



City of Jonesboro

Municipal Center
300 S. Church Street
Jonesboro, AR 72401

Meeting Agenda Metropolitan Area Planning Commission

Tuesday, October 25, 2022

5:30 PM

Municipal Center, 300 S. Church

1. Call to order

2. Roll Call

3. Approval of minutes

[MIN-22:096](#) MINUTES: October 11th, 2022 MAPC Minutes

Attachments: [MAPC Minutes Oct. 11, 2022](#)

4. Miscellaneous Items

5. Preliminary Subdivisions

[PP-22-08](#) PRELIMINARY SUBDIVISION: Harrison Hills Phase 2

McAlister Engineering is requesting MAPC Preliminary Subdivision Approval for Harrison Hills Phase 2 for 11 lots on 3.73 +/- acres. This property is located at Serenity Hills Drive and Rolling Hills Drive and is zoned R-1, Single-Family Medium Density District.

Attachments: [Application](#)
[Revised Phase 2 Plans](#)
[Staff Report](#)

Legislative History

6/28/22	Metropolitan Area Planning Commission	Tabled
7/26/22	Metropolitan Area Planning Commission	Tabled

[PP-22-13](#) FINAL SUBDIVISION: Prospect Farms Phase VIII

Mark Morris of Mark Morris Homes, LLC is requesting MAPC Final Subdivision Approval for Prospect Farms Phase VIII for 55 lots on 16 +/- acres of land located at Prospect Farms Road. This property is zoned R-1, Single-Family Medium Density District, minimum 8,000 sq. ft. lot required.

Attachments: [Final Plat](#)
[Final Subdivision-Staff Report](#)
[Application](#)

6. Final Subdivisions

7. Conditional Use

CU-22-02 CONDITIONAL USE: 3411 & 3413 E. Johnson Ave.

Sharada Madhuri on behalf of Quinn Family Limited is requesting Conditional Use approval to develop property located at 3411 & 3413 E. Johnson Ave. into a fast food restaurant (with drive-through) and a retail space. The property is currently zoned C-4, Neighborhood Commercial District, and requires Conditional Use approval.

- Attachments:** [Application](#)
 [Cert. Mail](#)
 [Site Plan](#)
 [Letter of Concern](#)
 [Staff Summary](#)

Legislative History

9/27/22	Metropolitan Area Planning Commission	Tabled
10/11/22	Metropolitan Area Planning Commission	Tabled

8. Rezoning

RZ-22-15 REZONING: 1601 Granger Drive

William Conrad is requesting a rezoning from R-1, Single-Family Medium Density District, to RM-8, Residential Multifamily; eight units per net acre. This rezoning request is for 0.44 +/- acres located at 1601 Granger Drive.

- Attachments:** [Application](#)
 [Plat](#)
 [Certified Receipt](#)
 [Certified Receipt 2](#)
 [Staff Summary](#)

9. Staff Comments

10. Adjournment



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: MIN-22:096

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Minutes

MINUTES: October 11th, 2022 MAPC Minutes



City of Jonesboro

Municipal Center
300 S. Church Street
Jonesboro, AR 72401

Meeting Minutes Metropolitan Area Planning Commission

Tuesday, October 11, 2022

5:30 PM

Municipal Center, 300 S. Church

1. Call to order

2. Roll Call

Present 8 - Lonnie Roberts Jr.; Jimmy Cooper; Jim Little; Kevin Bailey; Monroe Pointer; Stephanie Nelson; Jeff Steiling and Paul Ford

Absent 1 - Dennis Zolper

3. Approval of minutes

[MIN-22:089](#)

MINUTES: September 27, 2022 MAPC Meeting Minutes

Attachments: [MAPC Minutes Sept. 27, 2022](#)

A motion was made by Paul Ford, seconded by Jim Little, that this matter be Approved . The motion PASSED with the following vote.

Aye: 7 - Jimmy Cooper; Jim Little; Kevin Bailey; Monroe Pointer; Stephanie Nelson; Jeff Steiling and Paul Ford

Absent: 1 - Dennis Zolper

4. Miscellaneous Items

[COM-22:047](#)

SIDEWALK IN LIEU FEE: 3511 Stadium Blvd

John Easley of Associated Engineering, LLC on behalf of Cavanaugh Auto Group is requesting MAPC approval to pay the Sidewalk "In Lieu" payment of \$10,433.26 for 152 square yards along Stadium Blvd. The 2022 rate is \$68.67 per square yard.

Attachments: [Cavanaugh Hyundai - Sidewalk Waiver Letter](#)
[Site Plan](#)

Commission – Lonnie Roberts: Asked the Applicant if the payment of \$10,433.26 is correct or if it will change.

Applicant – John Easley: Said the request is revised for \$14,952.20. Explained he is there for Cavanaugh and they are currently reviewing the new Hyundai dealership. It is part of the sidewalk requirements ARDot have plans to improve stadium. They are requesting to make a contribution across Hyundai's frontage and improving lot 3 south of Hyundai.

Staff – Monica Percy: Stated it's been reviewed, and it does meet the

Planning requirements.

Commission – Paul Ford: Asked if an in lieu fee can be designated to a particular location or if it has to go to a fund

Staff – Carol Duncan: Stated it can't be designated it goes into a general fund.

A motion was made by Jimmy Cooper, seconded by Jim Little, that this matter be Approved . The motion PASSED with the following vote.

Aye: 6 - Jimmy Cooper; Jim Little; Monroe Pointer; Stephanie Nelson; Jeff Steiling and Paul Ford

Absent: 1 - Dennis Zolper

Abstain: 1 - Kevin Bailey

5. Preliminary Subdivisions

6. Final Subdivisions

7. Conditional Use

CU-22-02 **CONDITIONAL USE:** 3411 & 3413 E. Johnson Ave.

Sharada Madhuri on behalf of Quinn Family Limited is requesting Conditional Use approval to develop property located at 3411 & 3413 E. Johnson Ave. into a fast food restaurant (with drive-through) and a retail space. The property is currently zoned C-4, Neighborhood Commercial District, and requires Conditional Use approval.

Attachments: Application
 Cert. Mail
 Site Plan
 Staff Summary
 Letter of Concern

Commission – Lonnie Roberts: Asked if this item needs to be untabled, and that there are people there to discuss it.

Applicant – John Easley: Explained they are in the process of getting a traffic study, so it's up to the commission.

Motion to untable

1st: Cooper

2nd: Little

Approved (5): Nelson, Steiling, Pointer, Cooper, Little

Denied (2): Ford, Bailey

Item untabled.

Easley: Said he is there on behalf of the owner. Explained 2 weeks ago they requested conditional use permits for development on hilltop. The lot is currently vacant and is a park and sell lot. Explained they would like to put in a small fast food restaurant with 800 sq. ft. seating and there will be no dinner menu. He compared it to the Edge Coffee shop. Said they are in the process of getting a traffic study and it will be ready in the next two weeks.

Roberts: Said they will not be taking action since they are still waiting on the

traffic study.

Public Comments – Shane McIntosh: Explained he has property at 3514 Oden St, and his Grandmother has property at 1206, 1204, & 1200 Jewel. He said the concern is that the contractor was talking about the traffic and adding an entrance/exit on Jewel Dr. He said this is a residential street from the 70's that will not be able to handle the traffic. Explained they're not against something being on the lot, but they don't see how traffic will work if ARDot is widening 2 lanes on 351. On the end of Jewel you can't make a right hand turn. If the new restaurant is open to jewel drive, they won't take Red Wolf. They'll take Jewel to Airport. He said he doesn't think the street can funnel the traffic. Said the plans don't show privacy fences, only hedges and this will cause garbage and the headlights will be crazy. Said there will need to be more privacy than hedges around that building. Said this may be a small restaurant now, but what if it's sold to a bigger restaurant. Said their main concern is the traffic.

Patty Lack – Explained she doesn't live in that neighborhood, but she has concerns about the traffic going through neighborhoods. She says a prime example is the neighborhoods that are by her. Explained they aren't businesses, but the apartments have taken over Mikayla and Becca. Said the roads are not able to be used as a one lane road, but there's lots of traffic in the neighborhood. Said her 2nd concern is when the owner stated at the last meeting that it wasn't going to be a big restaurant and not have a lot of traffic, but you don't put in a restaurant and not expect it to grow and make a lot of money. Said there's no way to know how much traffic will be there and that we don't know what stores will be going there. Said that on there are lots of accidents on Johnson, and traffic will only get worse with 351 expanding. She said someone wanting to turn left there would have to take a chance when they make a turn due. Said the cars coming over that hill are difficult to see. Said she doesn't know what should go on this property, but doesn't know if this is the perfect thing due to the unknown.

Easley: Said he doesn't disagree with the traffic or the unknowns, but said this site is not unique and that there are sites like this all up and down Johnson. Explained that restaurant issue, he doesn't believe that they will have the problems like a McDonalds or the Kum & Go across the street. Said the design has design, but hasn't been through the design review. Said there will be a fence there, it has to go through planning and engineering. Said the traffic study should be ready by the next meeting.

Commission- Jimmy Cooper: Asked if they are requiring a fire code to have an exit on Jewel.

Easley: Said yes according to the traffic access code, they have to access on Jewel.

Staff – Michael Morris: Said this is correct. Said they need to use the side street instead of the major street. Said it's 225 ft. from the intersection.

Roberts: Asked if they are going to leave the other one on the highway or take it out.

Morris: Said it wasn't to code. The only one they can use is over towards Jewel.

Commission – Paul Ford: Described the light at Caraway and Wilkins, and asked if something like that could be done at the 351 light.

Morris: Said he doesn't believe the state would do that.

Duncan: Said it's a state highway.

Easley: Asked if there could be a way to restrict the use of the restaurant. Compared it to a property on Paula Dr.

Duncan: Said restrictions can be placed, but it depends on what they are.

Commission- Kevin Bailey: Asked if Mr. Easley had talked to Centennial Bank. Asked if there is a possibility of a cross access from their property onto this one due to them having a light on their parking lot.

Easley: Said this hasn't been approached or considered it due to the elevation. Getting into their driveway and coming out the only option is the drive through. There isn't a back exit.

A motion was made by Jimmy Cooper, seconded by Jeff Steiling, that this matter be Tabled . The motion PASSED with the following vote.

Aye: 7 - Jimmy Cooper; Jim Little; Kevin Bailey; Monroe Pointer; Stephanie Nelson; Jeff Steiling and Paul Ford

Absent: 1 - Dennis Zolper

8. Rezoning

[RZ-22-14](#)

REZONING: Southwest Drive & Evan Drive

Horizon Land Surveying on behalf of Three Sister Land Development, LLC is requesting a rezoning from AG-1, Agricultural district, to C-4 LUO, Neighborhood Commercial District with a Limited Use Overlay. This rezoning is for 1.55 +/- acres located at the corner of Southwest Drive and Evan Drive.

Attachments: [Application](#)
 [Certified Mail Receipts](#)
 [Rezoning plat](#)
 [Staff Summary](#)

Applicant – Michael Boggs: Explained they are requesting to rezone the property. Said it's part of the sale of the property. Said they came in to play the property originally. Said the minimum lot for an AG lot is 5 acres, so to replat the lot they are requesting the rezone to C-4 LUO which mimics the previous rezoning in the area. Said when the property was originally developed, the property along Southwest Dr was set aside for commercial development.

Staff – Monica Peary: Said the request meets 6/6 rezoning requirements. They recommend approval with the conditions:

1. That the proposed site shall satisfy all requirements of the City Engineer, all requirements of the current Stormwater Drainage Design Manual and Flood Plain Regulations regarding any new construction.

2. A final site plan subject to all ordinance requirements shall be submitted, reviewed, and approved by the Planning Department, prior to any redevelopment of the property.

3. Any change of use shall be subject to Planning Department approval in the future.

4. The site shall follow all Overlay District guidelines.

5. The Limited Use Overlay shall prohibit the following:

Funeral Home, Golf Course, Nursing Home, Utility Major, Utility Minor, Vocational School, Communication Tower, and Off-Premise Signs.

Recommended to Approve to the City Council

Aye: 6 - Jimmy Cooper; Jim Little; Kevin Bailey; Monroe Pointer; Stephanie Nelson and Paul Ford

Absent: 1 - Dennis Zolper

Abstain: 1 - Jeff Steiling

9. Staff Comments

10. Adjournment



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: PP-22-08

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Subdivisions

PRELIMINARY SUBDIVISION: Harrison Hills Phase 2

McAlister Engineering is requesting MAPC Preliminary Subdivision Approval for Harrison Hills Phase 2 for 11 lots on 3.73 +/- acres. This property is located at Serenity Hills Drive and Rolling Hills Drive and is zoned R-1, Single-Family Medium Density District.

Home **Profile**

Monica Pearcy | Admin | Logout

Application submitted on: April 13, 2022 by Megan McAlister

Request Name: Harrison Hills Phase 2



SUBDIVISION AND PLATS APPLICATION

CITY OF JONESBORO

300 S Church St Jonesboro, AR 72401

Step 1 - Project Information

COMPLETE

Did you have a pre-application meeting? * Yes No

Project Description *

Application Type * ▼

Contact Planning Office if unknown.

Proposed Use * Commercial Residential

Subdivision Name / Phase No *

Property Address / Location *

Property City *

Property State * ▼

Property Zip Code *

Zoning Classification * ▼

Select total acreage range * < 1 Acre > 1 and < 5 Acres > 5 and < 20 Acres > 20 and < 40 Acres > 40 Acres

Total Acres * 4.04

Total Number of Lots * 10

Have you filled out the and signed the Stormwater Pollution Prevention Plan? * Yes No

Is the property located in a floodplain? * Yes No

Step 2: Applicant Information

COMPLETE

Select if the Applicant is the currently logged in user.

Applicant First Name * Megan

Applicant Last Name * McAlister

Applicant Address * 1013 cr 620

Applicant Address Line 2

Applicant City * Jonesboro

Applicant State * Arkansas

Applicant Zip Code * 72404

Applicant Phone Number *

Applicant Email Address * Megan.mcengr@gmail.com

Step 3: Owner Information (optional)

Select if the Owner is the same as the Applicant.

Owner First Name

Owner Last Name

Owner Address

Owner Address Line 2

Owner City

Owner State

Owner Zip Code

Owner Phone Number () -

Owner Email Address

Step 4: Submittal Requirements (optional)

Final Plat Requirements

The final plat and plans shall show when applicable the following:

1. The names and lines of all streets and roads, alleys lines, lot lines, building setback lines, block and lot numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations. Location and names of the nearest streets and/or alignments should be altered to match existing streets. Submission shall include overall vicinity map of nearest adjacent platted subdivisions at scale.
2. Sufficient data to determine readily and reproduce on the ground, the location, bearing and length of every street line, lot line, boundary line, block line and building line whether curved or straight and including true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets and curved property lines that are not the boundary of curved streets.
3. Profiles of all streets with natural and finished grades drawn to a scale of one inch equals 50 feet horizontal and one inch equals ten feet vertical or larger when required by the planning commission.
4. All dimensions to the nearest one-tenth of a foot and angles to the nearest minute.
5. Location and description of monuments.
6. The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining unsubdivided property.
7. Date, title, name and location of subdivision, graphic scale and true north point.
8. Certificate of dedication by landowner.
9. The names and seal of the registered land surveyor, in the state, responsible for the survey and contour formation on the plat.
10. The plan shall provide for all proposed utility lines in accord with existing policies, rules or regulations of the utilities, the city or other applicable regulations, and approval of the city water and light plant as to proposed sanitary sewer, water and electric lines, shall accompany the final plan.
11. Adequate provisions for drainage of surface water shall be made by the subdivider and shown on the plan and he shall file with the city planning commission a description, specifications and drawings prepared by a registered civil engineer in the state, which shall be adequate to provide drainage for area subdivided and/or adjacent areas attached by drainage across or from such tract. The minimum size pipe used in the subdivision shall not be less than 18 inches inside diameter. If proposed subdivision is a portion of a tract which is later to be subdivided in its entirety, then a tentative master plan of the entire subdivision should be submitted with the plat of the portion first to be subdivided.
12. A development permit where required in accordance with section 113-49 as amended, before final approval of final plat.

Signature

COMPLETE



I hereby declare that I am the owner or the applicant acting on behalf of the owner with their permission to proceed forward with this application. I hereby declare that I have read and understood the above, and the information contained in this application, attached schedules, attached plans and specifications, and other documentation is true to the best of my knowledge.

Applicant: Megan McAlister

Signature date: 2022-04-13 11:58 AM

Payment Details

[Home](#) | [Profile](#)

RESIDENTIAL SUBDIVISION PLANS HARRISON HILLS - PHASE 2

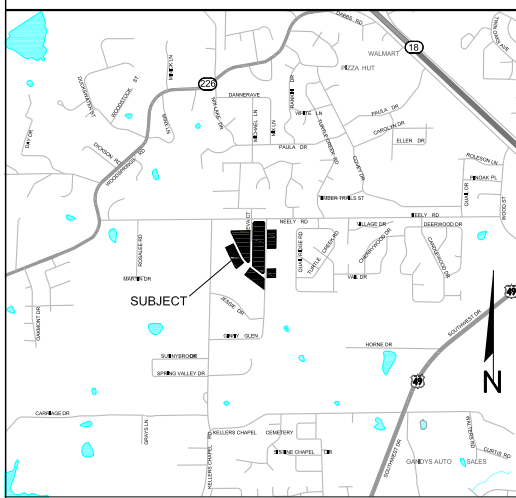
A REPLAT IN GRIFFIN SUBDIVISION

JONESBORO, ARKANSAS

JUNE, 2022

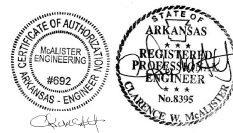
INDEX TO SHEETS

- 1 OF 10 TITLE SHEET / INDEX
- 2 OF 10 BOUNDARY CONTROL PLAN
- 3 OF 10 GENERAL GRADING/DRAINAGE PLAN
- 4 OF 10 PLAN AND PROFILE - ROLLING HILLS DRIVE
- 5 OF 10 PLAN AND PROFILE - HARRISON HILLS DRIVE
- 6 OF 10 PLAN AND PROFILE - SERENITY HILLS DRIVE
- 7 OF 10 PLAN AND PROFILE - CROSS ST. & ROLLING HILLS DR.
- 8 OF 10 EROSION CONTROL PLAN
- 9 OF 10 LANDSCAPING PLAN
- 10 OF 10 DETAILS



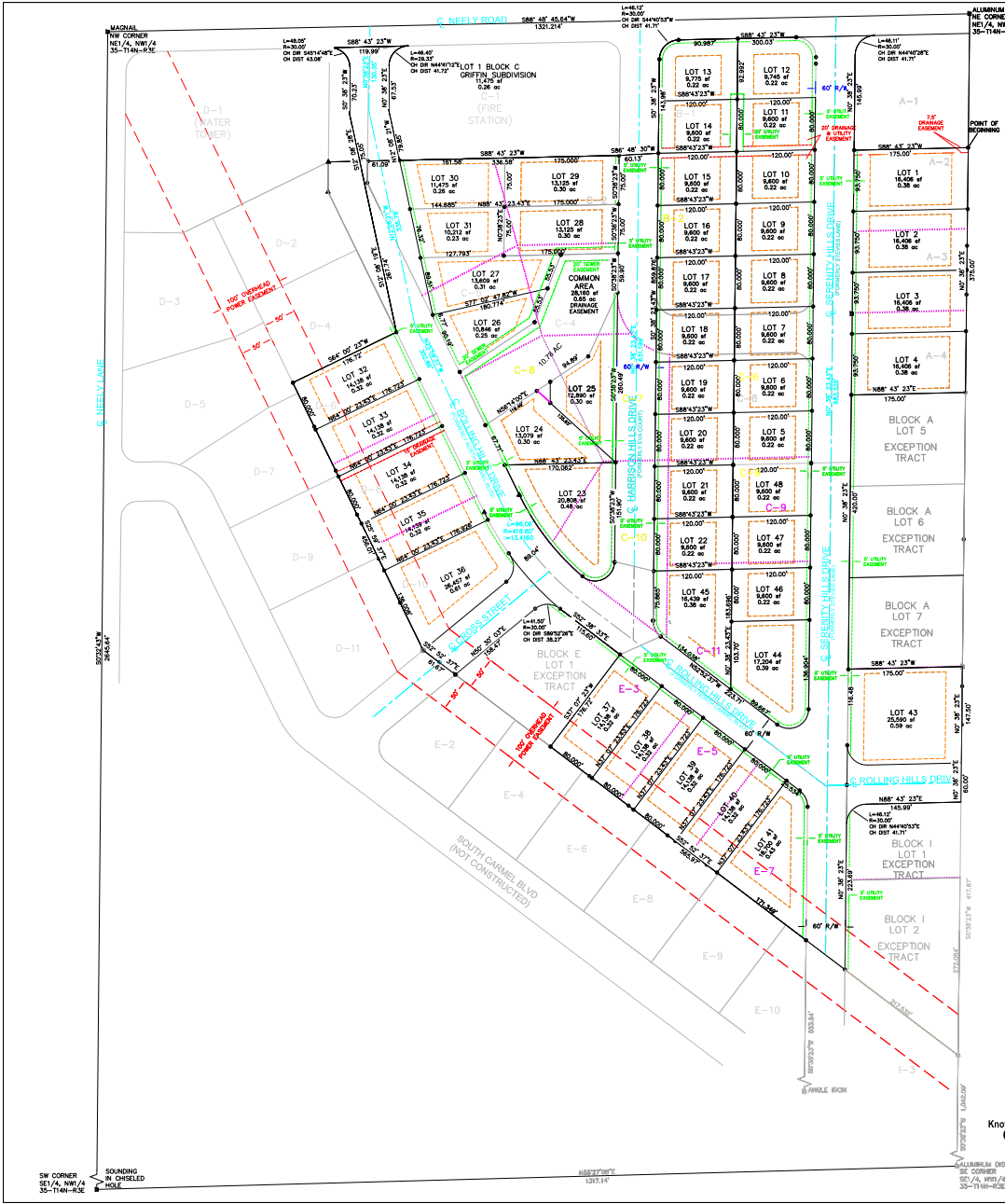
Know what's below.
Call before you dig.

