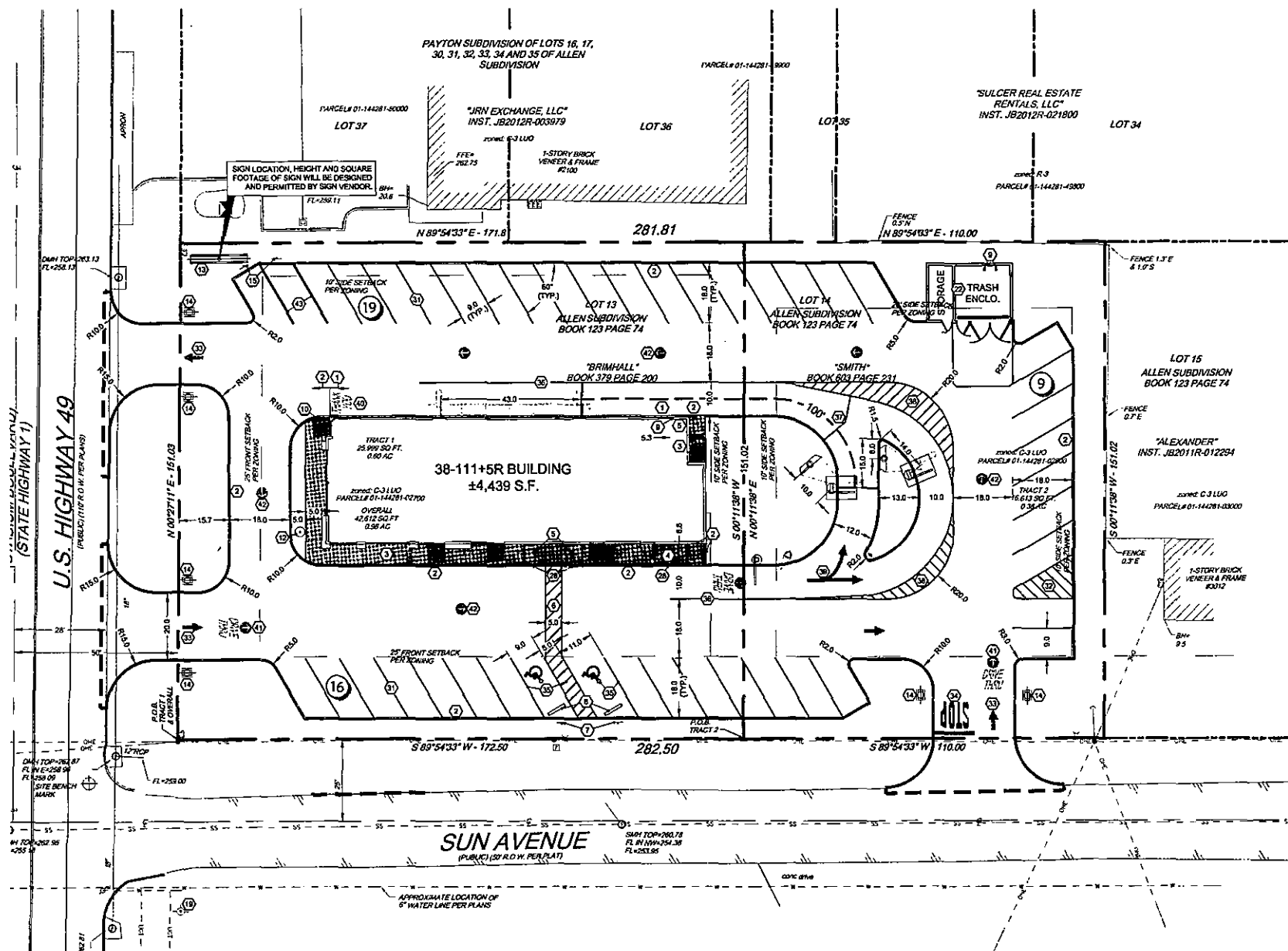




THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER INFORMATION
MCDONALD'S USA, LLC
GREAT SOUTHERN REGION
7263 HIGHWAY 75 EAST
ANDERSON, MO 64631
P: (417) 223-3266
F: (417) 223-0524
CONTACT: DEB LYSTER

