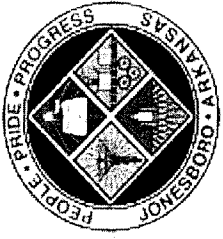


City of

**Jonesboro**  
ARKANSAS


SFR 16-400

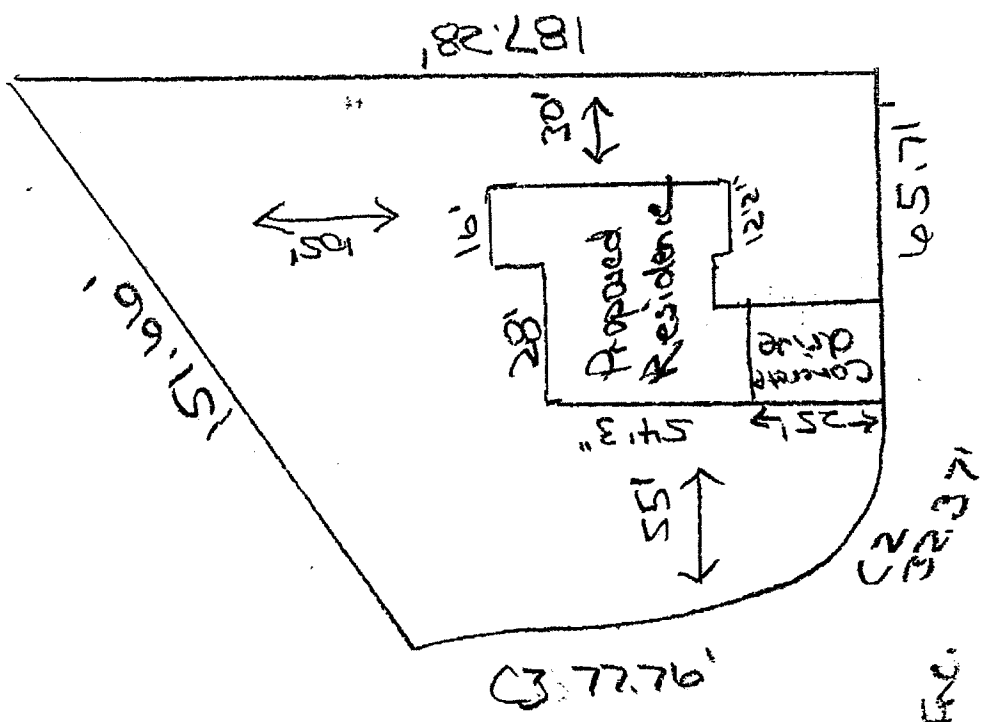


**APPLICATION FOR RESIDENTIAL BUILDING & ZONING PERMIT APPLICATION**

Planning & Zoning, P.O. Box 1845, Jonesboro, AR 72403 – (870) 932-0406, fax (870) 336-3036  
www.jonesboro.org

<b>(OFFICE USE ONLY) PERMIT NO. ISSUED:</b> SFR 16 400		<b>DATE:</b> 17/12/16
<b>Property Information</b>		Parcel No. (if known)
Address: 602 Wisterialane		City: Jonesboro
Zoning Classification: R1		
Please describe proposed use: Single Family Residence Spec House		
<b>Applicant's Name:</b> Rick Turner or Sherry Turner		
Address: 6555 Hwy 1 South		
City: Jonesboro	State: AR	ZIP Code: 72404
Phone: 870-931-0096	Email Address: Karri.ridge.realty@hotmail.com	
Arkansas Contractor License # 006R40317	Privilege #: TUL0001	
<b>Owner's Name:</b> (if Same, Input Same) SANE		
Address: 6555 Hwy 1 South		
City: Jonesboro	State: AR	ZIP Code: 72404
Phone: 870-931-0096	Email Address: Karri.ridge.realty@hotmail.com	
One (1) Copy of Site Plan: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No (Please circle)		One (1) Set of Construction Documents: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No (Please circle)
Type of Construction: Single Fam Res. <sup>Spec House</sup>		Code Review Included: Yes / No (Please circle)
Seismic Zone #3 Signed Certification: Yes / No (Please circle)		
Engineering Firm: Carlos Wood		Phone:
Engineer's Certification and Signature: Yes / No (Please circle)		City: State:
Address:		City: State:
Architectural Firm/Plans Drawn By: Mattix Buiding Design		Phone:
Architect's Certification and Signature: Yes / No (Please circle)		City: State:
Address:		City: State:
CONTRACTED PRICE OF PROJECT: \$ 100,000		
Flood Plain: Yes / <input checked="" type="checkbox"/> No (Please circle)		Flood Zone District:
Elevation Certificate Required: Yes / <input type="checkbox"/> No (Please circle)		
FEMA CLOMA/LOMA Required: Yes / <input type="checkbox"/> No (Please circle)		Certificate #:

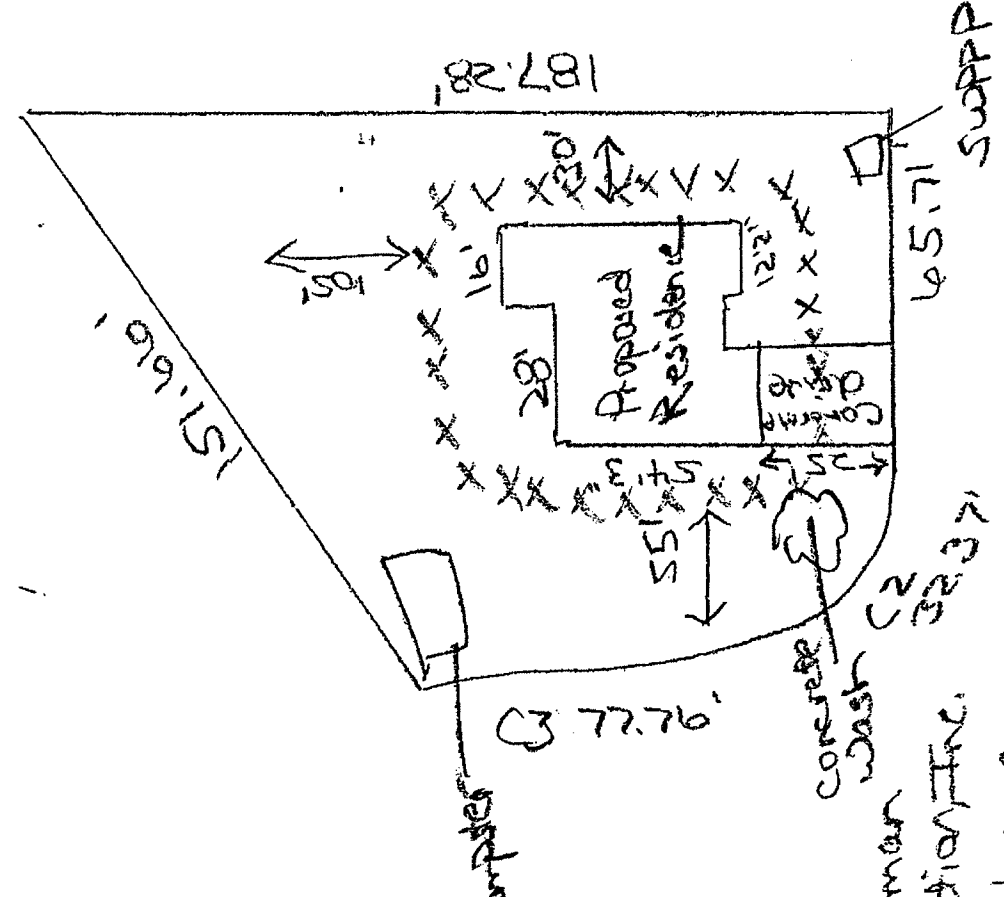
APPLICATION FOR RESIDENTIAL BUILDING & ZONING PERMIT APPLICATION PAGE 2			
TYPE OF IMPROVEMENT:		PROPOSED USE:	
New Building:	Single Family Residence	Multi-Family:	No of Units:
Addition:		Institution:	
Alteration:		Temporary Structure:	
Demolition:		Home Occupation:	
Moving:		Storage Shed:	
Foundation Only:		Fence:	
Pool:		Pool House:	
Accessory Apartment:			
Other:			
<b>COMMENTS (OFFICE USE ONLY)</b>			
Planners Remarks:	<p>House only. Must Adhere to All setbacks            Lengthen 7/15/16 requirements And utility/DRAINAGE easements.            Smith            CALL 811 And they will MARK the utilities for you.            DO NOT build over easements OR IN setbacks!</p>		
Engineering Remarks:			
Building Department Remarks:			
Review Status:			
Zoning:	Engineering:	Building:	C.O. Issuance Date:
<b>APPLICANT'S CERTIFICATION</b>			
I certify that the answers to the above questions and any statements made on same are true and complete to the best of my knowledge.			
Print Name:	Designation:	Phone/Fax:	
Rick Turner / Sherry Turner		870-931-0096 / 870-931-0167	
Email:	Signature:		Date:
sherryturner@yahoo.com			7-12-16