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DATE	REVISION	BY

HARRISON HILLS - PHASE 2 JONESBORO, ARKANSAS A REPLAT IN GRIFFIN SUBDIVISION			
MCALISTER ENGINEERING CIVIL ENGINEERING AND LAND SURVEYING <small>4008 STABLEMAN BLVD. STE. D JONESBORO, AR 72404 8704231420</small>	DRAWN BY: MM	CHECKED BY: CM	
	SCALE:		
	DATE: 02JUN22	DWG. NO. 1355122	PROJECT 1355122
	DWG. REF: 35-14N-03E		
	JOB NO. 1355122		
CLARENCE W. "MAC" MCALISTER, PE, PS			SHEET 1 / 10 △



DESCRIPTION

LOTS 2-4 AND LOT 8 IN BLOCK A, LOTS 1 AND 2 IN BLOCK B, LOTS 2-11 IN BLOCK C, LOTS 6, 8, AND 10 IN BLOCK D, AND LOTS 3, 5, AND 7 IN BLOCK E OF GRIFFIN SUBDIVISION OF THE EAST HALF (E1/2) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 35, TOWNSHIP 14 NORTH, RANGE 3 EAST, FILED IN PLAT BOOK 158 AT PAGE 52 IN THE OFFICE OF THE CIRCUIT CLERK FOR CRAIGHEAD COUNTY IN JONESBORO, ARKANSAS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM THE POINT OF COMMENCEMENT AT THE NORTH EAST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 35, TOWNSHIP 14 NORTH, RANGE 3 EAST, THENCE S44°40'28" W 205 FEET TO THE POINT OF BEGINNING;

THENCE S88°43'23" W 175.00 FEET TO A POINT, THENCE N03°23' E 145.99 FEET TO A POINT, THENCE ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 46.12 FEET, A CHORD BEARING OF N44°40'28" E, AND A CHORD DISTANCE OF 41.71, THENCE S88°43'23" W 300.03 FEET TO A POINT, THENCE ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 46.12 FEET, A CHORD BEARING OF S44°40'28" W, AND A CHORD DISTANCE OF 41.71 FEET TO A POINT, THENCE S03°23' W 145.98 FEET TO A POINT, THENCE S88°43'23" W 60.13 FEET TO A POINT, THENCE S88°43'23" W 336.58 FEET TO A POINT, THENCE N12°08'21" W 79.85 FEET TO A POINT, THENCE N03°23' E 67.53 FEET TO A POINT, THENCE ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 29.53 FEET, AN ARC LENGTH OF 46.40 FEET, A CHORD BEARING OF N44°41'12" E, A CHORD DISTANCE OF 41.72 FEET TO A POINT, THENCE S88°43'23" W 119.99 FEET TO A POINT, THENCE ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 48.05 FEET, A CHORD BEARING OF S45°14'48" E, AND A CHORD DISTANCE OF 43.08 TO A POINT, THENCE S03°23' W 70.23 FEET TO A POINT, THENCE S12°08'28" E 75.05 FEET TO A POINT, THENCE S12°08'19" E 267.74 FEET TO A POINT, THENCE S64°02'23" W 176.32 FEET TO A POINT, THENCE S02°00'37" E 466.01 FEET TO A POINT, THENCE S52°53'37" E 61.67 FEET TO A POINT, THENCE N50°50'03" E 158.47 FEET TO A POINT, THENCE ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 41.50 FEET, A CHORD BEARING OF S89°25'26" E, AND A CHORD DISTANCE OF 38.27 FEET TO A POINT, THENCE S02°23'33" E 15.60 FEET TO A POINT, THENCE S12°07'23" W 176.72 FEET TO A POINT, THENCE S52°53'37" E 565.97 FEET TO A POINT, THENCE N03°23' E 223.69 FEET TO A POINT, THENCE ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 46.12 FEET, A CHORD BEARING OF N44°40'28" E, AND A CHORD DISTANCE OF 41.71 FEET TO A POINT, THENCE N88°43'23" E 145.99 FEET TO A POINT, THENCE N03°23' E 60.00 FEET TO A POINT, THENCE N03°23' E 147.5 FEET TO A POINT, THENCE S88°43'23" W 175.00 FEET TO A POINT, THENCE N03°23' E 420.00 FEET TO A POINT, THENCE N88°43'23" E 175.00 FEET TO A POINT, THENCE N03°23' E 375.00 FEET TO THE POINT OF BEGINNING, CONTAINING SOME 19.28 ACRES, MORE OR LESS, BEING SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND RIGHTS OF WAY OF RECORD.

LEGEND

- FOUND IRON PIN (1" PIPE EXCEPT AS NOTED)
- SET IRON PIN 1/2" REBAR #4/ #5 #303 CAP
- ▲ COMPLETED POINT / POINT NOT SET
- BUILDING SETBACK
- ORIGINAL LOT LINE TO BE EXTINGUISHED
- ORIGINAL LOT LINE TO REMAIN
- A-1 --- ORIGINAL BLOCK-LOT NUMBERS
- UTILITY EASEMENT
- DRAINAGE EASEMENT

OWNER'S CERTIFICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE ABOVE DESCRIBED PROPERTY AND HAVE CAUSED SAME TO BE REPLATED AS SHOWN HEREON, AND THAT WE HEREBY DEDICATE THE PERPETUAL USE OF ALL EASEMENTS AND STREET RIGHTS OF WAY AS NOTED.

THE SUB-DIVIDER OR DEVELOPER OF A SUBDIVISION MUST, BEFORE THE SALE OF ANY LOT OR APPLICATION FOR ANY BUILDING PERMIT, OTHER COMPLETE ALL THE SITE IMPROVEMENTS DEFINED IN SECTION 151.03 OF THE JONESBORO SUBDIVISION REGULATIONS AND AS SPECIFICALLY IDENTIFIED ON A RECORD PLAT OF SUBDIVISION AND ON PLANS AND DOCUMENTATION SUPPORTING SAID PLANS, OR FURNISH THE METROPOLITAN AREA PLANNING SUPPORTING SAID PLANS, OR FURNISH IRREVOCABLE BANK LETTER OF CREDIT, OR OTHER FORM OF SECURITY APPROVED BY THE CITY ENGINEER, IN FULL PAYMENT OF THE AMOUNT OF THE CITY ENGINEER'S FEE, AMOUNT NECESSARY TO COVER THE COST OF COMPLETING ALL REQUIRED SITE IMPROVEMENTS; THE CITY ENGINEER SHALL VERIFY THE AMOUNT OF THE BOND, LETTER OF CREDIT, OR OTHER FORM OF SECURITY BEFORE IT IS ACCEPTED.

THE CHAIRMAN AND THE SECRETARY OF THE METROPOLITAN AREA PLANNING COMMISSION SHALL NOT SIGN SUBDIVISION PLAN (PLAT) AND SAID PLAN (PLAT) SHALL NOT BE RECORDED UNTIL ALL CONDITIONS IMPOSED BY THE PLANNING COMMISSION HAVE BEEN SATISFIED AND ALL REQUIRED SITE IMPROVEMENTS HAVE BEEN COMPLETED OR THEIR COMPLETION GUARANTEED AND SECURED BY BOND, IRREVOCABLE BANK LETTER OF CREDIT, OR OTHER APPROVED FORM OF FINANCIAL GUARANTEE.

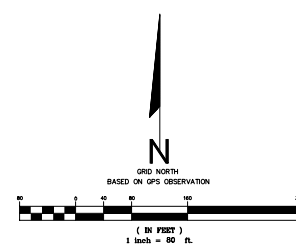
Bob Harrison
BOB HARRISON, DEVELOPER (DATE) SEPTEMBER 29, 2022

Clarence W. McAlister
CLARENCE W. MCALISTER, PE NO. 1303 (DATE) SEPTEMBER 29, 2022

CERTIFICATION

I HEREBY CERTIFY THAT MAJESTER ENGINEERING HAS THE DATE MADE A BOUNDARY SURVEY OF THE ABOVE DESCRIBED PROPERTY AND THAT ALL PROPERTY LINES AND CORNER MARKINGS HAVE BEEN CORRECTLY ESTABLISHED TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Clarence W. McAlister
CLARENCE W. MCALISTER, PE NO. 8395 (DATE) SEPTEMBER 29, 2022



LEGEND

- FOUND IRON PIN (1" PIPE EXCEPT AS NOTED)
- SET IRON PIN 1/2" REBAR #4/ #5 #303 CAP
- ▲ COMPLETED POINT / POINT NOT SET
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- ORIGINAL LOT LINE TO REMAIN
- A-1 --- ORIGINAL BLOCK-LOT NUMBERS
- UTILITY EASEMENT
- DRAINAGE EASEMENT

- NOTES**
1. SURVEY FOR BOB HARRISON
 2. PROPERTY NOT LOCATED IN THE 100 YEAR FLOODPLAIN AS SHOWN BY FLOOD INSURANCE RATE MAP NUMBER 50009R PANEL 131 C DATED SEPTEMBER 27, 1991
 3. ZONING INFORMATION (R1) - STREET SETBACK = 25' SIDE SETBACK = 7.5' REAR SETBACK = 25'
 4. BILL OF ASSURANCE TO INCLUDE FORMATION OF PROPERTY OWNER'S ASSOCIATION TO MAINTAIN COMMON AREAS

REFERENCE DOCUMENTS:

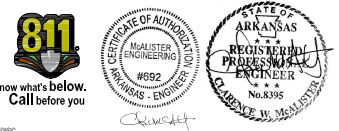
1. PLAT OF GRIFFIN SUBDIVISION FILED IN PLAT BOOK 158 AT PAGE 52 IN THE OFFICE OF THE CIRCUIT CLERK FOR CRAIGHEAD COUNTY IN JONESBORO, ARKANSAS.

RECORD PLAT
HARRISON HILLS - PHASE 2
JONESBORO, ARKANSAS
A REPLAT IN GRIFFIN SUBDIVISION

DRAWN BY: JH	CHECKED BY: CM
SCALE: 1" = 80'	DATE: 30JUN2022
CAD FILE: 1355122HarrisonPlat.dwg	
DWG REF: 35-14N-03E	
JOB NO: 1355122	SHEET: 2 / 10
SURVEY #: 500-14N-03E-0-35-400-116-1303	

MCALISTER ENGINEERING
CIVIL ENGINEERING AND LAND SURVEYING
4100 STAGLER BLVD, STE D, CROSBORO, MO 65034
#8042314203

CLARENCE W. "MAC" MCALISTER, PE, FS

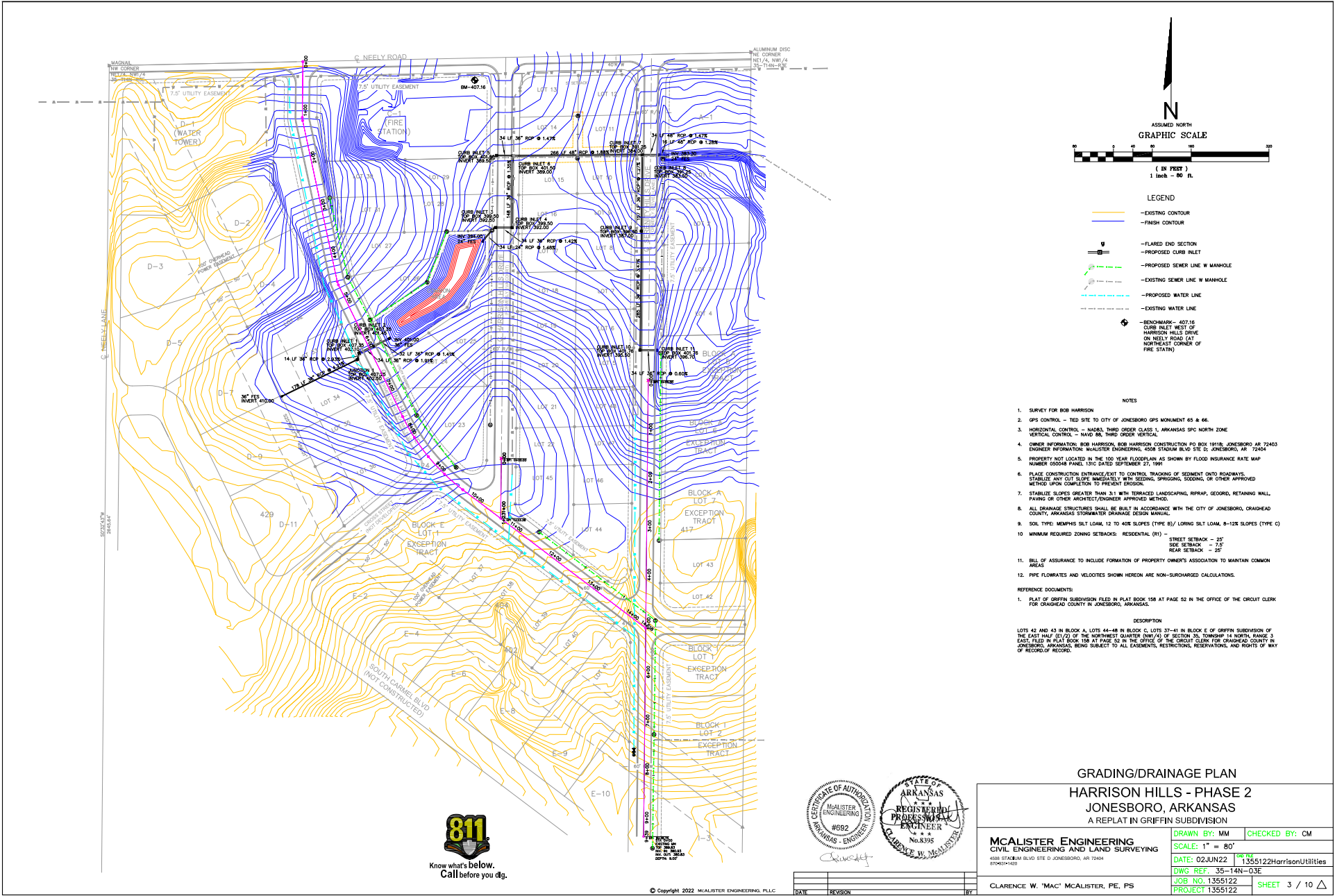


DATE	REVISION	BY

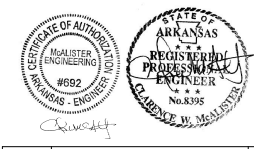
SW CORNER SE1/4, NW1/4 35-14N-03E

N88°27'00" E 1331.11'

ALLUMBER DISC THE CORNER NE1/4, NW1/4 35-14N-03E



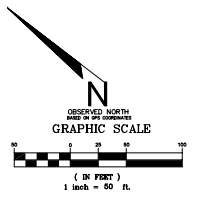
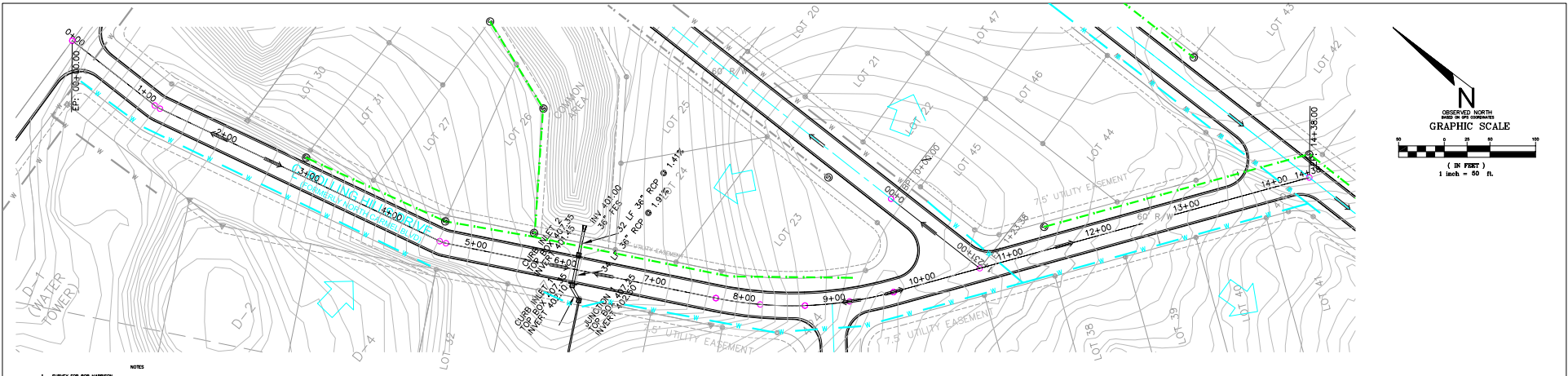
- NOTES
1. SURVEY FOR BOB HARRISON
 2. GPS CONTROL - TIED SITE TO CITY OF JONESBORO GPS MONUMENT 65 & 66.
 3. HORIZONTAL CONTROL - NAD83, THIRD ORDER CLASS 1, ARKANSAS SFC NORTH ZONE
VERTICAL CONTROL - NAVD 83, THIRD ORDER VERTICAL
 4. OWNER INFORMATION: BOB HARRISON, BOB HARRISON CONSTRUCTION PO BOX 18116, JONESBORO, AR 72403
ENGINEER INFORMATION: MCALISTER ENGINEERING, 508 STADIUM BLVD STE C, JONESBORO, AR 72404
 5. PROPERTY NOT LOCATED IN THE 100 YEAR FLOODPLAIN AS SHOWN BY FLOOD INSURANCE RATE MAP NUMBER 50048R PANEL 131C DATED SEPTEMBER 27, 1991
 6. PLACE CONSTRUCTION ENTRANCE/EXIT TO CONTROL TRACKING OF SEDIMENT ONTO ROADWAYS. STABILIZE ANY CUT SLOPE IMMEDIATELY WITH SEEDING, SPRIGGING, SODDING, OR OTHER APPROVED METHOD UPON COMPLETION TO PREVENT EROSION.
 7. STABILIZE SLOPES GREATER THAN 3:1 WITH TERRAZING, LANDSCAPING, RIPRAP, GEOTEXT, RETAINING WALL, PAVING OR OTHER ARCHITECT/ENGINEER APPROVED METHOD.
 8. ALL DRAINAGE STRUCTURES SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF JONESBORO, ORASHEAD COUNTY, ARKANSAS STORMWATER DRAINAGE DESIGN MANUAL.
 9. SOIL TYPE: MEMPHIS SILT LOAM, 12 TO 40% SLOPES (TYPE B)/ LORING SILT LOAM, 8-12% SLOPES (TYPE C)
 10. MINIMUM REQUIRED ZONING SETBACKS: RESIDENTIAL (R1) - STREET SETBACK - 25'
SIDE SETBACK - 7.5'
REAR SETBACK - 25'
 11. BILL OF ASSURANCE TO INCLUDE FORMATION OF PROPERTY OWNER'S ASSOCIATION TO MAINTAIN COMMON AREAS
 12. PIPE FLOWRATES AND VELOCITIES SHOWN HEREIN ARE NON-SURCHARGED CALCULATIONS.
- REFERENCE DOCUMENTS:
1. PLAT OF GRIFFIN SUBDIVISION FILED IN PLAT BOOK 158 AT PAGE 52 IN THE OFFICE OF THE CIRCUIT CLERK FOR ORASHEAD COUNTY IN JONESBORO, ARKANSAS.
- DESCRIPTION
- LOTS 42 AND 43 IN BLOCK A, LOTS 44-48 IN BLOCK C, LOTS 37-41 IN BLOCK E OF GRIFFIN SUBDIVISION OF THE EAST HALF (50%) OF THE NORTHWEST QUARTER (NW/4) OF SECTION 35, TOWNSHIP 14 NORTH, RANGE 3 EAST, FILED IN PLAT BOOK 158 AT PAGE 52 IN THE OFFICE OF THE CIRCUIT CLERK FOR ORASHEAD COUNTY IN JONESBORO, ARKANSAS, BEING SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND RIGHTS OF WAY OF RECORD OF RECORD.