HERE WE GROW AGAIN SIGN
THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH WORLDWIDE COMPANY, OAK BROOK, IL. P: 800-437-7671

CONSTRUCTION SCHEDULE	
MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
2	CURB AND GUTTER @ NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS)
3	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
4	SLOPED SIDEWALK SECTION (NOT TO EXCEED 5% SLOPE) (RE: C10.3 STANDARD DETAILS)
5	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE (RE: C10.1 STANDARD DETAILS)
6	HANDICAP ACCESSIBLE ROUTE
7	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
8	CONCRETE WHEEL STOP (RE: C10.3 STANDARD DETAILS)
9	BOLLARD (RE: C10.1 STANDARD DETAILS)
10	HANDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
11	LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES)
12	FLAG POLE
13	MONUMENT ROAD SIGN
14	MCDONALD'S DIRECTIONAL SIGN
15	ODSP SIGNAGE
16	DOMESTIC WATER METER
17	IRRIGATION WATER METER
18	BACK FLOW PREVENTION DEVICE (RE: C9.0 UTILITY PLAN)
19	FIRE HYDRANT (EXISTING)
20	GREASE INTERCEPTOR (RE: C9.0 UTILITY PLAN)
21	DRAINAGE STRUCTURE (RE: DRAINAGE PLAN)
22	TRASH ENCLOSURE (RE: TRASH)
23	FIRE DEPARTMENT CONNECTION
24	PAD MOUNTED TRANSFORMER TO BE LOCATED BEHIND BUILDING (RE: C9.0 UTILITY PLAN)
25	NOT USED
26	NOT USED
27	NOT USED
28	TRANSITION CURB

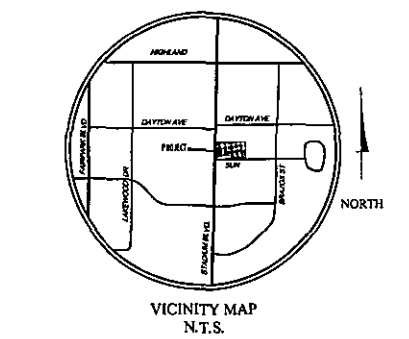
PAVEMENT MARKING LEGEND	
MARK	MARK DESCRIPTION
1	4" PARKING STALL STRIPING - COLOR: WHITE (TYP)
2	4" DIAGONAL PAINTED ISLANDS IN PARKING AREA - COLOR: WHITE
3	ARROW PATH DIRECTION - COLOR: WHITE
4	PAINTED "STOP" AND 12" STOP BAR WITH "STOP" SIGN - COLOR: WHITE
5	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR: (PER STATE/CITY REQUIREMENTS)
6	8" DRIVE-THRU STRIPING - COLOR: YELLOW
7	8" BERGE POINT - COLOR: YELLOW
8	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR: YELLOW
9	DOUBLE DRIVE-THRU "ARROW" MARKING - COLOR: YELLOW
10	"THANK YOU" AT END PATH - COLOR: YELLOW
11	"DRIVE-THRU" WITH "ARROW" - COLOR: YELLOW
12	"CIRCLE / ARROW" - COLOR: YELLOW
13	8" ODSP STRIPING - COLOR: YELLOW
14	NOT USED

STANDARD ACCESSIBILITY REQUIREMENTS	
1	PARKING: ACCESSIBLE PARKING SPACES SHALL BE A MIN. 9' WIDE OR A MIN. 13' WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (ON ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.
2	EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 6' (MIN) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
3	ALL ACCESSIBLE SPACES SERVING H.C. PARKING SPACES SHALL BE 8' WIDE MINIMUM.
4	CURB RAMP: RAMP EXCEEDING 6" IN RISE (EXCLUDING CURB RAMP) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMP.
5	IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMP SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE).
6	BOTTOM LANDINGS FOR RAMP SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.
7	RAMP SHALL NOT EXCEED A 1:12 SLOPE.
8	SIDEWALKS AND ACCESSIBLE ROUTES: SIDEWALKS MUST BE AT LEAST 36" WIDE. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%).
9	LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

