

LEGAL DESCRIPTION:

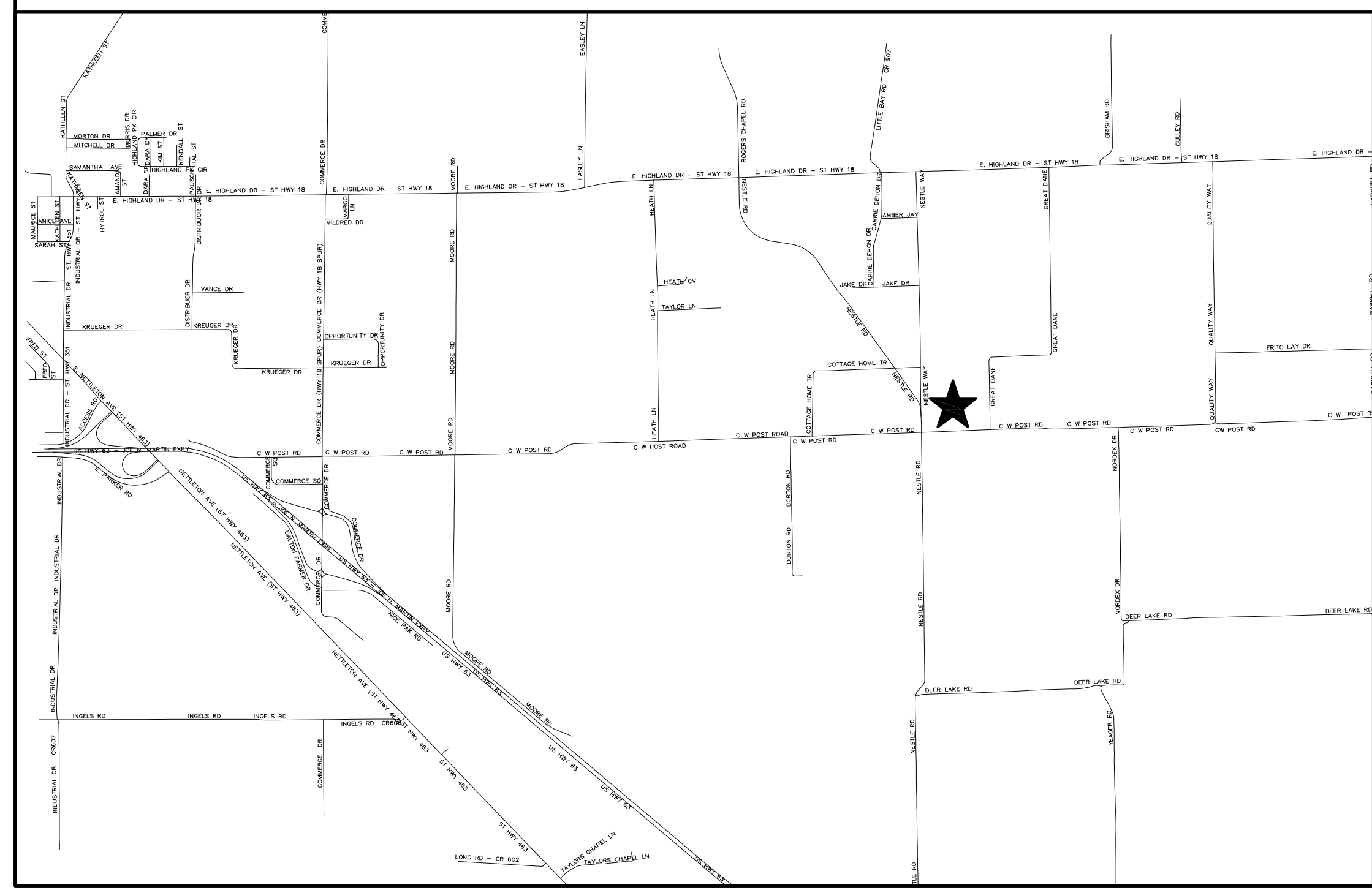
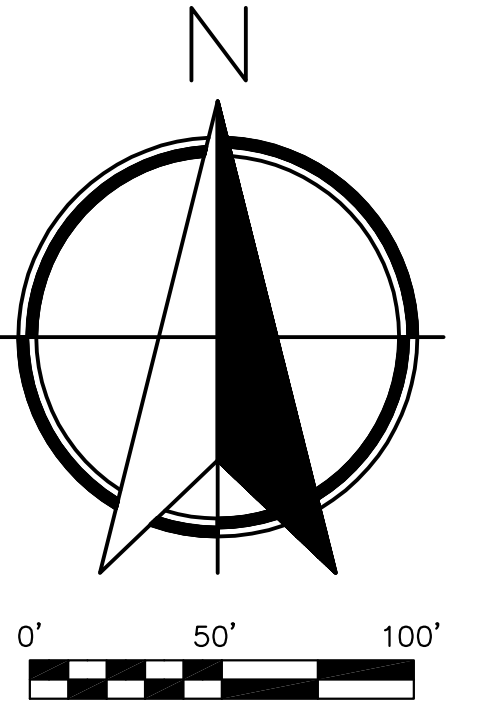
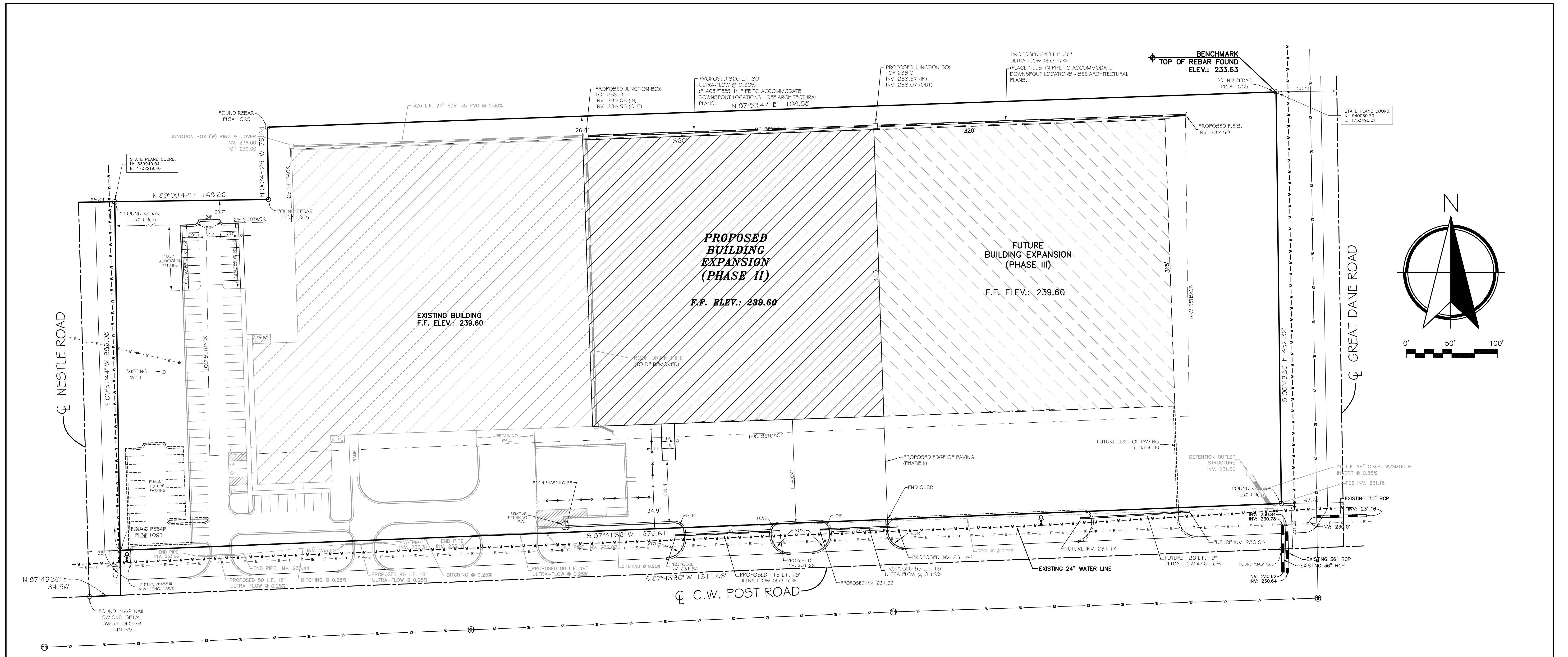
A part of the Southeast Quarter of the Southwest Quarter of Section 29, Township 14 North, Range 5 East, Craighead County, Jonesboro, Arkansas, and being more particularly described as follows: from the Southwest Corner of Southeast Quarter of the Southwest Quarter of said Section 29, run N87°43'36"E a distance of 34.56 ft. to a point; thence run N00°51'44"W a distance of 49.31 ft. to a point, said point being the POINT OF BEGINNING, thence continue N00°51'44"W a distance of 383.08 ft. to a point; thence run N89°09'42"E a distance of 168.86 ft. to a point; thence run N00°49'25"W a distance of 79.44 ft. to a point; thence run N87°59'47"E a distance of 1108.58 ft. to a point; thence run S00°43'36"E a distance of 452.32 ft. to a point; thence run S87°41'32"W a distance of 1276.61 ft. to the point of beginning, containing 13.05 acres, and being subject to any easements of record.

