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 394.71 FEET; THENCE NORTH 38°13'14" WEST, DEPARTING SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 365.55 FEET; THENCE SOUTH 88°36'51" WEST, A DISTANCE OF 773.06 FEET TO THE POINT OF BEGINNING.

CONTAINING IN ALL 436,939 SQ. FT. OR 10.03 ACRES, MORE OR LESS.  
SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

### SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT ASSOCIATED ENGINEERING AND TESTING, LLC HAS THIS DATE MADE A BOUNDARY AND TOPOGRAPHIC SURVEY OF THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON AND THAT SAID SURVEY IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THERE ARE NO APPARENT ABOVE GROUND ENROACHMENTS OTHER THAN AS SHOWN OR STATED HEREON AND THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE "ARKANSAS MINIMUM STANDARDS FOR PROPERTY SURVEYS AND PLATS" IN EFFECT ON THIS DATE.

DATE OF BOUNDARY SURVEY: 10/11/2023

NOTE: TO BE VALID, COPIES MUST HAVE SURVEYOR'S SEAL WITH DATED SIGNATURE.

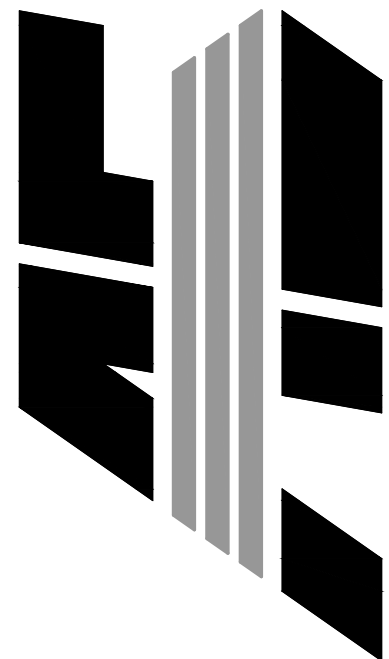
© Copyright 2023 AETLC

FARMER ENTERPRISES, INC.

SOUTHWEST DRIVE  
SECTION 36, T14N, R3E  
JONESBORO, ARKANSAS

ASSOCIATED  
ENGINEERING, LLC  
CIVIL ENGINEERING • LAND SURVEYING  
LAND PLANNING

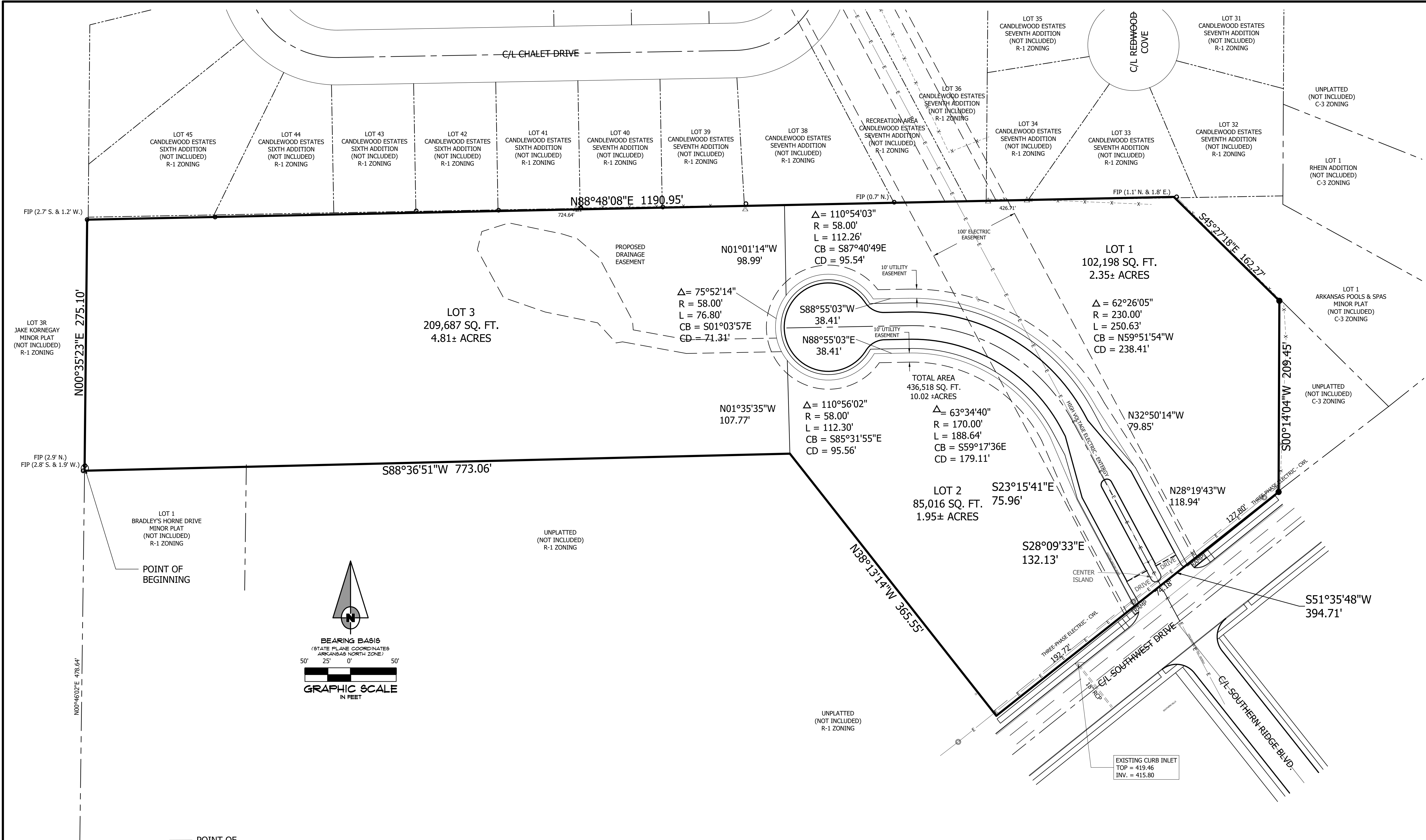
103 SOUTH CHURCH STREET • P.O. BOX 1462  
JONESBORO, AR 72403  
PH: 870-932-3594 • FAX: 870-935-1263



| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

### TOPOGRAPHIC SURVEY

|                      |              |
|----------------------|--------------|
| DATE: 10/23/2023     | DRAWN: CCH   |
| CADD FILE: 21104-001 | CHECKED: JME |
| DWG# 0314364.XXXX    | SHEET        |
| SCALE: 1" = 60'      | 1 OF 1       |



### SURVEYOR'S NOTES

- THIS DRAWING WAS PREPARED FOR FARMER ENTERPRISES, INC. AND IS NOT ASSIGNABLE.
- NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS SURVEYOR FOR EASEMENTS, RESTRICTIONS, RESERVATIONS OR RIGHTS-OF-WAY AFFECTING THIS PROPERTY. ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- BENCHMARK #1 (ELEV.=419.62) IS TOP OF SANITARY SEWER MANHOLE LOCATED ON THE NORTH SIDE OF ARKANSAS STATE HWY. 49 (SOUTHWEST DRIVE) APPROXIMATELY 132 FEET NORTH AND 151 FEET EAST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY.
- ALL UTILITY LOCATIONS SHOWN HEREON WERE LOCATED BY FIELD MEASUREMENTS OF VISIBLE OBSERVATIONS AND/OR EXISTING UTILITY MAPS. ASSOCIATED ENGINEERING, LLC MAKES NO WARRANTY OR GUARANTEE TO THE UTILITIES SHOWN OR NOT SHOWN HEREON. FURTHERMORE ASSOCIATED ENGINEERING, LLC MAKES NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF EXISTING UTILITY MAPS. IF PRECISE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED THE CLIENT/ CONTRACTOR SHALL COORDINATE WITH SAID UTILITY OWNER TO EXPOSE SAID UTILITY FOR LOCATION AND/OR DEPTH. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ANY AND ALL UTILITY LOCATIONS AND/OR DEPTHS BEFORE EXCAVATION.
- SUBJECT PROPERTY IS CURRENTLY ZONED C-3, GENERAL COMMERCIAL DISTRICT. ADJACENT PROPERTIES ARE ZONED C-3 AND R-1 AS SHOWN. STANDARD BUILDING SETBACKS FOR C-3 ZONING ARE AS FOLLOWS: STREET=25' SIDE=10' REAR=20' MAXIMUM LOT COVERAGE IS SIXTY PERCENT (60%). MAXIMUM HEIGHT LIMITATION IS FORTY-FIVE FEET (45').
- SUBJECT PROPERTY IS LOCATED WITHIN "7" AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN, AS DESIGNATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR CRAIGHEAD COUNTY AND INCORPORATED AREAS, COMMUNITY PANEL 05031C0150C (PANEL 150 OF 200).
- EFFECTIVE DATE - SEPTEMBER 27, 1991.
- THE FOLLOWING DOCUMENTS WERE USED TO PREPARE THIS SURVEY:
  - RECORD PLAT OF CANDLEWOOD ESTATES SEVENTH ADDITION, RECORDED IN PLAT CABINET "A", PAGE 60 AT JONESBORO, ARKANSAS.
  - RECORD PLAT OF CANDLEWOOD ESTATES SIXTH ADDITION, RECORDED IN PLAT CABINET "A", PAGE 28 AT JONESBORO, ARKANSAS.
  - PLAT OF SURVEY FOR PAUL FINNIUM BY DALE ADAMSON, RECORDED IN PLAT BOOK "H", PAGE 87 AT JONESBORO, ARKANSAS.
  - UNRECORDED PLAT OF SURVEY FOR ALEC FARMER BY TROY L. SHEETS, DATED MAY 14, 1992.

### DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 14 NORTH, RANGE 3 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 14 NORTH, RANGE 3 EAST, CRAIGHEAD COUNTY, ARKANSAS: THENCE NORTH 00°46'02" EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36, A DISTANCE OF 478.64 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°35'23" EAST, A DISTANCE OF 275.10 FEET; THENCE NORTH 88°48'08" EAST, DEPARTING SAID WEST LINE, A DISTANCE OF 1190.95 FEET; THENCE SOUTH 45°27'18" EAST, A DISTANCE OF 162.27 FEET TO A POINT ON THE EAST LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36; THENCE SOUTH 00°14'04" WEST, ALONG SAID EAST LINE, A DISTANCE OF 209.45 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF ARKANSAS STATE HWY. 49 (SOUTHWEST DRIVE); THENCE SOUTH 51°35'48" WEST, ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 394.71 FEET; THENCE NORTH 38°13'14" WEST, DEPARTING SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 365.55 FEET; THENCE SOUTH 88°36'51" WEST, A DISTANCE OF 773.06 FEET TO THE POINT OF BEGINNING.  
CONTAINING IN ALL 436,939 SQ. FT. OR 10.03 ACRES, MORE OR LESS.  
SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

### OWNER'S CERTIFICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY AS DESCRIBED HEREON, THAT WE REQUEST THIS RECORD PLAT AND DEDICATE THE PERPETUAL USE OF ALL STREETS AND EASEMENTS AS SHOWN HEREON.