BENCHMARK DESCRIPTION
BENCHMARK
NGS MONUMENT F70743 LOCATED AT THE SOUTHEAST INTERSECTION OF HIGHLAND DR AND HETTLER AVE - ELEV = 251.52 (NAV08)
SITE BENCHMARK
TOP OF DRAIN MANHOLE LOCATED AT THE INTERSECTION OF U.S. HIGHWAY 49 AND SUN AVE - ELEV = 252.87 (NAV08)

SITE INFORMATION
LAND AREA: 0.0000 AC (0.0000 AC)
EXISTING ZONING: C-3 LUO (GENERAL COMMERCIAL)
PROPOSED USE: SINGLE FAMILY HOUSING RESTAURANT
BUILDING AREA (APPROXIMATE): 4,439 SF
BUILDING LOT COVERAGE: 1 SPACE PER 100 SF
PARKING PROVIDED: 44
HANDICAP PARKING REQUIRED: 2
HANDICAP PARKING PROVIDED: 2
IMPERVIOUS AREA: 0.0000 AC
LANDSCAPE PERCENTAGE: 0.0000 AC

NOTICE TO CONTRACTOR
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
2. TRASH ENCLOSURE: FINISH TO MATCH BUILDING. REFER TO SHEET TE-1 FOR FOUNDATION DESIGN.
3. LOCATION OF L.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SET-BACK, SIZE, HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
4. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.



GENERAL NOTES
1. Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
2. "X" empty circle to locations shown on the site plan for lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
3. Lot lighting concrete footings to conform with the site plan recommendations for this site.
4. Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier.
5. The Contractor shall coordinate with flag pole supplier prior to construction.
6. General Contractor shall provide all utility companies to determine exact point of service connection at existing utility. Failure to the building electrical and plumbing drawings for utility service entrance locations, sizes, and detailing.
7. General Contractor shall provide "as built" information upon completion.
8. All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundline.
9. Curbs and sidewalks shall be 8" above finish pavement unless noted otherwise.
10. All landscape areas shall be rough graded to 8" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Contractor.
11. It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over the project.
12. Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
13. Contractor shall conduct appropriate jurisdictional approvals prior to construction to confirm if independent testing or inspections will be required prior to the acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
14. Sidewalks around building shall have some subgrade preparation at building foundation.
15. All materials and construction with easements and R.O.W. shall conform to all governing authority jurisdictional standard construction details and specifications.
16. Topographic information taken from a Topographic Survey performed by: HARRIS & ASSOCIATES. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (sewer, water, gas, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (plans), which require the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
17. McDonald's reserves the right to request a completion and/or a core sample, if tests prove correct, per the site report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
18. Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, shoring and bracing from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION	
VERIFY MCDONALD'S: ASPHALT: ☒ CONCRETE: ☒	CONTRACTOR TO BID: ASPHALT: ☒ CONCRETE: ☒
NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT PROJECT NO. ---	
ASPHALT PAVEMENT RECOMMENDATIONS - ALTERNATE BID	
PAVEMENT MATERIALS	LIGHT DUTY
Asphalt Surface Course	"X" OR "X"
Crushed Stone Base	"X" OR "X"
Balustrade (Black) Base	"X" OR "X"
CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID	
PAVEMENT MATERIALS	LIGHT DUTY
Portland Cement Concrete Paving	"X" OR "X"
Crushed Stone Base	"X" OR "X"
PAVEMENT NOTES:	
1. PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY (GEOTECH), INC. DATED (DATE), PROJECT NUMBER (---).	
2. SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 8 INCHES BELOW THE SURFACE. SEE SECTION 302 OF GEOTECH REPORT.	
3. PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.	
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.	
5. WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.	
6. REFER TO SO4 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.	
7. ALL CONCRETE PAVEMENT SHALL BE 4000 PSI @ 28 DAYS AND REINFORCED WITH #5 BARS @ 18" O.C. E.V.	
8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.	
THE INFORMATION HEREIN IS A SUMMARY OF INFORMATION RECEIVED ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT APPROPRIATE FOR ALL PAVEMENT TYPING AND REQUIREMENTS.	