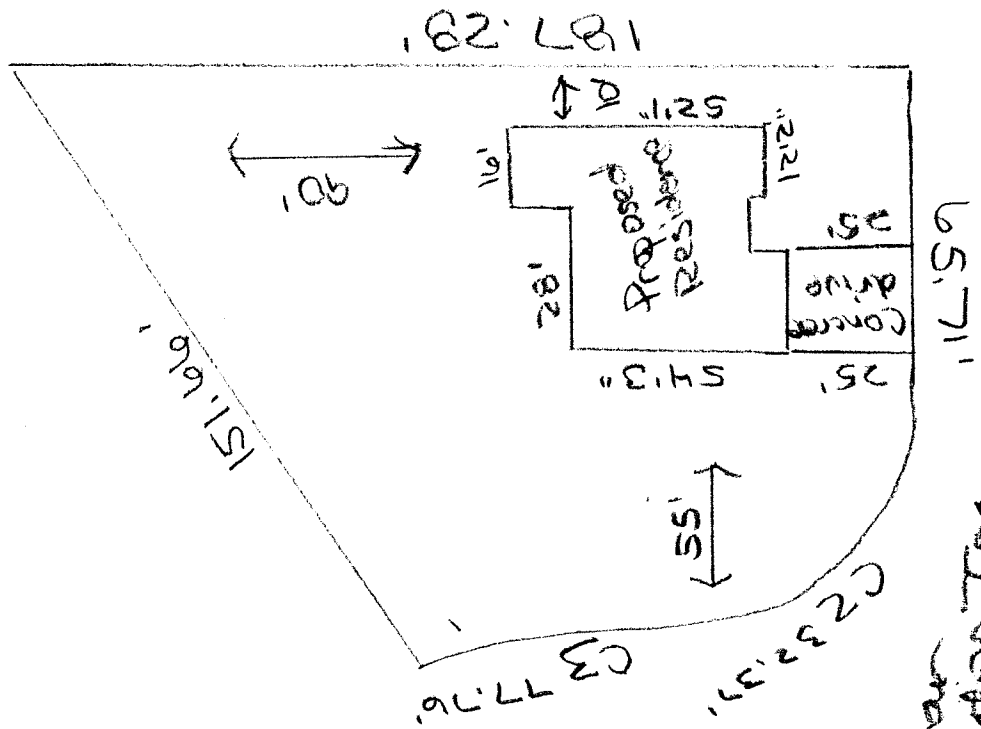
Rick + Sherry Turman  
 Turman Construction, Inc.  
 6012 Wisteria Lane  
 Lot 4 Phase 1  
 Prairie Meadows Sub.  
 Jonesboro, AR

SWPPP NOTES:

1. ENTIRE 0.26 ACRE LOT TO BE DISTURBED AND WILL BE SOBBED OR SEEDED AFTER CONSTRUCTION IS COMPLETE.
2. ALL CONTROL MEASURES WILL BE CONTINUOUSLY MAINTAINED TO ENSURE EROSION OR SEDIMENT DOES NOT LEAVE THE CONSTRUCTION SITE.
3. ALL EROSION OR SEDIMENT THAT LEAVES THE CONSTRUCTION SITE WILL BE REMOVED AS SOON AS POSSIBLE.
4. A STABILIZED 20' X 50' B-STONE CONSTRUCTION ENTRANCE WILL BE PLACED AT THE SITE ENTRANCE TO MINIMIZE OFF-SITE TRACKING.
5. THE CONCRETE WASH-OUT PIT WILL BE AN EXCAVATED DEPRESSION BELOW NATURAL GROUND AND LINED WITH PLASTIC.
6. INSPECTIONS WILL BE PERFORMED EVERY 7 DAYS.



Rick + Sherry Turman  
 Turman Construction, Inc.  
 6012 Wisteria Lane  
 Lot 4 Phase 1  
 Prairie Meadows Sub.  
 Jonesboro, AR



Rick + Sherry Turman  
 Turman Construction, Inc.  
 6012 Wisteria Lane  
 Lot 4 Phase 1  
 Prairie Meadows Subdivision  
 Jonesboro, AR

**OWNER/BUILDER AFFIDAVIT  
CITY OF JONESBORO, ARKANSAS**



Ark. Code Ann. §17-25-501 et seq. requires a residential license for certain residential buildings.

A property owner who acts as a residential building contractor for the purpose of constructing his own residence is not required to have a residential building license to make application for a building permit of a single family residence that is intended to be the property owners residence, unless the property owner constructs more than one residence per calendar year.

**PROPERTY ADDRESS** 6012 Wisteria Lane  
Jonesboro, AR 72404

Now, on this 12<sup>th</sup> day of July, 2016, I, Rick Turner / Sherry Turner  
(Please print your name)

declare that I am applying for a building permit for the above described property; that I will be responsible for performing the work and meeting the requirements of all codes, ordinances, and laws; that I am the owner of the above described property; that I am an occupant of the property; and that the intent of the use of the property is by the owner as a single family residence. Therefore, I am not required to have a residential building license.

**Owner's Signature**       **Date** 7-12-16  


# SITE WITH AUTOMATIC COVERAGE (LESS THAN 5 ACRES) CONSTRUCTION SITE NOTICE

FOR THE  
Arkansas Department of Environmental Quality (ADEQ)  
Storm Water Program  
**NPDES GENERAL PERMIT NO. ARR150000**

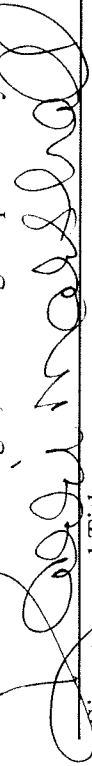
The following information is posted in compliance with **Part I.B.8.b** of the ADEQ General Permit Number **ARR150000** for discharges of stormwater runoff from sites with automatic coverage. Additional information regarding the ADEQ stormwater program may be found on the internet at:

[www.aadeq.state.ar.us/water/branch\\_npdes/stormwater](http://www.aadeq.state.ar.us/water/branch_npdes/stormwater)

Permit Number	ARR150000
Contact Name:	Michael Davis
Phone Number:	870-930-7085
Project Description (Name, Location, etc.):	6012 Wisteria Lane
Start Date:	
End Date:	
Total Acres:	0.34 acre
Grading Permit Number:	
Location of Stormwater Pollution Prevention Plan:	IN MAILBOX ON SITE

For Construction Sites Authorized under **Part I.B.6.b** (Automatic Coverage) the following certification must be completed:

I Karri Marshall (Typed or Printed Name of Person Completing this Certification) certify under penalty of law that I have read and understand the eligibility requirements for claiming an authorization under Part I.B.2. of the ADEQ General Permit Number ARR150000. A stormwater pollution prevention plan has been developed and implemented according to the requirements contained in Part II.A.2.B & D of the permit. I am aware there are significant penalties for providing false information or for conducted unauthorized discharges, including the possibility of fine and imprisonment for knowing violations.



Signature and Title

07/12/16

Date

**LAMINATE AND POST ON OUTSIDE OF ADEQ MAILBOX ON JOB SITE**

Stormwater Pollution Prevention Plan (SWPPP) for Construction Activity  
for Small Construction Sites

National Pollutant Discharge Elimination System (NPDES)  
General Permit # ARR150000

Prepared for:  
6012 Wisteria Lane

Date:  
07-12-16

Prepared by:  
Karri Marshall



Project Name and Location: Lot 4Phase 1 Prairie Meadows Sub 6012 Wisteria Lane

Property Parcel Number (Optional): \_\_\_\_\_

Operator Name and Address: Turman Construction, Inc 6555 Hwy 1 South Jonesboro, AR

A. Site Description

- a. Project description, intended use after NOI is filed: single family residence  
spec home
- b. Sequence of major activities which disturb soils: Footings, driveway, grading  
-sodding of lot
- c. Total Area: 0.34 acres Disturbed Area: 0.34 acres

B. Responsible Parties:

Individual/Company	Phone Number	Service Provided for SWPPP (i.e., Inspector, SWPPP revisions, Stabilization Activities, BMP Maintenance, etc.)
Turman Construction, INC	870-931-0096	Rick and Sherry Turman

C. Receiving Waters

- a. The following waterbody (or waterbodies) receives stormwater from this construction site: detention pond thence into unnamed ditch, thence into steep cut creek to Black Fork Creek#1 to Big Creek Lateral(Whistle Ditch)to Big Creek Ditch to
- b. Is the project located within the jurisdiction of an MS4?  Yes  No
  - i. If yes, Name of MS4: CITY OF JONESBORO
- c. Ultimate Receiving Water:
  - St. Francis River
  - L'anguille River
  - Cache River

D. Site Map Requirements (Attach Site Map): Reference attached Sample Plan

- a. Pre-construction topographic view; ([www.efsedge.com/craighead/](http://www.efsedge.com/craighead/))

- b. Direction of stormwater flow (i.e., use arrows to show which direction stormwater will flow) and approximate slopes anticipated after grading activities;
- c. Delineate on the site map areas of soil disturbance and areas that will not be disturbed under the coverage of this permit;
- d. Location of major structural and nonstructural controls identified in the plan;
- e. Location of main construction entrance and exit;
- f. Location where stabilization practices are expected to occur;
- g. Locations of off-site materials, waste, borrow area, or equipment storage area;
- h. Location of areas used for concrete wash-out;
- i. Location of all surface water bodies (including wetlands);
- j. Locations where stormwater is discharged to a surface water and/or municipal separate storm sewer system if applicable;
- k. Locations where stormwater is discharged off-site (should be continuously updated);
- l. Areas where final stabilization has been accomplished and no further construction phase permit requirements apply.

E. Stormwater Controls

- a. Initial Site Stabilization, Erosion and Sediment Controls, and Best Management Practices:

- i. Initial Site Stabilization: Construction Entrance - Minimal Soil disturbance & other BMPs as required
- ii. Erosion and Sediment Controls: Silt Fence or other measures to retain sediment on-site to Maximum Extent Practical (MEP)
- iii. If periodic inspections or other information indicates a control has been used inappropriately or incorrectly, the operator will replace or modify the control for site situations:  Yes  No  
If No, explain: \_\_\_\_\_

- iv. Off-site accumulations of sediment will be removed at a frequency sufficient to minimize off-site impacts:  Yes  No  
If No, explain: \_\_\_\_\_

- v. Sediment will be removed from sediment traps or sedimentation ponds when design capacity has been reduced by 50%:  Yes  No  
If No, explain: \_\_\_\_\_

- vi. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges:  Yes  No  
If No, explain: \_\_\_\_\_
  
- vii. Off-site material storage areas used solely by the permitted project are being covered by this SWPPP:  Yes  No  
If Yes, explain additional BMPs implemented at off-site material storage area: \_\_\_\_\_
  
- b. Stabilization Practices
  - i. Description and Schedule: Existing vegetation preserved where attainable, disturbed areas will be stabilized with sod, mulch, other BMPs or controls  
Are buffer areas required?  Yes  No  
If Yes, are buffer areas being used?  Yes  No  
If No, explain why not: all water flows to detention pond  
\_\_\_\_\_  
If Yes, describe natural buffer areas: \_\_\_\_\_
  
  - iii. A record of the dates when grading activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated shall be included with the plan.  
 Yes  No  
If No, explain: \_\_\_\_\_
  
  - iv. Deadlines for stabilization: Stabilization procedures will be initiated 14 days after construction activity temporarily ceases on a portion of the site.
  