FARMER ENTERPRISES, INC.  
ALEC FARMER, OWNER

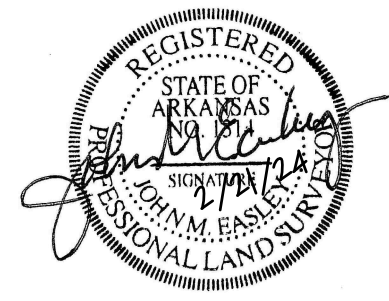
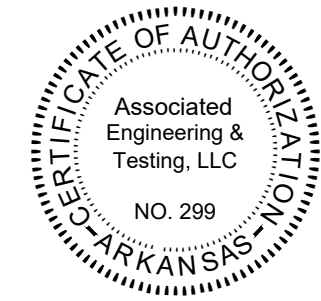
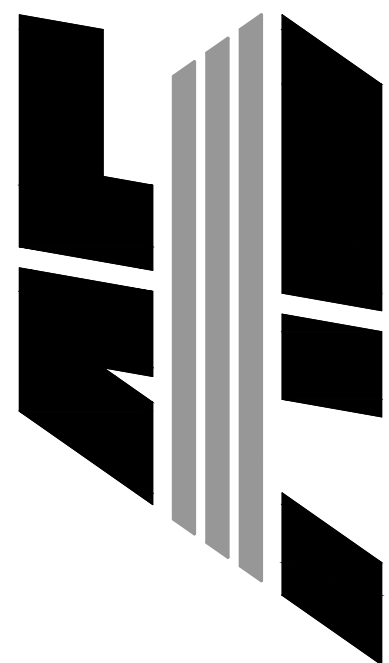
FARMER HILLS

A COMMERCIAL DEVELOPMENT  
SOUTHWEST DRIVE  
JONESBORO, ARKANSAS

ASSOCIATED  
ENGINEERING, LLC

CIVIL ENGINEERING • LAND SURVEYING  
LAND PLANNING

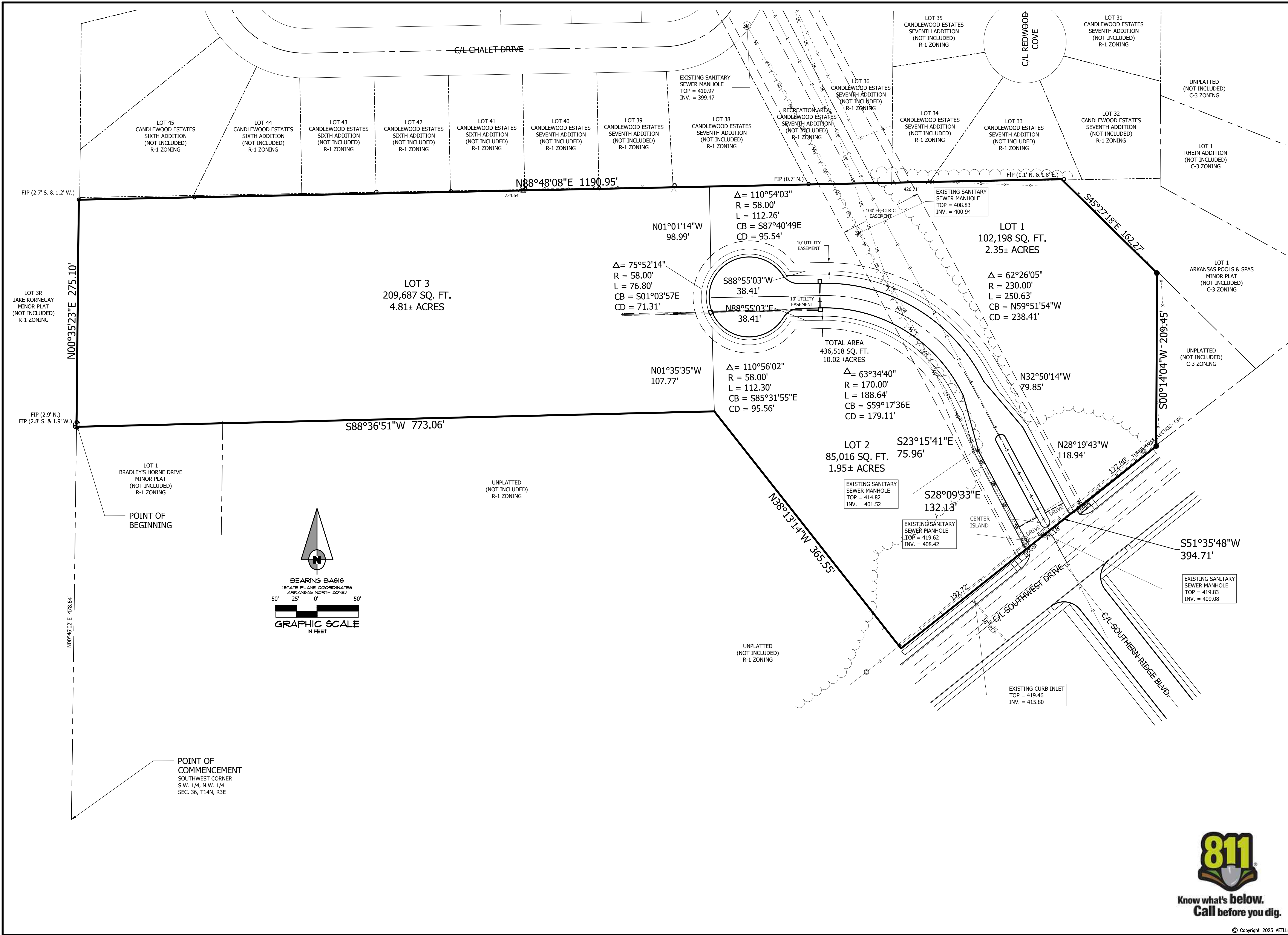
103 SOUTH CHURCH STREET • P.O. BOX 1462  
JONESBORO, AR 72403  
PH: 870-932-3594 • FAX: 870-935-1263



| NO. | DESCRIPTION  | DATE     |
|-----|--------------|----------|
| 3.  | COV COMMENTS | 23/08/24 |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |

RECORD  
PLAT

|                         |              |
|-------------------------|--------------|
| DATE: 02/21/2024        | DRAWN: CCH   |
| CADD FILE: 21104-SDP-R3 | CHECKED: JME |
| DWG# XXXXXXXX.XXXX      | SHEET        |
| SCALE: 1" = 60'         | C003         |



**FARMER HILLS**

A COMMERCIAL DEVELOPMENT

SOUTHWEST DRIVE

JONESBORO, ARKANSAS

**ASSOCIATED ENGINEERING, LLC**

CIVIL ENGINEERING • LAND SURVEYING  
LAND PLANNING

103 SOUTH CHURCH STREET • P.O. BOX 1462  
JONESBORO, AR 72403  
PH: 870-932-3594 • FAX: 870-935-1263

STATE OF ARKANSAS  
JAMES M. EASLEY  
Professional Engineer  
No. 9815

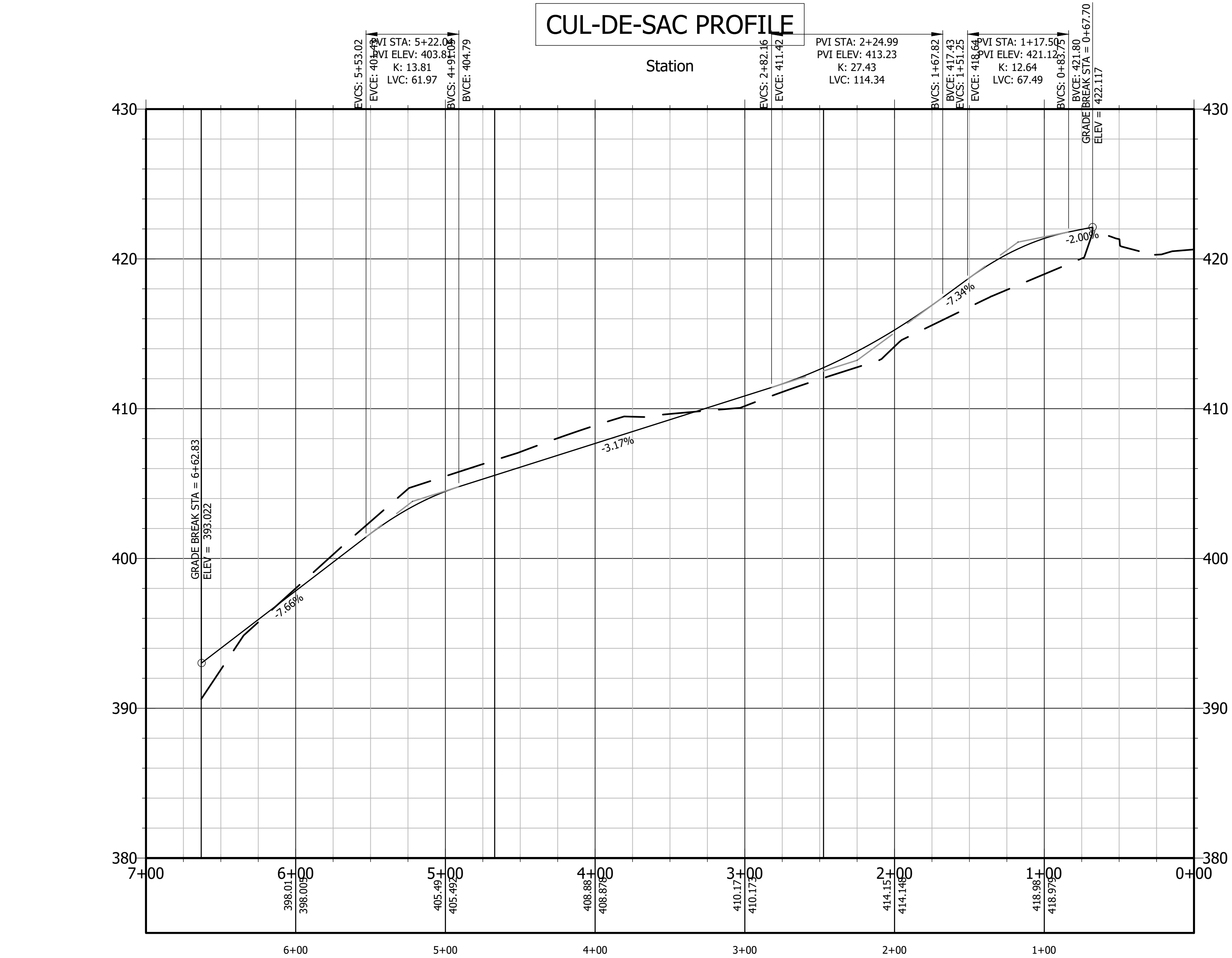
| NO. | DESCRIPTION  | DATE     |
|-----|--------------|----------|
| 3.  | COV COMMENTS | 03/08/24 |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |

UTILITY PLAN

|                      |              |
|----------------------|--------------|
| DATE: 02/13/2024     | DRAWN: CCH   |
| CADD FILE: 21104-SDP | CHECKED: JME |
| DWG# XXXXXXXX.XXXX   | SHEET        |
| SCALE: 1" = 60'      | C005         |

Know what's below.  
Call before you dig.