SURVEY INFORMATION	
PREPARED BY: HARRIS & ASSOCIATES 6074 APPLE TREE DR., SUITE 14 MEMPHIS, TENNESSEE 38115 (901) 382-2345 DATE: FEBRUARY 20, 2011	LEGAL DESCRIPTION: LOTS 12 & 14 OF ALLEN SUBDIVISION S HALF OF NW QUARTER OF NW QUARTER SECTION 28, TOWNSHIP 14 N, RANGE 4 E CLATSOP COUNTY, ARKANSAS
PLAN SCALE: 1" = 20'	
ADDITION	
STREET ADDRESS US HWY 49 & SUN AVE CITY: JONESBORO STATE: ARKANSAS	
COUNTY: CRAIGHEAD	SURVEY: ABSTRACT NO. ---
LIC NUMBER: ---	CORPORATE DWG. NAME: SITE PLAN

910 S. GULSHI Avenue in Southlake, Texas 76092 & (817) 331-3300

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW, AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF THOMAS C. BARTKOWSKI, P.E. REGISTRATION NO. 14743, ON 09/25/13. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

McDONALD'S
THEIR PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

US HWY 49 & SUN AVE
JONESBORO, ARKANSAS

OFFICE: GREAT SOUTHERN REGION
ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521

DATE: ---

STATUS: ---

DATE DRAWN: ---

PLAN CHECKED: ---

AS-BUILT: ---

CO-SIGN SIGNATURES

CONTRACTOR: ---

OWNER: ---

C4.0

PLANNING: L.L. LANDSCAPE PLAN INC. PLOTTED BY: J. HENRY DATE: 1/25/2013 PLOT TIME: 2:50 PM

LANDSCAPE PROJECT NOTES

Refer to Standard Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and constantly blended (tiled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to facilitate drainage and ensure drainage without dumping surrounding drained drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, and to the outside of utility easements with a clear ten feet (10') around fire hydrants. Furthermore, planting within areas of turf shall give priority to location to irrigation. Trees shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Farming irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 1/2" min. thickness unless bed is bordered by concrete. Terminate edging flush with surface with no sharp corners exposed.

A four inch (4") dressing of shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be applied at all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the sector or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of flower rock as designated shall be locally available and of an average diameter of one and one-half inches (1 1/2") minimum to three inches (3") maximum. Contractor shall install to a depth of three inches (3"). Rock should be compacted and stable under foot when applied in a pedestrian area.

SOD PROJECT NOTES

EROSION CONTROL: Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion will be replaced by the Contractor until ESTABLISHMENT and ACCEPTANCE is achieved.

SOIL PREPARATION: All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available on site, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of weeds, rocks, and undesirable foreign materials and grasses. The grass shall have been mowed prior to soil cutting so that the height of grass shall not exceed two (2") inches. Soil shall have been produced on growing beds of clay-loam topsoil. Soil shall not be harvested or placed when its moisture condition is so excessively wet or dry that it will be affected. All soil is to be harvested, delivered, and planted within a thirty-six (36) hour period of time. Soil shall be protected from exposure to wind, sun, and freezing. Should installation occur between November and March, soil shall include an over-seed of Annual Ryegrass for a green appearance.