CERTIFICATE OF SURVEY:

To all parties interested in Title to these premises: I hereby certify that I have prior to this day made a survey of the above described property as shown on the Plat of Survey hereon. The property lines and corner monuments, to the best of my knowledge and ability, are correctly established: the improvements are as shown on the Plat of Survey. Encroachments, if any, as disclosed by Survey, are shown hereon.

- NOTES:**
- 1) THIS SURVEY AND PLAT ARE THE PROPERTY OF THE SURVEYOR AND ARE INTENDED FOR THE SOLE USE AND BENEFIT OF THE SURVEYOR & CLIENT.
 - 2) BEARINGS BASED ON GPS OBSERVATION.
 - 3) THE CLOSURE PRECISION OF THE PLAT IS IN EXCESS OF 1" IN 500,000'.
 - 4) THE RESEARCH COMPLETED FOR THIS SURVEY INCLUDES LEGAL DESCRIPTION PROVIDED.
 - 5) ALL PINS SET ARE 7/8" REBAR, UNLESS NOTED OTHERWISE.
 - 6) FLOOD PLAIN: THIS TRACT DOES NOT LIE WITHIN THE 100-YR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP OF CRAIGHEAD CO., ARK. AND INCORPORATED AREAS, COMMUNITY PANEL NO. 056310252 C, DATED 09/27/01. PER CASE NO. 07-06-1274 P, DATED JUNE 28, 2007, THIS SITE HAS BEEN REMOVED FROM THE FLOOD PLAIN.

ENGINEERS		PLANNERS		SURVEYORS	
Civilogic					
203 Southwest Dr. - Jonesboro, AR - (870)932-7880 - www.civilogic.net					
EXISTING CONDITIONS SPIRIT MANUFACTURING - PHASE II 2940 NESTLE ROAD FOR RAMSON'S CONSTRUCTION COMPANY					
Date	Scale	Job No.	Sheet		
10-25-12	1"=50'	111079	16		
Section 29	Township 14N	Range 5E	County CRAIGHEAD		
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES					
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ENGINEERS		PLANNERS		SURVEYORS	
Civilogic					
203 Southwest Dr. - Jonesboro, AR - (870) 932-7880 - www.civilogic.net					
PROPOSED SITE LAYOUT SPIRIT MANUFACTURING - PHASE II 2940 NESTLE ROAD FOR RAMSON'S CONSTRUCTION COMPANY					
Date	Scale	Job No.	Sheet		
10-25-12	1"=50'	111079	No.		
Section	Township	Range	County	2 of 6	
29	14N	5E	CRAIGHEAD		
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES					
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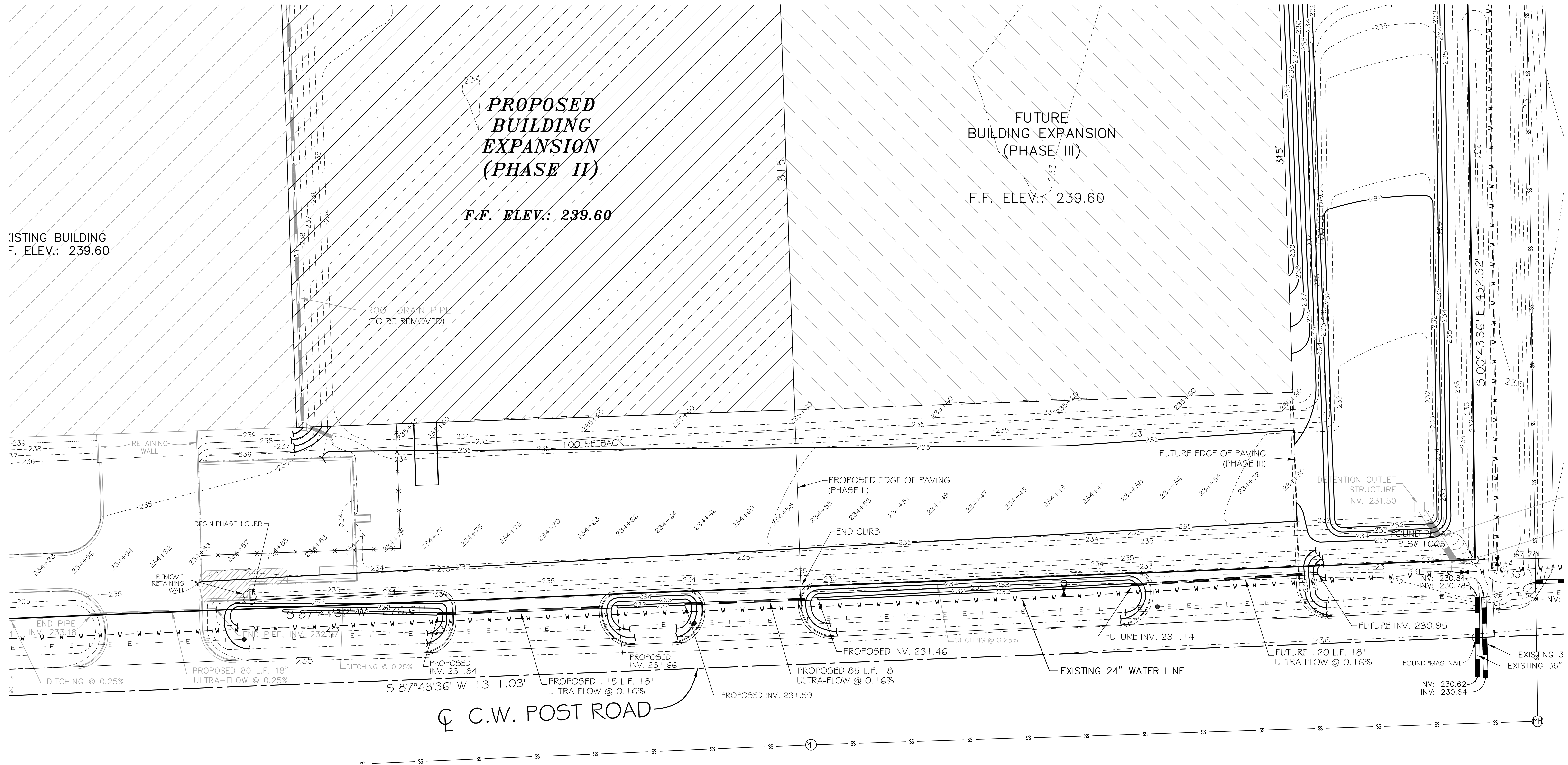
EXISTING BUILDING
F. ELEV.: 239.60