GRADING/DRAINAGE PLAN
HARRISON HILLS - PHASE 2
JONESBORO, ARKANSAS
A REPLAT IN GRIFFIN SUBDIVISION

MCALISTER ENGINEERING CIVIL ENGINEERING AND LAND SURVEYING <small>4008 STADIUM BLVD. STE. D, JONESBORO, AR 72404 8704311400</small>	DRAWN BY: MM SCALE: 1" = 80' DATE: 02JUN22 JOB NO. 1355122 PROJECT 1355122
	CHECKED BY: CM 1355122HarrisonUtilities
	SHEET 3 / 10

CLARENCE W. "MAC" MCALISTER, PE, PS

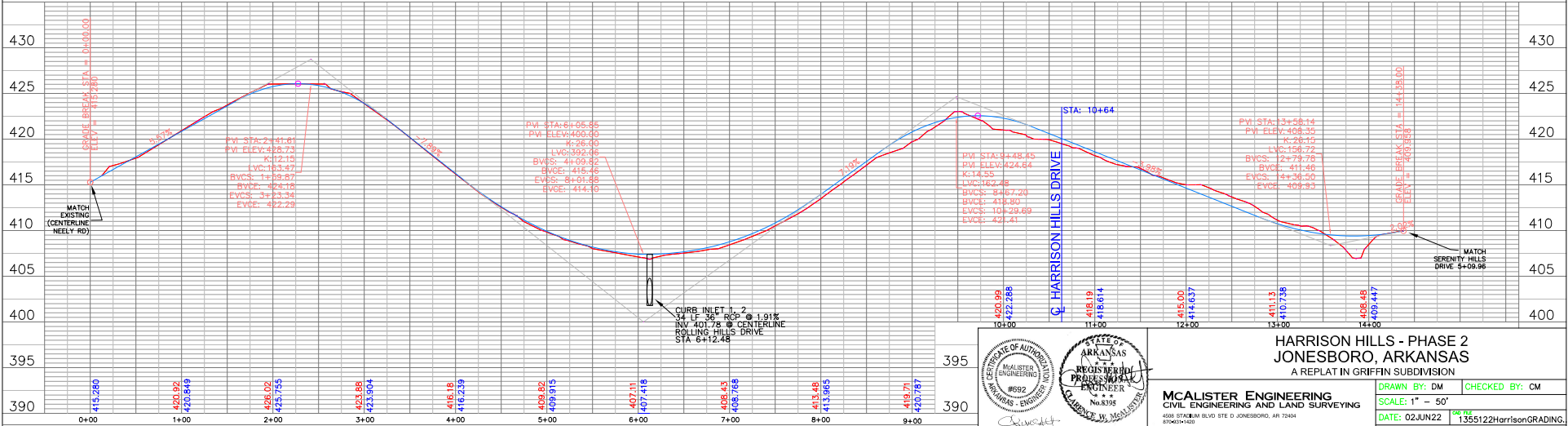


- NOTES**
1. SURVEY FOR BOB HARRISON
 2. SPS CONTROL - RED SPS TO CITY OF JONESBORO SPS MONUMENT # 6 & 8.
 3. HORIZONTAL CONTROL - MARKS THIRD ORDER CLASS 1, ARKANSAS SPS NORTH ZONE
 4. VERTICAL CONTROL - MARK 88 THIRD ORDER VERTICAL
 5. DESIGN INFORMATION: BOB HARRISON, BOB HARRISON CONSTRUCTION P.O. BOX 1818, JONESBORO, AR 72404
 6. ENGINEER INFORMATION: MCALISTER ENGINEERING, 608 STADIUM BLVD STE D, JONESBORO, AR 72404
 7. PROPERTY BOUNDARIES LOCATED IN THE 100 YEAR FLOODPLAIN AS SHOWN BY FLOOD INSURANCE RATE MAP NUMBER 50004A (PAGE 2) OF 2017 OF THE STATE OF ARKANSAS.
 8. PLACE CONSTRUCTION ENTRANCES/EXIT TO CONTROL TRUCKS OF ROADWAY INTO ROADWAY DETOUR AND CONTROL TRUCKS FROM ROADWAY, SPREADING, STOPPING, OR OTHER APPLICABLE.
 9. STABILIZE SLOPES GREATER THAN 3:1 WITH RETICULATED UNDERCUTTING, BRUSH, GEOTEXT, RETAINING WALL, NURSERY OR OTHER APPROPRIATE APPROVED METHOD.
 10. ALL DRAINAGE STRUCTURES SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF JONESBORO, CRANFORD COUNTY, ARKANSAS STANDARD SPECIFICATIONS.
 11. SOIL TESTS WARRAS RPT L044, 12 TO 40% SLOPES (TYPE B); LOUISIANA RPT L044, 6-12% SLOPES (TYPE C)
 12. MINIMUM REQUIRED ZONING SETBACKS: RESIDENTIAL (R1) - SETBACK - 35' SIDE SETBACK - 15' REAR SETBACK - 25'
 13. BILL OF ASSURANCE TO INCLUDE FORMATION OF PROPERTY OWNER'S ASSOCIATION TO MAINTAIN COMMON AREAS
 14. REFERENCE DOCUMENTS:
 - 1. PLAT OF GRIFIN SUBDIVISION FILED IN PLAT BOOK 158 AT PAGE 52 IN THE OFFICE OF THE GREAT CLERK FOR CRANFORD COUNTY IN JONESBORO, ARKANSAS.

- LEGEND**
- FINISH CONTOUR
 - DIRECTION OF FLOW
 - SURFACE FLOW
 - FLARED END SECTION
 - PROPOSED CURB INLET
 - PROPOSED SEWER LINE W/ MANHOLE
 - PROPOSED WATER LINE
 - BENCHMARK - 407.16 CURB INLET WEST OF EVA COURT ON NEELY ROAD



PLAN AND PROFILE - ROLLING HILLS DRIVE



SCALE: HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'

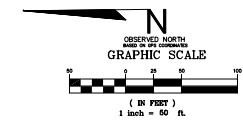
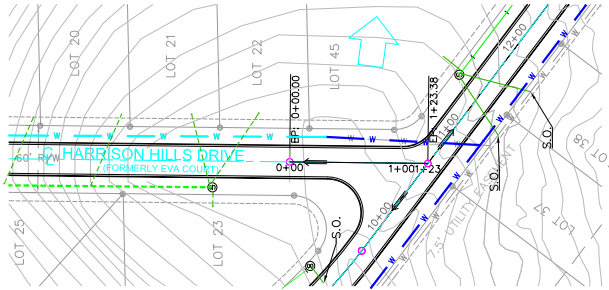
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HARRISON HILLS - PHASE 2
JONESBORO, ARKANSAS
A REPLAT IN GRIFIN SUBDIVISION

DATE: 02JUN22 09:04
JOB NO. 1355122
PROJECT 1355122

DRAWN BY: DM CHECKED BY: CM
SCALE: 1" = 50'
DATE: 02JUN22 09:04
JOB NO. 1355122
PROJECT 1355122

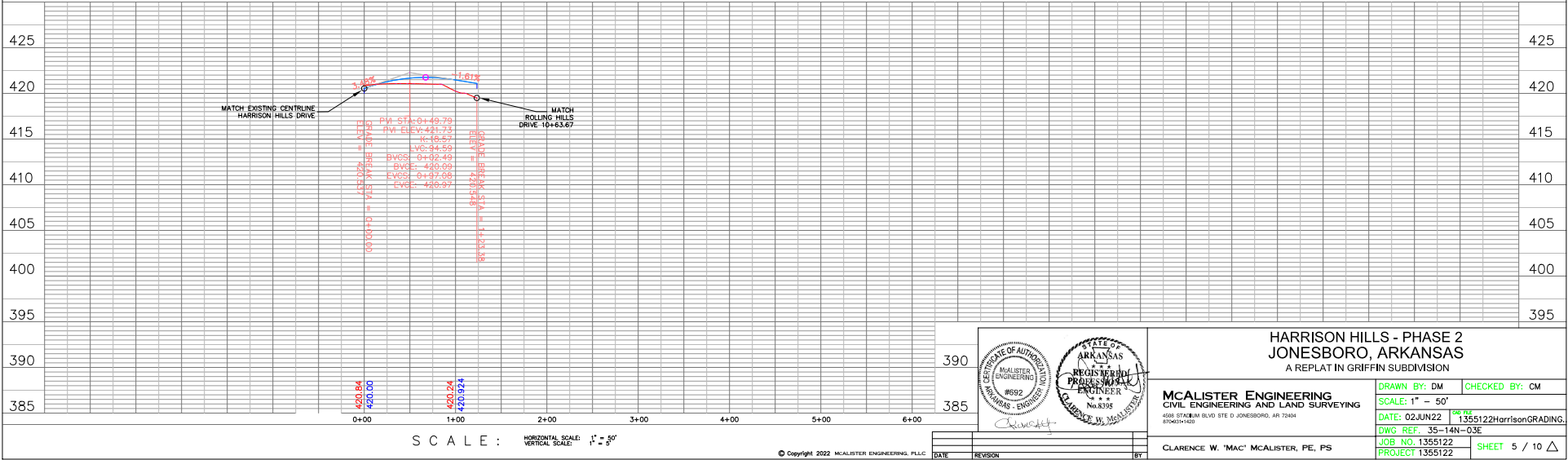
CLARENCE W. "MAC" MCALISTER, PE, PS



- LEGEND
- FINISH CONTOUR
 - DIRECTION OF FLOW
 - SURFACE FLOW
 - FLARED END SECTION
 - PROPOSED CURB INLET
 - PROPOSED SEWER LINE W/ MANHOLE
 - PROPOSED WATER LINE
 - BENCHMARK - 407.16 CURB INLET WEST OF EVA COURT ON NEELY ROAD

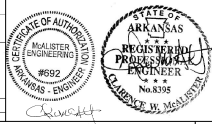
- NOTES
1. SURVEY FOR BOB HARRISON
 2. GPS CONTROL - TIED SITE TO CITY OF JONESBORO GPS MONUMENT 65 & 66.
 3. HORIZONTAL CONTROL - NAD83, THIRD ORDER CLASS 1, ARKANSAS SFC NORTH ZONE
 4. SURFACE CONTROL - TIED TO TOWN ORDER SURVEY
 5. CORNER INFORMATION: BOB HARRISON, BOB HARRISON CONSTRUCTION PO BOX 18118, JONESBORO, AR 72402
 6. CORNER INFORMATION: HARRISON ENGINEERING 500 STEVEN BLVD STE D, JONESBORO, AR 72404
 7. PROPERTY NOT LOCATED IN THE 100 YEAR FLOODPLAIN AS SHOWN BY FLOOD INSURANCE RATE MAP
 8. HARRISON ENGINEERING 500 STEVEN BLVD STE D, JONESBORO, AR 72404
 9. PLACE CONSTRUCTION DRAINAGE FEET TO CONTROL, BRACING OF SEDIMENT ONTO ROADWAYS.
 10. FURNISH ONE SET OF AS-BUILT DRAWINGS WITH GRADING, SPRINGING, SODDING, OR OTHER APPROVED METHOD UPON COMPLETION TO PREVENT EROSION.
 11. STABILIZE SLOPES GREATER THAN 3:1 WITH TERRACED LANDSCAPING, RIPRAP, GEOTEXT, RETAINING WALL, FRANKS OF OTHER APPROVED/ENGINEER APPROVED METHOD.
 12. ALL DRAINAGE STRUCTURES SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF JONESBORO, OKLAHOMA COUNTY, ARKANSAS STANDARD SPECIFICATIONS MANUAL.
 13. SOIL TYPE: MEDIUM SILT LOAM, 12 TO 18% SLOPES (TYPE B); LOAMY SILT LOAM, 8-12% SLOPES (TYPE C)
 14. MINIMUM REQUIRED ZONING SETBACKS: RESIDENTIAL, FRONT SETBACK - 25' SIDE SETBACK - 10' REAR SETBACK - 25'
 15. BILL OF AGREEMENT TO INCLUDE FORMATION OF PROPERTY OWNERS ASSOCIATION TO MAINTAIN COMMON AREA
 16. REFERENCE DOCUMENTS
 17. PLAT OF GRIFFIN SUBDIVISION FILED IN PLAT BOOK 108 AT PAGE 62 IN THE OFFICE OF THE CIRCUIT CLERK FOR OKLAHOMA COUNTY IN JONESBORO, ARKANSAS.

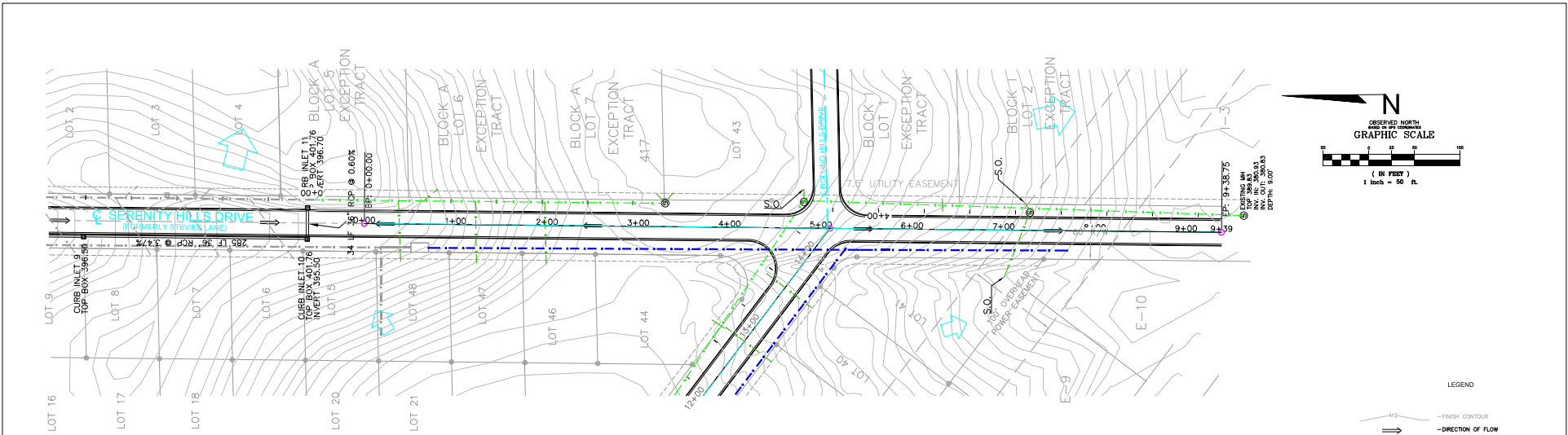
PLAN AND PROFILE - HARRISON HILLS DRIVE



SCALE: HORIZONTAL SCALE: 1" = 50' VERTICAL SCALE: 1" = 5'

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		<p>HARRISON HILLS - PHASE 2 JONESBORO, ARKANSAS A REPLAT IN GRIFFIN SUBDIVISION</p>	
<p>DATE: 02 JUN 22</p>		<p>DRAWN BY: DM CHECKED BY: CM</p>	
<p>SCALE: 1" = 50'</p>		<p>DATE: 02 JUN 22 09:05 1355122 Harrison GRADING</p>	
<p>DWG REF: 35-14N-03E</p>		<p>JOB NO. 1355122</p>	
<p>PROJECT 1355122</p>		<p>SHEET 5 / 10 Δ</p>	
<p>CLARENCE W. 'MAC' MCALISTER, PE, PS</p>		<p>BY: _____</p>	

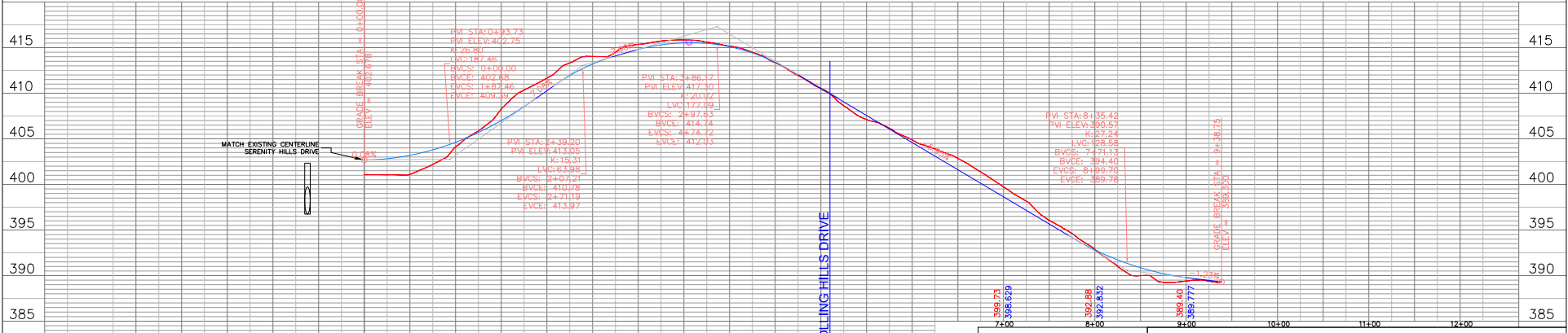


- NOTES**
1. SURVEY FOR BOB HARRISON
 2. GPS CONTROL - TIED SITE TO CITY OF JONESBORO GPS MONUMENT #5 & #6.
 3. HORIZONTAL CONTROL - MODEL 3RD ORDER CLASS 1, ARKANSAS SFC NORTH ZONE
 4. SURFACE CONTROL - HAZED IN THIRD ORDER METERAL
 5. CORNER INFORMATION: BOB HARRISON, BOB HARRISON CONSTRUCTION PO BOX 18118, JONESBORO, AR 72403
CORNER INFORMATION: HARRISON ENGINEERING 500 SOUTH GLENN ST. #100, JONESBORO, AR 72404
 6. PROPERTY NOT LOCATED IN THE 100 YEAR FLOODPLAIN AS SHOWN BY FLOOD INSURANCE RATE MAP
HARRISON ENGINEERING INC. DATED SEPTEMBER 29, 2017
 7. PLACE CONSTRUCTION PERMITS TO CONTROL, THAWING OF SEDIMENT ONTO ROADWAYS.
THAWING MAY BE CAUSE BY UNUSUAL WIND DIRECTION, SPRINGING, SODDING, OR OTHER APPROVED
METHODS TO PREVENT EROSION.
 8. STABILIZE SLOPES GREATER THAN 3:1 WITH TERRACED LANDSCAPING, RIPRAP, GEOTEXT, RETAINING WALL,
FRANKS OR OTHER APPROVED METHODS.
 9. ALL DRAINAGE STRUCTURES SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF JONESBORO, OKLAHOMA
COUNTY APPROVED STANDARD SPECIFICATIONS GENERAL.
 10. SOIL TYPE: MEDIUM SILT LOAM, 12 TO 40% SLOPES (TYPE #1) LOAM SILT LOAM, 8-12% SLOPES (TYPE C)
 11. MINIMUM REQUIRED ZONING SETBACK: RESIDENTIAL, CITY STREET SETBACK - 20'
REAR SETBACK - 10'
 12. BILL OF ATTENDANCE TO INCLUDE FORMATION OF PROPERTY OWNER'S ASSOCIATION TO MAINTAIN COMMON
WEALTH
 13. PLAT OF GRIFFIN SUBDIVISION FILED IN PLAT BOOK 108 AT PAGE 82 IN THE OFFICE OF THE GREAT CLERK FOR
OKLAHOMA COUNTY IN JONESBORO, OKLAHOMA.

LEGEND

- FINISH CONTOUR
- DIRECTION OF FLOW
- SURFACE FLOW
- FLARED END SECTION
- PROPOSED CURB INLET
- PROPOSED SEWER LINE W/ MANHOLE
- PROPOSED WATER LINE
- BENCHMARK - 407.10 CURB INLET WEST OF E.V. COURT ON NEELY ROAD

PLAN AND PROFILE - SERENITY HILLS DRIVE



SCALE: HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'

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STATE OF ARKANSAS
MCALESTER ENGINEERING, PLLC
#692
HARRISON - ENVOIES

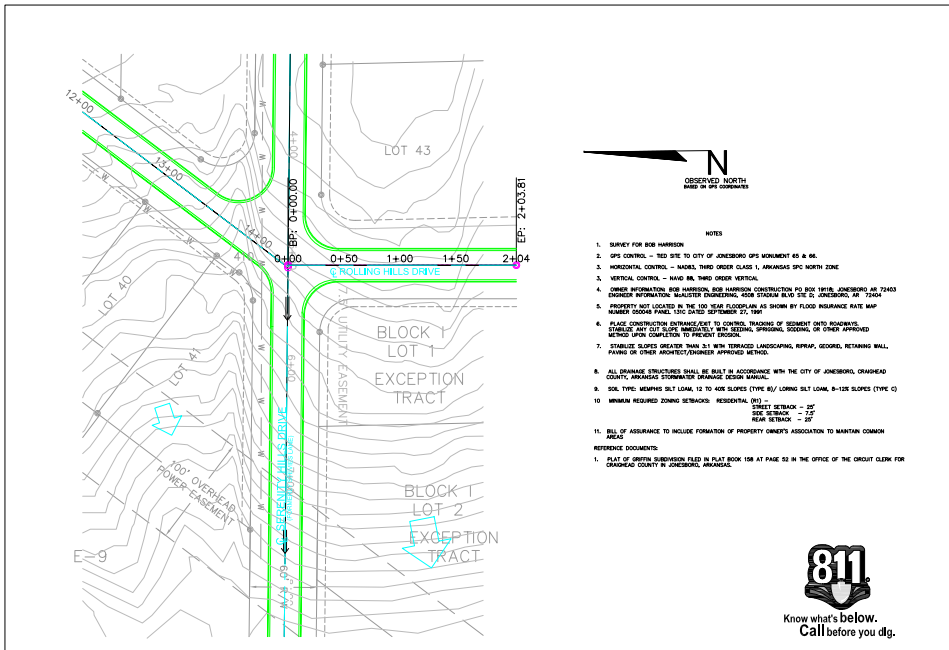
STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
#18359
CLARENCE W. MACALISTER, PE, PS