- c. Structural Practices
  - i. Describe any structural practices to divert flows from exposed soils, store flows, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site: Silt fence will be installed to divert and slow down sediment runoff  
\_\_\_\_\_  
\_\_\_\_\_
  
  - ii. Sediment Basins:  
Are 10 or more acres draining to a common point?  Yes  No

Is a sediment basin included in the project?  Yes  No

If Yes, what is the designed capacity for the storage?

3600 cubic feet per acre = : \_\_\_\_\_

or

10 year, 24 hour storm = : \_\_\_\_\_

Other criteria were used to design basin: \_\_\_\_\_

\_\_\_\_\_

If No, explain why no sedimentation basin was included and describe required natural buffer areas and other controls implemented instead: \_\_\_\_\_

iii. Describe Velocity Dissipation Devices: silt fence

F. Other Controls

a. Solid materials, including building materials, shall be prevented from being discharged to Waters of the State:  Yes  No

b. Off-site vehicle tracking of sediments and the generation of dust shall be minimized through the use of:

A stabilized construction entrance and exit

Vehicle tire washing

Other controls, describe: \_\_\_\_\_

c. Temporary Sanitary Facilities: Sanitary unit on site to be serviced by a professional regularly

d. Concrete Waste Area Provided:

Yes

No. Concrete is used on the site, but no concrete washout is provided.

Explain why: \_\_\_\_\_

N/A, no concrete will be used with this project

e. Fuel Storage Areas, Hazardous Waste Storage, and Truck Wash Areas: N/A

G. Non-Stormwater Discharges

a. The following allowable non-stormwater discharges comingled with stormwater are present or anticipated at the site:

Fire-fighting activities;

Fire hydrant flushings;

- Water used to wash vehicles (where detergents or other chemicals are not used) or control dust in accordance with Part II.A.4.H.2;
  - Potable water sources including uncontaminated waterline flushings;
  - Landscape Irrigation;
  - Routine external building wash down which does not use detergents or other chemicals;
  - Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled materials have been removed) and where detergents or other chemicals are not used;
  - Uncontaminated air conditioning, compressor condensate (See Part I.B.12.C of the permit);
  - Uncontaminated springs, excavation dewatering and groundwater (See Part I.B.12.C of the permit);
  - Foundation or footing drains where flows are not contaminated with process materials such as solvents (See Part I.B.12.C of the permit);
- b. Describe any controls associated with non-stormwater discharges present at the site: No additional controls needed on site
- 

H. Applicable State or Local Programs: The SWPPP will be updated as necessary to reflect any revisions to applicable federal, state, or local requirements that affect the stormwater controls implemented at the site.  Yes  No

I. Inspections

- a. Inspection frequency:
  - Every 7 calendar days
  - or
  - At least once every 14 calendar days and within 24 hours of the end of a storm even 0.5 inches or greater (a rain gauge must be maintained on-site)
- b. Inspections:
  - Completed inspection forms will be kept with the SWPPP.
  - ADEQ's inspection form will be used (See Appendix B)
  - or
  - A form other than ADEQ's inspection form will be used and is attached (See inspection form requirements Part II.A.4.L.2)
- c. Inspection records will be retained as part of the SWPPP for at least 3 years from the date of termination.
- d. It is understood that the following sections describe waivers of site inspection requirements. All applicable documentation requirements will be followed in accordance with the referenced sections.
  - i. Winter Conditions (Part II.A.4.L.3)
  - ii. Adverse Weather Conditions (Part II.A.4.L.4)

J. Maintenance:

The following procedures to maintain vegetation, erosion and sediment control measures and other protective measures in good, effective operating condition will be followed: Remove minimal amounts of vegetation, daily visual checks, daily cleanup, weekly hardcopy inspections and routine maintenance.

Any necessary repairs will be completed, when practicable, before the next storm event, but not to exceed a period of 3 business days of discovery, or as otherwise directed by state or local officials.

K. Employee Training:

The following is a description of the training plan for personnel (including contractors and subcontractors) on this project: Inform all parties of the SWPPP requirements, their responsibility to follow the guidelines of the SWPPP, contractors and sub-contractors responsibility to pick up loose trash and construction debris at the end of each day

\*\*Note, Formal training classes given by Universities or other third-party organizations are not required, but recommended for qualified trainers; the permittee is responsible for the content of the training being adequate for personnel to implement the requirements of the permit.

Certification

"I certify under penalty of law that this document and all attachments such as Inspection Form were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Responsible or Cognizant Officer: \_\_\_\_\_

Title: \_\_\_\_\_ Date: 07/12/16

Signature of Builder or Contractor: 

Date: 07/12/16

City of

**Jonesboro**  
ARKANSAS



City of Jonesboro  
Engineering Department  
Municipal Building  
PO Box 1845  
300 South Church Street  
Jonesboro, AR 72401  
Phone: (870) 932-2438

## Construction Site Inspection Form

Inspector Name: \_\_\_\_\_ Site Address: \_\_\_\_\_

Inspector Title: \_\_\_\_\_ Date of Inspection: \_\_\_\_\_

Days Since Last Rain Event: \_\_\_\_\_ days      Approximate Rainfall Since Last Rain Event: \_\_\_\_\_ inches

Any Discharges During Inspection:    Yes     No     If Yes:    Sediment:     Other:

Any Evidence of Existing Discharges:    Yes     No     If Yes: (Specify Pollutant & Location): \_\_\_\_\_

Any Additional Controls/BMP's Required:    Yes     No

If Yes Describe Locations: \_\_\_\_\_

Any Soil Disturbance Activity Updates:    Yes     No

If Yes Update Activities: \_\_\_\_\_

Location of Activities	Activity Begin Date	Activity Occurring Now (y/n)	Activity Ceased Date	Stabilization Initiated Date	Stabilization Completion Date

Any Stormwater Controls Require Maintenance:    Yes     No     If Yes Update Information Below:

Site Location	Scheduled Date	Maintenance to be Performed By	Completed Date

Any Changes Required to SWPPP/Erosion Control Plan:    Yes     No

If Yes Describe Changes: \_\_\_\_\_  
Reasons: \_\_\_\_\_

Changes Completion Date: \_\_\_\_\_

"I certify under penalty of law that this document and all attachments such as Inspection Form were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete, I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Responsible or Cognizant Official: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_

# ARR150000 Inspection Form

Appendix A

Inspector Name: \_\_\_\_\_  
 Inspector Title: \_\_\_\_\_

Date of Inspection: \_\_\_\_\_

Date of Rainfall: \_\_\_\_\_  
 Days Since Last Rain Event: \_\_\_\_\_ days

Duration of Rainfall: \_\_\_\_\_  
 Rainfall Since Last Rain Event: \_\_\_\_\_ inches

Description of any Discharges During Inspection: \_\_\_\_\_  
 Location of Discharges of Sediment/Other Pollutant (specify pollutant & location): \_\_\_\_\_

Locations in Need of Additional BMPs: \_\_\_\_\_

## Information on Location of Construction Activities

Location	Activity Begin Date	Activity Occurring Now (y/n)?	Activity Ceased Date	Stabilization Initiated Date	Stabilization Complete Date

## Information on BMPs in Need of Maintenance

Location	In Working Order?	Maintenance Scheduled Date	Maintenance Completed Date	Maintenance to be Performed By

Changes required to the SWPPP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 SWPPP changes completed (date): \_\_\_\_\_

Reasons for changes: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

"I certify under penalty of law that this document and all attachments such as Inspection Form were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Responsible or Cognizant Officer: \_\_\_\_\_ Date: \_\_\_\_\_  
 Title: \_\_\_\_\_



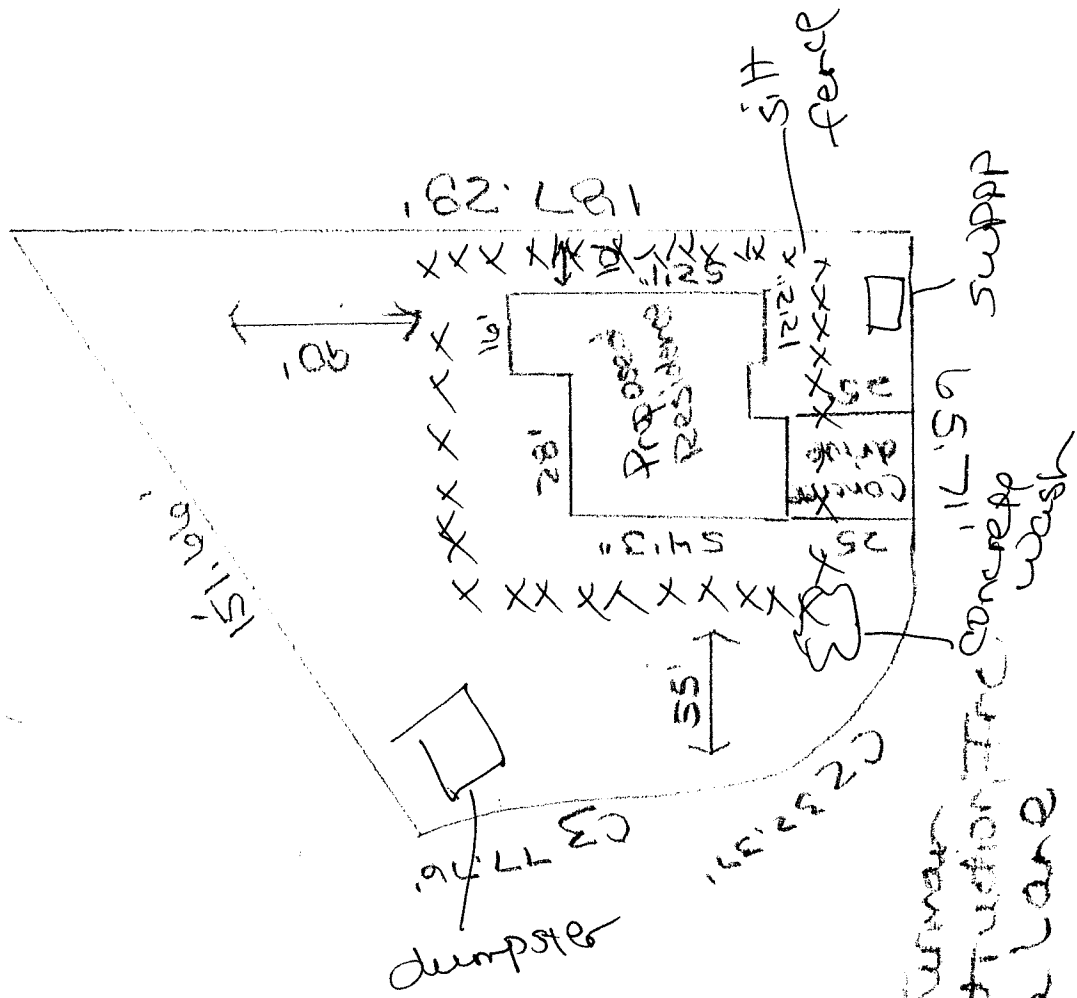
The BMPs listed here should be considered for every project. Those BMPs that are not included in the SWPPP should be checked as "Not Used" with a brief statement describing why it is not being used.