GRASS SOD: Turfgrass sod shall be 100% "Dyson" sod (Common Bermuda grass). Sod shall consist of sods, leaf blades, rhizomes and roots with a healthy, viable system of stems, thickly matted roots throughout the soil of the sod for a thickness not less than three-quarters (3/4") inch. Sod shall be alive, healthy, vigorous, free of insects, diseases, stones, and undesirable foreign materials and grasses. The grass shall have been mowed prior to soil cutting so that the height of grass shall not exceed two (2") inches. Sod shall have been produced on growing beds of clay-loam topsoil. Sod shall not be harvested or placed when its moisture condition is so excessively wet or dry that it will be affected. All sod is to be harvested, delivered, and planted within a thirty-six (36) hour period of time. Sod shall be protected from exposure to wind, sun, and freezing. Should installation occur between November and March, sod shall include an over-seed of Annual Ryegrass for a green appearance.

IRRIGATION: In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, the Contractor shall install a temporary irrigation system adequate growth and establishment before regular maintenance begins. Turf shall be watered until fully established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

MAINTENANCE REQUIREMENTS: Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, watering and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

LANDSCAPE REQUIREMENTS for the City of Jonesboro, AR

14.36.03 LANDSCAPING AND SCREENING. This section sets out the minimum landscaping and screening requirements for new development in the City of Jonesboro.

a) General Landscaping Requirements: The following general landscaping requirements shall apply to all development:

- 1) Landscaping Required. All commercial development shall be required to provide at least one (1) tree or three (3) five (5) gallon shrubs per unit within the development.
- 2) Required Landscaping. The section shall apply to the interior of all off-street parking areas containing more than ten (10) off-street parking spaces.
- 3) Planting Areas. Planting areas that contain trees shall be at least seven feet (7') wide and protected by raised curb to prevent damage by vehicles.

b) Landscape Material Standards

- 1) Trees
- 2) Shrubs
- 3) Medium and Large Deciduous Trees shall have a minimum height of eight feet (8'), and a minimum diameter of three inches (3").

14.36.04 CORNER VISIBILITY. On corner lots at intersecting two-way streets, nothing shall be placed to materially impede vision between a height of two feet (2') and eight feet (8') above curb grade within the triangular area formed by an imaginary line that follows street side property lines, and a line connecting them twenty-five feet (25') from their point of intersection. This sight triangle standard may be lessened at intersections involving one-way streets.

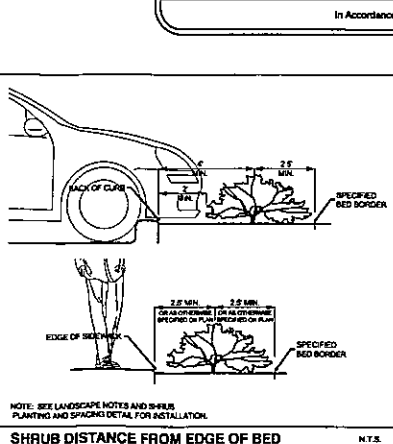
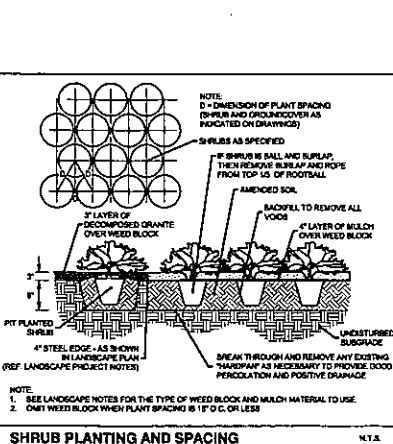
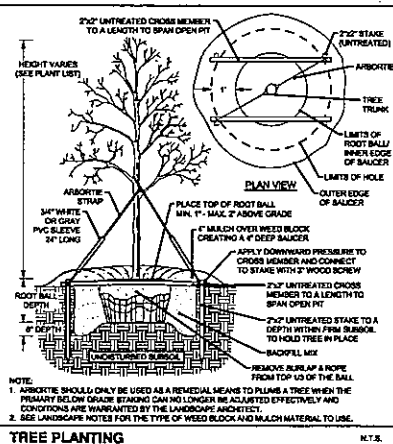
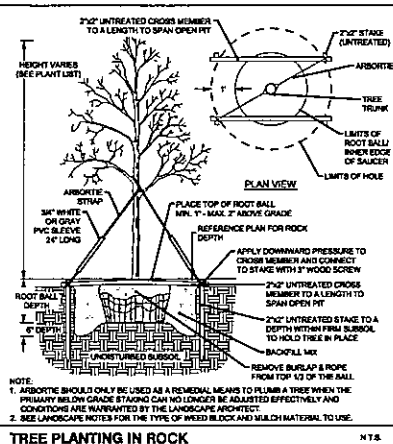
LANDSCAPE CALCULATIONS for the City of Jonesboro, AR