**HARRISON HILLS - PHASE 2
JONESBORO, ARKANSAS**
A REPLAT IN GRIFFIN SUBDIVISION

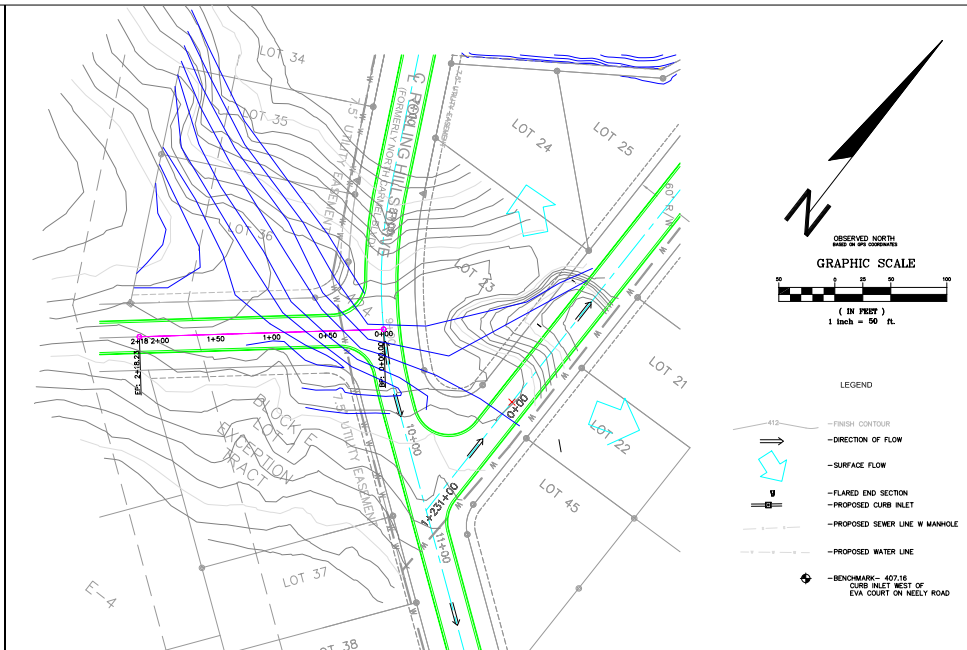
MCALISTER ENGINEERING
CIVIL ENGINEERING AND LAND SURVEYING
4008 ST. EMIL IN SILVO SITE D, JONESBORO, AR 72404
8704281-1420

CLARENCE W. "MAC" MCALISTER, PE, PS

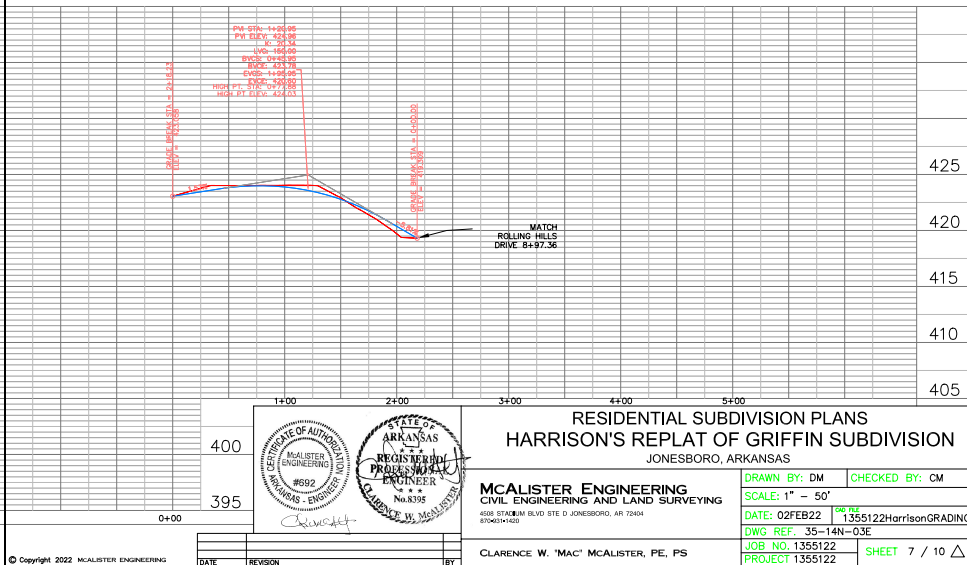
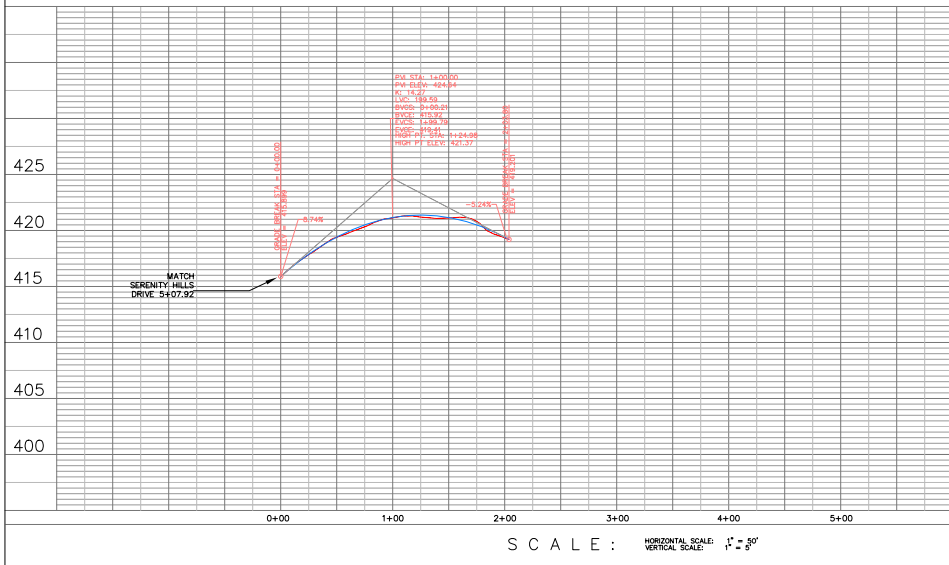
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SCALE: 1" = 50'
DATE: 02JUN22 | 1355122HarrisonGrading.
DWG REF: 35-14N-03E
JOB NO. 1355122 | SHEET 6 / 10 Δ
PROJECT 1355122



PLAN AND PROFILE - ROLLING HILLS DRIVE



PLAN AND PROFILE - CROSS STREET



RESIDENTIAL SUBDIVISION PLANS
HARRISON'S REPLAT OF GRIFFIN SUBDIVISION
JONESBORO, ARKANSAS

McALISTER ENGINEERING
CIVIL ENGINEERING AND LAND SURVEYING
6008 STONOR BLVD. STE. D JONESBORO, AR 72404
(501)421-1420

CLARENCE W. "MAC" McALISTER, PE, PS

DRAWN BY: DM **CHECKED BY: CM**

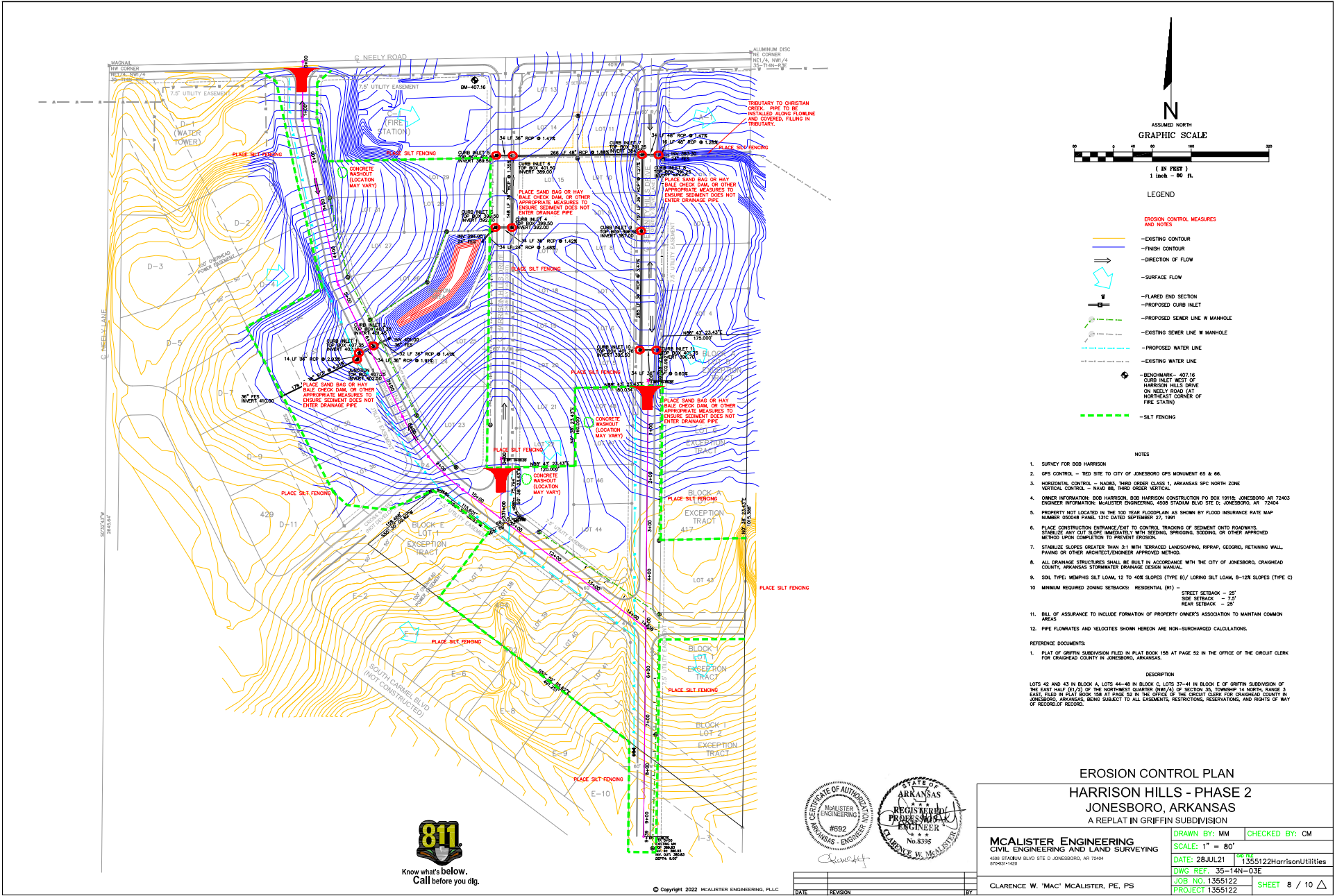
SCALE: 1" = 50'

DATE: 02FEB22 **DATE: 1355122HarrisonGRADING.**

DWG. REF: 35-14N-03E

JOB NO. 1355122 **SHEET 7 / 10**

PROJECT 1355122



- LEGEND**
- EROSION CONTROL MEASURES AND NOTE**
- EXISTING CONTOUR
 - FINISH CONTOUR
 - DIRECTION OF FLOW
 - SURFACE FLOW
 - FLARED END SECTION
 - PROPOSED CURB INLET
 - PROPOSED SEWER LINE W/ MANHOLE
 - EXISTING SEWER LINE W/ MANHOLE
 - PROPOSED WATER LINE
 - EXISTING WATER LINE
 - BENCHMARK - 407.16 CURB INLET WEST OF HARRISON HILLS DRIVE ON NEELY ROAD (AT NORTHEAST CORNER OF FIRE STATION)
 - SILT FENCING

- NOTES**
1. SURVEY FOR BOB HARRISON
 2. GPS CONTROL - TIED SITE TO CITY OF JONESBORO GPS MONUMENT 65 & 66.
 3. VERTICAL CONTROL - MARKED THIRD ORDER CLASS 1, ARKANSAS SPIC NORTH ZONE VERTICAL CONTROL - NAVD 83, THIRD ORDER VERTICAL.
 4. OWNER INFORMATION: BOB HARRISON, BOB HARRISON CONSTRUCTION PO BOX 19118, JONESBORO AR 72403 ENGINEER INFORMATION: MAELISTER ENGINEERING, 4008 STAMUK BLVD STE G, JONESBORO, AR 72404
 5. PROPERTY NOT LOCATED IN THE 100 YEAR FLOODPLAIN AS SHOWN BY FLOOD INSURANCE RATE MAP NUMBER 050048 PLAIN, 13IC DATED SEPTEMBER 27, 1991
 6. PLACE CONSTRUCTION ENTRANCES FIRST TO CONTROL TRACKING OF SEDIMENT ONTO ROADWAYS. STABILIZE ANY CUT SLOPE IMMEDIATELY WITH SEEDING, SPRIGGING, SOCCIALS, OR OTHER APPROVED METHOD UPON COMPLETION TO PREVENT EROSION.
 7. STABILIZE SLOPES GREATER THAN 3:1 WITH TERRACED LANDSCAPING, RIPRAP, GEOTEXT, RETAINING WALL, PAVING OR OTHER ARCHITECT/ENGINEER APPROVED METHOD.
 8. ALL DRAINAGE STRUCTURES SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF JONESBORO, CRANHEAD COUNTY, ARKANSAS STORMWATER DRAINAGE DESIGN MANUAL.
 9. SOIL TYPE: MEMPHIS SILT LOAM, 12 TO 40% SLOPES (TYPE B)/ LOESS SILT LOAM, 8-12% SLOPES (TYPE C)
 10. MINIMUM REQUIRED ZONING SETBACKS: RESIDENTIAL (R1) - STREET SETBACK - 25' SIDE SETBACK - 7.5' REAR SETBACK - 25'
 11. BILL OF ASSURANCE TO INCLUDE FORMATION OF PROPERTY OWNERS ASSOCIATION TO MAINTAIN COMMON AREAS
 12. PIPE FLOWRATES AND VELOCITIES SHOWN HEREON ARE NON-SURCHARGED CALCULATIONS.

REFERENCE DOCUMENTS:

1. PLAT OF GRIFFIN SUBDIVISION FILED IN PLAT BOOK 156 AT PAGE 52 IN THE OFFICE OF THE CIRCUIT CLERK FOR CRANHEAD COUNTY IN JONESBORO, ARKANSAS.

DESCRIPTION

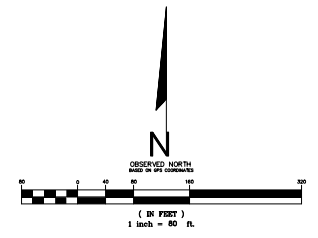
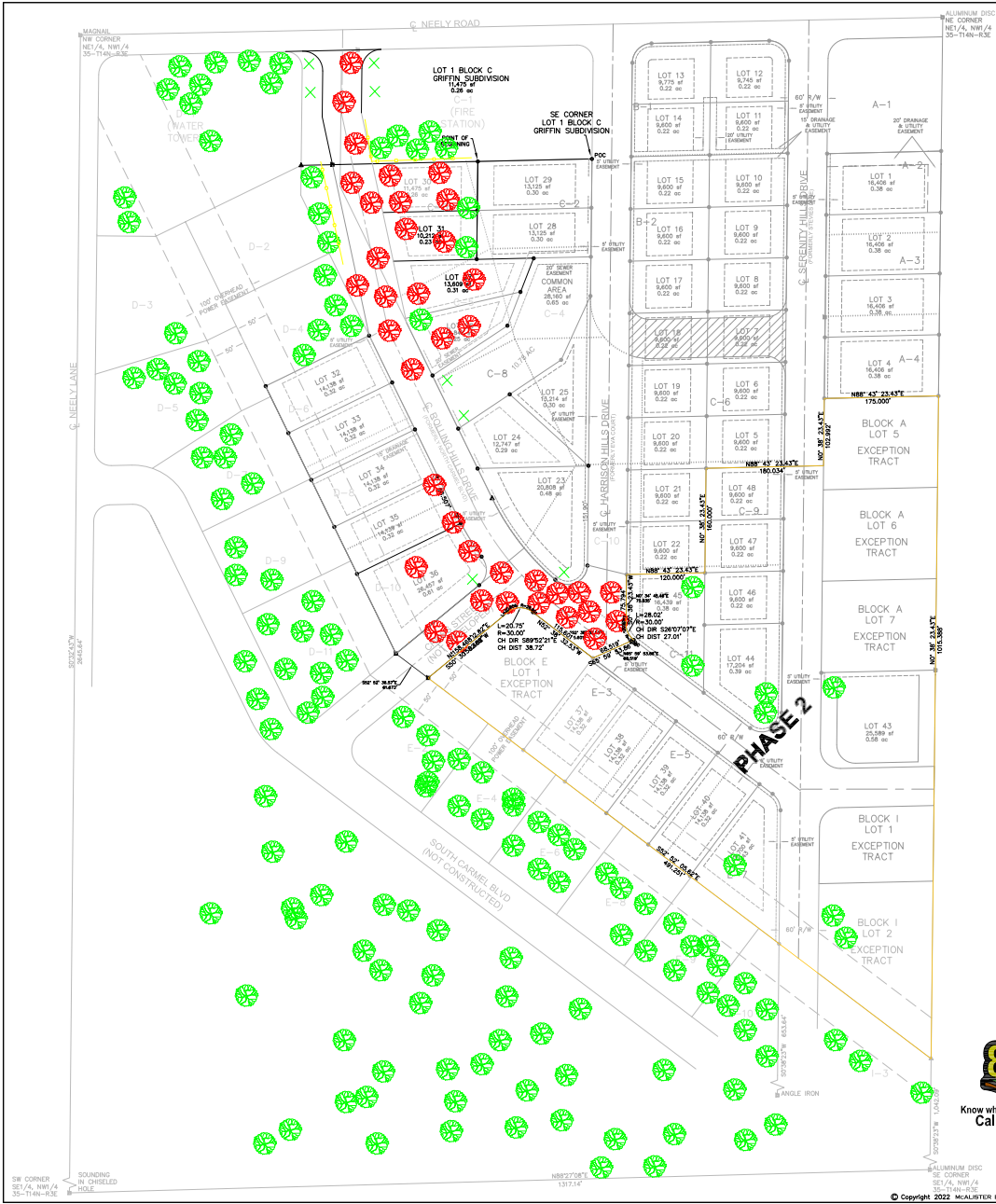
LOTS 42 AND 43 IN BLOCK A, LOTS 44-46 IN BLOCK C, LOTS 37-41 IN BLOCK E OF GRIFFIN SUBDIVISION OF THE EAST HALF (E/2) OF THE NORTHWEST QUARTER (NW/4) OF SECTION 35, TOWNSHIP 14 NORTH, RANGE 2 EAST, FILED IN PLAT BOOK 156 AT PAGE 52 IN THE OFFICE OF THE CIRCUIT CLERK FOR CRANHEAD COUNTY IN JONESBORO, ARKANSAS, BEING SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND RIGHTS OF WAY OF RECORD OF RECORD.



EROSION CONTROL PLAN
HARRISON HILLS - PHASE 2
JONESBORO, ARKANSAS
 A REPLAT IN GRIFFIN SUBDIVISION

McALISTER ENGINEERING CIVIL ENGINEERING AND LAND SURVEYING 4008 STAMUK BLVD STE G, JONESBORO, AR 72404 8704211420	DRAWN BY: MM	CHECKED BY: CM
	SCALE: 1" = 80'	
	DATE: 28JUL21	PROJECT: 1355122HarrisonUtilities
	DWG REF: 35-14N-03E	JOB NO: 1355122
	PROJECT: 1355122	SHEET: 8 / 10





- TREE PROTECTION BARRIERS WITH SIGNAGE
- NATIVE SPECIES TREES TO BE ADDED
- TREES ON PROPERTY TO REMAIN
- TREES ON PROPERTY LARGER THAN 18" TO BE REMOVED

TYPES OF TREES ON PROPERTY

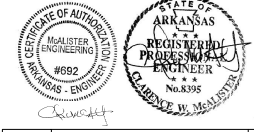
- ASH
- ELM
- NYCOSA
- CEDAR
- PINE
- OAK
- SWEET GUM
- SYCAMORE

NOTES

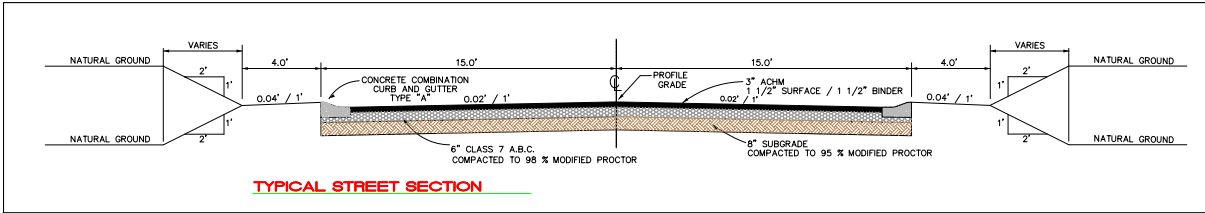
1. REQUIRED TREES 4.71 ACRES (43650/2000 = 103 TREES
40 SIGNIFICANT TREES TO BE REMOVED
8 NEW TREES PROVIDED
2. EXISTING TREES: (500+ EXISTING TREES)
120 + 4" - 5" (ALLOWED 2 TREE CREDITS)
60 + 6" - 12" (ALLOWED 3 TREE CREDITS)
40 + 13" - 18" (ALLOWED 4 TREE CREDITS)
20 + 19" - 24" (ALLOWED 6 TREE CREDITS)
10 + 25" - 32" (ALLOWED 8 TREE CREDITS)
5 + 33" - 48" (ALLOWED 10 TREE CREDITS)
3. REQUIRED 25% OF FOLIAGE ARE TREES
PROVIDING 8 TREES PLUS EXISTING TREES= 508+ TREES
4. REQUIRED 40% OF TREES TO BE A NATIVE SPECIES
ALL TREES ON SITE ARE NATIVE SPECIES FOR 100% NATIVE SPECIES
5. ALL TREES USED FOR CREDIT ARE OF GOOD HEALTH.
6. GROUPS OF TREES AND INDIVIDUAL TREES THAT ARE NOT TO BE REMOVED AND REQUIRED UNDISTURBED BUFFER AREAS SHALL BE PROTECTED DURING CONSTRUCTION BY PROTECTIVE FENCING AND SHALL NOT BE USED FOR MATERIAL STORAGE OR FOR ANY OTHER PURPOSE. TREE PROTECTION BARRIERS SHALL BE A MINIMUM OF FOUR FEET HIGH, CONSTRUCTED OF CHAIN LINK OR POLYETHYLENE LAMINAR SAFETY FENCING OR SIMILAR MATERIAL SUBJECT TO APPROVAL BY THE PLANNING AND ZONING DEPARTMENT. TREE PROTECTION MARKER SIGNS SHALL BE POSTED VISIBLY ON ALL SIDES OF THE FENCED AREAS. TREE PROTECTION BARRIER MUST BE PLACED AT THE OUTSIDE EDGE OF THE DRIP LINE OF THE EXISTING TREES.