**PROPOSED
BUILDING
EXPANSION
(PHASE II)**

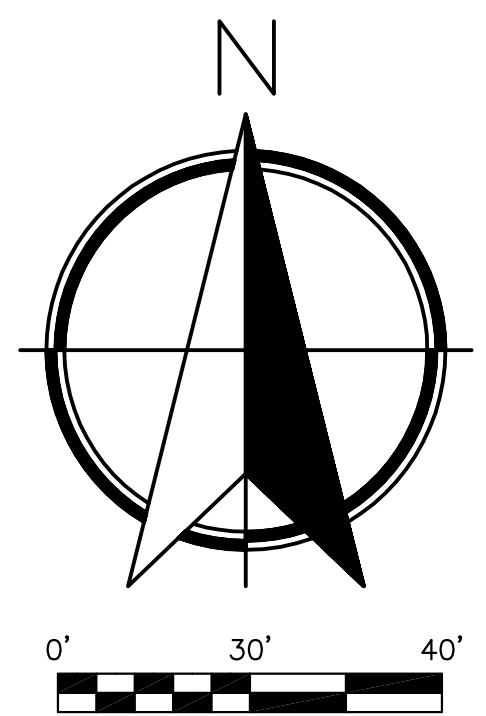
F.F. ELEV.: 239.60

**FUTURE
BUILDING EXPANSION
(PHASE III)**

F.F. ELEV.: 239.60



☐ C.W. POST ROAD

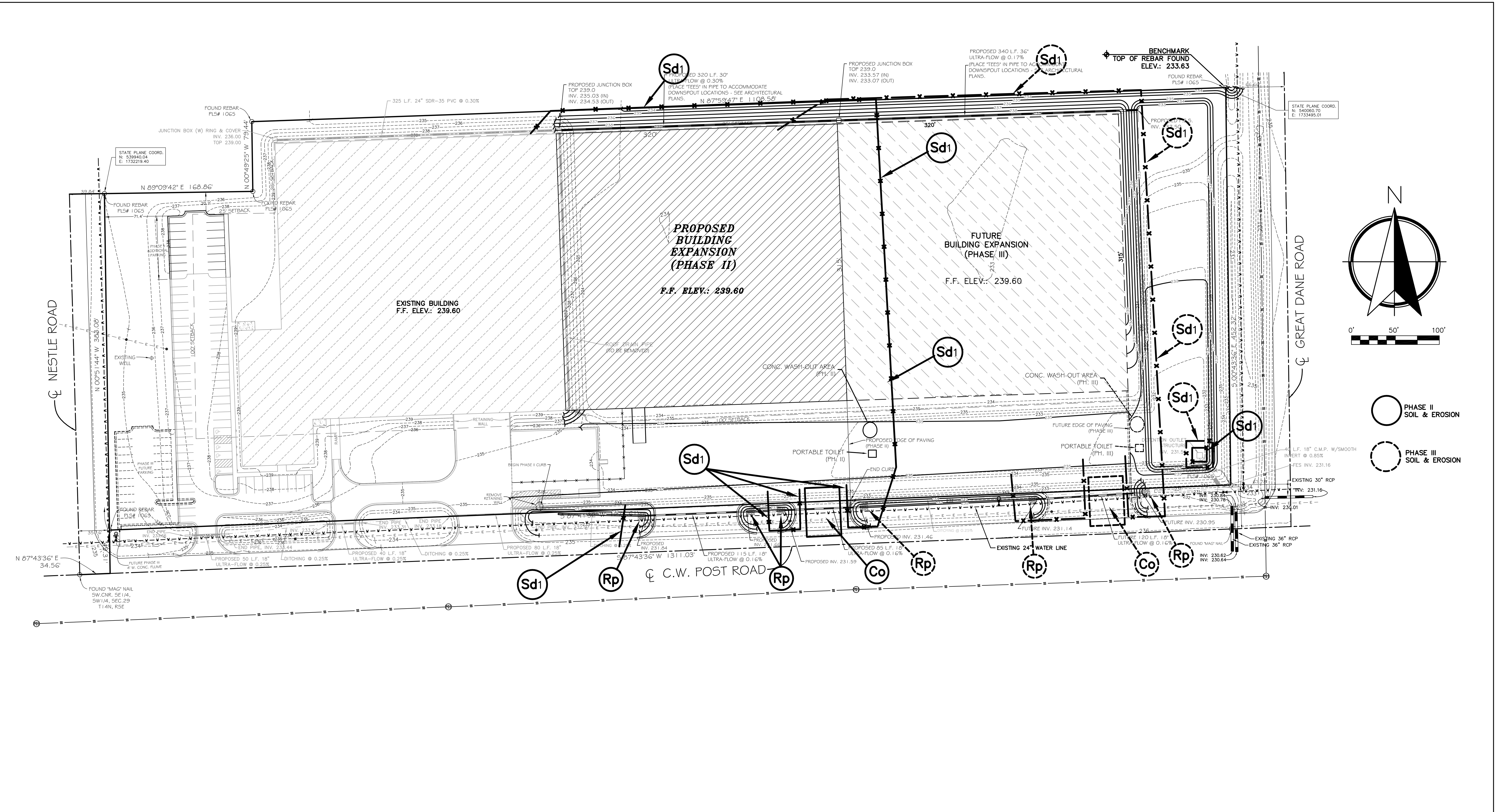


NOTES:

- 1) A GRADING PERMIT SHALL BE OBTAINED FROM THE CITY OF JONESBORO PRIOR TO THE COMMENCEMENT OF EARTHWORK ACTIVITY.
- 2) HANDICAPPED PARKING AND ACCESSIBLE ROUTES SHALL MEET A.D.A. REQUIREMENTS. THE MAXIMUM CROSS-SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 2.0% AND THE MAXIMUM RUNNING SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 8.3%. HANDICAPPED PARKING AREAS SHALL NOT SLOPE MORE THAN 2.0% IN ANY DIRECTION.
- 3) VERTICAL CONTROL NAVD 1988, THIRD ORDER.
- 4) HORIZONTAL CONTROL NAD 83, THIRD ORDER CLASS 1, ARKANSAS STATE PLANE NORTH ZONE.

**NOTE: ULTRAFLOW PIPE IS DESIGNATED.
AN ACCEPTABLE ALTERNATIVE IS ALUMINIZED STEEL PIPE.**

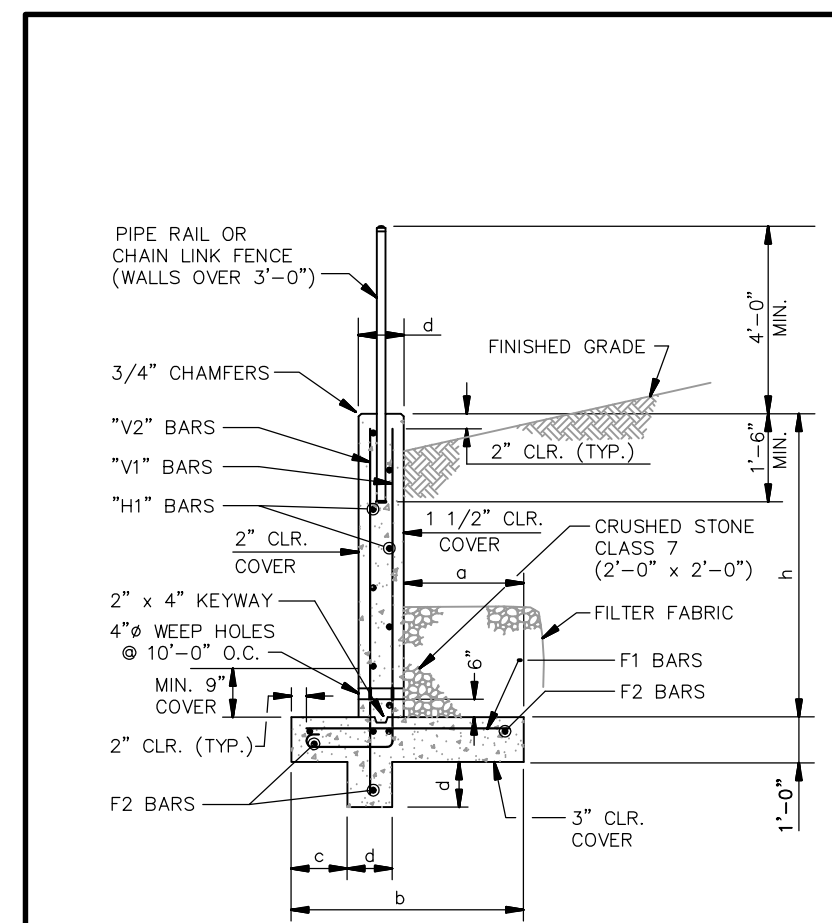
ENGINEERS		PLANNERS		SURVEYORS	
Civilogic					
<small>203 Southwest Dr. - Jonesboro, AR - (870) 932-7880 - www.civilogic.net</small>					
PROPOSED DETAILED GRADING PLAN SPIRIT MANUFACTURING - PHASE II 2940 NESTLE ROAD FOR RAMSON'S CONSTRUCTION COMPANY					
Date	Scale	Job No.	Sheet		
10-25-12	1"=30'	111079	No.		
Section	Township	Range	County		
29	14N	5E	CRAIGHEAD	4 of 6	
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ENGINEERS		PLANNERS		SURVEYORS	
Civilogic					
203 Southwest Dr. - Jonesboro, AR - (870) 932-7880 - www.civilogic.net					
PROPOSED SOIL & EROSION CONTROL PLAN SPIRIT MANUFACTURING - PHASE II 2940 NESTLE ROAD FOR RAMSON'S CONSTRUCTION COMPANY					
Date	Scale	Job No.	Sheet		
10-25-12	1"=50'	111079	No.		
Section 29	Township 14N	Range 5E	County CRAIGHEAD		
5 of 6					
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SITE DEVELOPMENT PLAN CHECKLIST NOTATIONS:

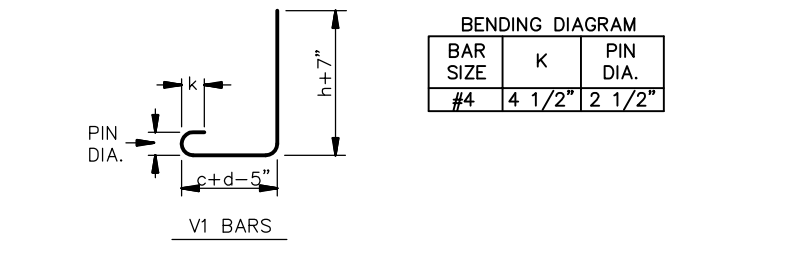
- This is a Site Development Plan for a proposed Industrial Building expansion.
- Property Address: 2940 Nestle Rd., Jonesboro, AR
- A location Map is included on the plan.
- APPLICANT/DEVELOPER: Ramsons Construction Company, 3111 Don Ave., Jonesboro, AR 72401, 870-935-1210
- A north arrow is shown on the drawing.
- This plan scale varies, but is shown on each sheet.
- This site lies in the City of Jonesboro, Craighead County, AR.
- The date of the preparation of these plans is 11-01-12.
- This property is currently Zoned: I-2.
- ENGINEER/SURVEYOR: Civilogic, 203 Southwest Drive, Jonesboro, AR 72401, (870) 932-7880 (phone), (870) 972-9662 (fax), e-mail: george@civilogic.net
- The seal and signature of George Hamman, AR PE #7880, are included on the drawing.
- SITE AREA = 568670 SF = 13.05 acres. Boundary information provided by Civilogic.
- Building Setbacks: Front, from Right-of-way: 100', Side: 25', Rear: 25'
- No other restrictions are known, nor were provided, other than as shown.
- This tract does not lie within the 100-year Flood Plain per Flood Insurance Rate Map of Craighead County, Arkansas and Incorporated Areas, Community Panel Number 05030152 C, dated 09-27-91, per Case No. 07-06-1274 P, dated June 28, 2007. This site has been removed from the Flood Plain.
- The existing land contours shown were derived from a ground-run topographic survey completed by Civilogic in August, 2011. Vertical Datum: NAVD 83.
- The adjoining properties are not shown on this plan.
- The length of the site boundaries are shown.
- The bearings of the site boundaries are shown.
- The location and exterior dimensions, measured from outside walls of the proposed buildings are shown on the drawing.
- The proposed improvements and their relationship to existing contours and other topographic features are shown on the drawings.
- There are no known easements impacting the proposed construction area of this property, other than as shown.
- UTILITIES: Prior to any excavation activity on this site, the contractor shall notify the utility protection service at 1-800-482-8998 and have all buried utilities located. WATER: The nearest water lines are shown on the East side of Nestle Road and the North side of C.W. Post Road. FIRE HYDRANTS: There is an existing fire hydrant at the Northeast corner of Nestle Rd and C.W. Post Rd. intersection and another on the North side of C.W. Post Road +/- 330' from intersection with Great Done Dr. SEWER: There is an existing sanitary sewer line running along the South side of C.W. Post Rd. NATURAL GAS: No natural gas lines are shown on this plan. ELECTRICAL LINES: The location of existing electrical lines is based upon field location. STORM DRAINAGE: This building site is to be drained by use of surface drainage and piping as shown on Sheets 3 & 4. DUMPSTER LOCATION: The dumpster location is shown on plans.
- The drainage plan is indicated by the proposed contours, and proposed spot elevations for finished grades on Sheet 4. This set of plans (sheet 5) also includes soil and erosion control measures. It shall be the responsibility of the owner/developer to obtain the proper permits through ADEC.
 - The soil and erosion control measures shown are the minimum requirements for the site.
 - The soil and erosion control measures shown shall be inspected at least weekly.
 - The soil and erosion control measures shall be inspected following each rainfall event to ensure they are in tact and functioning properly.
 - Additional soil and erosion control measures may be necessary as field, site, and weather conditions dictate.
 - The soil and erosion control facilities are to be installed prior to the commencement of construction, and are to be maintained for the duration of the construction period until the disturbed areas are stabilized.
- PARKING PHASE II**
The Site Development Plan addresses the parking for this site.
Parking Required: Indoor Showroom - 1,840 sf, 4 spaces required
Office Space - 9,609 sf, 33 spaces required
Warehouse Space - 199,523 sf, 40 spaces required
Total Sq. Ft. - 210,972 sf
TOTAL PARKING SPACES REQUIRED: 77 spaces.
Parking Provided: 78 spaces, including 4 A.D.A. spaces.
Loading Spaces Required: 4 spaces
Loading Spaces Provided: 10 spaces
- PARKING PHASE III**
The Site Development Plan addresses the parking for this site.
Parking Required: Indoor Showroom - 1,840 sf, 4 spaces required
Office Space - 9,609 sf, 33 spaces required
Warehouse Space - 300,323 sf, 60 spaces required
Total Sq. Ft. - 311,772 sf
TOTAL PARKING SPACES REQUIRED: 97 spaces.
Parking Provided: 97 spaces, including 4 A.D.A. spaces.
Loading Spaces Required: 5 spaces
Loading Spaces Provided: 16 spaces
- The dimensions of access drive are shown on Sheet 2.
- Loading Area: Loading space will be necessary for this site and is shown. All driveway areas for the site are proposed to be impervious surface, and are to have curbs and gutter on the perimeter of the impervious areas.
- Sign location and type: none shown at this time.
- Screening and Buffering: shown around dumpster.
- Landscaping Plan: The Landscaping plan is to be provided by others.
- There are no known restrictive covenants, grants of easements or other restrictions, other than as shown.
- No additional common open space plan is proposed for this development.
- Any exterior site lighting will be installed and directed in such a manner as to not impose on adjacent properties.
- There are no observations of any historical structures on this site.



RETAINING WALL SECTION
N.T.S.
CITY OF JONESBORO STANDARD DETAIL
DRAWING NO. RW-1 pg. 1 OF 2.

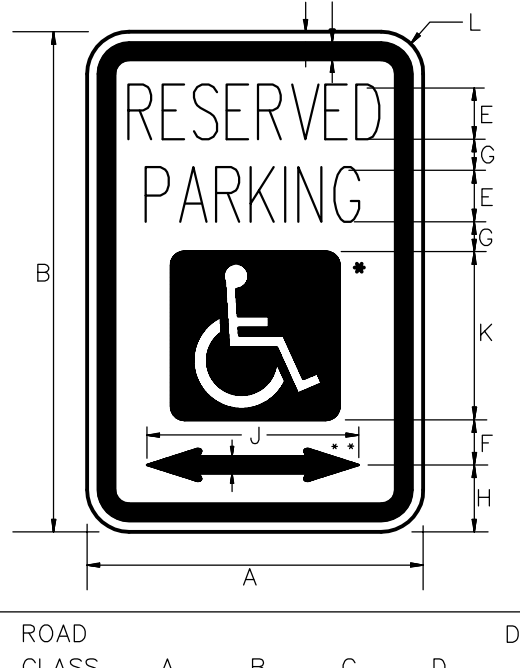
STEEL SCHEDULE

VI BARS	F1 BARS	H1	V2	F2
8" @ 1'-0"	8" @ 2'-0"	#4 12"	#4 18"	#4 18"
8" @ 2'-0"	8" @ 2'-0"	#4 12"	#4 18"	#4 18"
8" @ 1'-0"	8" @ 2'-0"	#4 12"	#4 18"	#4 18"
8" @ 4'-0"	1'-2" @ 2'-8"	#4 12"	#4 18"	#4 18"
8" @ 5'-0"	1'-2" @ 2'-8"	#4 9"	#4 9"	#4 18"
8" @ 6'-0"	2'-13" @ 2'-8"	#4 9"	#4 9"	#4 18"



- NOTES:**
- CONSTRUCTION CONTROL JOINTS SHALL BE PLACED ON 20' TO 25' CENTERS USING 3/4" CHAMFER STRIPS. EXPANSION JOINTS SHALL BE PLACED ON 60' TO 75' CENTERS WITH 1/2" DOWEL AND 1/2" PREMOLOD EXPANSION JOINT FILLER.
 - KEEP HOLES SHALL HAVE GALVANIZED WIRE MESH SCREEN INSTALLED BEHIND 4" WEEP HOLES AND GRAVEL AT FACE OF WALL. GRAVEL SHALL BE CONTINUOUS WITH LENGTH OF WALL SECTION.
 - RETAINING WALLS GREATER THAN 6'-0" HIGH REQUIRE INDIVIDUAL DESIGN.
 - DO NOT USE FOR ACCOMMODATING SURCHARGE LOADING.