	REQUIRED	PROVIDED
Parking Lot Landscaping		
1 Tree for each 10 parking spaces @ 44 spaces	4.4 Trees	2 Proposed Trees 3 Existing Trees

Plant Material List

SYM.	KEY	QTY.	COMMON NAME	SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
CP	2		Chinese Pistache	<i>Pistacia chinensis</i>	N/A	BAB	3" cal.	10' min.	6' min.	Strong Central Leader, Full, Healthy
GM	4		Dynamilis Grape Myrtle	<i>Lagerstroemia indica 'Dynamilis'</i>	N/A	BAB	30 gal.	8' min.	4' min.	Fulm Healthy, Good Form, 3 Cane Minimum
IN	15		Indigo	<i>Indigofera tinctoria</i>	36"	Cont.	3 gal.	20' min.	20' min.	Full, Healthy
D6	152		Dwarf Burford Holly	<i>Ilex cornuta 'Burford Holly'</i>	36"	Cont.	3 gal.	24" min.	24" min.	Full, Good Form, Healthy
LM	10		Limelight Lilac	<i>Syringa 'Limelight'</i>	36"	Cont.	5 gal.	30" min.	24" min.	Full, Healthy
DR	27		Red Dye Rose	<i>Rosa 'Meigle'</i>	24"	Cont.	5 gal.	20" min.	18" min.	Full, Healthy, Red Bloom
FJ	745		Compact Plumosa Juniper	<i>Juniperus horizontalis 'Plumosa Compacta'</i>	18"	Cont.	1 gal.	8" min.	12" min.	Full, Good Form, Healthy
SC	190		Seasonal Color			Cont.	4" pot			Seasonally Available
RR	565		River Rock							Locally Available

In Accordance to the Current Edition of The American Standard for Nursery Stock



811 logo with text "Know what's below. Call before you dig."

McDonald's logo with text "McDonald's"

Survey Information

PREPARED BY: HARRIS & ASSOCIATES

LEGAL DESCRIPTION: LOT 15 & 16 OF ALLEN SUBDIVISION, 50% AFTER TAXES, 1/4 SECTION 14, TOWNSHIP 14 N, RANGE 4 E, SECTION 28, TOWNSHIP 14 N, RANGE 4 E, CRAIGHEAD COUNTY, ARKANSAS

PLAN SCALE: 1" = 20'

STREET ADDRESS: US HWY 49 & SUN AVE

CITY: JONESBORO, STATE: ARKANSAS

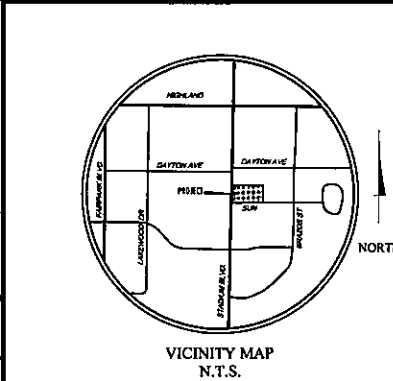
COUNTY: CRAIGHEAD, SURVEY: ABSTRACT NO.