TREE PRESERVATION PLAN

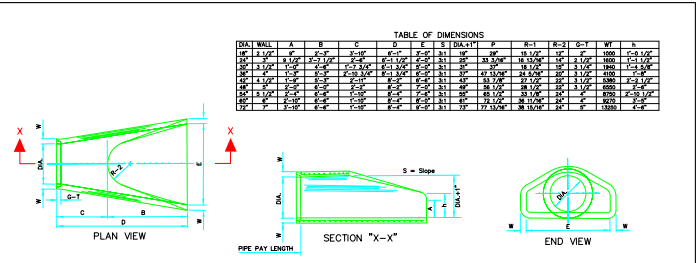
HARRISON HILLS - PHASE 2
JONESBORO, ARKANSAS
A REPLAT IN GRIFFIN SUBDIVISION



MCALISTER ENGINEERING CIVIL ENGINEERING AND LAND SURVEYING <small>4008 STARMAN BLVD. SUITE D JONESBORO, AR 72404</small>	DRAWN BY: DM/JH	CHECKED BY: CM
	SCALE: 1" = 80'	
	DATE: 9APR14	DWG NO. 1355122
	DWG REF: 35-14N-03E	JOB NO. 1355122
CLARENCE W. "MAC" MCALISTER, PE, PS	PROJECT 1355122	SHEET 9 / 10

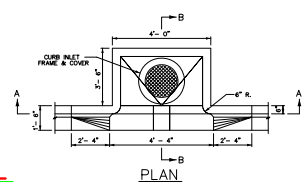
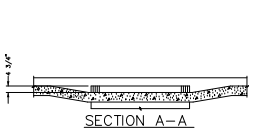
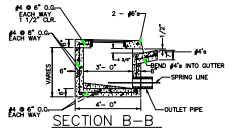
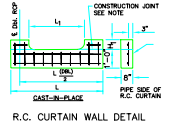


TYPICAL STREET SECTION



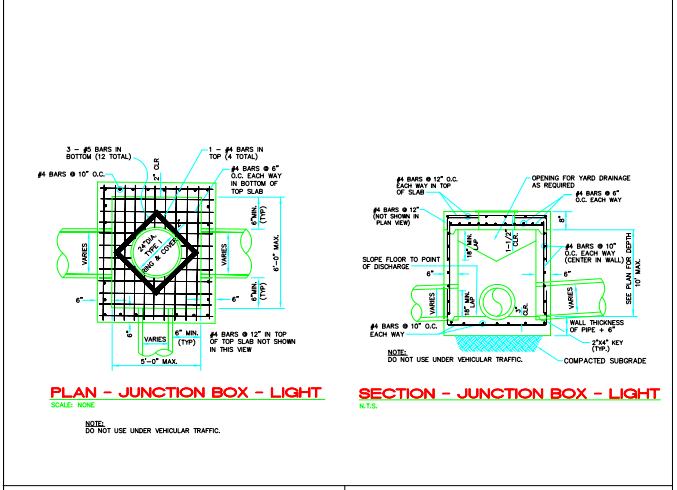
- NOTES:
1. The portion of the R.C. Curtain Wall beneath the Flared End Section (Lower 1'-0" shall be placed monolithically. The Flared End Section shall then be set in place and the remaining portions of the R.C. Curtain Wall placed.
 2. All reinforcing steel are #4 Bars at 6" O.C.
 3. No separate payment will be made for the Curtain Walls. They shall be considered subsidiary to the Flared End Sections.
 4. Tongue End On Upstream Section, Groove End On Downstream Section.

FLARED END SECTION DETAILS FOR REINFORCED CONCRETE PIPE CULVERT



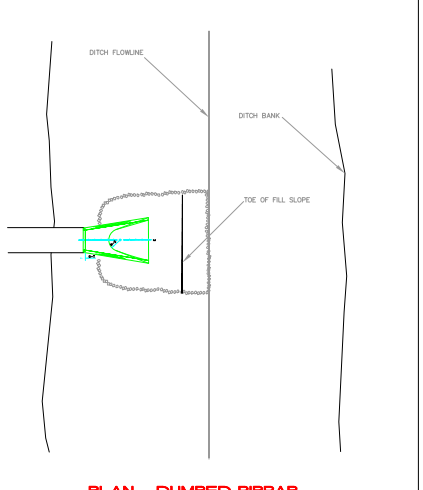
DROP INLET TYPE 'C' - DETAIL

- NOTES:
1. ALPH THE SUBGRADE TO 95% MODIFIED PROCTOR.
 2. SLOPE FLOOR TO POINT OF DISCHARGE.
 3. OUTLET PIPE MAY BE RELOCATED.

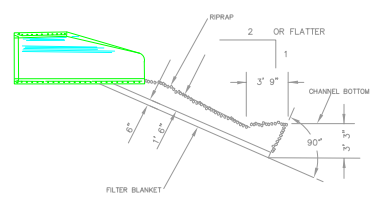


PLAN - JUNCTION BOX - LIGHT

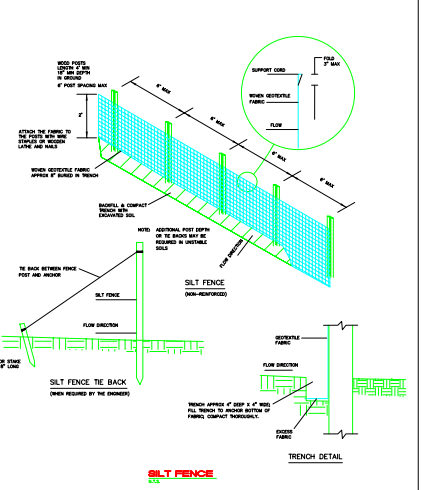
SECTION - JUNCTION BOX - LIGHT



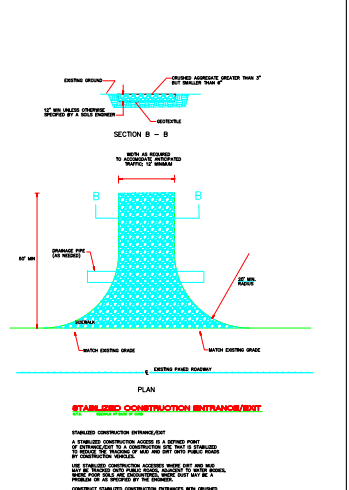
PLAN - DUMPED RIPRAP



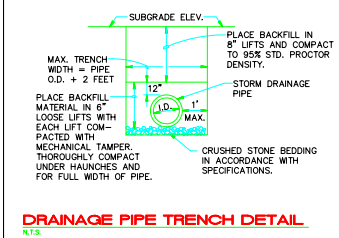
SECTION - DUMPED RIPRAP



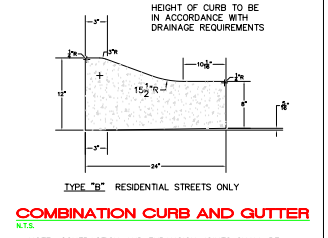
SILT FENCE



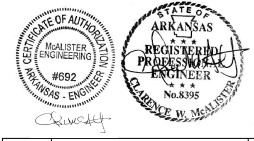
STABILIZED CONSTRUCTION ENTRANCE/EXIT



DRAINAGE PIPE TRENCH DETAIL



COMBINATION CURB AND GUTTER



HARRISON HILLS - PHASE 2 JONESBORO, ARKANSAS A REPLAT IN GRIFFIN SUBDIVISION

SCALE: DRAWN BY: DM CHECKED BY: CM

DATE: 10MARI14 JOB NO. 1355122 PROJECT 1355122

CLARENCE W. "MAC" MCALISTER, PE, PS SHEET 10 / 10

Preliminary Subdivision: Harrison Hills Phase 2

For consideration by Metropolitan Planning Commission on October 25th, 2022.

Applicant/Agent/ Owner: McAlister Engineering

Engineer: McAlister Engineering

Surveyor: McAlister Engineering

Property Location:

Total Acres: 3.73

Proposed Lots: 11

Zoning:

District: R-1, Single-Family Medium Density

Required Min. R-1 - Lot Size: 8,000 sq. ft., Min. Lot Width: 60 ft.

Proposed Min. Lot Size: 0.22 acres – 9,600 sq. ft.

Proposed Max. Lot Size: 0.59 acres – 25,590 sq. ft.

Special Conditions: N/A

Water/Sanitary Sewerage: Public

Sidewalks: Sidewalks aren't included on site plan.

Public Streets: Rolling Hills Drive & Serenity Hills Drive

Compliance with Address Policy: In progress

Other Departmental Reviews: Pending

Findings:

The subdivision complies with all requirements for Preliminary Subdivision Plan approval, Chapter 113, Subdivisions of the City of Jonesboro, Code of Ordinances. The preliminary plan complies with the purposes, standards and criteria for subdivision design and site protection. Setbacks and minimum square footage requirements are properly depicted and satisfied by the applicant as required in the R-1, Single-Family Medium Density District; minimum 8,000 sq. ft. lot required.



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: PP-22-13

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Subdivisions

FINAL SUBDIVISION: Prospect Farms Phase VIII

Mark Morris of Mark Morris Homes, LLC is requesting MAPC Final Subdivision Approval for Prospect Farms Phase VIII for 55 lots on 16 +/- acres of land located at Prospect Farms Road. This property is zoned R-1, Single-Family Medium Density District, minimum 8,000 sq. ft. lot required.

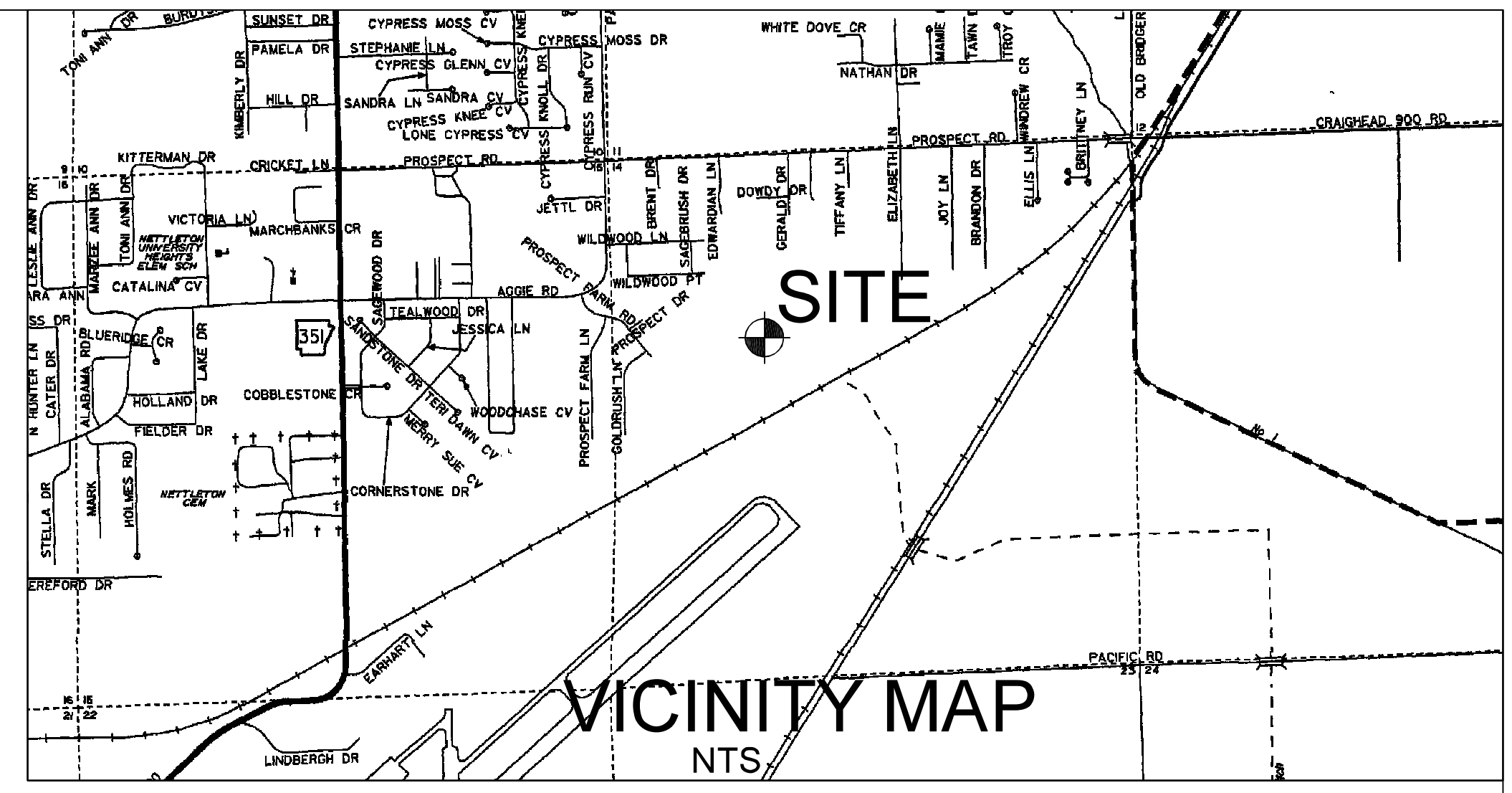
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	200.00'	39.10'	39.04'	S 85°08'05" E	11°12'06"
C2	200.00'	221.73'	210.55'	N 58°58'28" W	63°31'20"
C3	230.00'	49.87'	49.58'	S 33°24'02" E	12°22'28"
C4	230.00'	72.04'	71.74'	S 48°33'37" E	17°56'42"
C5	230.00'	55.85'	55.72'	S 64°29'22" E	13°54'49"
C6	230.00'	52.41'	52.30'	S 77°58'29" E	13°03'26"
C7	230.00'	25.02'	25.01'	S 87°37'10" E	6°13'56"
C8	170.00'	33.24'	33.18'	N 85°08'05" W	11°12'06"
C9	470.00'	63.95'	63.90'	N 75°39'28" W	7°47'45"
C10	25.00'	38.76'	35.00'	N 27°20'21" W	88°50'27"
C11	25.00'	38.64'	34.91'	S 35°15'13" E	88°53'36"
C12	25.00'	18.69'	18.28'	N 30°26'35" E	42°50'00"
C13	50.00'	43.20'	41.87'	S 27°06'24" W	49°30'23"
C14	50.00'	36.47'	35.67'	N 18°32'29" W	41°47'23"
C15	50.00'	36.24'	35.45'	S 60°11'54" E	41°31'27"
C16	50.00'	37.00'	36.16'	N 77°50'17" E	42°24'09"
C17	50.00'	36.40'	35.60'	S 35°46'48" W	41°42'50"
C18	50.00'	42.53'	41.25'	S 09°26'31" E	48°43'49"
C19	25.00'	18.89'	18.26'	N 12°23'25" W	42°50'00"
C20	170.00'	138.47'	134.67'	S 67°24'05" E	48°40'05"
C21	170.00'	50.01'	49.83'	N 35°38'25" W	16°51'14"
C22	25.00'	39.27'	35.36'	S 17°47'12" W	90°00'00"
C23	25.00'	39.27'	35.36'	N 72°12'48" W	90°00'00"
C24	25.00'	35.01'	32.22'	N 49°08'43" E	80°14'17"
C25	5691.46'	618.49'	618.49'	N 59°40'25" E	6°13'35"

LEGEND

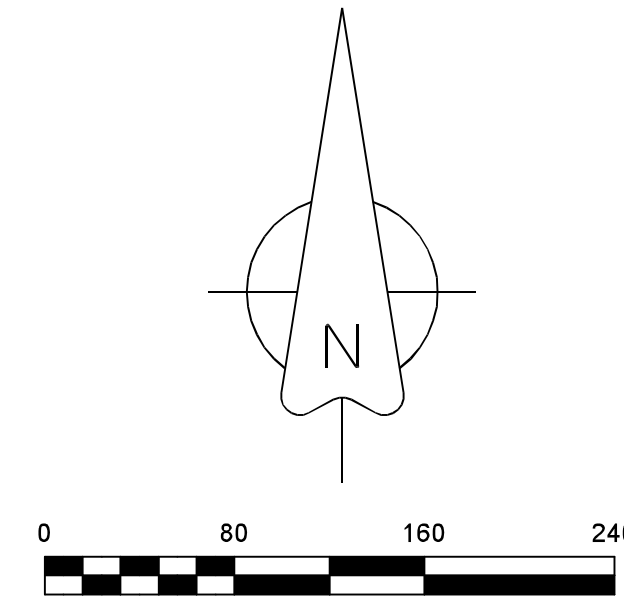
These standard symbols will be found in the drawing.

- FOUND CORNER AS NOTED
- SET 1/2" REBAR W/ CAP
- FD COTTON PICKER SPINDLE
- ▲ HIGHWAY RIGHT OF WAY MARKER
- FOUND REBAR
- △ CALCULATED CORNER
- FENCE LINE
- ELECTRIC
- SET PK NAIL
- POWER POLE
- 5000 - DENOTES ADDRESSES

LOT ACREAGE	SQUARE FEET	ACRES
BLOCK "C"		
31	10227.14	0.23
32	8000.00	0.18
33	8000.00	0.18
34	8872.66	0.20
35 - 39	8040.00	0.18
40	8432.66	0.19
41	9918.12	0.23
42	10380.10	0.24
43	14288.30	0.33
44	10338.25	0.24
BLOCK "G"		
1	10258.97	0.24
2	8136.98	0.19
3	11400.16	0.26
4	25253.16	0.58
5	12699.97	0.29
6	10910.78	0.25
7	8130.43	0.19
8	11459.03	0.26
9	17801.26	0.41
10	11064.20	0.25
11	9271.05	0.21
12	14660.05	0.34
13	10901.57	0.25
14 - 24	8040.00	0.18
25	8228.74	0.19
BLOCK "F"		
31 - 46	12000.11	0.28



N 1/16 CENTER CORNER OF SECTION 14, TOWNSHIP 14 NORTH, RANGE 4 EAST (NW CORNER SW 1/4, NE 1/4)
 POC
 1. SEE SURVEY "I" AT PAGE 161
 2. NICK GRAVES REPLAT PLAT "C" @ PAGE 189
 ALSO KNOWN AS SE CORNER OF WILDWOOD ADDITION



N 89°07'09" E 1343.53'

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 05031C0063 effective date of 9/27/1991. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.

DESCRIPTION:
 A PART OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 NORTH, RANGE 4 EAST, CRAIGHEAD COUNTY, ARKANSAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Beginning at the North 1/4 corner (Northwest corner of the Southwest Quarter of the Northeast Quarter) of said Section 14; thence North 89°07'09" East 1343.53 feet to the Westerly right of Union Pacific Railroad; thence along said railroad as follows: thence along a curve to the left with an arc length of 618.49 feet, with a radius of 5691.46 feet, with a chord bearing of South 59°40'25" West, with a chord length of 618.49 feet; thence South 62°47'12" West 1980.82 feet to the point of beginning proper;
 Thence continue along said railroad right of way, South 62°47'12" West 960.00 feet to the Southeast corner of Prospect Farms, Phase III, Jonesboro, Arkansas as shown in Plat "C" at page 259; thence North 27°10'11" West 399.98 feet along said Phase III; thence North 00°17'28" East 292.71 feet along said Phase III; thence North 10°28'26" East 208.19 feet along said Phase III; thence with a curve turning to the right with an arc length of 63.95 feet, with a radius of 470.00', with a chord bearing of North 75°39'28" West, with a chord length of 63.95 feet, with a radius of 25.00'; with a compound curve turning to the right with an arc length of 38.76 feet, with a radius of 25.00'; with a chord bearing of North 27°20'21" West, with a chord length of 35.00 feet along said Phase III to the Southerly line Prospect Farms, Phase VI, Jonesboro, Arkansas as shown in Plat "C" at page 354; thence North 25°18'24" East 100.97 feet along said Phase VI; thence South 74°19'51" East 136.85 feet along said Phase VI; thence North 89°15'52" East 570.60 feet along said Phase VI; thence South 53°23'23" East 96.59 feet along said Phase VI; thence South 48°26'23" East 144.79 feet along said Phase VI to Prospect Farms Phase VII as shown by Plat "C" at page 369; thence South 62°47'12" West 60.00 feet along said Phase VII; thence South 27°12'48" East 194.00 feet along said Phase VII; thence North 62°47'12" East 19.11 feet along said Phase VII; thence South 27°10'11" East 200.00 feet along said Phase VII to the point of beginning proper, having an area of 700617.18 square feet, 16.08 acres more or less and being subject to all public and private roads and easements.

SETBACK NOTES:
 R-1 ZONING
 25' FRONT SETBACK OR OTHERWISE AS NOTED
 7.5 SIDE YARD SETBACK
 25' REAR SETBACK

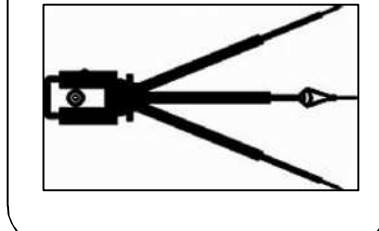
SURVEYORS NOTES:
 1. BEARINGS ARE STATE PLANE GRID BEARINGS(NAD 83 DATUM)AS PER GPS OBSERVATION ON SITE DURING SURVEY AND ARE TO BE USED TO DEFINE THE GENERAL DIRECTION AND TRUE ANGLE AT THE INTERSECTION OF THE PROPERTY AND LAND LINES.
 2. PROPERTY IS SUBJECT TO UTILITY SERVICES AND UNDERGROUND UTILITY LINES NOT LOCATED.