Copyright 2023 AETLC



1. EACH LOT DEVELOPER SHALL BE RESPONSIBLE FOR TREE COUNT AND TREE PRESERVATION PLAN PRIOR TO LOT SITE APPROVAL.
2. EACH LOT DEVELOPER SHALL BE RESPONSIBLE FOR THE STORMWATER MANAGEMENT PLAN AND STORMWATER POLLUTION PREVENTION PLAN PRIOR TO LOT SITE APPROVAL.

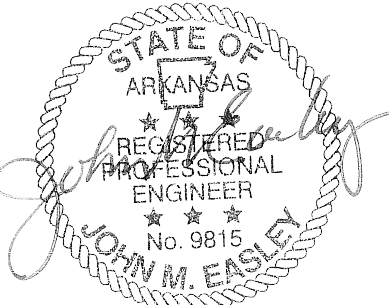
1. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
2. ALL CURB RETURN RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
3. PROJECT SITE IS CURRENTLY VACANT.
4. THROUGHOUT ALL EXCAVATION ACTIVITIES, POSITIVE DRAINAGE SHALL BE MAINTAINED WITH MINIMUM SLOPES OF 0.5% OR GREATER AND SURFACE DRAINAGE GENERALLY IN THE DIRECTION PROVIDED BY EXISTING TOPOGRAPHY.
5. WORK SHALL PROGRESS IN SUCH A MANNER AS TO ALLOW THE EXISTING VEGETATION TO REMAIN AS LONG AS POSSIBLE, CONSISTENT WITH THE SCOPE OF WORK.
6. ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL ACCESSIBLE PARKING SPACES SHALL HAVE A MAXIMUM SLOPE OF 2.0% IN ALL DIRECTIONS.
7. REMOVE AND DISPOSE OF ALL DEBRIS AND OTHER MATERIAL AS SHOWN IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS.
8. ACCESS ALONG ROADWAY SHALL BE MAINTAINED AT ALL TIMES. CONSTRUCTION IN CITY, COUNTY OR STATE RIGHT OF WAY SHALL BE COORDINATED WITH THE RESPECTIVE AUTHORITY.
9. TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES. THE CONTRACTOR SHALL GIVE AFFECTED PROPERTY OWNERS SUFFICIENT NOTICE PRIOR TO CONSTRUCTION OPERATIONS.
10. STORMWATER MITIGATION AND EROSION CONTROL PERMITS SHALL BE THE RESPONSIBILITY OF EACH LOT OWNER/DEVELOPER.



**Know what's below.  
Call before you dig.**

© Copyright 2023 AETLLC

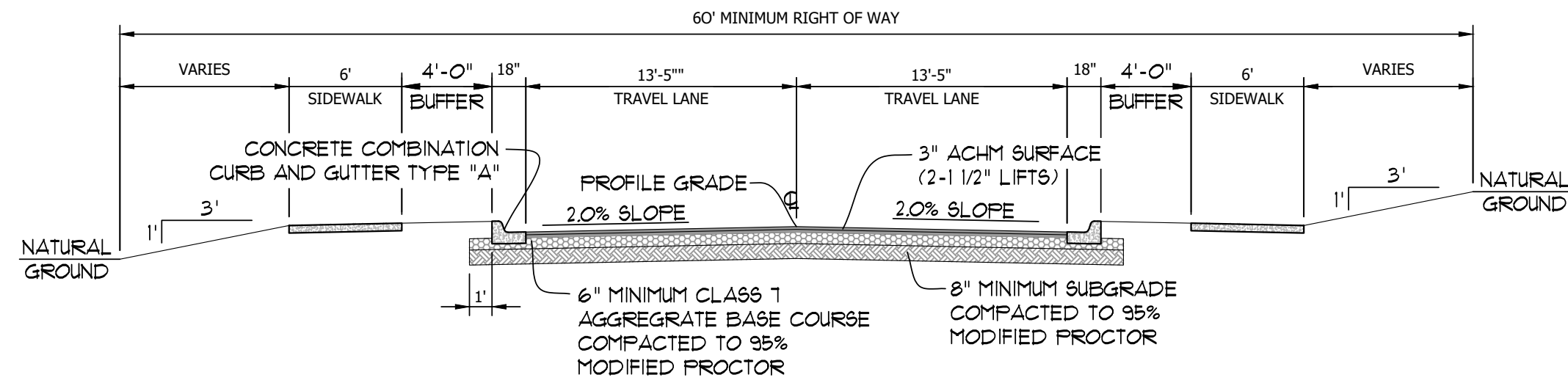
***ASSOCIATED  
ENGINEERING, LLC***  
CIVIL ENGINEERING • LAND SURVEYING  
LAND PLANNING

[illegible]

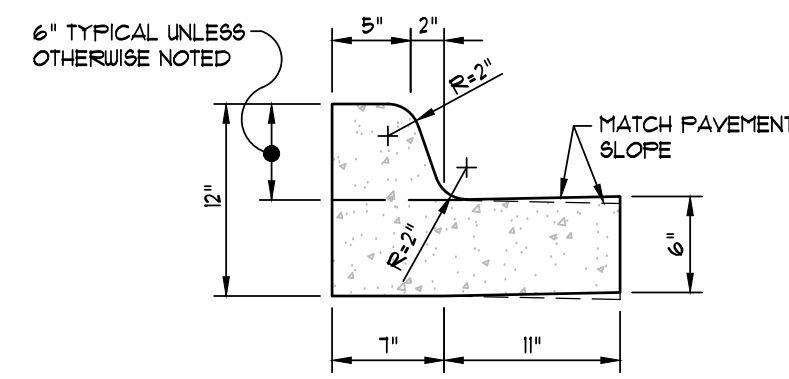
# PLAN & PROFILE

|                      |               |
|----------------------|---------------|
| DATE: 02/13/2024     | DRAWN: CCH    |
| CADD FILE: 21104-SDP | CHECKED: JME  |
| DWG#: XXXXXXXX.XXXX  | SHEET<br>C006 |
| SCALE: 1" = 60'      |               |