EROSION CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
EC-1 Scheduling	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
EC-2 Preservation of Existing Vegetation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
EC-3 Hydraulic Mulch	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-4 Hydroseeding	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-5 Soil Binders	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not applicable
EC-6 Straw Mulch	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-7 Geotextiles & Mats	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not applicable
EC-8 Wood Mulching	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Straw mulch
EC-9 Earth Dikes & Drainage Swales	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Flat terrain, low flows
EC-10 Velocity Dissipation Devices	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Flat terrain, low flows
EC-11 Slope Drains	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Flat terrain
EC-12 Stream bank Stabilization	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not applicable
SEDIMENT CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
SE-1 Silt Fence	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
SE-2 Sediment Basin	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Small site, detention pond
SE-3 Sediment Trap	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Small site, detention pond
SE-4 Check Dam	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not applicable
SE-5 Fiber Rolls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-6 Gravel Bag Berm	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Not applicable
SE-7 Street Sweeping and Vacuuming	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
SE-8 Sand Bag Barrier	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-9 Straw Bale Barrier	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-10 Storm Drain Inlet Protection	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-11 Chemical Treatment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not applicable
WIND EROSION CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
WE-1 Wind Erosion Control	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

TRACKING CONTROL BMPs

SWPPP NOTES:

1. ENTIRE ~~0.25~~ ACRE LOT TO BE DISTURBED AND WILL BE SODDED OR SEEDED AFTER CONSTRUCTION IS COMPLETE.
2. ALL CONTROL MEASURES WILL BE CONTINUOUSLY MAINTAINED TO ENSURE EROSION OR SEDIMENT DOES NOT LEAVE THE CONSTRUCTION SITE.
3. ALL EROSION OR SEDIMENT THAT LEAVES THE CONSTRUCTION SITE WILL BE REMOVED AS SOON AS POSSIBLE.
4. A STABILIZED 20' X 50' B-STONE CONSTRUCTION ENTRANCE WILL BE PLACED AT THE SITE ENTRANCE TO MINIMIZE OFF-SITE TRACKING.
5. THE CONCRETE WASH-OUT PIT WILL BE AN EXCAVATED DEPRESSION BELOW NATURAL GROUND AND LINED WITH PLASTIC.
6. INSPECTIONS WILL BE PERFORMED EVERY 7 DAYS.



Rick + Sherry Turner  
 Turner Construction, Inc.  
 6012 Wisteria Lane  
 Lot 4 Phase 1  
 Prairie Meadows Subdivision  
 Jonesboro, AR



Planning Charge Sheet

**Residential Approvals – Planning Review (select all that apply) 01-0731:**

- Single Family Dwelling
- Single Family Additions
- Walls, Fences, Decks Etc
- Multiple Family Dwelling
- Single Family Alterations
- Multi Family Additions
- Detached/Accessory Bldg
- Swimming Pools
- Multi Family Accessory Bldg

**Commercial Approvals – Planning Review (select all that apply) 01-0732:**

- Building \_\_\_\_\_ Sqft.
- Accessory Bldgs, etc.
- Gravel Mining
- Temp Tents, Trailers & Structures
- Interior Alterations/Repairs
- Parking Lots
- Change of Use
- Awnings/Canopies
- Landfill and Extraction
- Storage Tanks

**Residential Zoning Districts : (Zoning Map Amendments) 01-0516:**

- Single Family Districts \_\_\_\_\_ Acres
- Multi Family Districts \_\_\_\_\_ Acres

**Non-Residential Zoning Districts : (Zoning Map Amendments) 01-0516:**

- Zoning Map Amendments \_\_\_\_\_ Acres

**Special District Applications 01-0516:**

- Village Residential Overlay
- Planned Development District \_\_\_\_\_ phase (preliminary, final, modification)

**Board of Zoning Appeals Fee 01-0516:**

- Residential
- Commercial
- Conditional Use
- Compatible Non-Conforming Use

**Subdivision Planning Fees 01-0733:**

- Minor Plats & Replats
- Reviews MAPC Approval: \_\_\_\_\_ Lots \_\_\_\_\_ Acres

**On/Off-Premise Signage Permits – Planning Review 01-0734:**

- Billboards
- Construction Sign
- Directional Sign \_\_\_\_\_ Sqft
- Promo Event
- Corner or Interior Parcel Sign \_\_\_\_\_ Sqft
- High Rise Interstate \_\_\_\_\_ faces
- Ground Sign \_\_\_\_\_ Sqft
- Pole Sign \_\_\_\_\_ Sqft
- Special Event Sign
- Bulletin Board \_\_\_\_\_ Sqft
- Wall & Awning \_\_\_\_\_ Sqft
- Marquee Sign \_\_\_\_\_ Sqft
- Grand Opening Sign

**Zoning Sign Deposit 01-0155:**  \_\_\_\_\_ Number of Signs

**Mapping and Duplicating Services Per Page 01-0735:**

- 8 ½" x 11" BW Copies
- Zoning Map 36"x50"
- Property Owner Search/Plat Map
- 8 ½" x 11" Color Map
- Land Use (36"x44")
- Over Size Page
- 11"x17" Map
- Zoning Resolution
- Zoning Certification Letter