SURVEYOR'S CERTIFICATION:
 THIS IS TO CERTIFY I HAVE ON THIS DATE SURVEYED THE ABOVE DESCRIBED PROPERTY IN ACCORDANCE WITH MONUMENTS FOUND THIS PLAT CONFORMS TO THAT SURVEYED.

H&S HIME PROFESSIONAL SURVEYING SERVICES
 1817 WOODSPRINGS SUITE "F"
 JONESBORO, ARKANSAS 72401

OWNER CERTIFICATION:
 WE HEREBY CERTIFY THAT WE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE ADOPT THE PLAN OF THE SUBDIVISION AND DEDICATED PERPETUAL USE OF ALL STREETS AND EASEMENTS AS NOTED.

H&S HIME PROFESSIONAL SURVEYING SERVICES
 1817 WOODSPRINGS RD. STE "F"
 JONESBORO, ARKANSAS 72401
 PHONE: 870-972-1288
 E-MAIL: hshime_butch@yahoo.com



PROSPECT FARMS SUBDIVISION PHASE VIII, JONESBORO, ARKANSAS FINAL PLAT

DATE: 9-19-2022
 REV:

DRAWN BY: H. HIME



STATE CODE: 500-14N-04E-0-14-430-16-1783



Final Subdivision: Prospect Farms Phase VIII

For consideration by Metropolitan Planning Commission on October 25th, 2022.

Applicant/Agent/ Owner: Mark Morris

Engineer: Mark Morris

Surveyor: H&S Hime Professional Surveying Services

Property Location:

Total Acres: 16

Proposed Lots: 55

Zoning:

District: R-1 Single Family Residential District

Required Min. Lot Size: 8,000 sq. ft., Min. Lot Width: 60 ft., Min. Lot Depth: 100 ft.

Proposed Min. Lot Size: 0.18 acres, -- 8,000.00 sq. ft.

Proposed Max. Lot Size: 0.41 acres, -- 17,801.26 sq. ft.

Special Conditions: N/A

Water/Sanitary Sewerage: Public

Sidewalks: None

Public Streets: Prospect Farm Cv., Prospect Farm Rd., & Yukon Dr.

Compliance with Address Policy: Yes

Other Departmental Reviews: Pending

Findings:

The subdivision complies with all requirements for Final Subdivision Plan approval, Chapter 113, Subdivisions of the City of Jonesboro, Code of Ordinances.

The Final Plan complies with the purposes, standards and criteria for subdivision design and site protection. Setbacks and minimum square footage requirements are properly depicted and satisfied by the applicant as required in the R-1 Single Family Residence District.

Home **Profile**

Monica Pearcy | Admin | Logout

Application submitted on: October 12, 2022 by Joshua Hurd

Request Name: Prospect Farms Phase VIII - Final



SUBDIVISION AND PLATS APPLICATION

CITY OF JONESBORO

300 S Church St Jonesboro, AR 72401

Step 1 - Project Information

COMPLETE

Did you have a pre-application meeting? * Yes No

Project Description *

Single Family Subdivision

Application Type *

Final Plat

Contact Planning Office if unknown.

Proposed Use * Commercial Residential

Subdivision Name / Phase No *

Prospect Farms Phase VIII

Property Address / Location *

Yukon Dr / Prospect Farms Rd

Property City *

Jonesboro

Property State *

Arkansas

Property Zip Code *

72401

Zoning Classification *

R-1 – SINGLE-FAMILY MEDIUM DENSITY DISTRICT

Select total acreage range *

- < 1 Acre
- > 1 and < 5 Acres
- > 5 and < 20 Acres
- > 20 and < 40 Acres
- > 40 Acres

Total Acres *

16.08

Total Number of Lots *

55

Have you filled out and signed the Stormwater Pollution Prevention Plan, and submitted it to ADEQ? *

- Yes
- No

Is the property located in a floodplain? *

- Yes
- No

Step 2: Applicant Information

COMPLETE

Select if the Applicant is the currently logged in user.

Applicant First Name *

Joshua

Applicant Last Name *

Hurd

Applicant Address *

6011 Southwest Drive

Applicant Address Line 2

Applicant City *

Jonesboro

Applicant State *

Arkansas

Applicant Zip Code *

72404

Applicant Phone Number *

(870) 530-5202

Applicant Email Address *

engineering@markmorrishomes.com

Step 3: Owner Information (optional)

Select if the Owner is the same as the Applicant.

Owner First Name

Jonesboro 2015, LLC

Owner Last Name

Owner Address

6011 Southwest Drive

Owner Address Line 2

Owner City

Jonesboro

Owner State

Arkansas

Owner Zip Code

Owner Phone Number

() -

Owner Email Address

Step 4: Submittal Requirements (optional)

Final Plat Requirements

The final plat and plans shall show when applicable the following:

1. The names and lines of all streets and roads, alleys lines, lot lines, building setback lines, block and lot numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations. Location and names of the nearest streets and/or alignments should be altered to match existing streets. Submission shall include overall vicinity map of nearest adjacent platted subdivisions at scale.
2. Sufficient data to determine readily and reproduce on the ground, the location, bearing and length of every street line, lot line, boundary line, block line and building line whether curved or straight and including true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets and curved property lines that are not the boundary of curved streets.
3. Profiles of all streets with natural and finished grades drawn to a scale of one inch equals 50 feet horizontal and one inch equals ten feet vertical or larger when required by the planning commission.
4. All dimensions to the nearest one-tenth of a foot and angles to the nearest minute.
5. Location and description of monuments.
6. The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining unsubdivided property.
7. Date, title, name and location of subdivision, graphic scale and true north point.
8. Certificate of dedication by landowner.

- 9. The names and seal of the registered land surveyor, in the state, responsible for the survey and contour formation on the plat.
- 10. The plan shall provide for all proposed utility lines in accord with existing policies, rules or regulations of the utilities, the city or other applicable regulations, and approval of the city water and light plant as to proposed sanitary sewer, water and electric lines, shall accompany the final plan.
- 11. Adequate provisions for drainage of surface water shall be made by the subdivider and shown on the plan and he shall file with the city planning commission a description, specifications and drawings prepared by a registered civil engineer in the state, which shall be adequate to provide drainage for area subdivided and/or adjacent areas attached by drainage across or from such tract. The minimum size pipe used in the subdivision shall not be less than 18 inches inside diameter. If proposed subdivision is a portion of a tract which is later to be subdivided in its entirety, then a tentative master plan of the entire subdivision should be submitted with the plat of the portion first to be subdivided.
- 12. A development permit where required in accordance with section 113-49 as amended, before final approval of final plat.

Signature

COMPLETE



I hereby declare that I am the owner or the applicant acting on behalf of the owner with their permission to proceed forward with this application. I hereby declare that I have read and understood the above, and the information contained in this application, attached schedules, attached plans and specifications, and other documentation is true to the best of my knowledge.

Applicant: Joshua Hurd

Signature date: 2022-10-12 03:30 PM

Payment Details

[Home](#) | [Profile](#)



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: CU-22-02

Agenda Date:

Version: 1

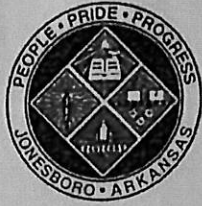
Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Conditional Use

CONDITIONAL USE: 3411 & 3413 E. Johnson Ave.

Sharada Madhuri on behalf of Quinn Family Limited is requesting Conditional Use approval to develop property located at 3411 & 3413 E. Johnson Ave. into a fast food restaurant (with drive-through) and a retail space. The property is currently zoned C-4, Neighborhood Commercial District, and requires Conditional Use approval.



CITY OF JONESBORO
CONDITIONAL USE APPLICATION

Case Number CV 22-02 MAPC Deadline 8/31/2022
Date Submitted 8/31/2022 MAPC Meeting Date 9/27/2022

OWNER/APPLICANT INFORMATION

Property Owner Quinn Family Limited Applicant SHARADA MADHURI
Address 4550 Mt. CARMEL Rd Address 42 CR 7012 BROOKLAND
Phone _____ Phone 267-875-8596
Signature _____ Signature A. Sharada madhuri

PARCEL INFORMATION

Address/Location 3411 and 3413 East JOHNSON AVE. JONESBORO, AR 72401
Current Zoning C-4 Existing Land Use VACANT
Adjacent Zoning North C-3 East R-1 South R-1 West C-3

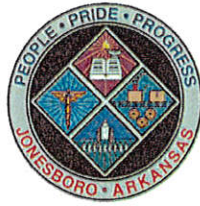
REQUESTED CONDITIONAL USE

Describe the proposed use, explain why it is appropriate for this location, and describe any precautions to be taken to minimize adverse impacts on neighboring properties.

Property is Zoned C-4. Applicant would like to develop into retail and restaurant - fast food. Conditional Use Permit is required with drive-thru

GENERAL SUBMITTAL INFORMATION

- Submit a narrative letter explaining your request along with ten (10) copies of an accurate site plan drawn at a scale that clearly illustrates the requested use, the subject property, and surrounding properties, streets and easements, etc.
- Provide confirmation receipts to our office that adjoining owners of all properties within 200' of subject property have been notified.
- Pay fee according to fee schedule.



**CITY OF JONESBORO
CONDITIONAL USE APPLICATION**

Case Number CV 22-02 MAPC Deadline 8/31/2022
Date Submitted 8/31/2022 MAPC Meeting Date 9/27/2022

OWNER/APPLICANT INFORMATION

Property Owner Quinn Family Limited Applicant SHARADA MADHURI
Address 4506 Mt. Carmel Rd Address 42 CE 7012 Brookland
Phone _____ Phone _____
Signature _____ Signature _____

PARCEL INFORMATION

Address/Location 3411 AND 3413 EAST JOHNSON AVE. JONESBORO, AR 72401
Current Zoning C-4 Existing Land Use VACANT
Adjacent Zoning North C-3 East R-1 South R-1 West C-3

REQUESTED CONDITIONAL USE

Describe the proposed use, explain why it is appropriate for this location, and describe any precautions to be taken to minimize adverse impacts on neighboring properties.

Property is Zoned C-4. Applicant would like to develop into retail and restaurant - fast food. Conditional Use Permit is required

GENERAL SUBMITTAL INFORMATION

- Submit a narrative letter explaining your request along with ten (10) copies of an accurate site plan drawn at a scale that clearly illustrates the requested use, the subject property, and surrounding properties, streets and easements, etc.
- Provide confirmation receipts to our office that adjoining owners of all properties within 200' of subject property have been notified.
- Pay fee according to fee schedule.

7021 0950 0001 9208 7474

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Jonesboro AR 72403
OFFICIAL USE

Certified Mail Fee	\$4.00	0408
Extra Services & Fees (check box, add fee as appropriate)	\$47.75	18
<input type="checkbox"/> Return Receipt (hardcopy)	\$4.00	
<input type="checkbox"/> Return Receipt (electronic)	\$4.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$4.00	
<input type="checkbox"/> Adult Signature Required	\$4.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$4.00	
Postage	\$0.50	
Total Postage and Fees	\$7.85	09/13/2022

Postmark Here

Sent To
 Street and Apt. THE VINEYARD DEVELOPMENT GROUP LLC
 PO BOX 17250
 City, State, ZIP+4 JONESBORO AR 72403

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 0950 0001 9208 7481

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Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Jonesboro AR 72403
OFFICIAL USE

Certified Mail Fee	\$4.00	0408
Extra Services & Fees (check box, add fee as appropriate)	\$47.75	18
<input type="checkbox"/> Return Receipt (hardcopy)	\$4.00	
<input type="checkbox"/> Return Receipt (electronic)	\$4.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$4.00	
<input type="checkbox"/> Adult Signature Required	\$4.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$4.00	
Postage	\$0.50	
Total Postage and Fees	\$7.85	09/13/2022

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 0950 0001 9208 7498

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Extra Services & Fees (check box, add fee as appropriate)	\$47.75	18
<input type="checkbox"/> Return Receipt (hardcopy)	\$4.00	
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Postage	\$0.50	
Total Postage and Fees	\$7.85	09/13/2022

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 Street and Apt. STADLER LINDA ETAL
 5300 PACIFIC RD
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Extra Services & Fees (check box, add fee as appropriate)	\$47.75	18
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Postage	\$0.50	
Total Postage and Fees	\$7.85	09/13/2022

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Sent To
 Street and WHEATON RANDAL H & SONIA
 1211 DESPAIN CV
 City, State, ZIP+4 JONESBORO AR 72405-8603

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7020 2450 0001 3519 4993

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Extra Services & Fees (check box, add fee as appropriate)	\$47.75	18
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Postage	\$0.50	
Total Postage and Fees	\$7.85	09/13/2022

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 Street and Apt. MCINTOSH SHANE AND MAGAN
 3514 ODEN ST
 City, State, ZIP+4 JONESBORO AR 72405-8622

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 2450 0001 3519 5006

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Jonesboro AR 72401
OFFICIAL USE

Certified Mail Fee	\$4.00	0408
Extra Services & Fees (check box, add fee as appropriate)	\$47.75	18
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Postage	\$0.50	
Total Postage and Fees	\$7.85	09/13/2022

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Sent To
 Street and Apt. FOCUS BANK
 406 SOUTHWEST DR
 City, State, ZIP+4 JONESBORO AR 72401

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 2450 0001 351A 4986

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Certified Mail Fee	\$4.00
Extra Services & Fees (check box, add fee as appropriate)	\$7.25
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0408
18

Postmark
Here

Postage	\$0.80
Total Postage and Fees	\$7.85

09/13/2022

Sent To _____
 Street and Apt. No. RODGERS ELRENA
 1200 JEWELL
 City, State, ZIP+4 JONESBORO AR 72401

35

7020 2450 0002 0249 4989

U.S. Postal Service™
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Jonesboro, AR 72401

OFFICIAL USE

Certified Mail Fee	\$4.00
Extra Services & Fees (check box, add fee as appropriate)	\$7.25
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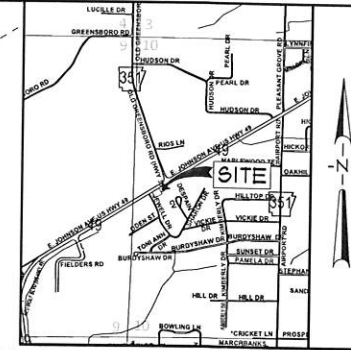
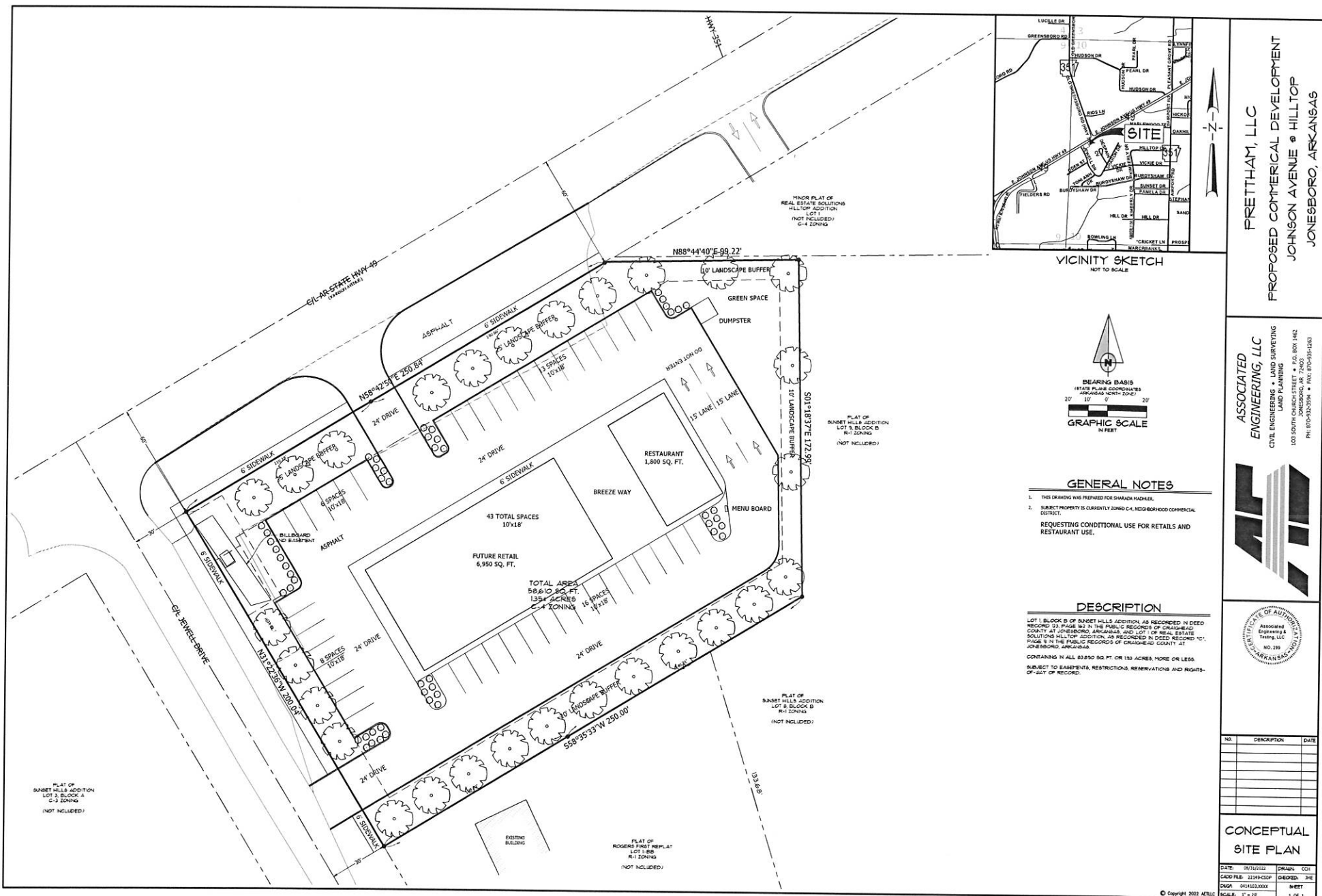
0408
18

Postmark
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Postage	\$0.80
Total Postage and Fees	\$7.85

09/13/2022

Sent To _____
 Street and Apt. No. MERRITT ALTON DEWAYNE
 1201 DESPAIN CV
 City, State, ZIP+4 JONESBORO AR 72405



VICINITY SKETCH
NOT TO SCALE



GENERAL NOTES

1. THIS DRAWING WAS PREPARED FOR SHAWN MADLER.
 2. SUBJECT PROPERTY IS CURRENTLY ZONED C-4, RESIDENTIAL COMMERCIAL DISTRICT.
- REQUESTING CONDITIONAL USE FOR RETAILS AND RESTAURANT USE.

DESCRIPTION

LOT 1 BLOCK B OF SUNSET HILLS ADDITION AS RECORDED IN DEED RECORD 21 PAGE 82 IN THE PUBLIC RECORDS OF CRAIGHEAD COUNTY AT JONESBORO, ARKANSAS AND LOT 1 OF REAL ESTATE SOLUTIONS HILLTOP ADDITION AS RECORDED IN DEED RECORD 101 PAGE 5 IN THE PUBLIC RECORDS OF CRAIGHEAD COUNTY AT JONESBORO, ARKANSAS.

CONTAINING IN ALL 83,900 SQ. FT. OR 1.93 ACRES MORE OR LESS, SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS, OF-ANY-OF RECORD.

FRETTHAM, LLC
PROPOSED COMMERCIAL DEVELOPMENT
JOHNSON AVENUE • HILLTOP
JONESBORO, ARKANSAS

ASSOCIATED
ENGINEERING, LLC
CIVIL ENGINEERING • LAND SURVEYING
LAND PLANNING
103 SOUTH CHURCH STREET • P.O. BOX 1462
JONESBORO, AR 72403
PH: 919-950-0304 • FAX: 919-950-1810



NO.	DESCRIPTION	DATE

**CONCEPTUAL
SITE PLAN**

DATE	BY	ORIGIN	COY
06/17/2022	SM	SM	SM
CADD FILE	22119-CSDP	CHECKED	SM
DWG#	041423.000X	SHEET	1 OF 1
SCALE:	1" = 20'		

Copyright 2022 AELLIC

From: [Derrel Smith](#)
To: [Monica Percy](#)
Subject: FW: Commercial Development at East Johnson Avenue and Jewell Drive
Date: Friday, September 30, 2022 10:57:56 AM
Attachments: [Design Sketch](#)

From: Dave McKinney <dave.r.mckinney@gmail.com>
Sent: Friday, September 30, 2022 8:24 AM
To: MAPC Members <MAPC_Members@jonesboro.org>
Subject: Commercial Development at East Johnson Avenue and Jewell Drive

To: MAPC Members

Good morning! My name is Dave McKinney. My wife and I are longtime Jonesboro residents. We have lived on Vickie Drive in the Sunset Hills addition for over 25 years.

I wanted to share our early thoughts about the proposed development of the commercial property at the corner of East Johnson Avenue and Jewell Drive between the Focus Bank and Centennial Bank. We have just learned of this development yesterday from one of our neighbors who attended a recent meeting about the plans as well as an article in The Sun. Our neighbor shared with me some of the items that were discussed and also the attached sketch of the plans.

First, we are pleased to learn that the property will be developed. The lot has been vacant for years and has been an eyesore in the area. We welcome the potential benefit of additional retail and hospitality service in the Hilltop area.

We are also concerned about the impact on our neighborhood. Sunset Hills is an established neighborhood where many residents walk, run, and bike along the streets and where children play. There are several school bus stops throughout the addition. Even with the significant growth in the Hilltop area of the city, the residential character of this R-1 zone has remained stable and relatively quiet and safe.