**LOCAL STREET SECTION - NEW CONSTRUCTION**  
SCALE: NONE



**TYPICAL CURB & GUTTER TYPE 'A-18'**  
(NOT TO SCALE)

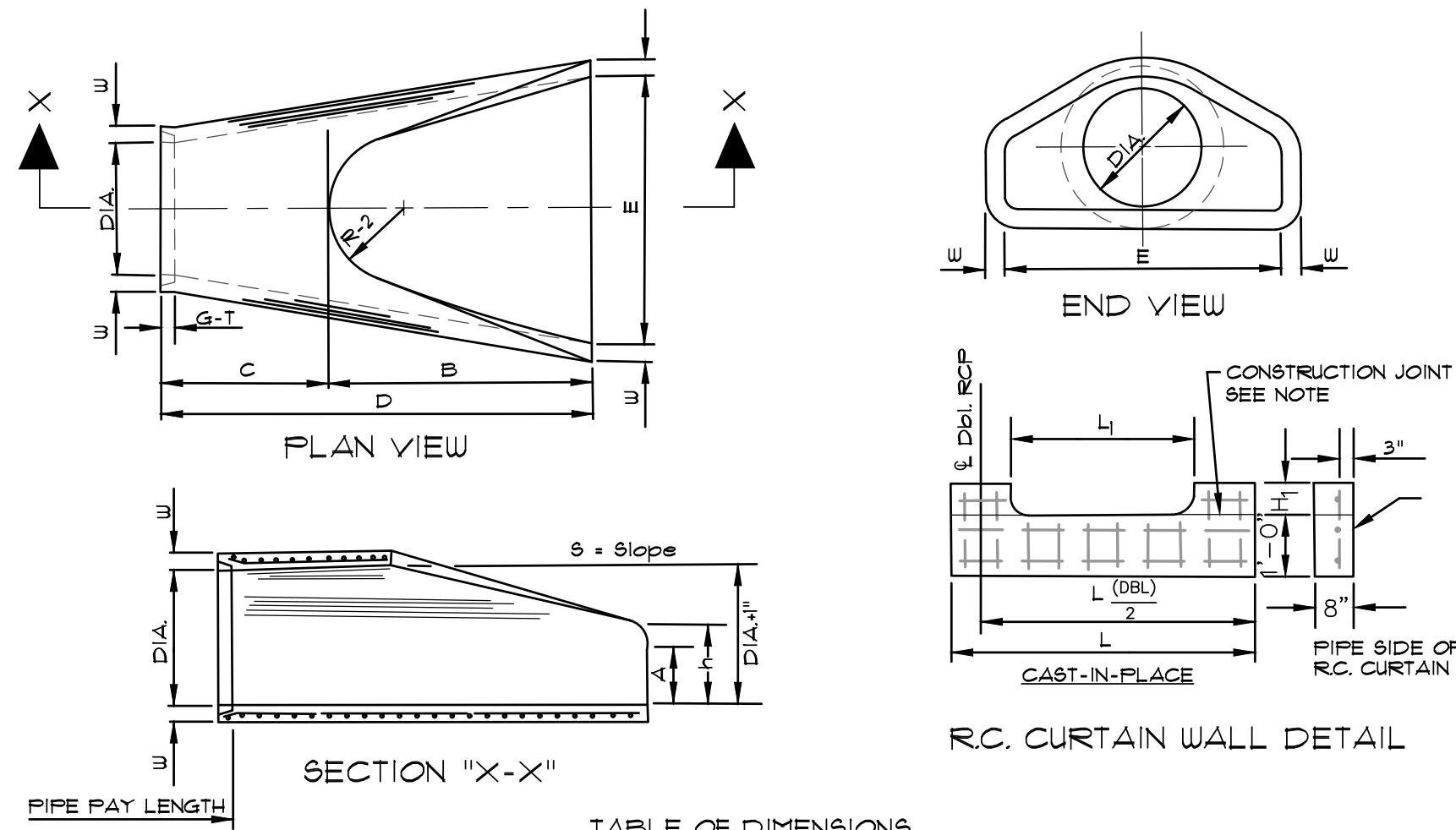


TABLE OF DIMENSIONS

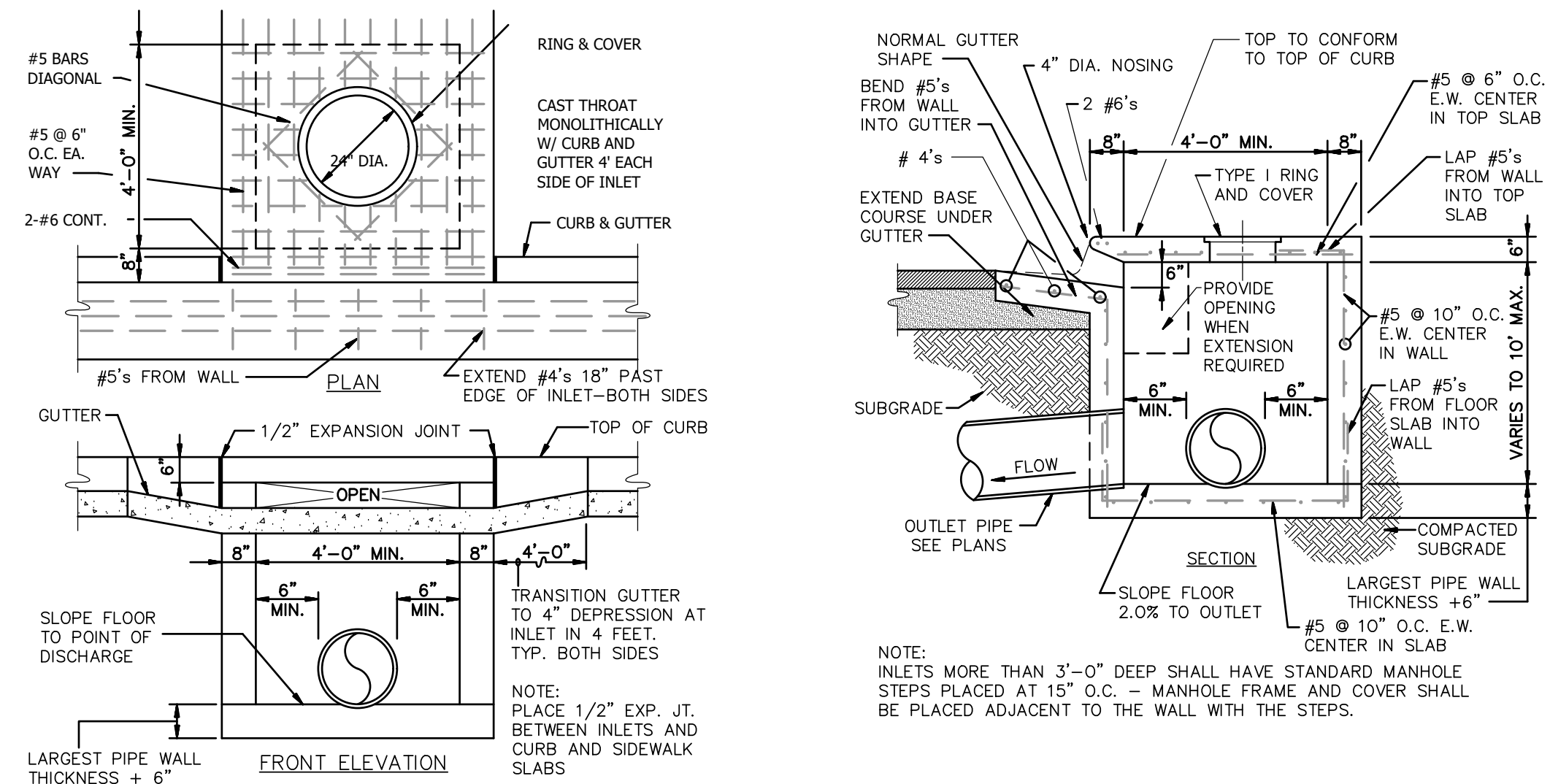
| DIA. | WALL   | A      | B         | C          | D         | E     | S   | DIA. ±1" | P         | R-1       | R-2 | G-T    | WT    | h          |
|------|--------|--------|-----------|------------|-----------|-------|-----|----------|-----------|-----------|-----|--------|-------|------------|
| 18"  | 2 1/2" | 9"     | 2'-3"     | 3'-10"     | 6'-1"     | 3'-0" | 3:1 | 19"      | 29"       | 15 1/2"   | 12" | 2"     | 1000  | 1'-0 1/2"  |
| 24"  | 3"     | 9 1/2" | 3'-7 1/2" | 2'-6"      | 6'-1 1/2" | 4'-0" | 3:1 | 25"      | 33 3/16"  | 16 13/16" | 14" | 2 1/2" | 1600  | 1'-1 1/2"  |
| 30"  | 3 1/2" | 1'-0"  | 4'-6"     | 1'-7 3/4"  | 6'-1 3/4" | 5'-0" | 3:1 | 31"      | 37"       | 18 1/2"   | 15" | 3 1/4" | 1940  | 1'-4 5/8"  |
| 36"  | 4"     | 1'-3"  | 5'-3"     | 2'-10 3/4" | 6'-1 3/4" | 6'-0" | 3:1 | 37"      | 47 13/16" | 24 5/16"  | 20" | 3 1/2" | 4100  | 1'-8"      |
| 42"  | 4 1/2" | 1'-9"  | 5'-3"     | 2'-11"     | 8'-2"     | 6'-6" | 3:1 | 43"      | 53 7/8"   | 27 1/2"   | 22" | 3 1/2" | 5380  | 2'-2 1/2"  |
| 48"  | 5"     | 2'-0"  | 6'-0"     | 2'-2"      | 8'-2"     | 7'-0" | 3:1 | 49"      | 56 1/2"   | 28 1/2"   | 22" | 3 1/2" | 6550  | 2'-6"      |
| 54"  | 5 1/2" | 2'-4"  | 6'-6"     | 1'-10"     | 8'-4"     | 7'-6" | 3:1 | 55"      | 65 1/2"   | 33 1/8"   | 24" | 4"     | 8750  | 2'-10 1/2" |
| 60"  | 6"     | 2'-10" | 6'-6"     | 1'-10"     | 8'-4"     | 8'-0" | 3:1 | 61"      | 72 1/2"   | 36 11/16" | 24" | 4"     | 9270  | 3'-0"      |
| 72"  | 7"     | 3'-10" | 6'-6"     | 1'-10"     | 8'-4"     | 9'-0" | 3:1 | 73"      | 77 13/16" | 38 15/16" | 24" | 5"     | 13250 | 4'-6"      |

**NOTES:**

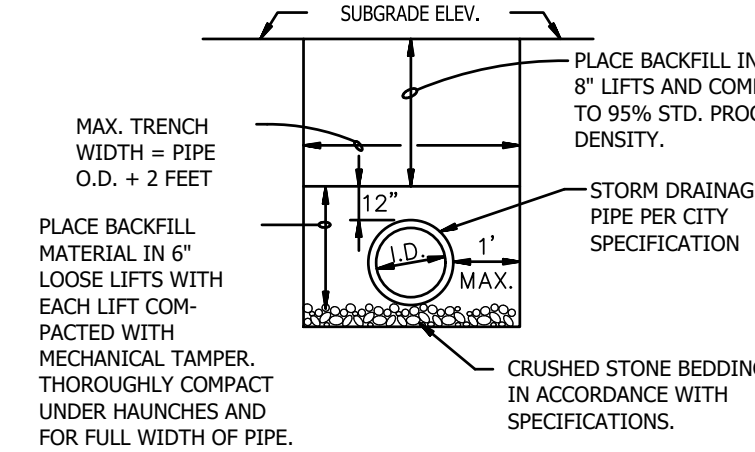
- THE PORTION OF THE R.C. CURTAIN WALL BENEATH THE FLARED END SECTION (LOWER 1'-0") SHALL BE PLACED MONOLITHICALLY. THE FLARED END SECTION SHALL THEN BE SET IN PLACE AND THE REMAINING PORTIONS OF THE R.C. CURTAIN WALL PLACED.
- ALL REINFORCING STEEL ARE #4 BARS AT 6" O.C.
- NO SEPARATE PAYMENT WILL BE MADE FOR THE CURTAIN WALLS. THEY SHALL BE CONSIDERED SUBSIDIARY TO THE FLARED END SECTIONS.
- TONGUE END ON UPSTREAM SECTION. GROOVE END ON DOWNSTREAM SECTION.