Total Pages \_\_\_\_\_

Description: House Total Amount Due: \$50.00

Site Address: 6012 Western Lane Tracking No.: SER 16-400

Kick: Sherry Turnan Customer # \_\_\_\_\_

Carolee Date 7/12/16  
City Official

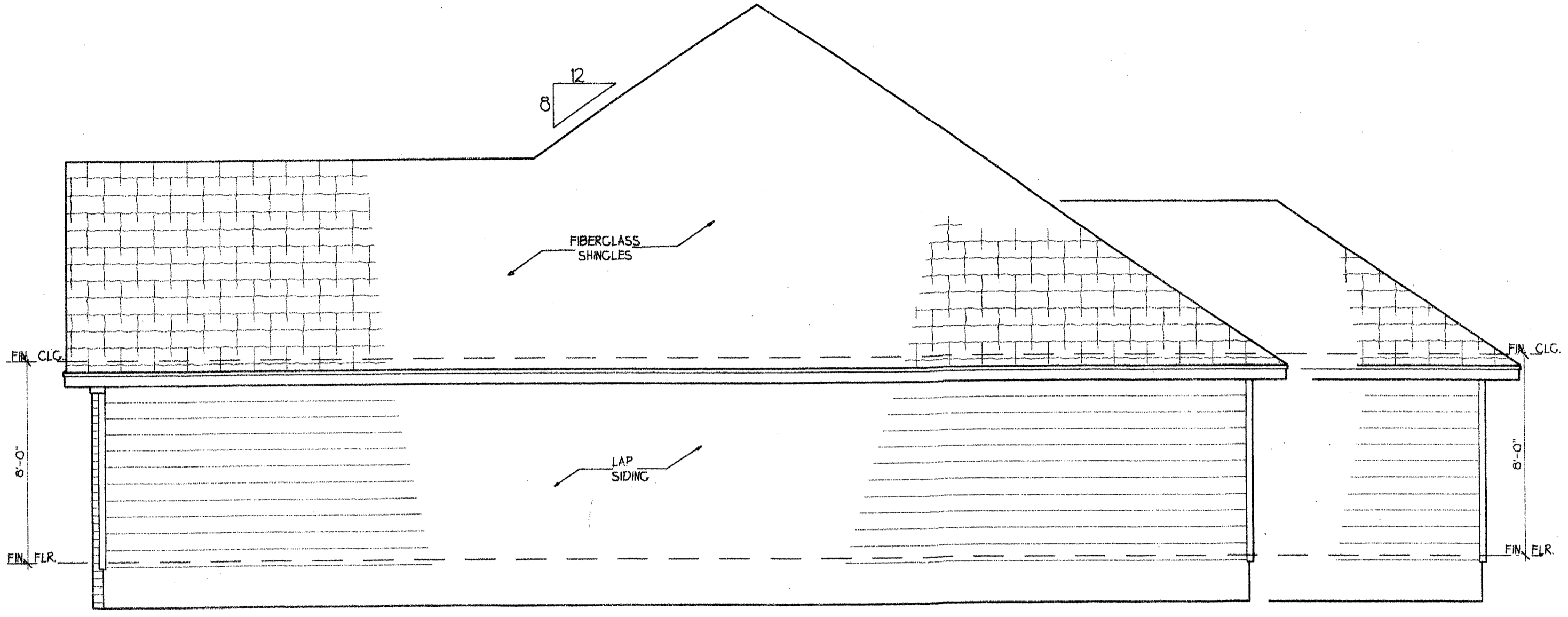


SFR 110-400

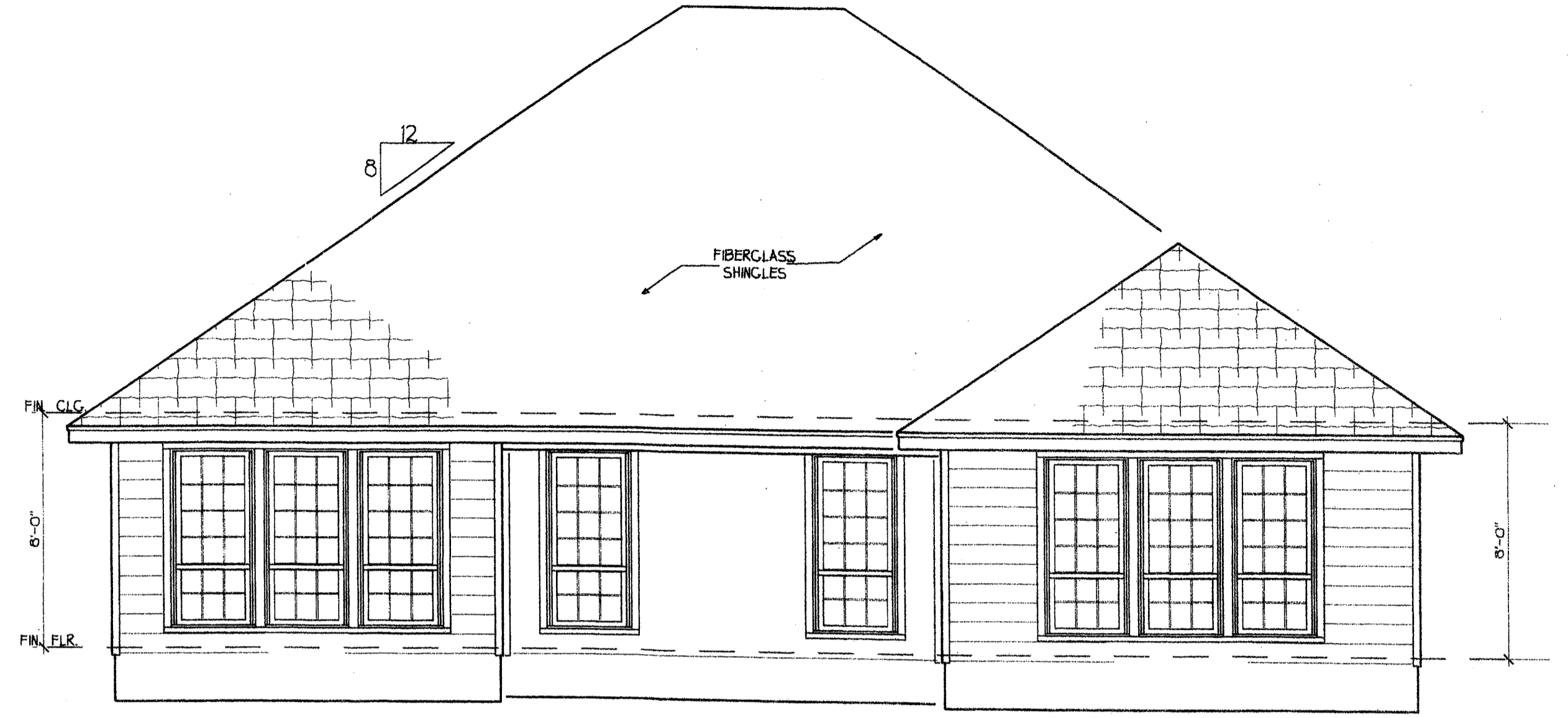
SFR 110-400

Rick + Sherry Turman  
Turman Construction, Inc  
6012 Wisteria Lane  
Lot 4 Phase 1 Prairie Meadows Sub  
Jonesboro, AR  
Approx 1670 sq ft constructed

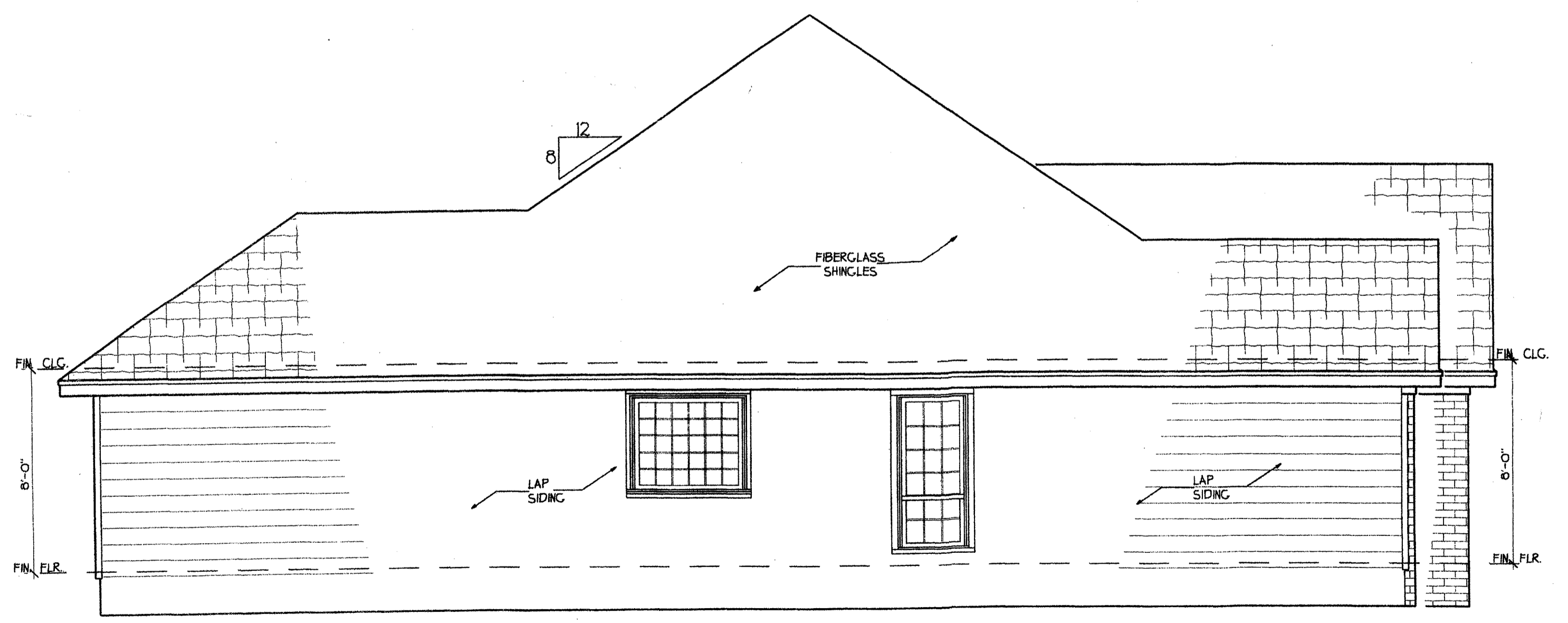
REVISIONS	BY



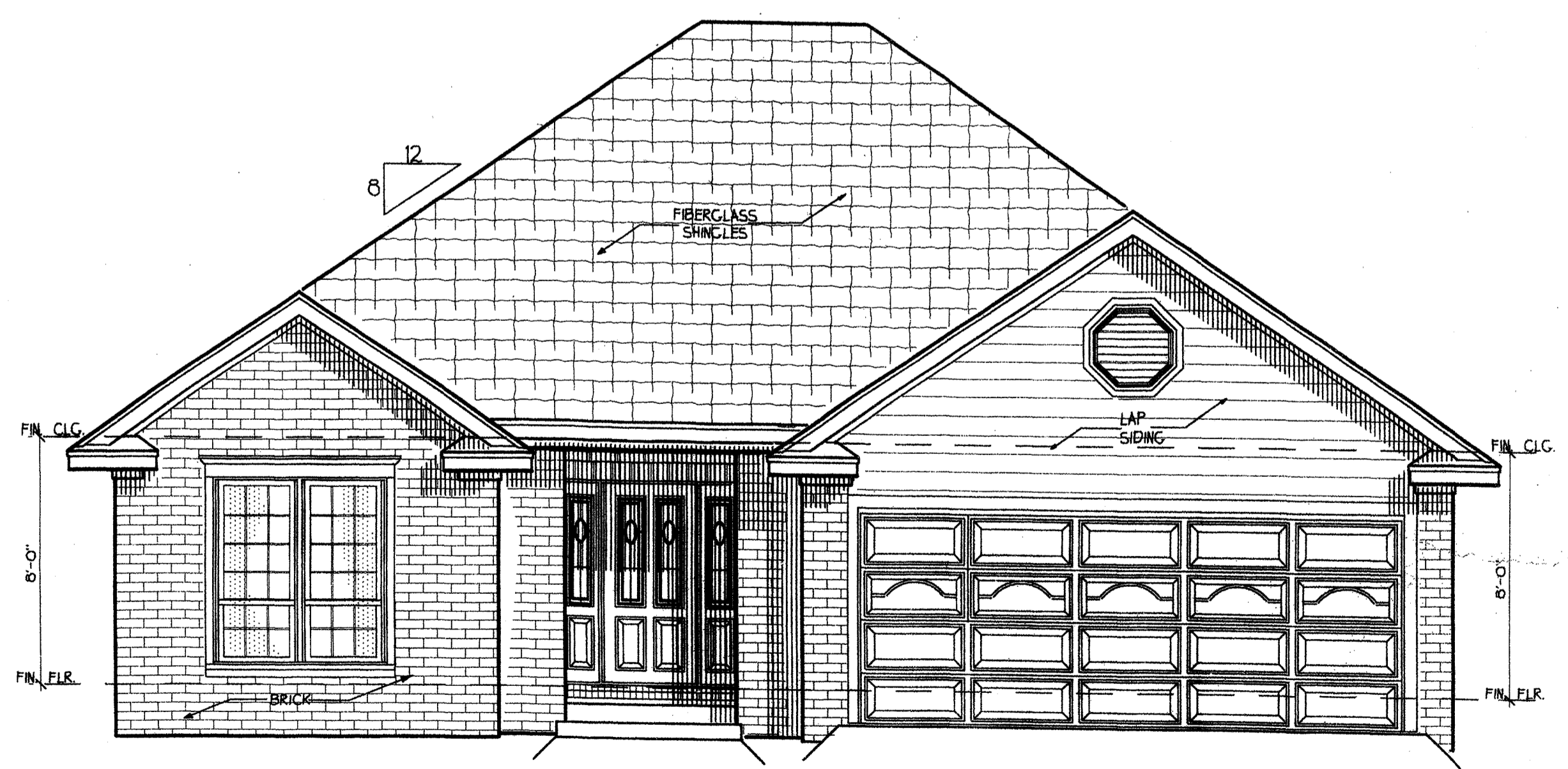
RIGHT SIDE ELEV.  
SCALE: 1/4" = 1'-0"



REAR ELEV.  
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEV.  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

\* Flipped

MATTIX BUILDING  
DESIGN INC.