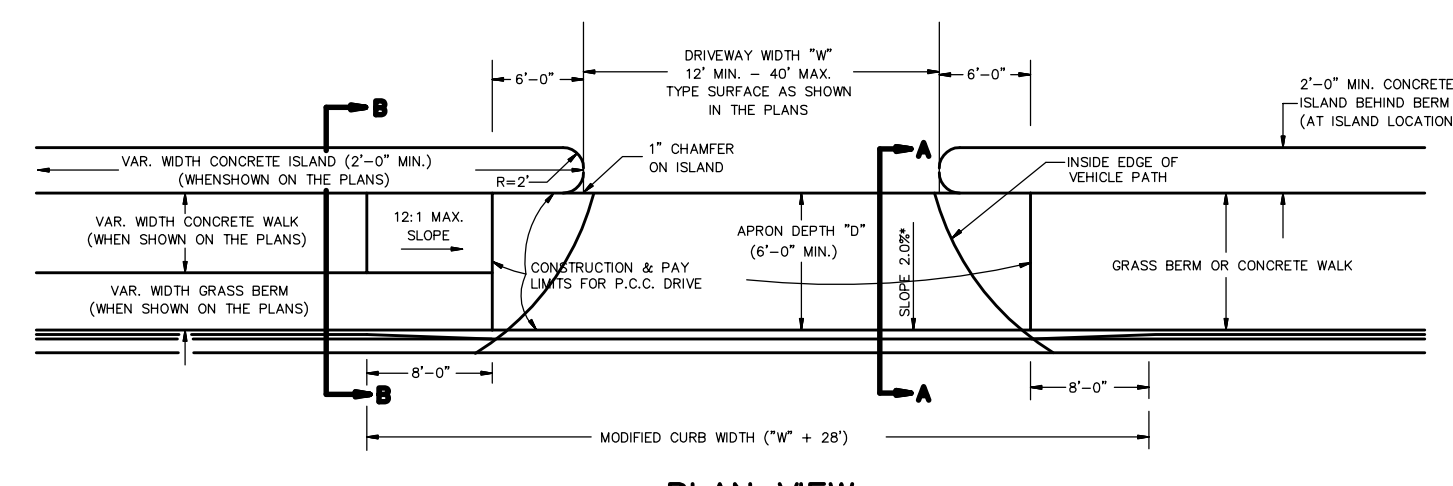
RETAINING WALL NOTES
N.T.S.
CITY OF JONESBORO STANDARD DETAIL
DRAWING NO. RW-1 pg. 2 OF 2.



- BORDER, ARROW, AND LEGEND: GREEN WHITE SYMBOL ON BLUE BACKGROUND BACKGROUND: WHITE.
- * MAKE THE SYMBOL PROPORTIONAL TO THE ONE SHOWN.
- ARROW OPTIONS:
RIGHT: R7 - BR
LEFT: R7 - BL
BOTH: R7 - B
NO ARROW: R7 - S

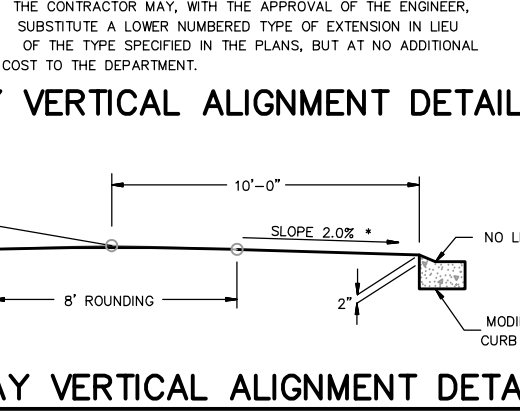
ROAD CLASS DIMENSIONS (inches)

ROAD CLASS	A	B	C	D	E	F	G	H	J	K	L	M	N
CONV & MIN	12	18	0.38	0.63	2C	1.5	1	2.5	7.75	6	1.5	0.75	1.75



EXTENSION TYPICAL SECTIONS

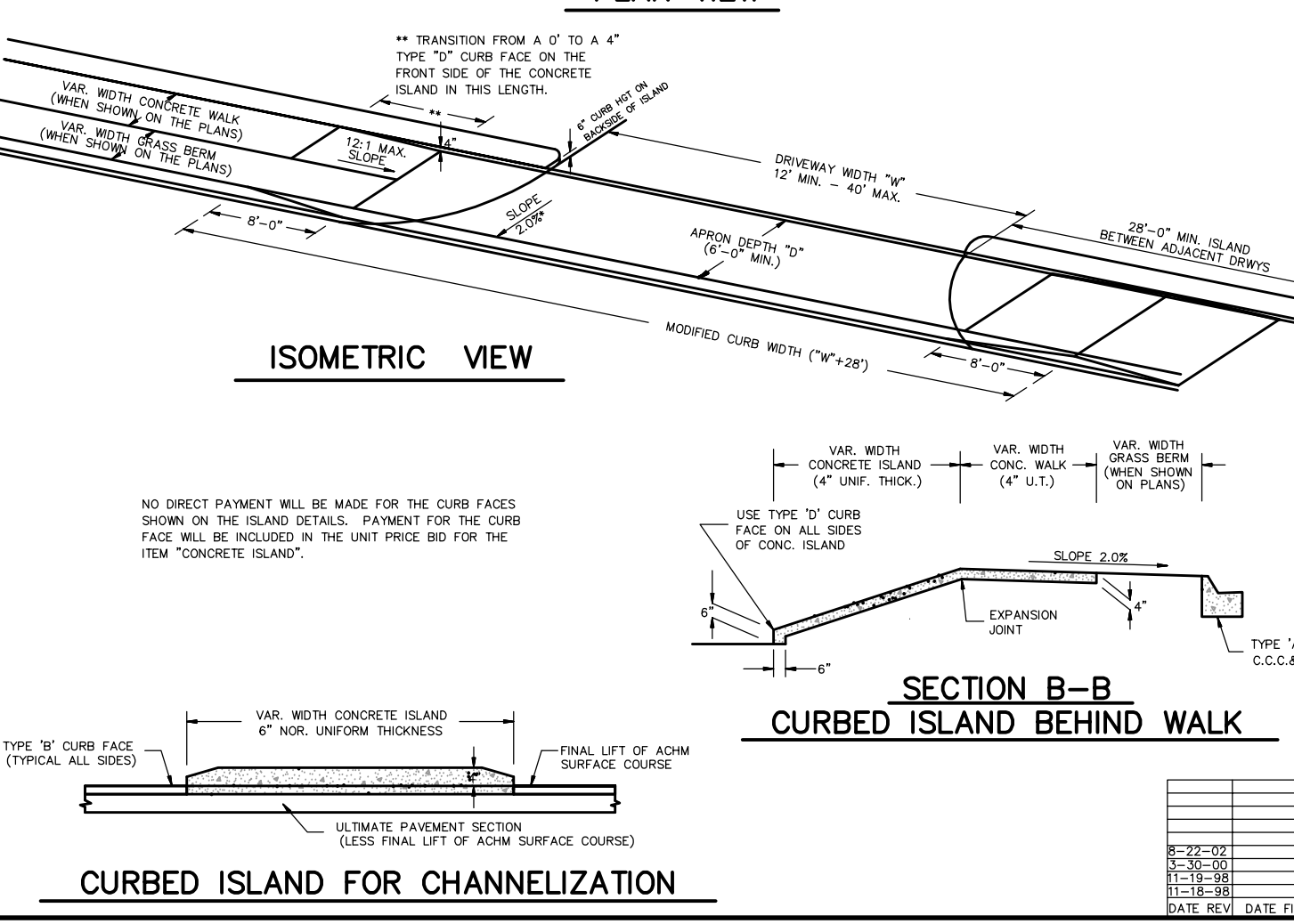
- CONCRETE - 6" P.C. CONCRETE DRIVEWAY
- ASPHALT - 2" ADM SURFACE COURSE (1/2") OR 4" ADM BINDER COURSE (1") OR 4" SOHM BASE COURSE (1-1/2")
- ASPHALT - 2" ADM SURFACE COURSE (1/2") OR 4" ADM BINDER COURSE (1") OR 4" SOHM BASE COURSE (1-1/2")
- AGGREGATE - 6" AGGREGATE BASE COURSE