**FLARED END SECTION DETAILS FOR REINFORCED CONCRETE PIPE CULVERT**

(NOT TO SCALE)

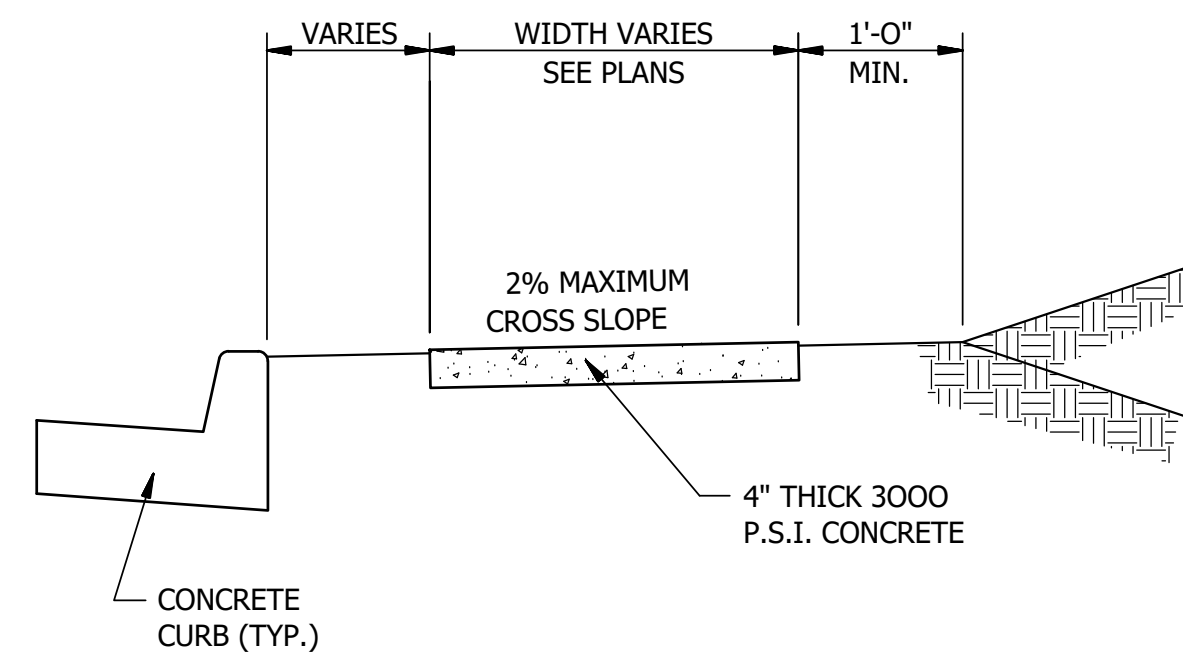


**CURB INLET - TYPE 'A'**  
(NOT TO SCALE)



**DRAINAGE PIPE TRENCH DETAIL**

NOTE: TO BE USED WITH NEW STREET CONSTRUCTION.  
SEE DRAWING NO. PT-1 FOR EXISTING STREET CUTS.

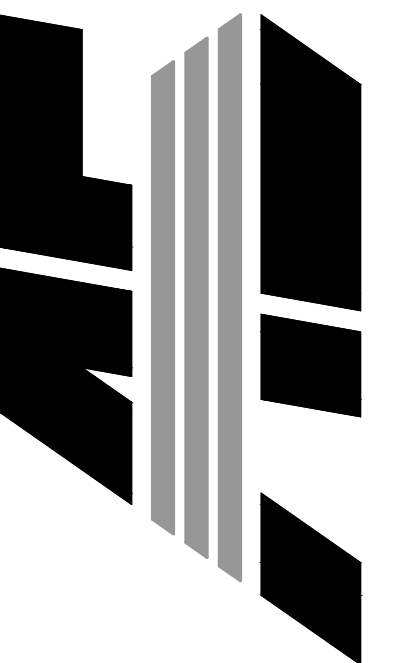


**TYPICAL SECTION - SIDEWALK**

N.T.S.

**FARMER HILLS**  
A COMMERCIAL DEVELOPMENT  
SOUTHWEST DRIVE  
JONESBORO, ARKANSAS

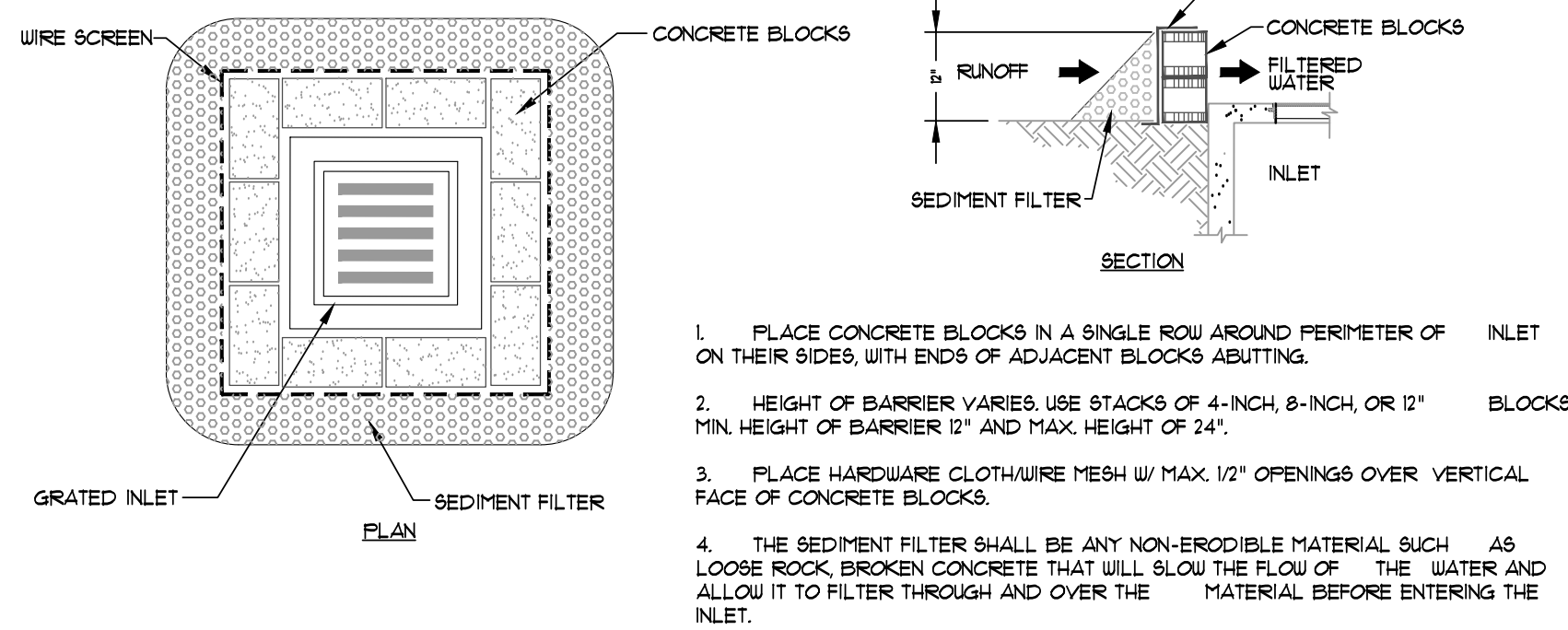
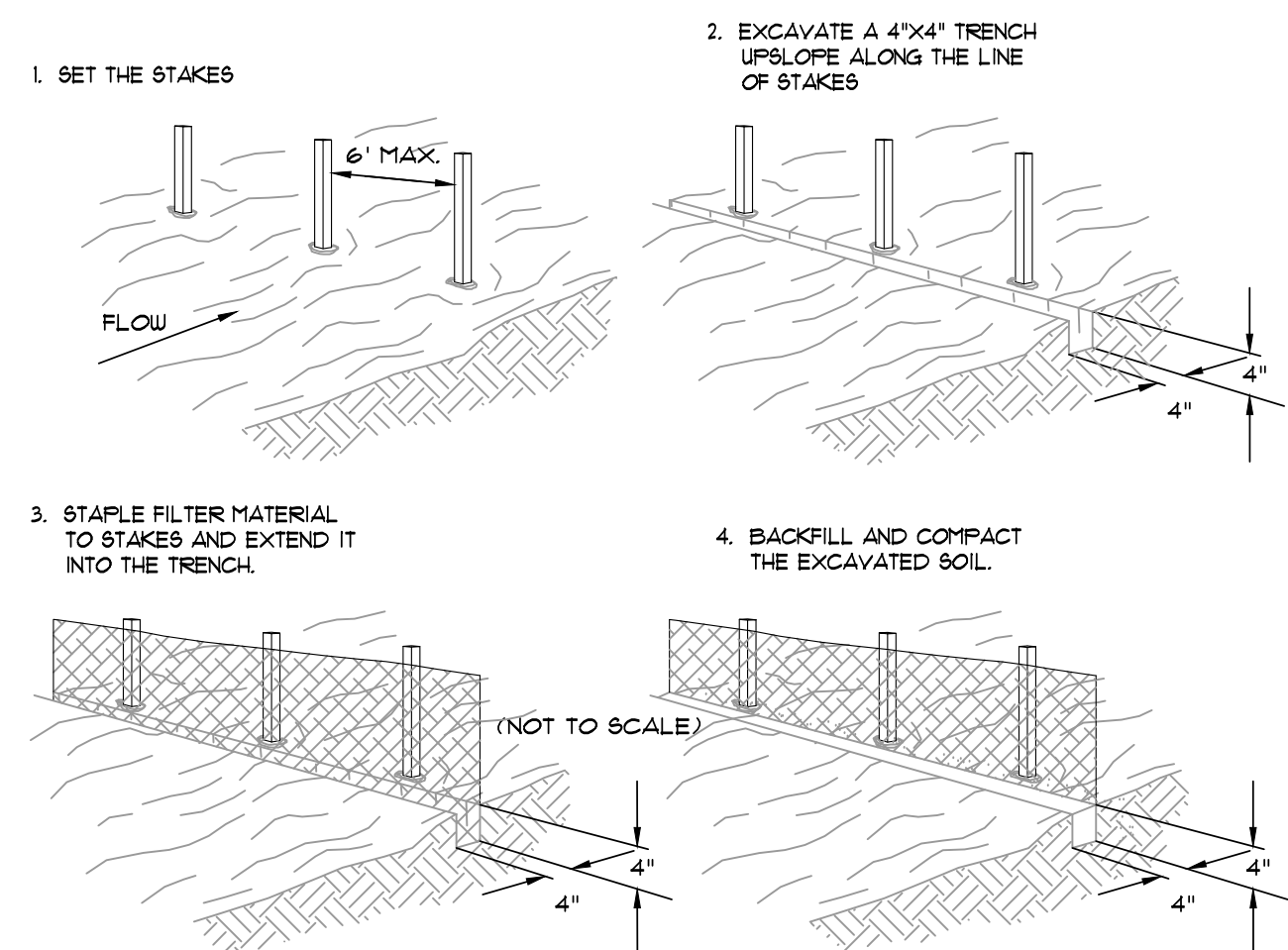
**ASSOCIATED ENGINEERING, LLC**  
CIVIL ENGINEERING • LAND SURVEYING  
LAND PLANNING  
103 SOUTH CHURCH STREET • P.O. BOX 1462  
JONESBORO, AR 72403  
PH: 870-932-3394 • FAX: 870-935-1263



| NO. | DESCRIPTION  | DATE     |
|-----|--------------|----------|
| 3.  | COV COMMENTS | 23/08/24 |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |

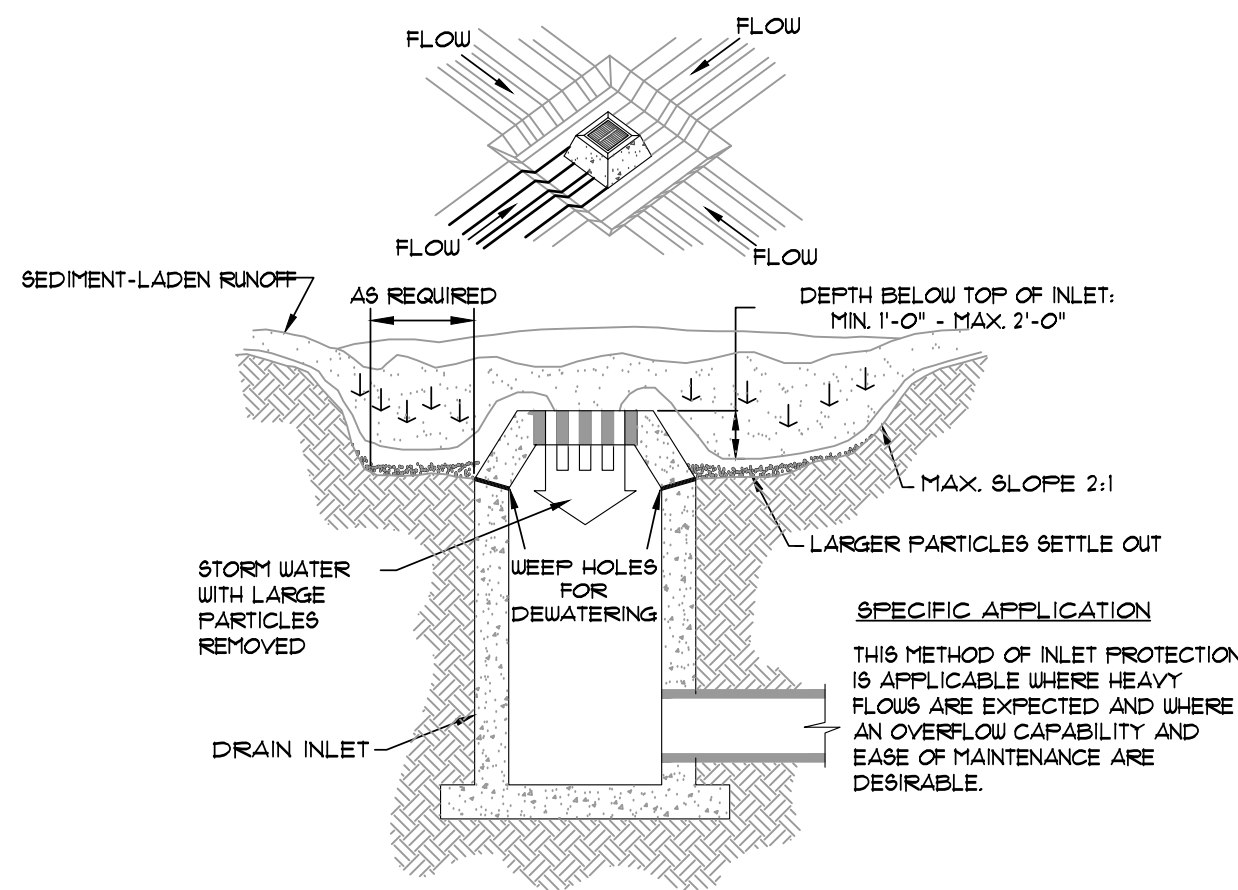
**STANDARD DETAILS**

|                      |              |
|----------------------|--------------|
| DATE: 02/13/2024     | DRAWN: CMH   |
| CADD FILE: 21104-SDP | CHECKED: JME |
| DWG#                 | SHEET        |
| SCALE: AS SHOWN      | C008         |



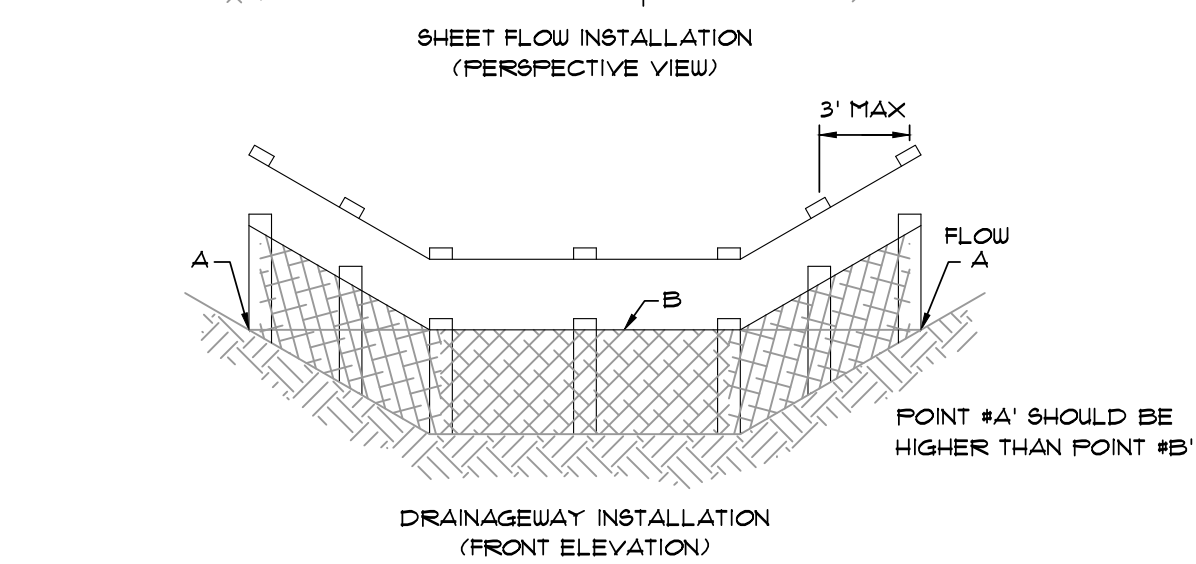
**BLOCK AND AGGREGATE INLET SEDIMENT FILTER**

SCALE: 1/2" = 1'-0"



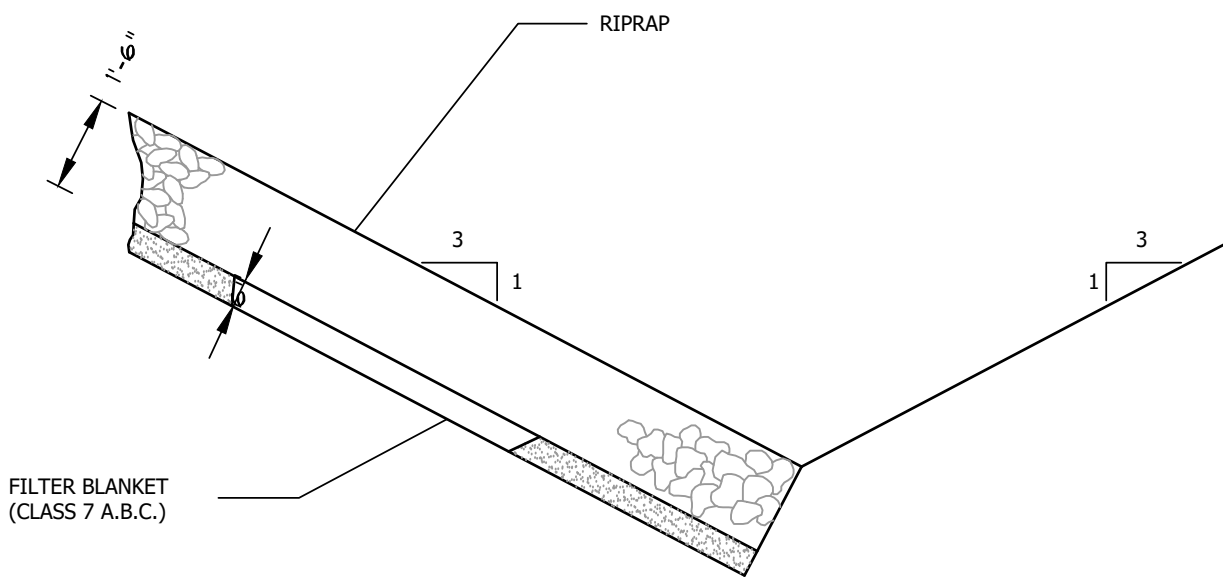
**EXCAVATED INLET SEDIMENT TRAP**

SCALE: 1/4" = 1'-0"



**FILTER BARRIER**

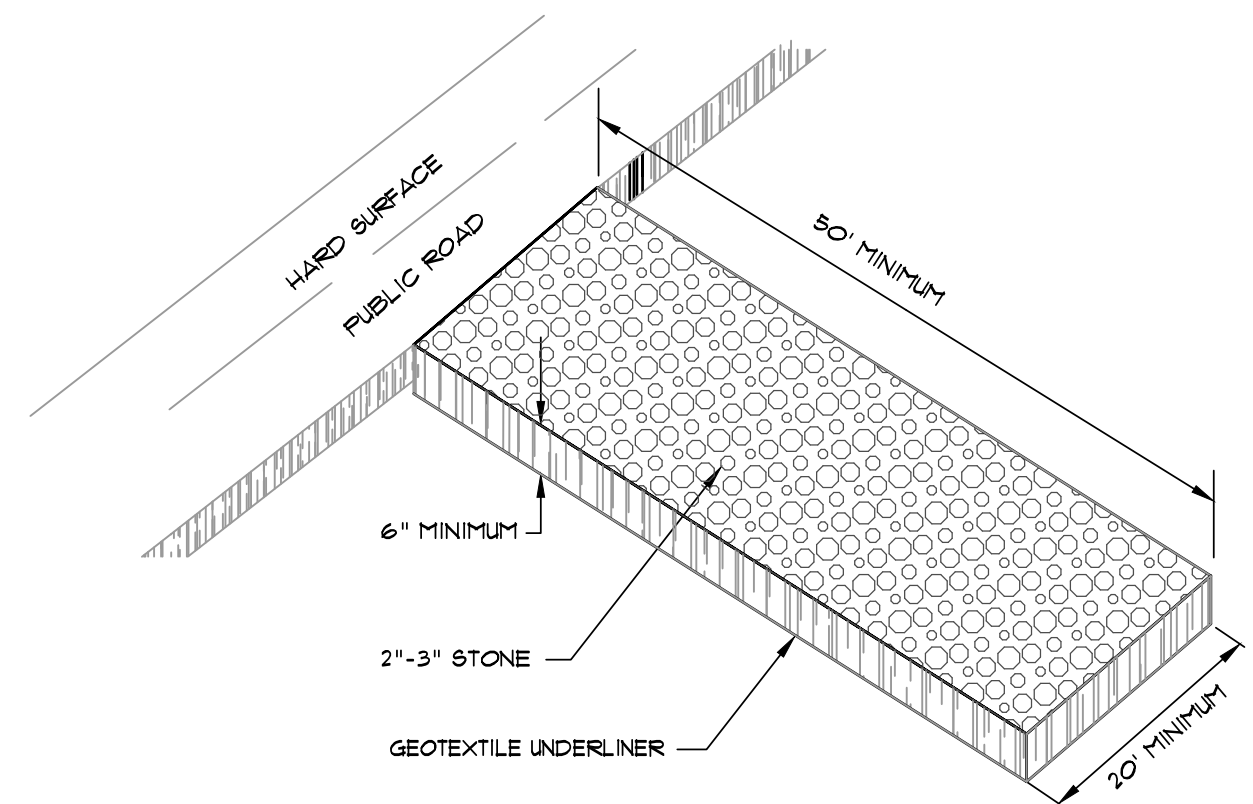
SCALE: 1/4" = 1'-0"



NOTE: IN LIEU OF AN AGGREGATE FILTER BLANKET, A SYNTHETIC FIBER GEOTEXTILE FABRIC MEETING THE REQUIREMENTS OF ASTM D288 MAY BE USED. IN LIEU OF RIPRAP, AN EROSION CONTROL MAT MAY BE USED.