870-935-9100

P.O. BOX 1841 Jonesboro Ar. 72403

PROJECT:  
MBD0109B

DRAWN : dum	CHECKED :
DATE :	
SCALE : AS NOTED	
JOB NO. :	
SHEET	
<b>A-1</b>	
OF	SHEETS

**GENERAL NOTES:**

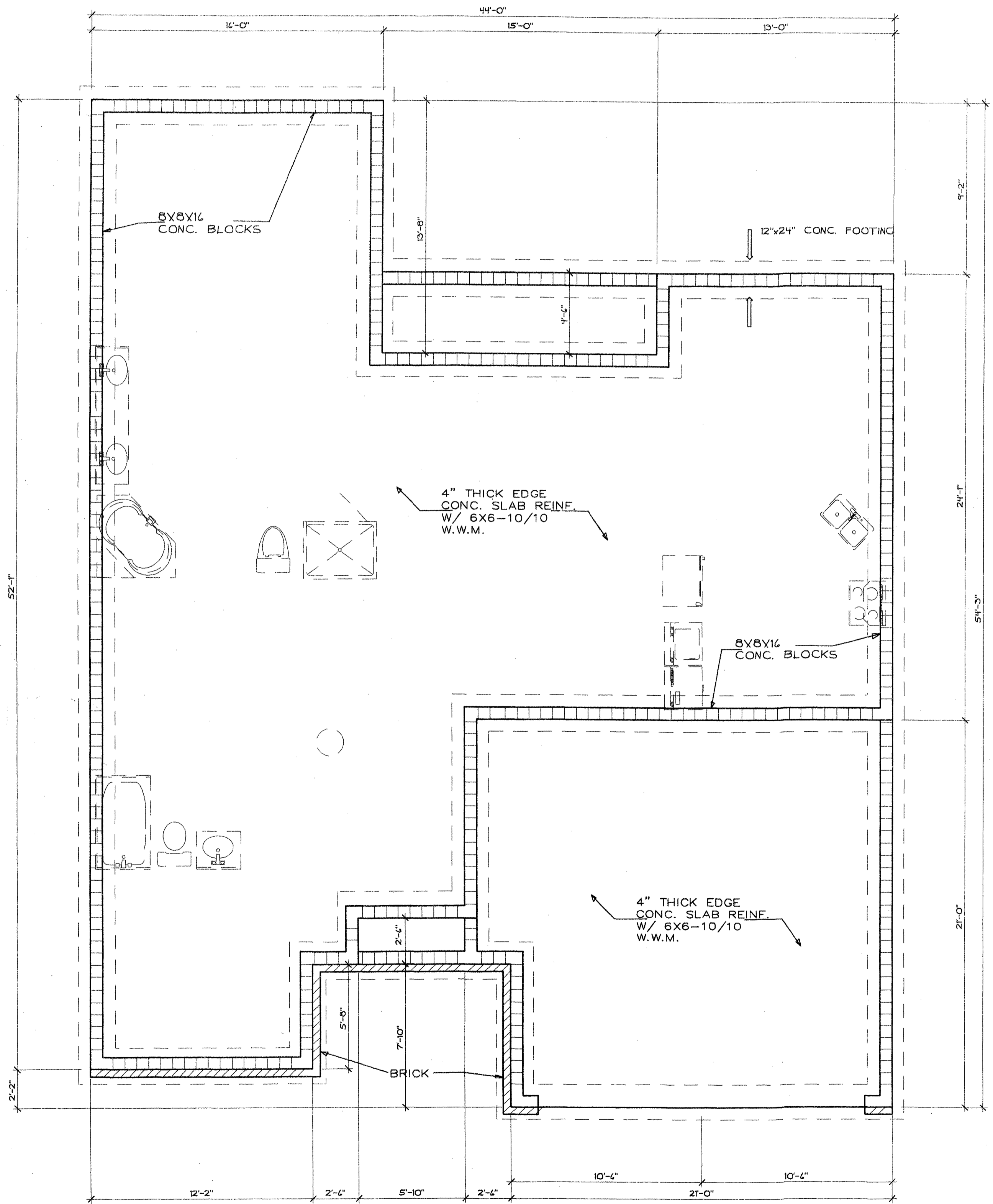
- All dimensions are to face of stud unless otherwise noted.
- All angles are 45 degrees unless otherwise noted.
- Contractor to verify all dimensions at construction site.
- Purchaser is responsible for compliance with all local building codes and ordinances.
- Bottom of all footings shall extend below frostline depth, verify depth.
- Exact size and reinforcement of all concrete footings must be determined by local soil conditions and acceptable practices of construction. Verify design with local engineer.
- Verify all structural elements with local engineer and building official.
- Contractor to size electrical system to meet local code requirements.
- Contractor to size heating and cooling loads as per local codes, climatic conditions and building orientation.
- Plumbing materials and installation to be done in accordance with local requirements.

**GENERAL FRAMING NOTES:**

- All framing to be 16" o.c. unless otherwise noted.
- Roof decking to be 1/2" CDX plywood.
- All lumber in contact with concrete or masonry shall be pressure treated.
- Anchor bolts shall be 1/2"x5"x40" o.c. and within 12" from the end of sills and corners. Provide minimum of 2 bolts per sill embedded 5/2" in footing.
- Provide radent and insect proofing where all plumbing, wiring and vents pass through plated as per code.
- Provide continuous 2" eave vent for attic ventilation.
- Exterior openings, valleys and other areas specified on plans to have an approved flashing.
- Exterior corners of structure to be braced with 1/2" CDX plywood.

**PREFABRICATED WOOD TRUSSES:**

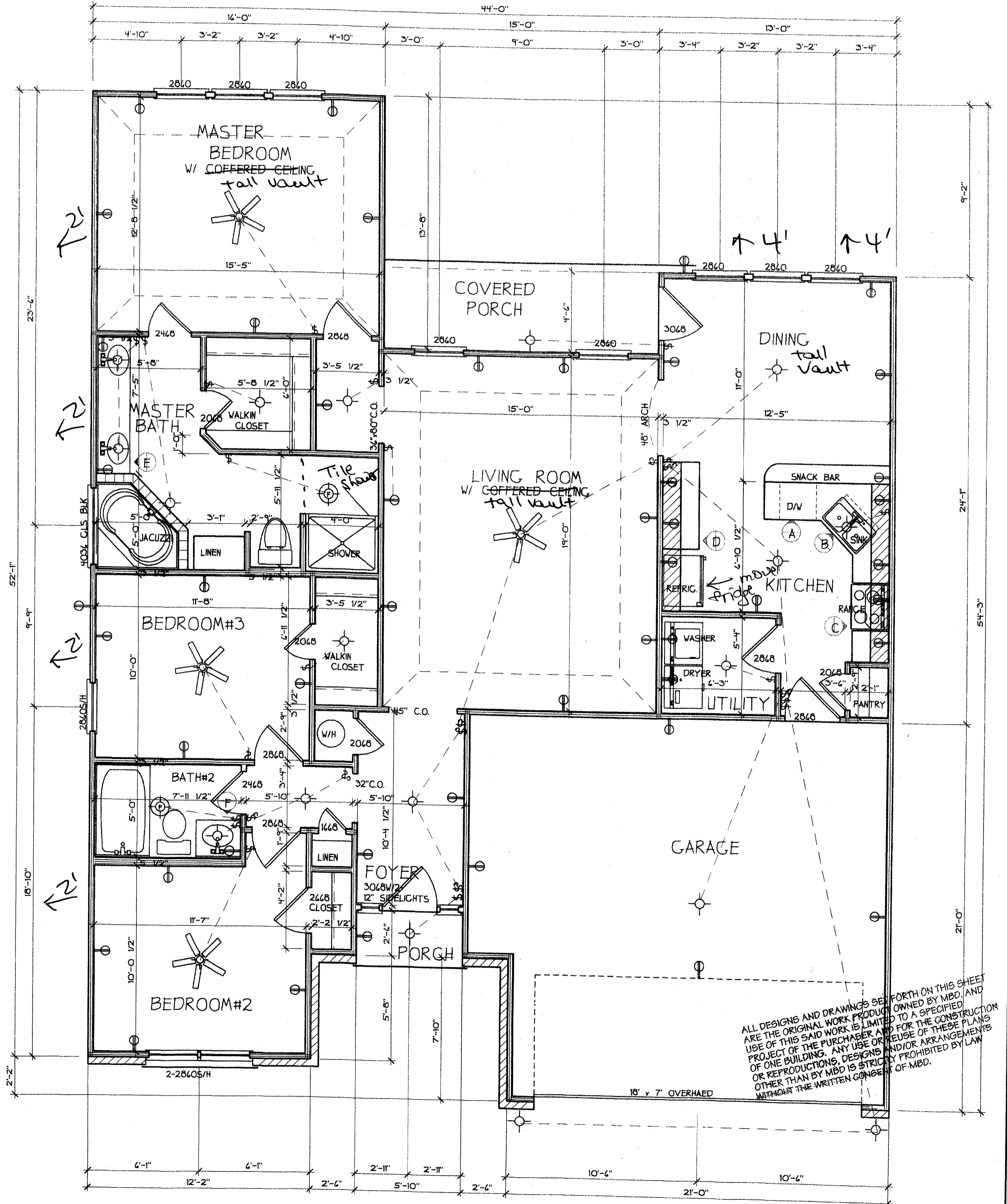
- Trusses connected with light gage metal plates shall be designed and fabricated in accordance with the Truss Plate Institute.
- Shop drawings shall be submitted to contractor for approval on each truss design. Each truss shop drawing indicating design loads and spacing bear the seal of a Registered Professional Engineer for the state in which the structure is built. Roof trusses shall have "X" bridging at 0'-0" o.c. maximum spacing. Roof truss "X" bridging shall be of 2x4s.