L/C NUMBER: CORPORATE DWG. NAME

STATUS: DATE: BY: PLAN CHECKED: DATE: BY: AS-BUILT

CO-SIGN SIGNATURES: CONTRACTOR: OWNER:

L1.0



GENERAL NOTES

1. Base, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
2. "X" empty conduit locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
3. Lot lighting conduit layouts to conform with the site report recommendations for the site.
4. Base for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
5. The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and routing.
6. General Contractor shall provide good, true, and true information upon completion.
7. All elevations shown are in reference to the benchmark and must be verified by the General Contractor at ground level.
8. Durb elevations shall be 6" above finish pavement unless noted otherwise.
9. All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sod shall be installed prior to the start of construction.
10. It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over the project.
11. Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to the procedure shall place full responsibility for any errors directly upon the Contractor.
12. Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspection will be required prior to their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspection are documented such that work will be accepted at project completion.
13. Scaffolding around building shall have same subgrade preparation as building foundation.
14. All materials and construction within easements and R.O.W. shall conform to all governing authority jurisdictional standard conditions and specifications.
15. Topographic information taken from a Topographic Survey performed by HARRIS & ASSOCIATES. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (sewer, water, gas, telephone, etc.) which may impact the construction site. The Contractor shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of and cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (plans), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
16. McDonald's reserves the right to recover a construction cost, if any, if items prove correct, per the sales report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
17. Contractor shall comply to the latest edition with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedures. Contractor shall use support systems, shoring, bracing, or other means of protection, including but not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION

VERIFY HARRIS & ASSOCIATES' REPORT AS PREPARED BY: CONTRACTOR TO BID: ASPHALT: ☒ CONCRETE: ☒

PROJECT NO. ---

ASPHALT PAVEMENT RECOMMENDATIONS - ALTERNATE BID

PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Asphalt Surface Course	2" OR 3"	2" OR 3"
Asphalt Binder Course	2" OR 3"	2" OR 3"
Bluestone (Reveal) Sand	2" OR 3"	2" OR 3"

CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID

PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Portland Cement Concrete PAVT	2" OR 3"	2" OR 3"
Gravel Subgrade	2" OR 3"	2" OR 3"

PAVEMENT NOTES

1. PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY GEOTECH, INC. DATED DATE: PROJECT NUMBER: ---
2. SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR (ASTM D 1557) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 8 INCHES BELOW THE SURFACE. SEE SECTION 10X OF GEOTECH REPORT.
3. PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED BY THE SOILS REPORT.
4. ALL JOINTS SHALL BE LOCATED IN ACCORDANCE WITH THE TOWNSHIP DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
5. WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIALS SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
6. REFER TO SOIL FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
7. ALL CONCRETE PAVEMENT SHALL BE 4000 PSI @ 28 DAYS AND REINFORCED WITH #5 BARS @ 18" O.C.
8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL PAVEMENT/CONCRETE REQUIREMENTS.

Adams logo with text "Adams"

910 S. Kimberly Avenue in Southlake, Texas 76092 © 2013 310-3100

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McDONALD'S logo with text "McDONALD'S"