Although we need more time to study the proposal, we are initially concerned about a few aspects. At the top of the concerns is a comment that our neighbor said the contractor made at the meeting he attended about vehicle ingress and egress for the development. The sketch indicates that there will be access to the property from both Jewell Drive and Johnson Avenue. However, the contractor, per our neighbor, mentioned the possibility of access being limited to Jewell Drive only and having no access from Johnson Avenue. As residents, we would be very concerned about the potential for significant increase in traffic in the neighborhood if Jewell Drive is the only access to the property. We ask that the MAPC

Carefully consider the impact this would have on our neighborhood.

The neighborhood traffic infrastructure is not designed to handle the type of traffic needed to service a retail/hospitality property which would include not only the customer traffic but the commercial delivery traffic, etc. This would have the potential to significantly change the residential character of our neighborhood.

We are also concerned about other aspects of the development such as appropriate screening to separate the commercial property from the R-1 neighborhood and the impact of the additional noise, lighting, etc. that is normally associated with commercial facilities.

We ask that you please give careful consideration of the impact of this development on your constituents who live in the area. Many of us are longtime residents of the neighborhood and look forward to the residential character of Sunset Hills remaining intact as Hilltop continues to develop. Please keep the residents in mind as this proposal progresses.

Thank you,
Dave McKinney

NOTICE OF CONFIDENTIALITY

NOTICE OF CONFIDENTIALITY. The information transmitted herein is intended only for the person or entity to which it is addressed and may contain confidential and/or privileged material. Any review, re-transmission, dissemination or other use of this information by anyone other than the intended recipient is prohibited. If you receive this in error, please contact the sender and destroy all records of the transmission.

[City of Jonesboro AR](#)

*City of Jonesboro Metropolitan Area Planning Commission
Staff Report – CU 22-02, 3411 & 3413 E Johnson Ave
300 S. Church Street/Municipal Center
For Consideration by Planning Commission on October 25, 2022*

REQUEST: Applicant proposes a Conditional Use to allow for a retail space and fast food establishment with drive through in a C-4 Neighborhood Commercial District.

APPLICANT OWNER: Sharada Madhuri, 42 CR 7612 Brookland
Quinn Family Limited, 4506 Mt. Carmel Rd

LOCATION: 3411 & 3413 E. Johnson Ave.

SITE DESCRIPTION: Tract Size: 1.35 +/- Acres
Frontage: Approx. 250' along E. Johnson Ave.
Topography: Flat Lot.
Existing Development: Vacant

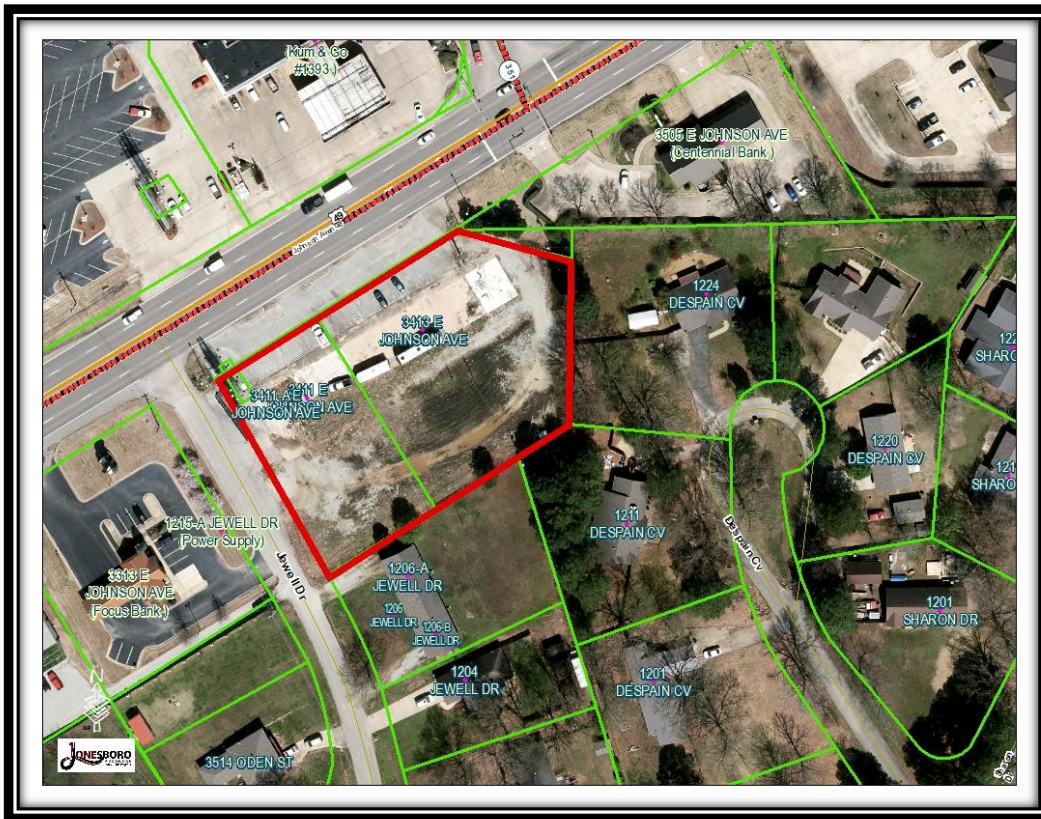
SURROUNDING CONDITIONS:	<u>ZONE</u>	<u>LAND USE</u>
North:	C-3	Commercial
South:	R-1	Residential
East:	R-1/C-4	Residential/Commercial
West:	C-3	Commercial

HISTORY: Residential Use

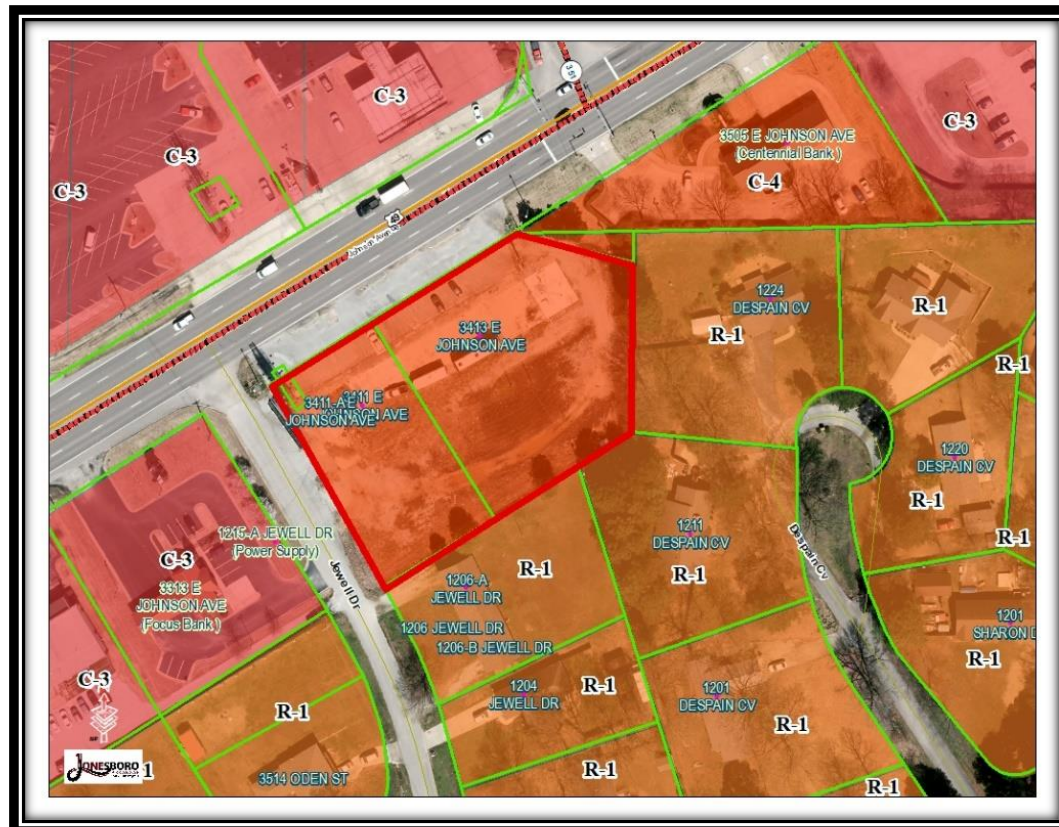
Zoning Code Analysis:

In carrying out the purpose of this section, the following development standards and design specifics shall be subject to review and approval. The appropriateness of these standards shall be determined for each specific conditional use location.

- (1) The proposed use is within the provision of conditional uses as set out in this chapter.
- (2) The proposed use conforms to all applicable provisions herein set out for the district in which it is to be located.
- (3) The proposed use is so designated, located and proposed to be operated that the public health, safety and welfare will be protected.
- (4) The proposed land use is compatible with and will not adversely affect other property in the area where it is proposed to be located.
- (5) The size and shape of the site, including the size, shape and arrangement of proposed structures, as well as signage related thereto, is in keeping with the intent of this chapter.
- (6) The proposed ingress and egress, internal circulation system, location and amount of off-street parking, loading and pedestrian-ways are sufficiently adequate, and not inconsistent with requirements of this chapter.
- (7) The proposed landscaping and screening of the proposed use are in accordance with provisions of this chapter.
- (8) Safeguards proposed to limit noxious or offensive emissions, including lighting, noise, glare, dust and odor, are addressed. (Zoning Ord., § 14.24.02)



Aerial View



Zoning Map

Applicant’s Proposal:

The applicant would like to open a retail space and a fast food restaurant with a drive through at the subject location. The proposed use must be approved under the Conditional Use process under the functions of the MAPC.

Restaurant, fast-food, means an establishment where the principal business is the sale of food and nonalcoholic beverages in a ready-to-consume state and where the design or principal method of operation is that of a fast-food or drive-in-style restaurant offering quick food service, where orders are generally not taken at the customers table, where food is generally served in disposable wrapping or containers and where food and beverages may be served directly to the customer in an automobile.

Retail/service means the sale or rental of commonly used goods and merchandise for personal or household use or the provision of services to consumers, excluding those retail and service uses classified more specifically herein. Typical uses include grocery stores, department stores, furniture stores, clothing stores and establishments providing the following products or services: household electronic equipment, sporting goods, bicycles, office supplies, home furnishings, electronics repair, shoe repair, household appliances, wallpaper, carpeting and floor covering, art supplies, kitchen utensils, jewelry, drugs, laundromat, dry cleaners, cosmetics, books, antiques, or automotive parts and accessories.

Conclusion:

The Planning Staff has reviewed the request and feel that all issues regarding impacts on the surrounding area have been considered. Staff recommends approval to Planning Commission for retail space and fast food restaurant located within the C-4 Neighborhood Commercial District with the following stipulations:

1. That upon issuance of the Conditional Use Approval, all other permits and licenses required locally and statewide be applied for and obtained by the applicant.
2. This lot is included in the Overlay District and will be required to follow all Overlay Distrust guidelines.

Respectfully Submitted for Commission Consideration,
The Planning Department

Sample Motion:

I move that we place Case: CU-22-02 on the floor for consideration of recommended approval by the MAPC with the noted conditions, and we, the MAPC find that the proposed conditional use will be compatible and suitable within the zoning, uses, and character of the surrounding area, subject to the Final Permit review and approval by the Planning, Engineering and Inspection Departments in the future.



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: RZ-22-15

Agenda Date:

Version: 1

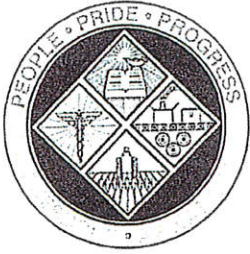
Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Rezoning

REZONING: 1601 Granger Drive

William Conrad is requesting a rezoning from R-1, Single-Family Medium Density District, to RM-8, Residential Multifamily; eight units per net acre. This rezoning request is for 0.44 +/- acres located at 1601 Granger Drive.



METROPOLITAN AREA
PLANNING COMMISSION
Jonesboro, Arkansas

Application for a Zoning Ordinance Map Amendment

Meeting Date: 10/25/22 Date Received: 10/10/22
Meeting Deadline: ✓ Case Number: RZ 22-15

LOCATION:

Site Address: 1601 Granger Dr.

Side of Street: _____ between _____ and _____

Quarter: _____ Section: 08 Township: 14 Range: 04

Attach a survey plat and legal description of the property proposed for rezoning. A Registered Land Surveyor must prepare this plat.

SITE INFORMATION:

Existing Zoning: B-1 Proposed Zoning: Bm-B

Size of site (square feet and acres): 19,220, 0.44 Street frontage (feet): 12.4
Acres

Existing Use of the Site: Vacant Lot.

Character and adequacy of adjoining streets: _____

Does public water serve the site? Yes

If not, how would water service be provided? _____

Does public sanitary sewer serve the site? Yes

If not, how would sewer service be provided? _____

Use of adjoining properties:

North Residential House

South Residential House

East Residential House

West Vacant lot that is zoned B-16

Physical characteristics of the site:

Empty lot surrounded by tree's on the
South + west side.

Characteristics of the neighborhood:

Neighborhood is an older neighborhood
that needs some new construction

Applications will not be considered complete until all items have been supplied. Incomplete applications will not be placed on the Metropolitan Area Planning Commission agenda and will be returned to the applicant. The deadline for submittal of an application is on the public meeting schedule. The Planning staff must determine that the application is complete and adequate before it will be placed on the MAPC agenda.

REZONING INFORMATION:

The applicant is responsible for explaining and justifying the proposed rezoning. *Please prepare an attachment to this application answering each of the following questions in detail:*

- (1). How was the property zoned when the current owner purchased it?
- (2). What is the purpose of the proposed rezoning? Why is the rezoning necessary?
- (3). If rezoned, how would the property be developed and used?
- (4). What would be the density or intensity of development (e.g. number of residential units; square footage of commercial, institutional, or industrial buildings)?
- (5). Is the proposed rezoning consistent with the *Jonesboro Comprehensive Plan* and the *Future Land Use Plan*?
- (6). How would the proposed rezoning be in the public interest and benefit the community?
- (7). How would the proposed rezoning be compatible with the zoning, uses, and character of the surrounding area?
- (8). Are there substantial reasons why the property cannot be used in accordance with existing zoning?
- (9). How would the proposed rezoning affect nearby property including impact on property value, traffic, drainage, visual appearance, odor, noise, light, vibration, hours of use or operation and any restriction to the normal and customary use of the affected property.
- (10). How long has the property remained vacant?
- (11). What impact would the proposed rezoning and resulting development have on utilities, streets, drainage, parks, open space, fire, police, and emergency medical services?
- (12). If the rezoning is approved, when would development or redevelopment begin?
- (13). How do neighbors feel about the proposed rezoning? Please attach minutes of the neighborhood meeting held to discuss the proposed rezoning or notes from individual discussions. *If the proposal has not been discussed with neighbors, please attach a statement explaining the reason. Failure to consult with neighbors may result in delay in hearing the application.*
- (14). If this application is for a Limited Use Overlay (LUO), the applicant must specify all uses desired to be permitted.

OWNERSHIP INFORMATION:

All parties to this application understand that the burden of proof in justifying and demonstrating the need for the proposed rezoning rests with the applicant named below.

Owner of Record:

I certify that I am the owner of the property that is the subject of this rezoning application and that I represent all owners, including spouses, of the property to be rezoned. I further certify that all information in this application is true and correct to the best of my knowledge.

Name: Heather Kelley
 Address: P O Box 16896
 City, State: Jonesboro, Ark ZIP 72403
 Telephone: 870-680-0992
 Facsimile: _____
 Signature: Heather Kelley

Applicant:

If you are not the Owner of Record, please describe your relationship to the rezoning proposal: Potential Buyer.

Name: William Conrad
 Address: 5726 Friendship Cir.
 City, State: Jonesboro, Ark ZIP 72404
 Telephone: (870) 692-4340
 Facsimile: _____
 Signature: William Conrad

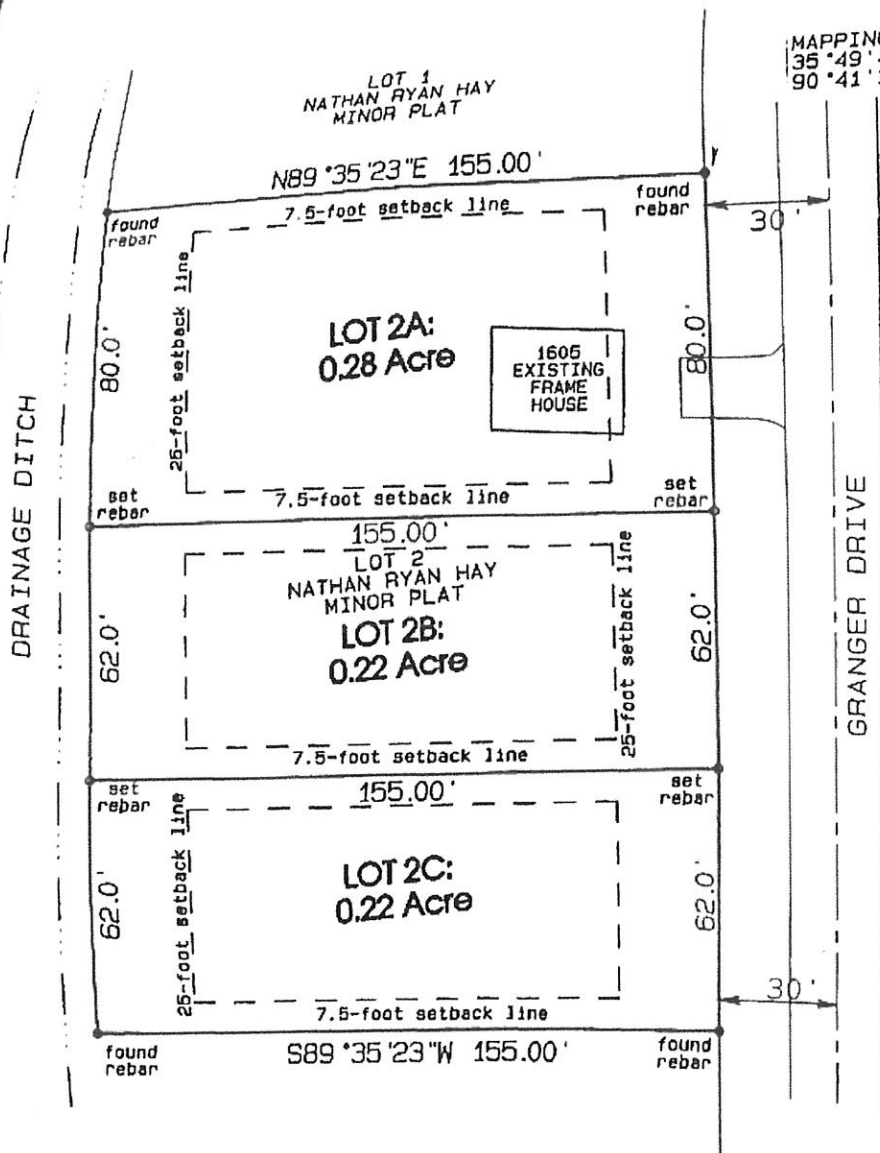
Deed: *Please attach a copy of the deed for the subject property.*

Applications will not be considered complete until all items have been supplied. Incomplete applications will not be placed on the Metropolitan Area Planning Commission agenda and will be returned to the applicant. The deadline for submittal of an application is on the public meeting schedule. The Planning staff must determine that the application is complete and adequate before it will be placed on the MAPC agenda.

Rezoning Information

- 1) The property was owned a R-1.
- 2) The purpose to rezone 1601 Granger is so I can build several units.
- 3) If rezoned, the property would be developed and used to build rental property for people to live in.
- 4) The density and/or intensity of development is 8 or as many as I can get on the property under city regulations.
- 5) Yes
- 6) To provide housing for the community of Jonesboro.
- 7) In that area there are other properties that are zoned R-8 and up.
- 8) It can, but I am seeking to build multiple units for the community.
- 9) Since it will be new construction with good curb appeal, it is my judgment that it will only help the nearby property owners and the area.
- 10) The property has been vacant to my knowledge at least 10 years.
- 11) It would have a great impact due to the development in this area because there is currently not any new construction.
- 12) If approved, the developing would begin by the first of the year. We have sent certified letters to the neighbors that are within 200 feet of this property explaining what I am seeking and it gives the date and time of the board meeting allowing them to appear and voice their concerns.
- 13) N/A

KELLEY'S 2022 GRANGER DRIVE REPLAT



MAPPING POINT:
 35°49'49.44" N
 90°41'32.57" W

LEGAL DESCRIPTION

A replat of the following described lands lying in Craighead County, Arkansas, to-wit:

Lot 2 of Nathan Ryan Hay Minor Plat to the City of Jonesboro, Arkansas, as shown by plat recorded in Plat Cabinet "C" page 221 at Jonesboro, Arkansas, and subject to easements as shown on recorded plat.

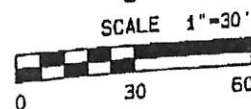
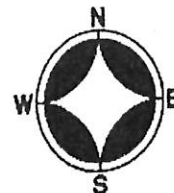
Notes:

- 1.) Bearings and distances shown from record plat.
- 2.) Improvements are as shown.

Dated: September 13, 2022

OWNERS CERTIFICATION

We, the owners of the lands platted and described hereon, do hereby accept the plan of replat as shown further dedicating all easements and rights of way to public use.