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**ELECTRICAL SYMBOLS**

⚡	SINGLE POLE SWITCH
⚡	3-WAY SWITCH
⊙	CEILING LIGHT FIXTURE
⊙	DUPLEX CONVENIENCE OUTLET
⊙	RANGE, DRYER, OVEN OUTLET
⊙	FLOOR DUPLEX CONV. OUTLET
⊙	EXHAUST FAN
⊙	CEILING FAN
⊙	SMOKE DETECTOR



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
Area = 1466.222 sq ft heated  
3/14/2

REVISIONS	BY

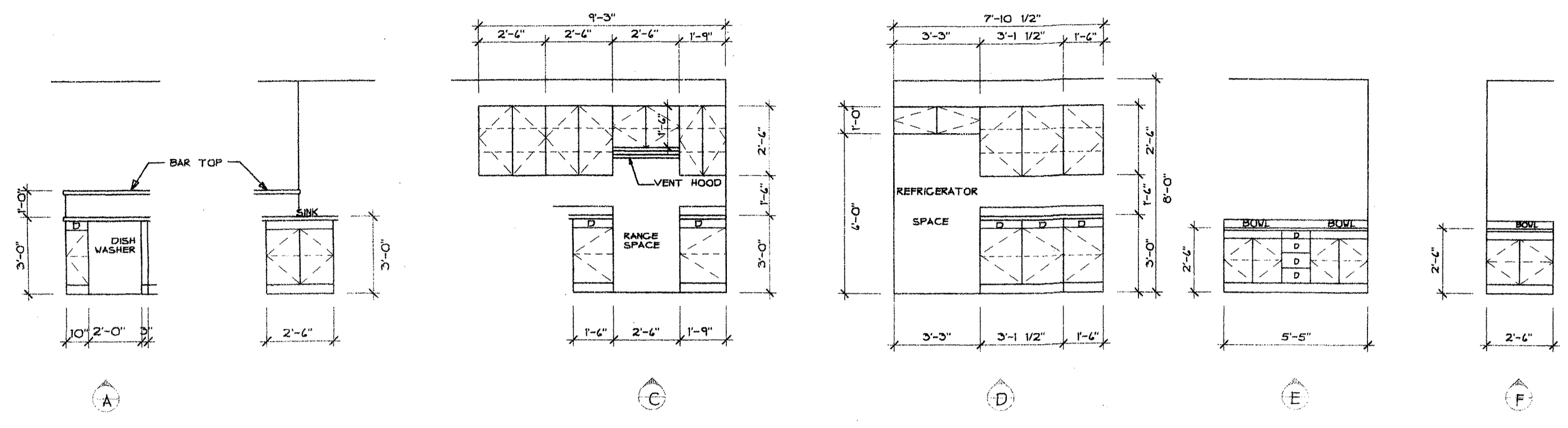
**MATTIX BUILDING DESIGN INC.**  
P.O. BOX 1841 Jonesboro Ar. 72403 870-935-9700

**PROJECT: MBD0109B**

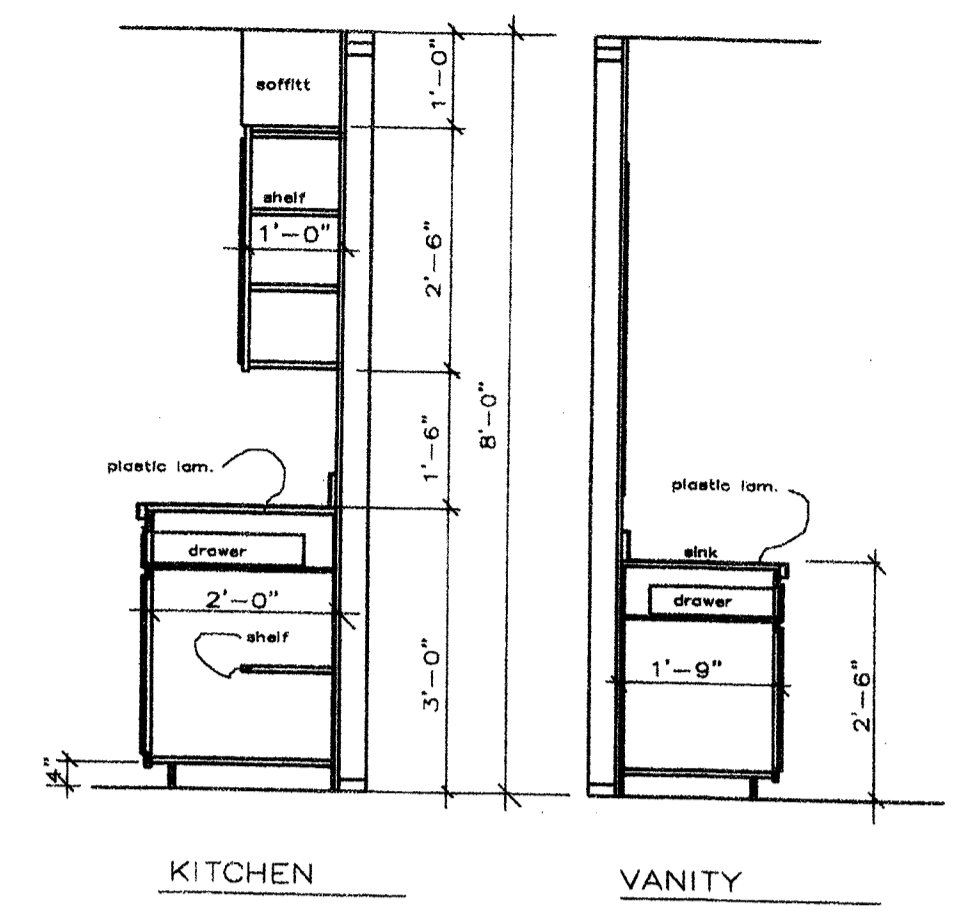
DRAWN : dum	CHECKED :
DATE :	
SCALE : AS NOTED	
JOB NO. :	
SHEET	
<b>A-2</b>	OF SHEETS

ALL DESIGNS AND DRAWINGS SET FORTH ON THIS SHEET ARE THE ORIGINAL WORK PRODUCED AND OWNED BY MBD AND ARE THE ORIGINAL WORK IS LIMITED TO A SPECIFIED PROJECT OF THE PURCHASER AND FOR THE CONSTRUCTION OF ONE BUILDING. ANY USE OR REPRODUCTION OF THESE PLANS OR REPRODUCTIONS, DESIGNS OR ARRANGEMENTS OTHER THAN BY MBD IS STRICTLY PROHIBITED BY LAW WITHOUT THE WRITTEN CONSENT OF MBD.