DRIVEWAY VERTICAL ALIGNMENT DETAILS

DRIVEWAY VERTICAL ALIGNMENT DETAILS

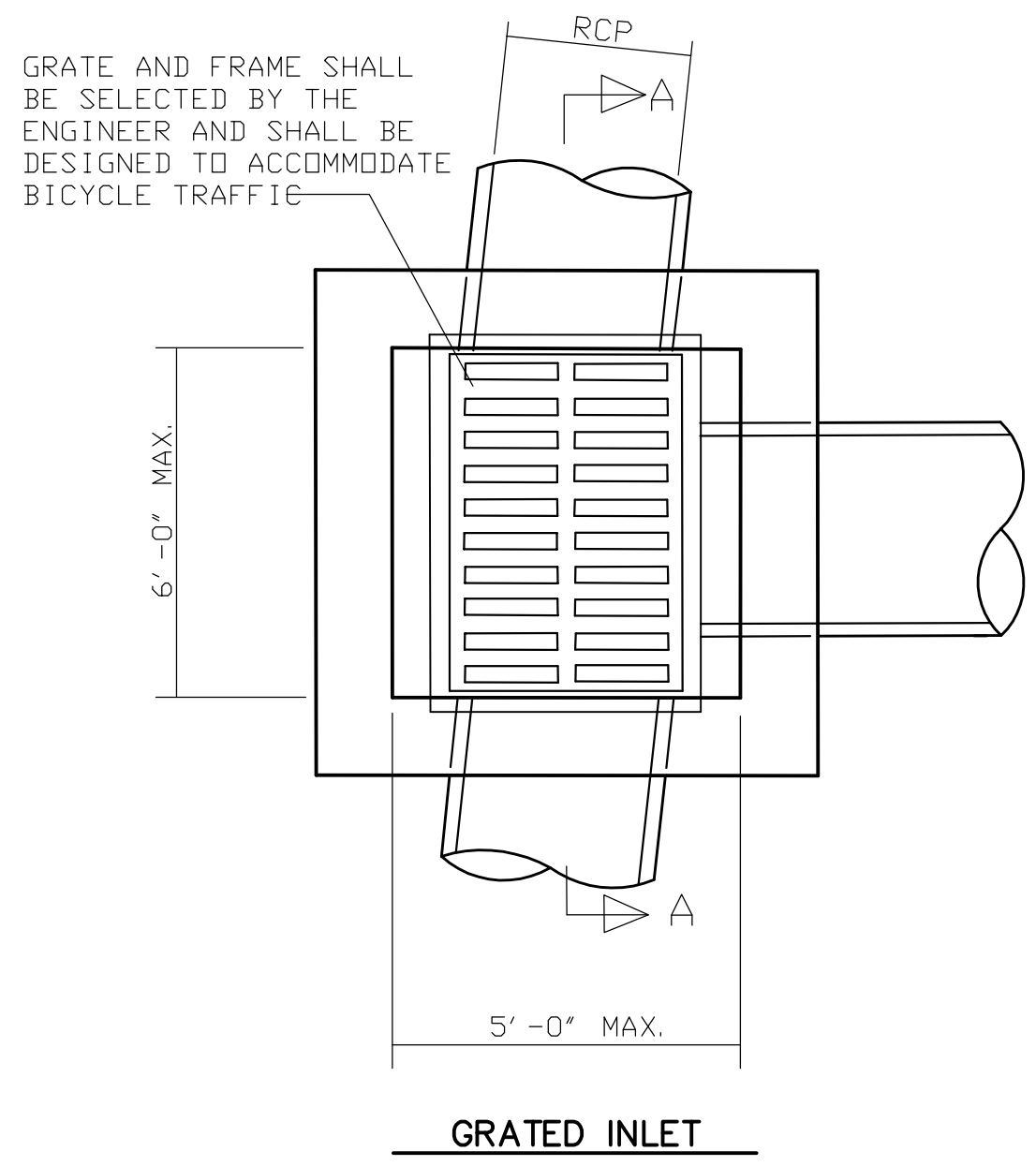
* NOTE: DRIVEWAYS MAY BE SLOPED 2.0% AWAY FROM THE DRIVEWAY ONLY AT THE LOCATIONS SHOWN IN THE PLANS, OR AS DIRECTED BY THE ENGINEER.



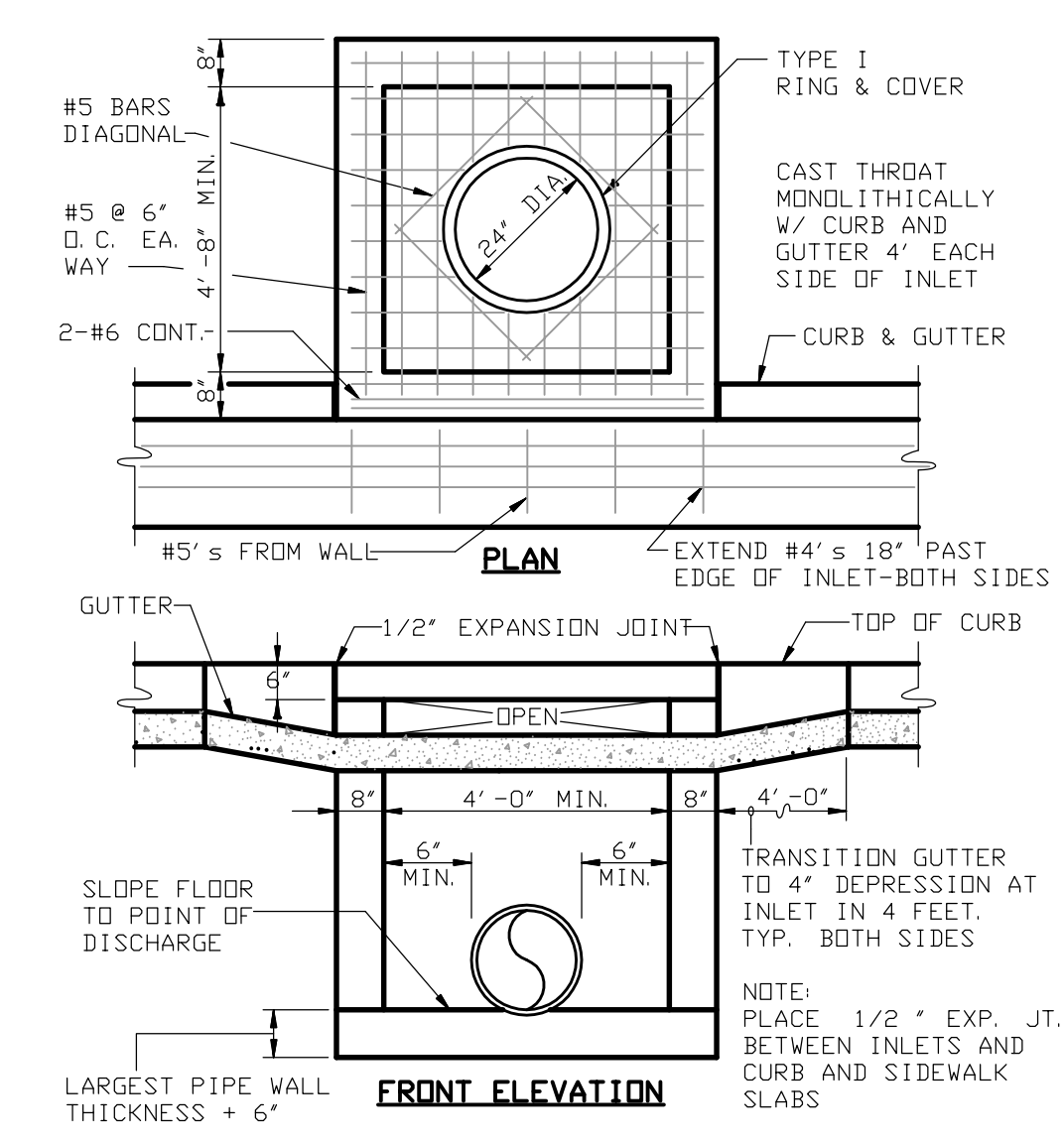
SECTION B-B CURBED ISLAND BEHIND WALK

CURBED ISLAND FOR CHANNELIZATION

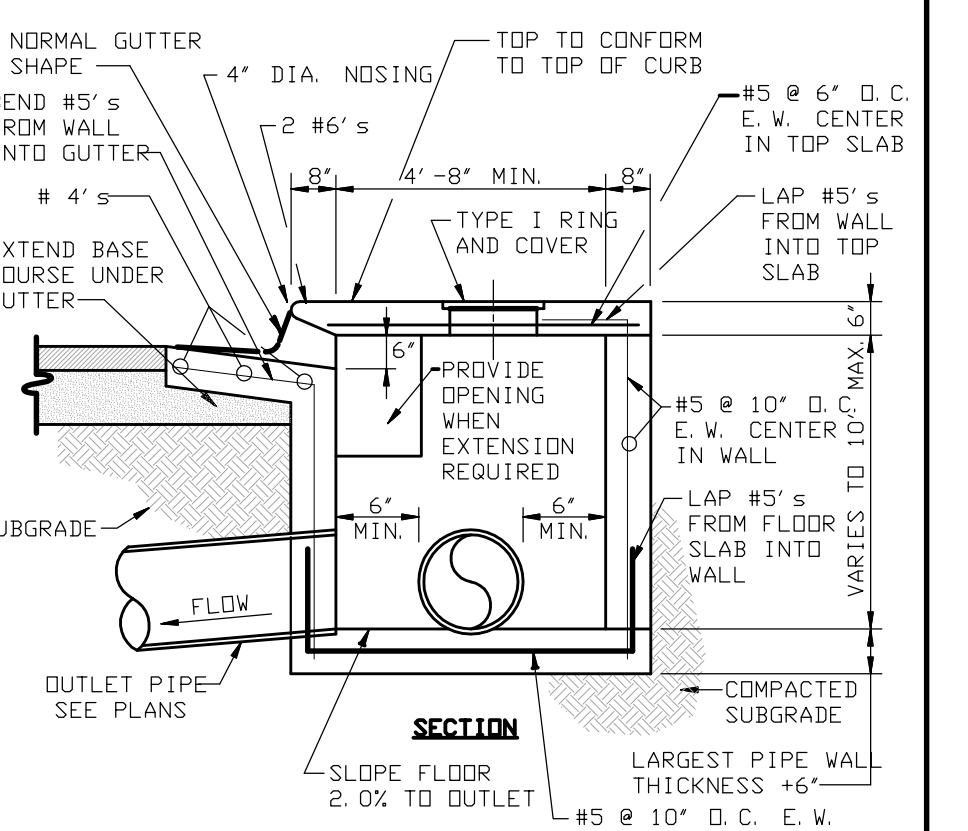
**ARKANSAS STATE HIGHWAY COMMISSION
DETAILS OF DRIVEWAYS & ISLANDS
STANDARD DRAWING DR-1**