Bradley P. Hancock
 Surveying & Mapping
 P.O. Box 1522
 Paragould, Arkansas

Ship To:
HEATHER KELLEY
1605 GRANGER DR
JONESBORO, AR 72405-8699
Package ID: 404676 12.90
Tracking #: 9414711108036444319734
Actual Wt: 0 lbs .4 ozs
Rating Wt: 0.06 lbs
Certified [\$6.70]
Return Receipt [\$5.45]
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Shipment-----
USPS First Class Mail
Ship To:
DONALD PRATT
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JONESBORO, AR 72405-8605
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9590940275072098253554

Shipment-----
USPS First Class Mail
Ship To:
DAVID & CARLA KERLEY
1514 GRANGER DR
JONESBORO, AR 72405-8605
Package ID: 404679 12.90
Tracking #: 9414711108036444313084
Actual Wt: 0 lbs .5 ozs
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SUBTOTAL	39.33
TAX	
State Tax on 0.63	0.04
County Tax on 0.63	0.01
City Tax on 0.63	0.01
TOTAL	39.39
TEND Debit	39.39

Total shipments: 3
WILLIAM CONRAD
#161288
Workstation: 0 - MAINPC
CCTran# cf0a0471-44fb-462e-87a3-38e8b0dd21b5
10/07/2022
12:20 PM

Signature _____

Thank you for your business

TRACK YOUR PACKAGE AT:
USPS.COM

PAK MAIL 0487
361 Southwest Dr
JONESBORO, AR 72401
870-931-5151 Store: 487

Shipment-----

USPS First Class Mail
Ship To:
JADEM LLC
1608 GRANGER DR
JONESBORO, AR 72405-8699
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Rating Wt: 0.06 lbs
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Shipment-----

USPS First Class Mail
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JONESBORO, AR 72405-8605
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TAX	0.00
TOTAL	38.70
TEND Debit	38.70

Total shipments: 3
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Workstation: 24 - Aux-1
CCTran# a66e5f25-a668-42b5-a888-eee612b5c1f2

Signature_____

*City of Jonesboro Metropolitan Area Planning Commission
Staff Report – RZ 22-15 1601 Granger Drive
Municipal Center - 300 S. Church St.
For Consideration by the Commission October 25, 2022*

REQUEST: To consider a rezoning of one tract of land containing 1.55 acres more or less.

PURPOSE: A request to consider recommendation to Council for a rezoning from “R-1” Single-Family Medium Density District to “RM-8” Residential Multifamily; eight units per net acre

APPLICANTS: William Conrad, 5726 Friendship Cir. Jonesboro, AR 72404
OWNER: Heather Kelley, P.O. Box 16896, Jonesboro, AR 72403

LOCATION: 1601 Granger Drive

SITE DESCRIPTION: **Tract Size:** Approx. 0.44 Acres
Street Frontage: Approx. 124 ft.
Existing Development: Vacant

SURROUNDING CONDITIONS:

ZONE	LAND USE
North	R-1 Single-Family Medium Density District – Residential
South	R-1 Single-Family Medium Density District – Residential
East	R-1 Single-Family Medium Density District – Residential
West	RM-8 - Residential Multifamily - Vacant

HISTORY: Vacant

ZONING ANALYSIS:

City Planning Staff has reviewed the proposed Zone Change and offers the following findings:

Comprehensive Plan Land Use Map:

The Current/Future Land Use Map recommends this location as a **Moderate Intensity Growth Sector**. A wider mix of land uses is appropriate in the moderate intensity sectors. Control of traffic is probably the most important consideration in this sector. Additionally, good building design, use of quality construction materials, and more abundant landscaping are important considerations in what

is approved, more so than the particular use. Limits on hours of operation, lighting standards, screening from residential uses, etc. may be appropriate. Consideration should be given to appropriate locations of transit stops.

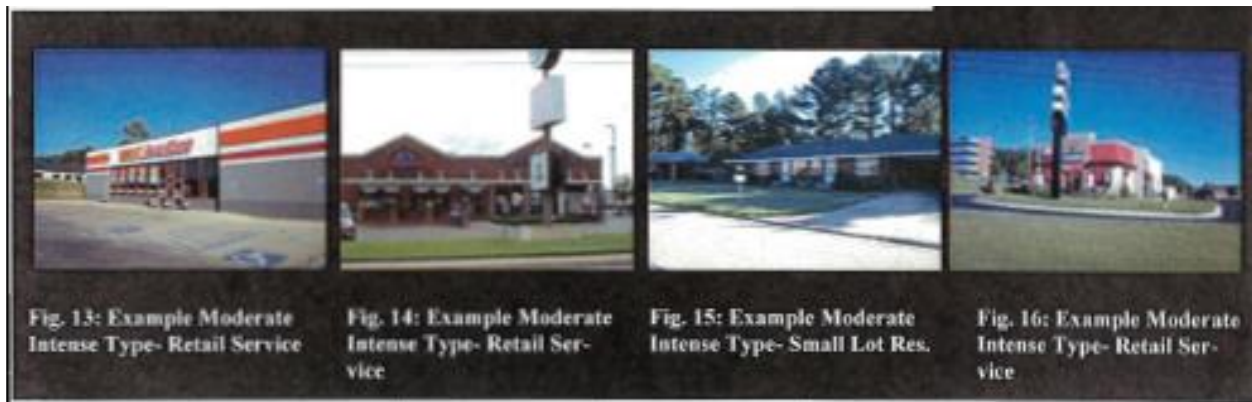
Typical Land Uses: Single Family Residential
Attached Single Family, duplexes,
triplexes and fourplexes
Neighborhood retail, Neighborhood services
Office parks
Smaller medical offices
Libraries, schools, other public facilities
Senior living centers/nursing homes, etc.
Community-serving retail
Small supermarket
Convenience store
Bank
Barber/beauty shop
Farmer's Market
Pocket Park

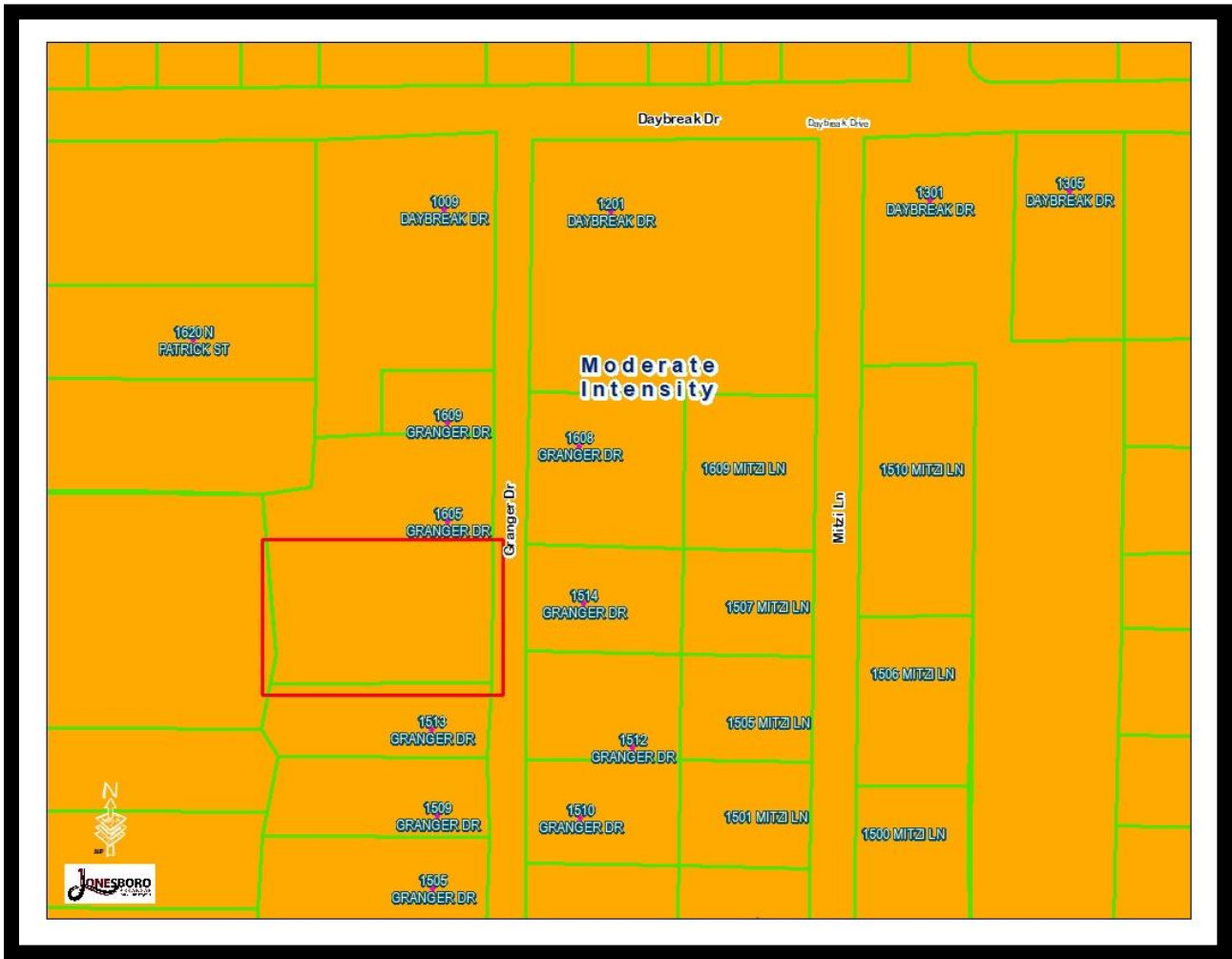
Density: 1/5 to 1/3 acre lots for Single Family
No more than six dwelling units per acre for Multi-Family. Multi-Family should only be allowed on collector and above streets that have been improved or scheduled to be improved in the next construction cycle of city projects unless the developer is willing to build the roads to Master Street Plan stands that serve the development.

Height: 4 stories

Traffic: Approximately 300 peak hour trips (Commercial Only)

Examples:





Land Use Map

Master Street Plan/Transportation

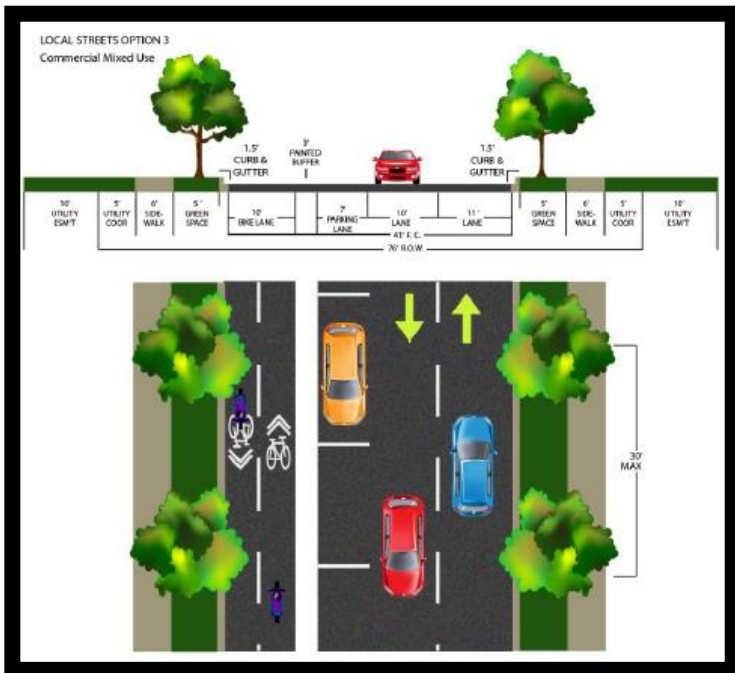
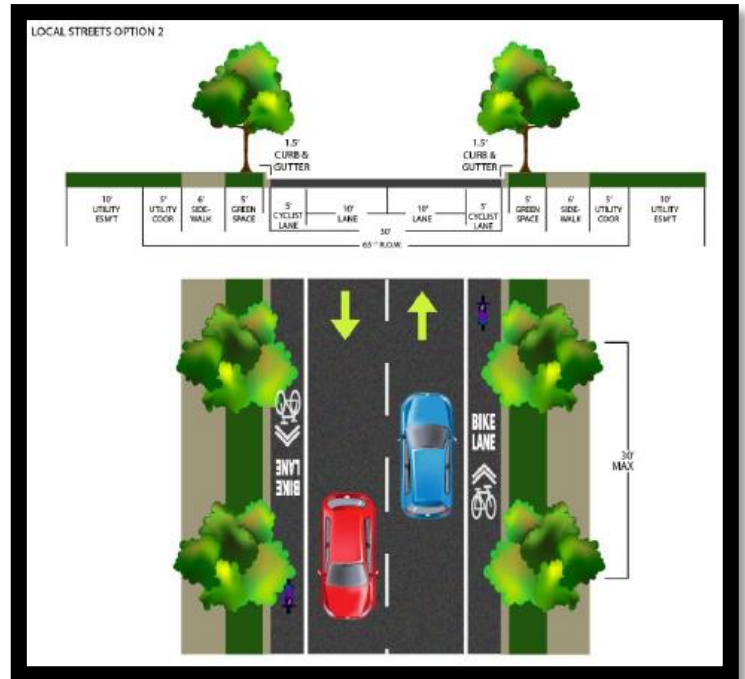
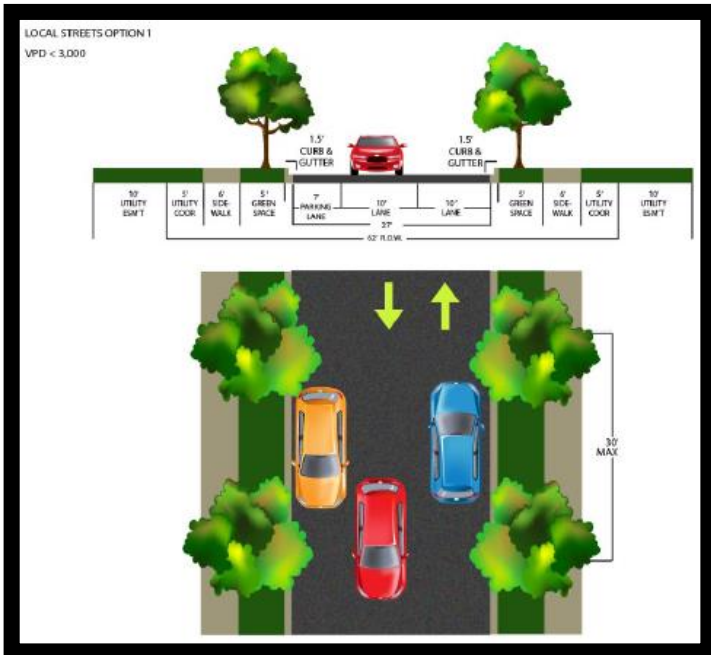
The subject property is served by Granger Drive, the Master Street Plan classifies Granger Drive as a **Local Street**.

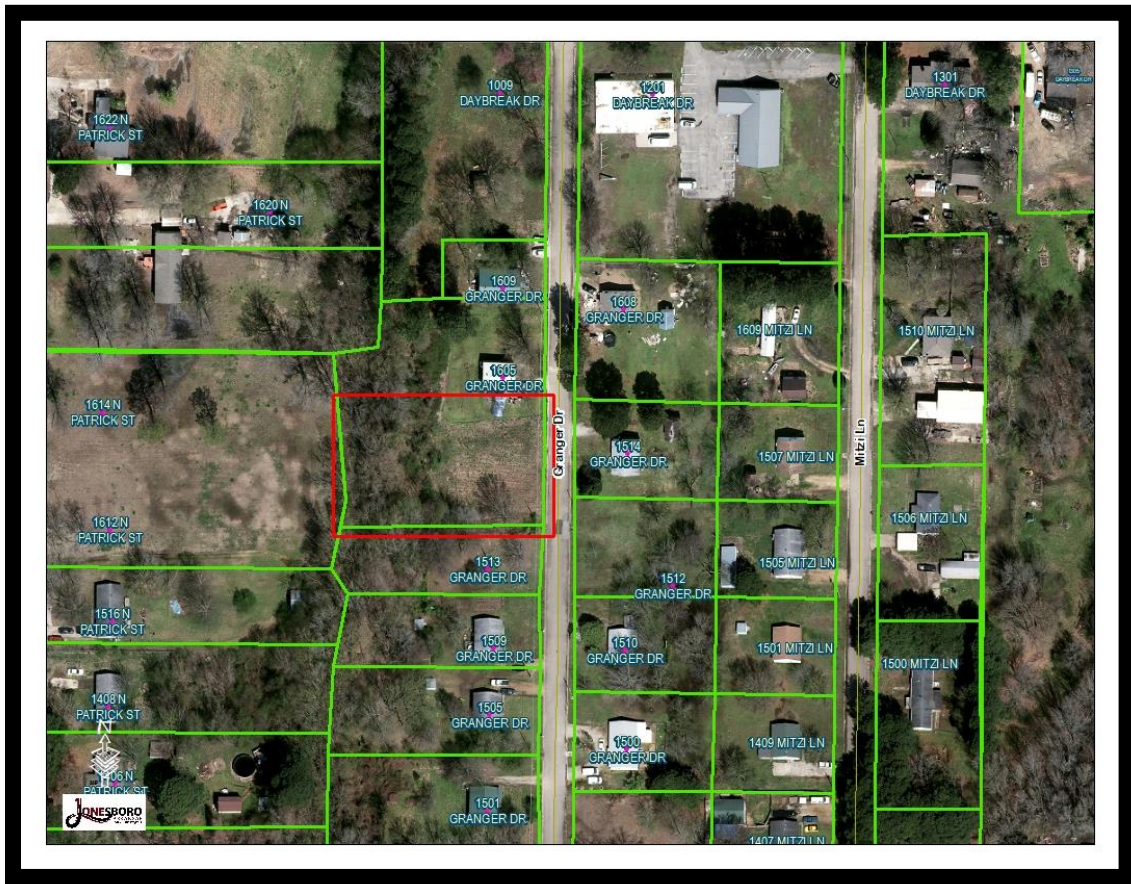
Local Streets serve the lowest traffic volumes. Low traffic volumes combined with slow travel speeds help to create a good residential setting. New developments should be reviewed to avoid creating cut-through streets that become commuter routes that generally lower quality of life for residents.

Local Street:

FUNCTION: The Local Street function is to provide access to adjacent property. The movement of traffic is a secondary purpose. The use of a Local Street in a residential area by heavy trucks and buses should be minimized.

DESIGN: Local Street Option 1 is to be used when on-street parking is provided within the development. Option 2 is to be used when on-street parking is not provided within the development. Option 3 is to be used in commercial mixed use areas.













Approval Criteria- Chapter 117 - Amendments:

The criteria for approval of a rezoning are set out below. Not all of the criteria must be given equal consideration by the MAPC or City Council in reaching a decision. The criteria to be considered shall include, but not be limited to the following list on the next page.

Criteria	Explanations and Findings	Comply Y/N
(a) Consistency of the proposal with the Comprehensive Plan/Land Use Map	The proposed district rezoning is consistent with the Adopted Land Use Plan, which is categorized as a Moderate Intensity Growth Sector.	
(b) Consistency of the proposal with the purpose of Chapter 117-Zoning.	The proposal will achieve consistency with the purpose of Chapter 117, with compliance of all District standards.	
(c) Compatibility of the proposal with the zoning, uses and character of the surrounding area.	Compatibility is achieved with this rezoning considering there is residential multi-family in this area.	
(d) Suitability of the subject property for the uses to which it has been restricted without the proposed zoning map amendment;	Without the proposed zoning map amendment, this property will not develop as residential multi-family. The property is currently zoned for single family use.	
(e) Extent to which approval of the proposed rezoning will detrimentally affect nearby property including, but not limited to, any impact on property value, traffic, drainage, visual, odor, noise, light, vibration, hours of use/operation and any restriction to the normal and customary use of the affected property;	The Land Use Plan states multi-family should only be allowed on Collector and above streets; Granger is classified as a Local Street.	
(f) Impact of the proposed development on community facilities and services, including those related to utilities, streets, drainage, parks, open space, fire, police, and emergency medical services	Minimal impact if rezoned due to the fact that multi-family uses currently exist in this area.	

Staff Findings:

Applicant’s Purpose

The proposed area is currently classified as “R-1” Single-Family Medium Density District. The applicant is applying for a Rezoning to support future multi-family development.

Rezoning this property is consistent with the *Jonesboro Comprehensive Plan* and the *Future Land Use Plan*.

Chapter 117 of the City Code of Ordinances/Zoning defines RM-8 as follows:

RM-8—Residential Multi-family classification; eight units per net acre, includes all forms of units, duplexes, triplexes, quads, and higher.

Departmental/Agency Reviews:

The following departments and agencies were contacted for review and comments. Note that this table will be updated at the hearing due to reporting information that will be updated in the coming days:

Department/Agency	Reports/ Comments	Status
Engineering	No issues were reported	
Streets/Sanitation	No issues were reported	
Police	No issues were reported	
Fire Department	No issues were reported	
MPO	No issues were reported	
Jets	No issues were reported	
Utility Companies	No issues were reported	CWL
Code Enforcement	No issues were reported	

Conclusion:

The Planning Department Staff finds that the requested Zone Change submitted for subject parcel, should be evaluated based on the above observations and criteria of Case RZ 22-15 a request to rezone property from “R-1” Single Family Medium Density District to “RM-8” Residential Multi-family:

1. That the proposed site shall satisfy all requirements of the City Engineer, all requirements of the current Stormwater Drainage Design Manual and Flood Plain Regulations regarding any new construction.
2. A final site plan subject to all ordinance requirements shall be submitted, reviewed, and approved by the Planning Department, prior to any redevelopment of the property.
3. Any change of use shall be subject to Planning Department approval in the future.

Respectfully Submitted for Planning Commission Consideration,
The Planning and Zoning Department

Sample Motion:

I move that we place Case: RZ 22-15 on the floor for consideration of recommendation by MAPC to the City Council with the noted conditions, and we, the MAPC find that to rezone property from “R-1” Single Family Medium Density District to “RM-8” Residential Multi-family District will be compatible and suitable with the zoning, uses, and character of the surrounding area.