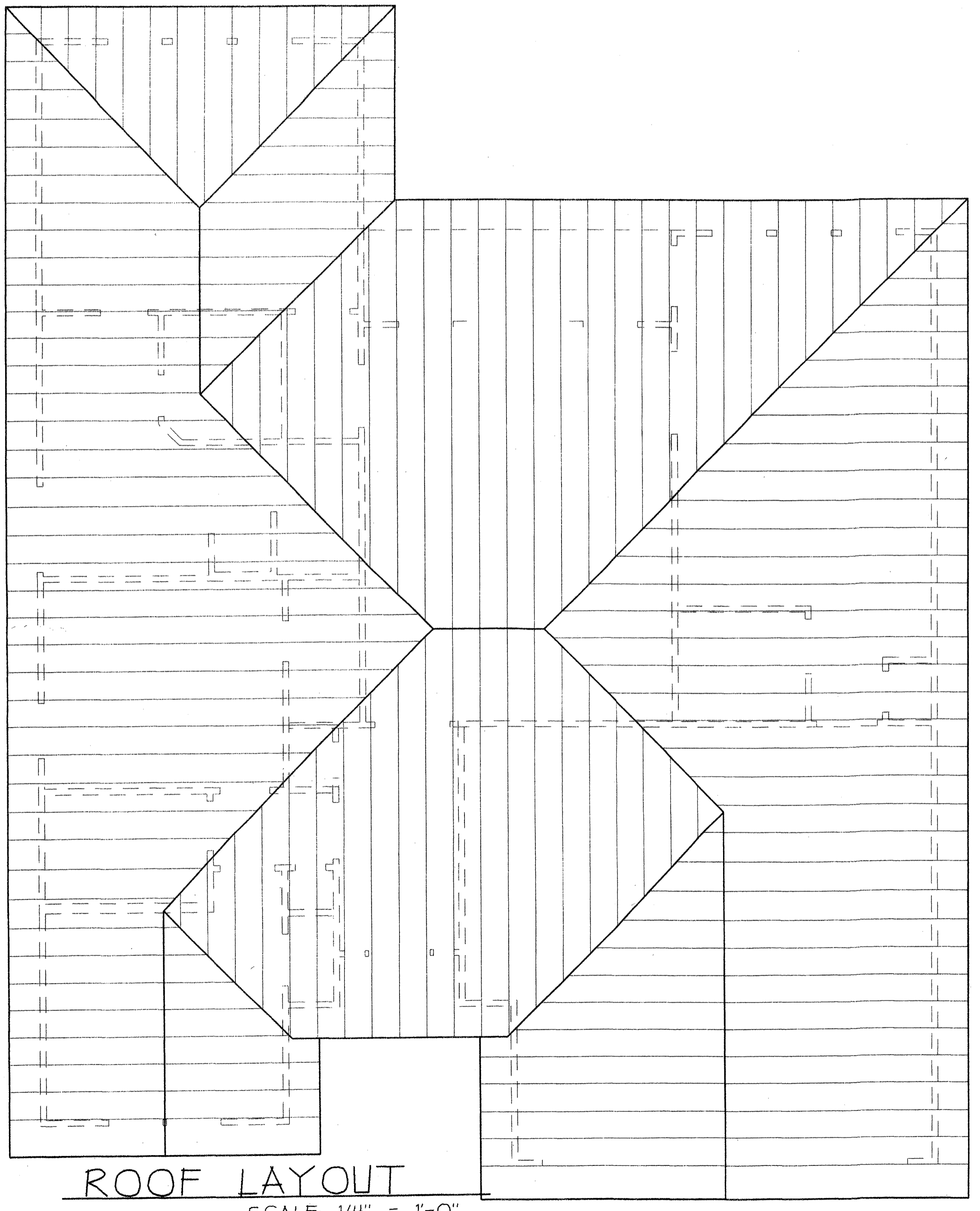
REVISIONS	BY



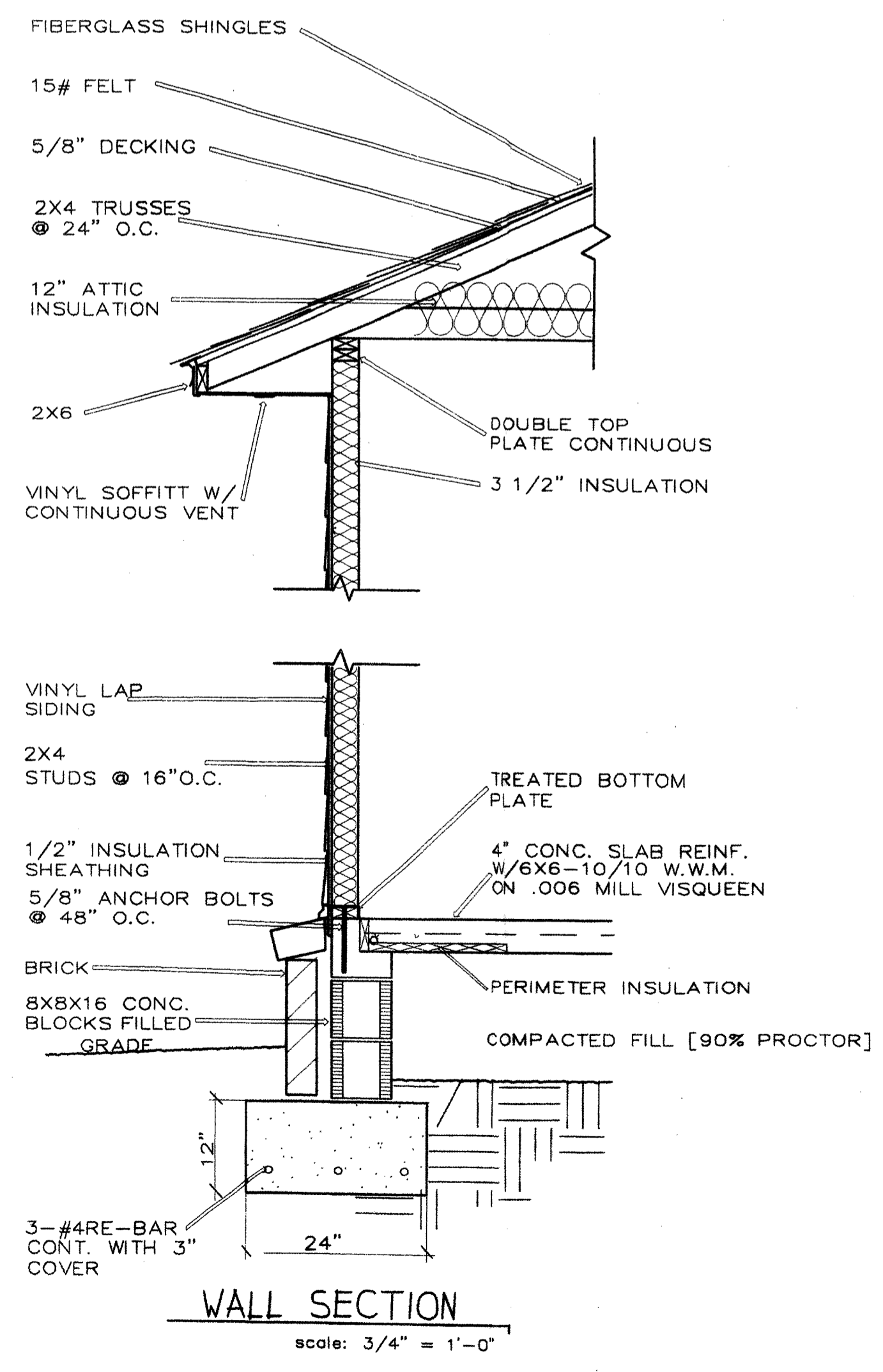
**CABINET ELEVATIONS**  
SCALE: 1/4" = 1'-0"



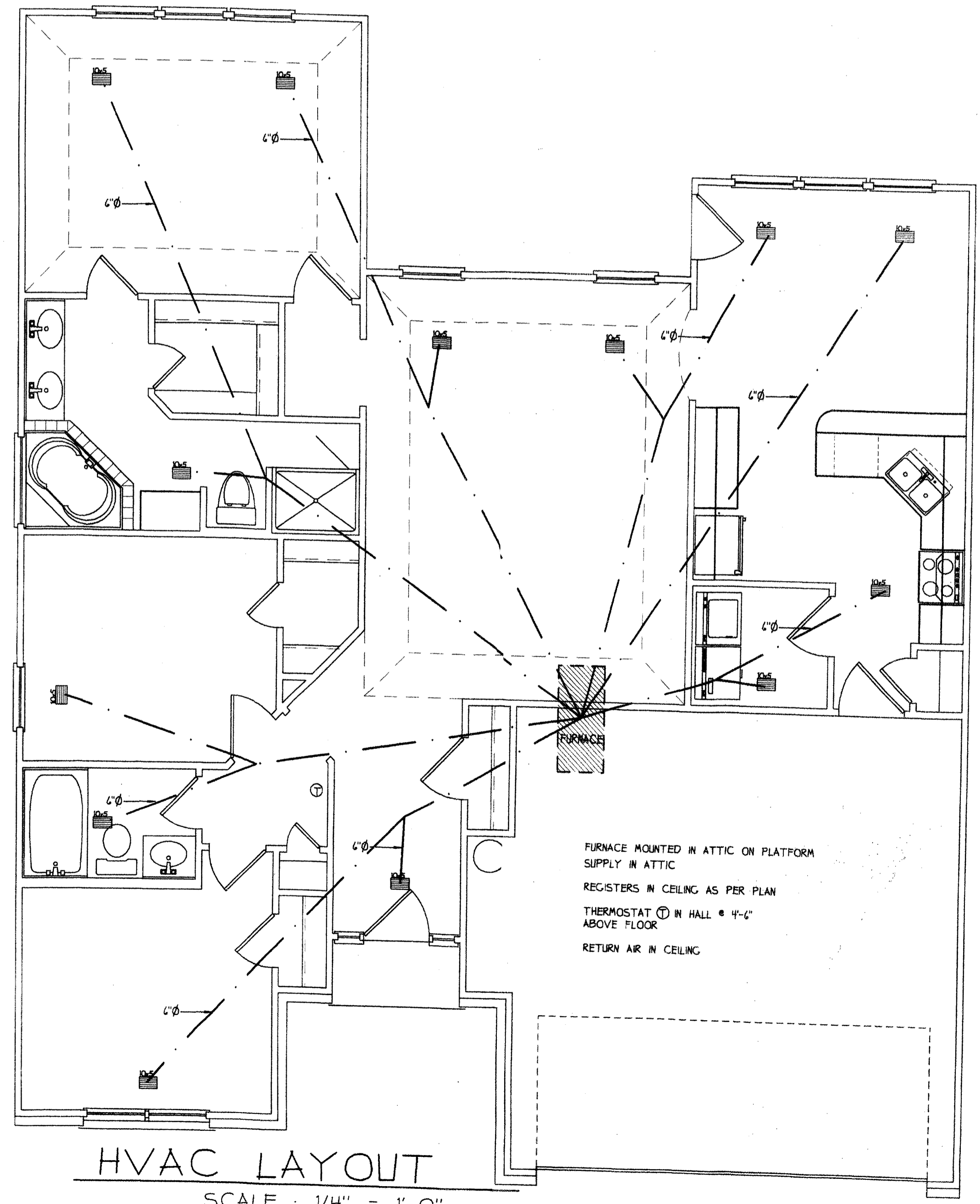
**CABINET SECTIONS**  
scale: 1/2" = 1'-0"



**ROOF LAYOUT**  
SCALE: 1/4" = 1'-0"



**WALL SECTION**  
scale: 3/4" = 1'-0"



**HVAC LAYOUT**  
SCALE: 1/4" = 1'-0"

**MATTIX BUILDING DESIGN INC.**  
P.O. BOX 1841 Jonesboro Ar. 72403 870-935-9700

**PROJECT: MBD0109B**

DRAWN : dum	CHECKED :
DATE :	
SCALE : AS NOTED	
JOB NO. :	
SHEET	
<b>A-3</b>	
OF	SHEETS