GRADED INLET

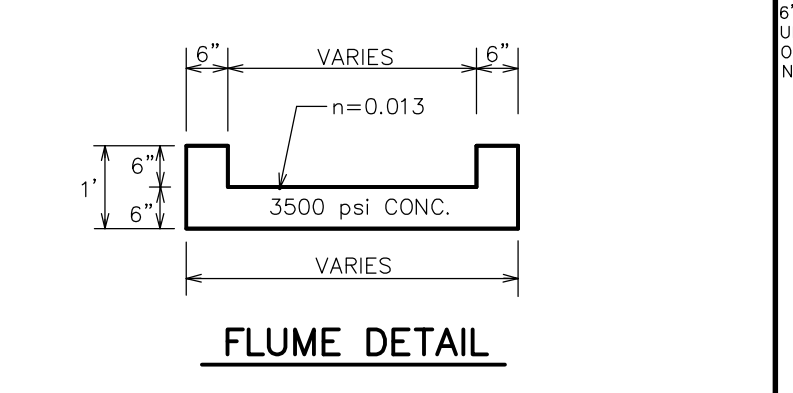


CURB INLET - TYPE 'A'

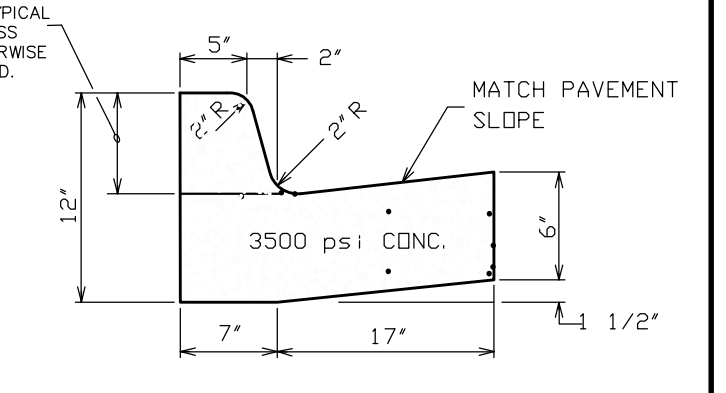


SECTION - TYPICAL CURB INLET - TYPE 'A'

NOTE: INLETS MORE THAN 3'-0" DEEP SHALL HAVE STANDARD MANHOLE STEPS PLACED AT 15" O.C. - MANHOLE FRAME AND COVER SHALL BE PLACED ADJACENT TO THE WALL WITH THE STEPS.

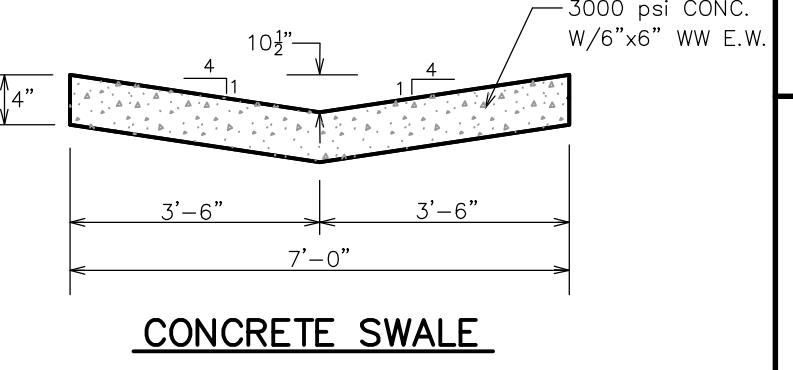


FLUME DETAIL

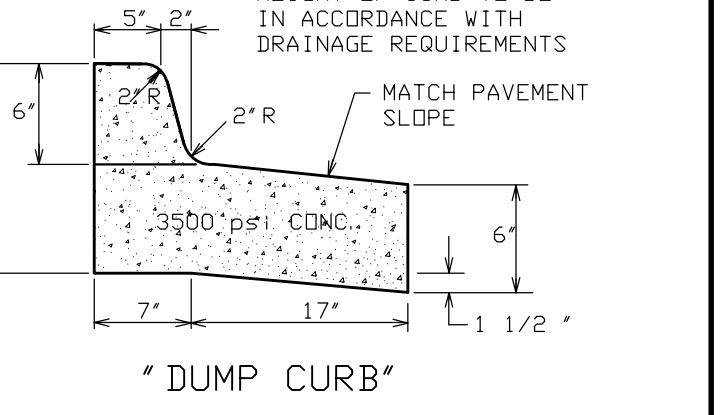


TYPE 'A' (BARRIER) RESIDENTIAL & COLLECTOR STREETS

COMBINATION CURB AND GUTTER
NOTE: CONTRACTION AND EXPANSION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

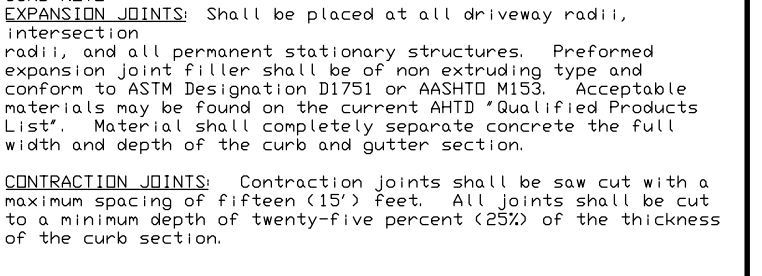


CONCRETE SWALE

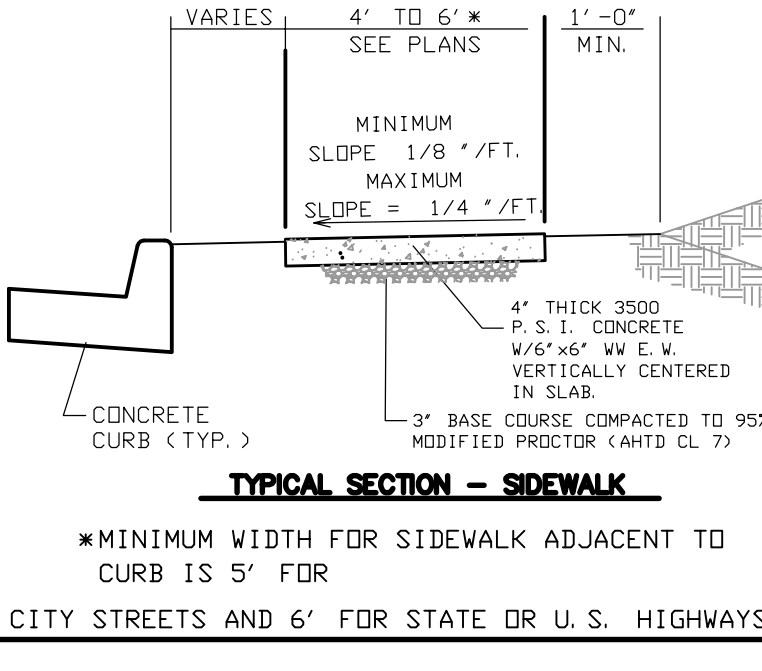


"DUMP CURB"