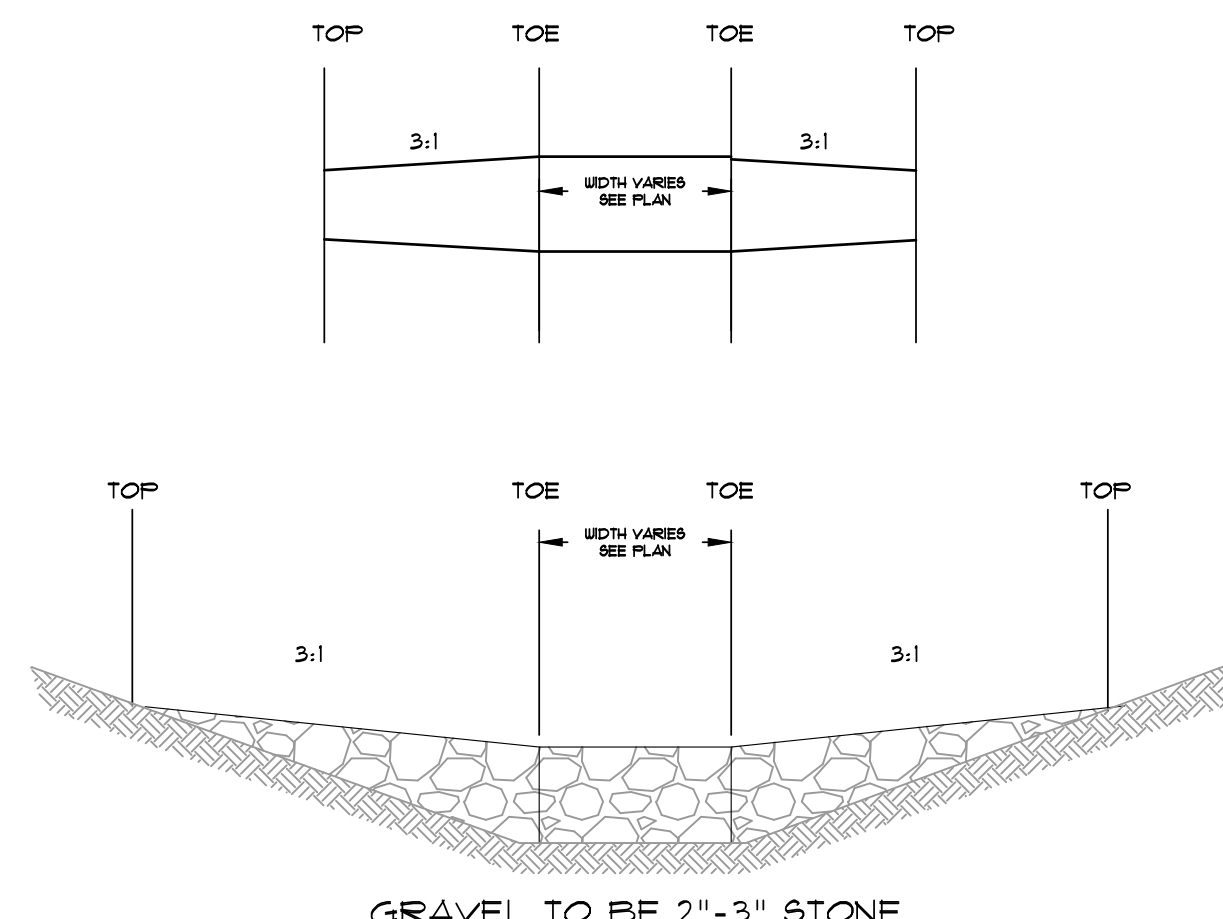
**SECTION - DUMPED RIPRAP**

TOE EXCAVATION IN SOIL



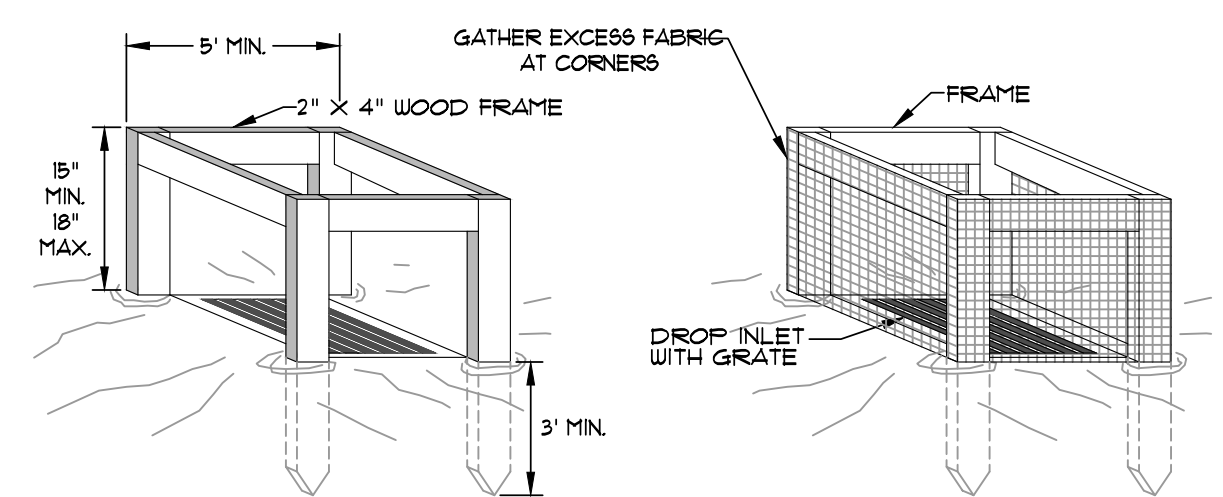
**CONSTRUCTION ENTRANCE**

NOT TO SCALE



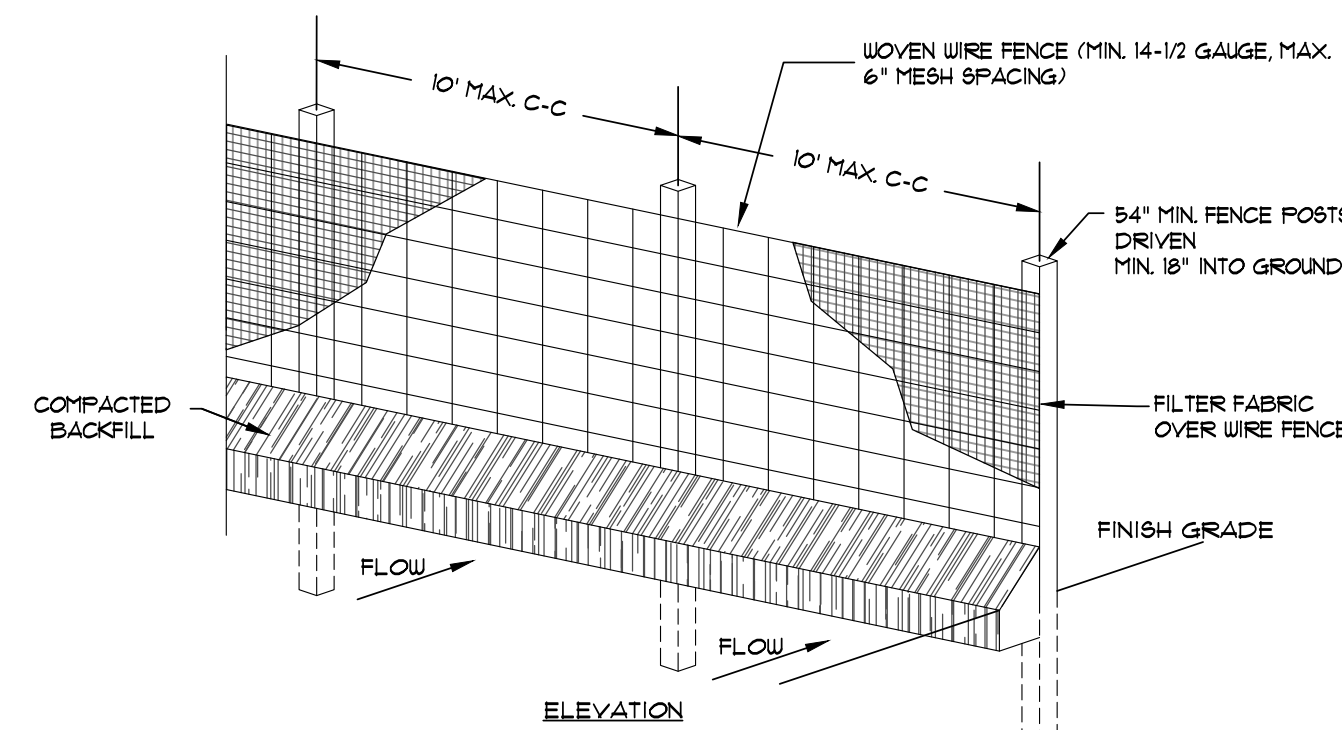
**ROCK CHECK DAM**

SCALE: 1/2" = 1'-0"