US HWY 49 & SUN AVE

JONESBORO, ARKANSAS

McDONALD'S LLC

McDONALD'S ENGINEERING INC. 2012-310

ADAMS ENGINEERING INC. 2012-310

OFFICE: GREAT SOUTHERN REGION

ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521

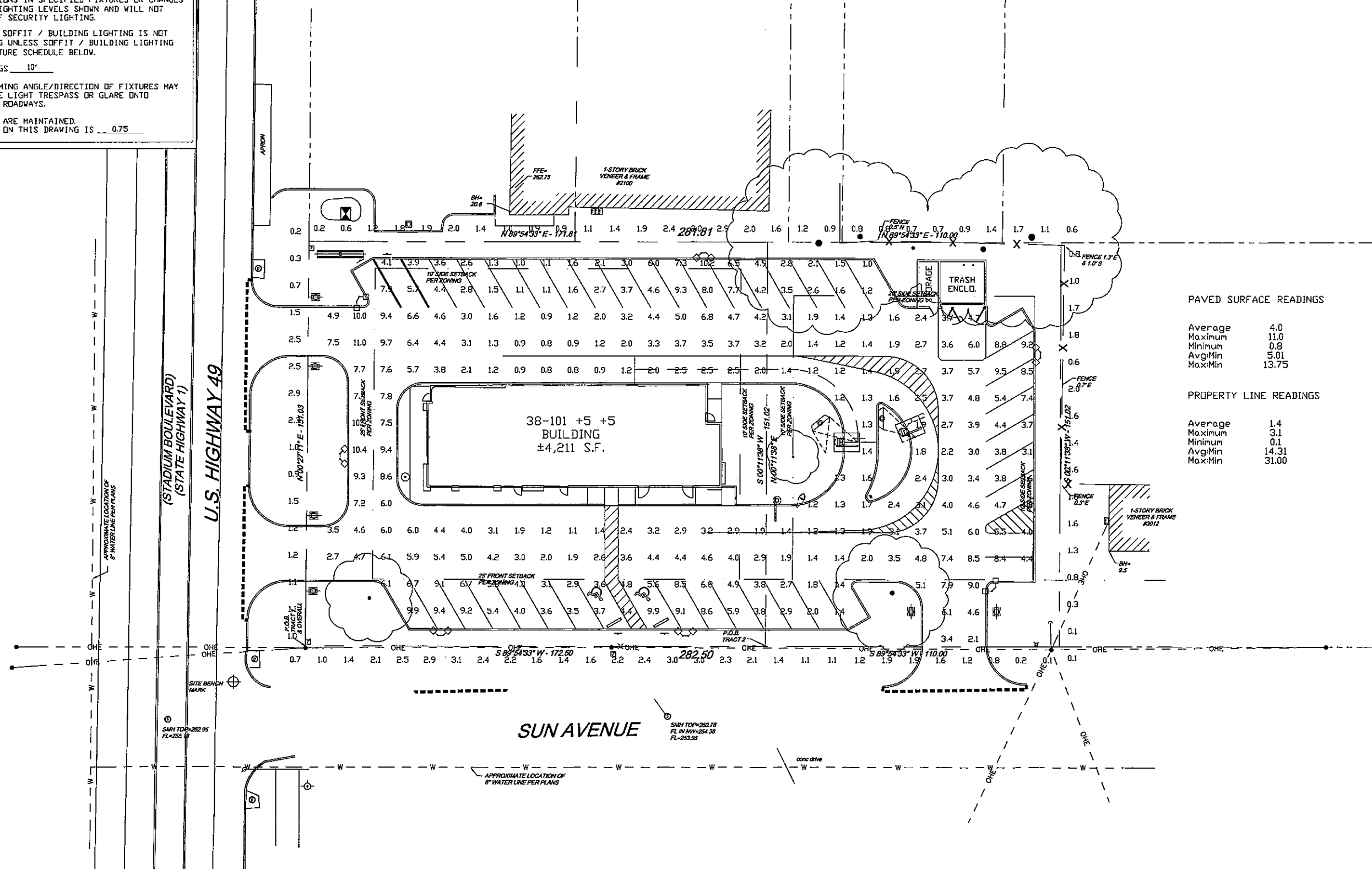
DATE: ---

PLAN APPROVALS

SIGNATURE (2 REQUIRED): DATE: BY: STATUS: DATE: BY: PLAN CHECKED: DATE: BY: AS-BUILT

CO-SIGN SIGNATURES: CONTRACTOR: OWNER:

L1.0



Average	1.4
Maximum	3.1
Minimum	0.1
Avg:Min	14.31
Max:Min	31.00

[illegible]

* PROJECT WIND LOAD CRITERIA BASED ON:
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
50 YEAR MEAN RECURRENCE INTERVAL

NOTE: ALL ASB FIXTURES TO BE INSTALLED TILTED AT
A 30 DEGREE ANGLE UNLESS OTHERWISE SPECIFIED.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES			
NOTES:			
SCALE 1" = 20' 0"	DATE	NEXT ASSEMBLY	REF. DRWG.
DRAWN BY H.J.W.	09/23/13		
CHECKED BY			
APPROVED BY			
APPROVED BY		FINISH	
APPROVED BY			
SHIP ORDER	MATERIAL		DRAWING NUMBER 1PCP28347
PROJECT NO.			