TYPE 'A' (BARRIER) RESIDENTIAL & COLLECTOR ARTERIAL STREETS

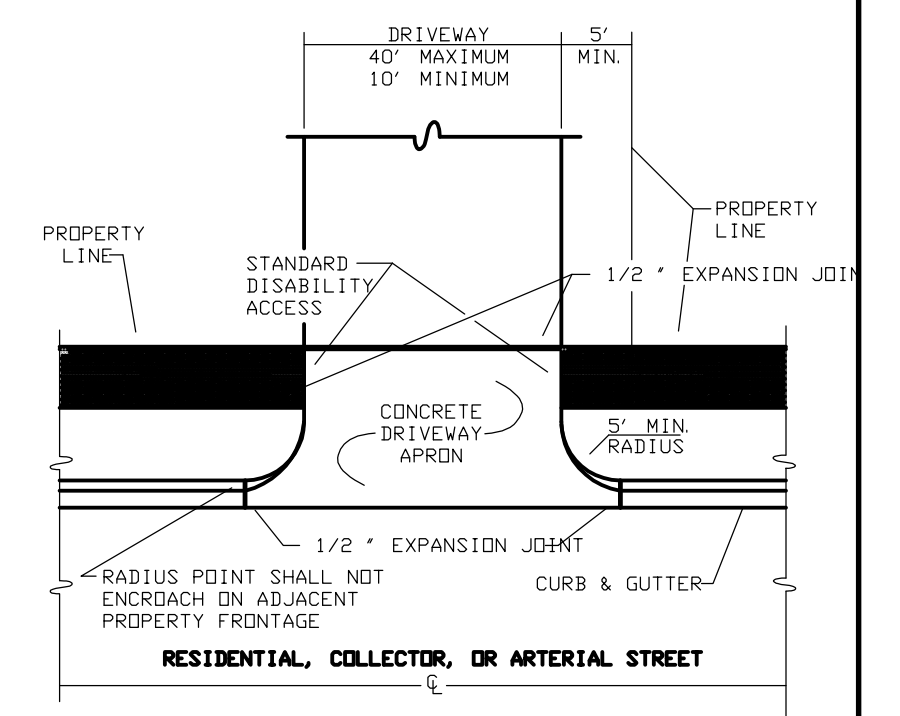


Storm Drain Outlet Protection

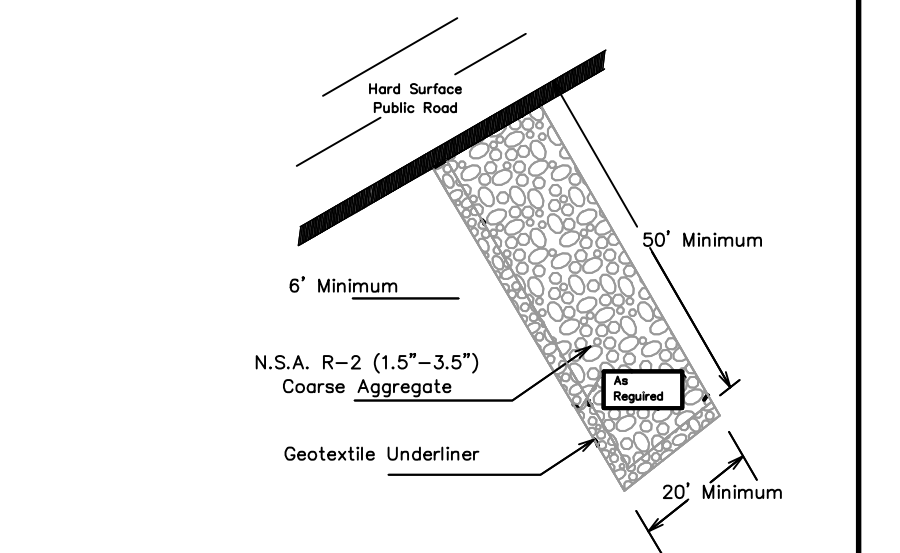


TYPICAL SECTION - SIDEWALK

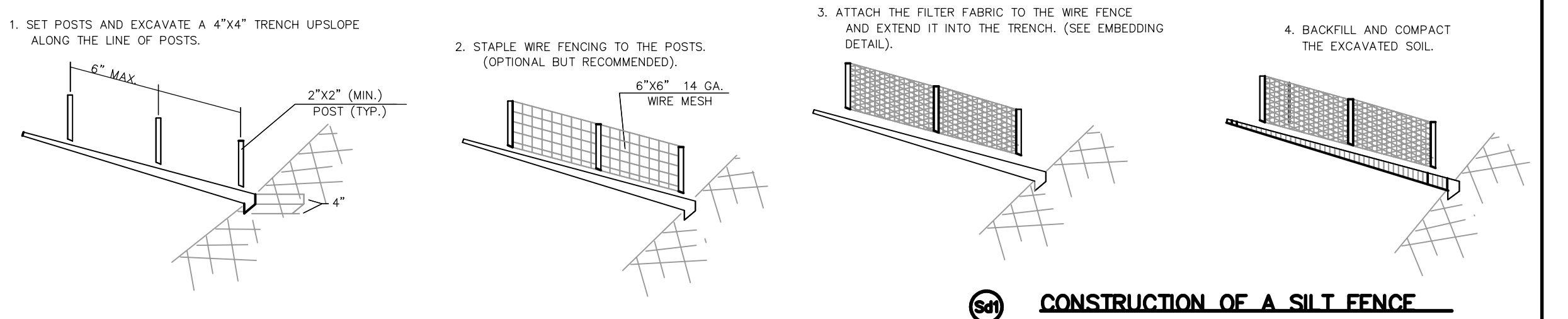
* MINIMUM WIDTH FOR SIDEWALK ADJACENT TO CURB IS 5' FOR CITY STREETS AND 6' FOR STATE DR OR U.S. HIGHWAYS.



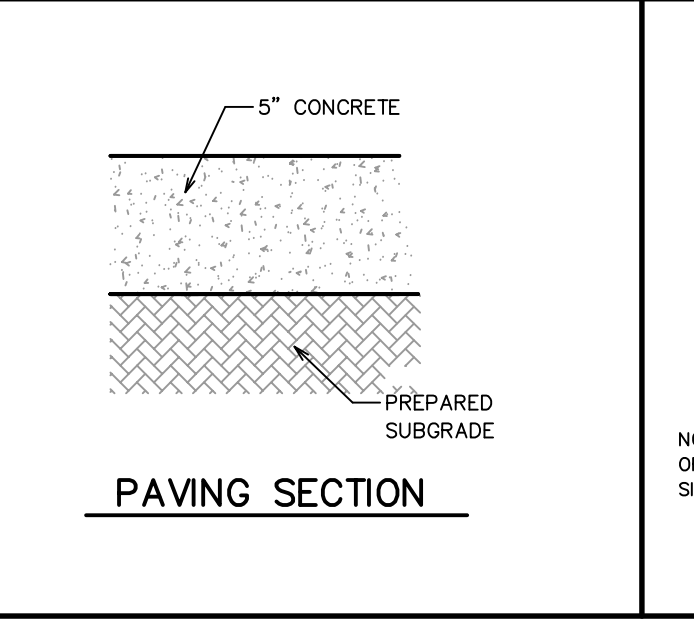
RESIDENTIAL, COLLECTOR, OR ARTERIAL STREET



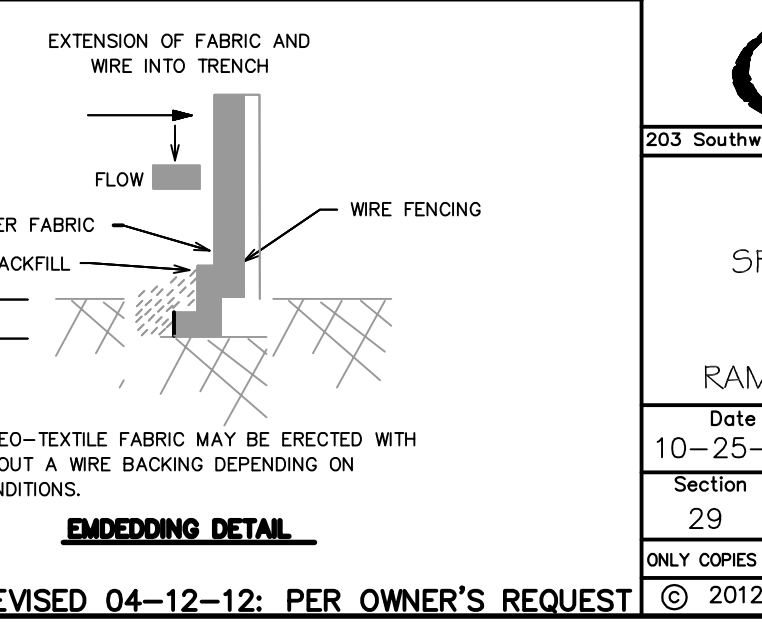
CRUSHED STONE CONSTRUCTION ENTRANCE



CONSTRUCTION OF A SILT FENCE



PAVING SECTION



EMBEDDING DETAIL

Civilogic
203 Southwest Dr. - Jonesboro, AR - (870) 932-7880 - www.civilogic.net

CONSTRUCTION DETAILS & GENERAL NOTES
SPIRIT MANUFACTURING - PHASE II
2940 NESTLE ROAD
FOR
RAMSON'S CONSTRUCTION COMPANY

Date	Scale	Job No.	Sheet
10-25-12	N.T.S.	111079	6 of 6
Section	Township	Range	County
29	14N	5E	CRAIGHEAD

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