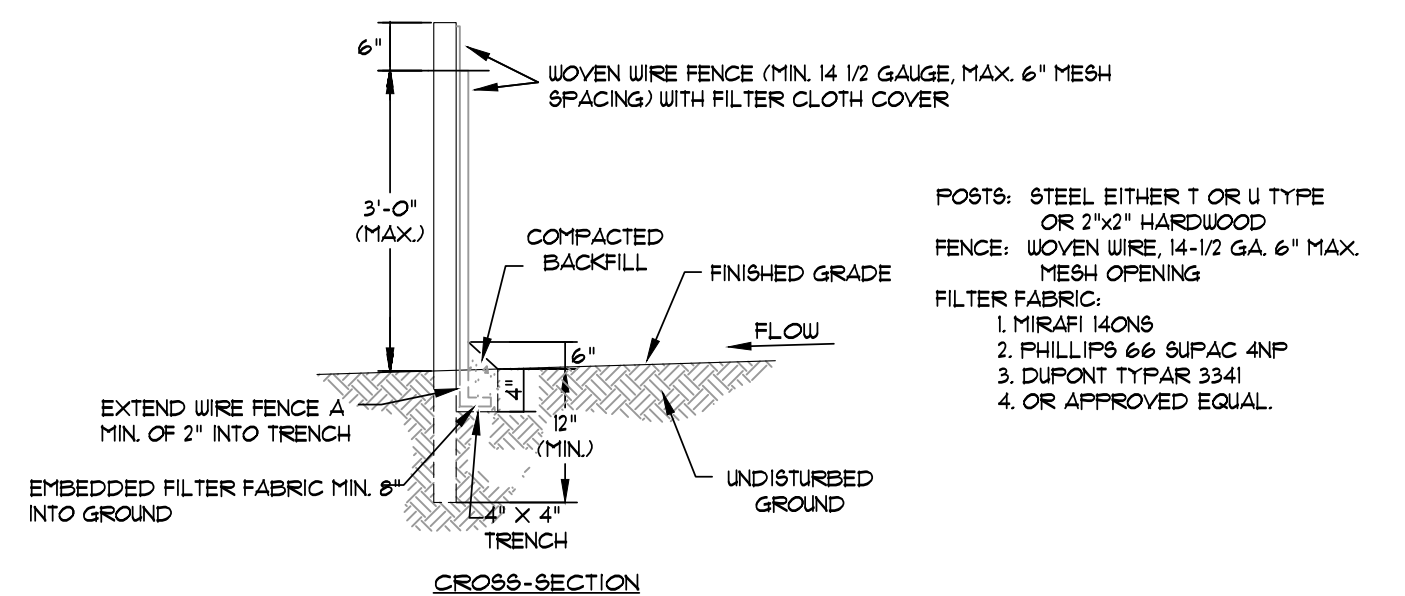
**SILT FENCE INLET PROTECTION**

SCALE: 1/2" = 1'-0"



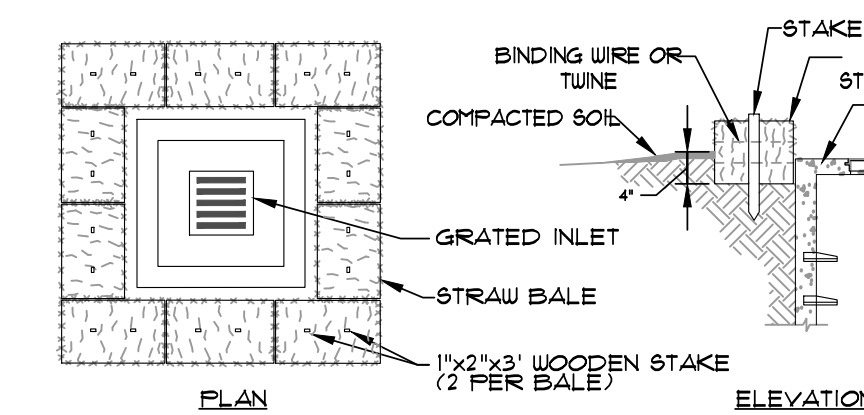
**GRAVEL CURB INLET SEDIMENT FILTER**

SCALE: 1/2" = 1'-0"



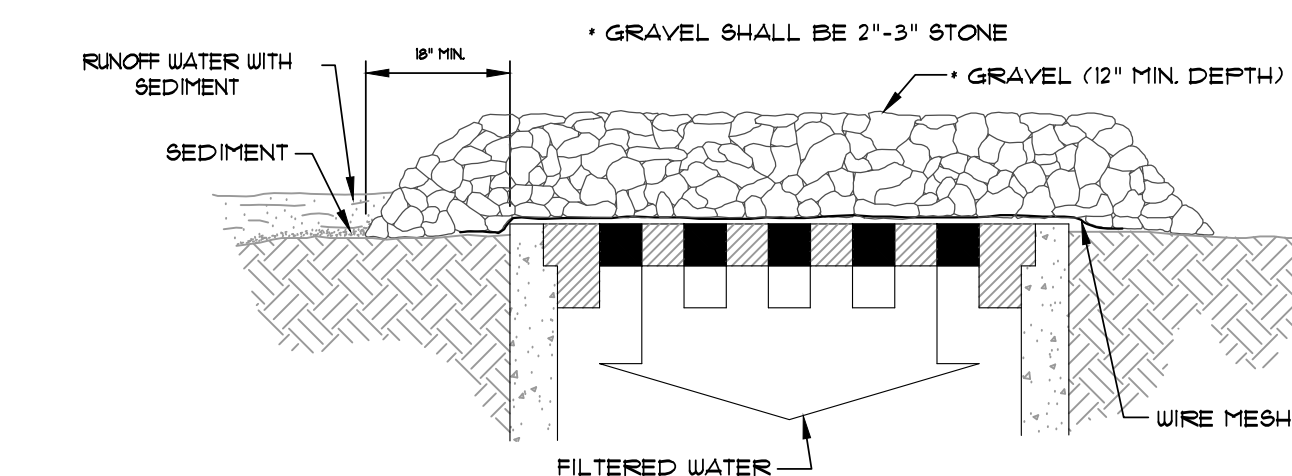
**SILT FENCE**

NOT TO SCALE



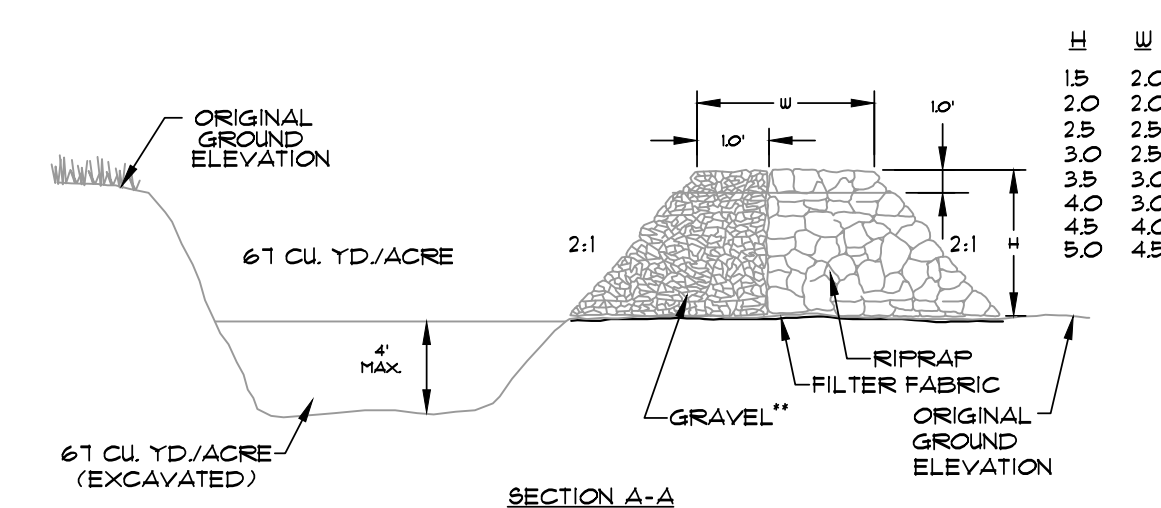
**STRAW BALE INLET SEDIMENT FILTER**

SCALE: 1/2" = 1'-0"



**GRAVEL AND WIRE MESH INLET SEDIMENT FILTER**

SCALE: 1/2" = 1'-0"



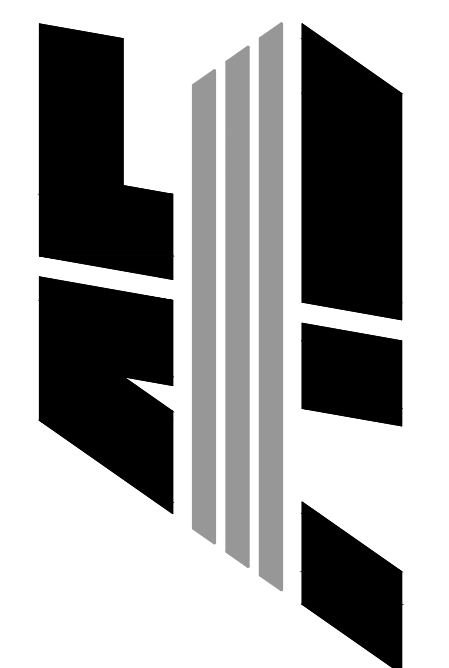
**TEMPORARY SEDIMENT TRAP**

SCALE: 3/8" = 1'-0"

- GENERAL NOTES:
- BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
  - BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH ENDS OF ADJACENT BALES PRESSED TOGETHER.
  - THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET THE WIDTH OF A BALE TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
  - EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
  - LOOSE STRAW SHALL BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.

**FARMER HILLS**  
A COMMERCIAL DEVELOPMENT  
SOUTHWEST DRIVE  
JONESBORO, ARKANSAS

**ASSOCIATED ENGINEERING, LLC**  
CIVIL ENGINEERING • LAND SURVEYING  
LAND PLANNING  
103 SOUTH CHURCH STREET • P.O. BOX 1462  
JONESBORO, AR 72403  
PH: 870-932-3394 • FAX: 870-935-1263



| NO. | DESCRIPTION  | DATE     |
|-----|--------------|----------|
| 3.  | COV COMMENTS | 03/08/24 |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |
|     |              |          |

**EROSION  
DETAILS**

|                      |              |
|----------------------|--------------|
| DATE: 02/13/2024     | DRAWN: COH   |
| CADD FILE: 21104-SDP | CHECKED: JME |
| DWG#                 | SHEET        |
| SCALE: AS SHOWN      | C009         |