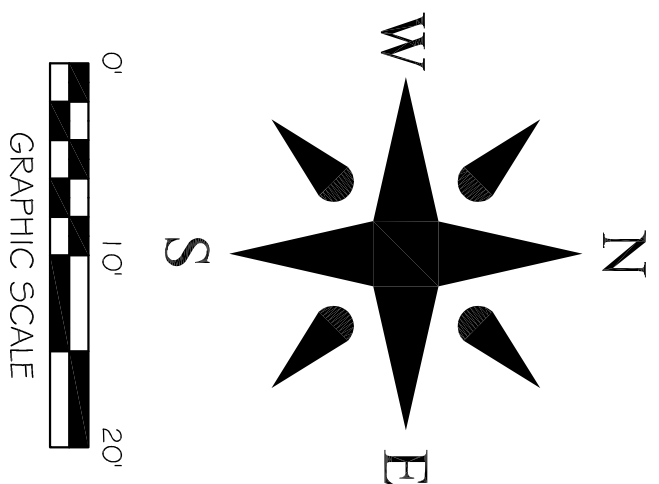
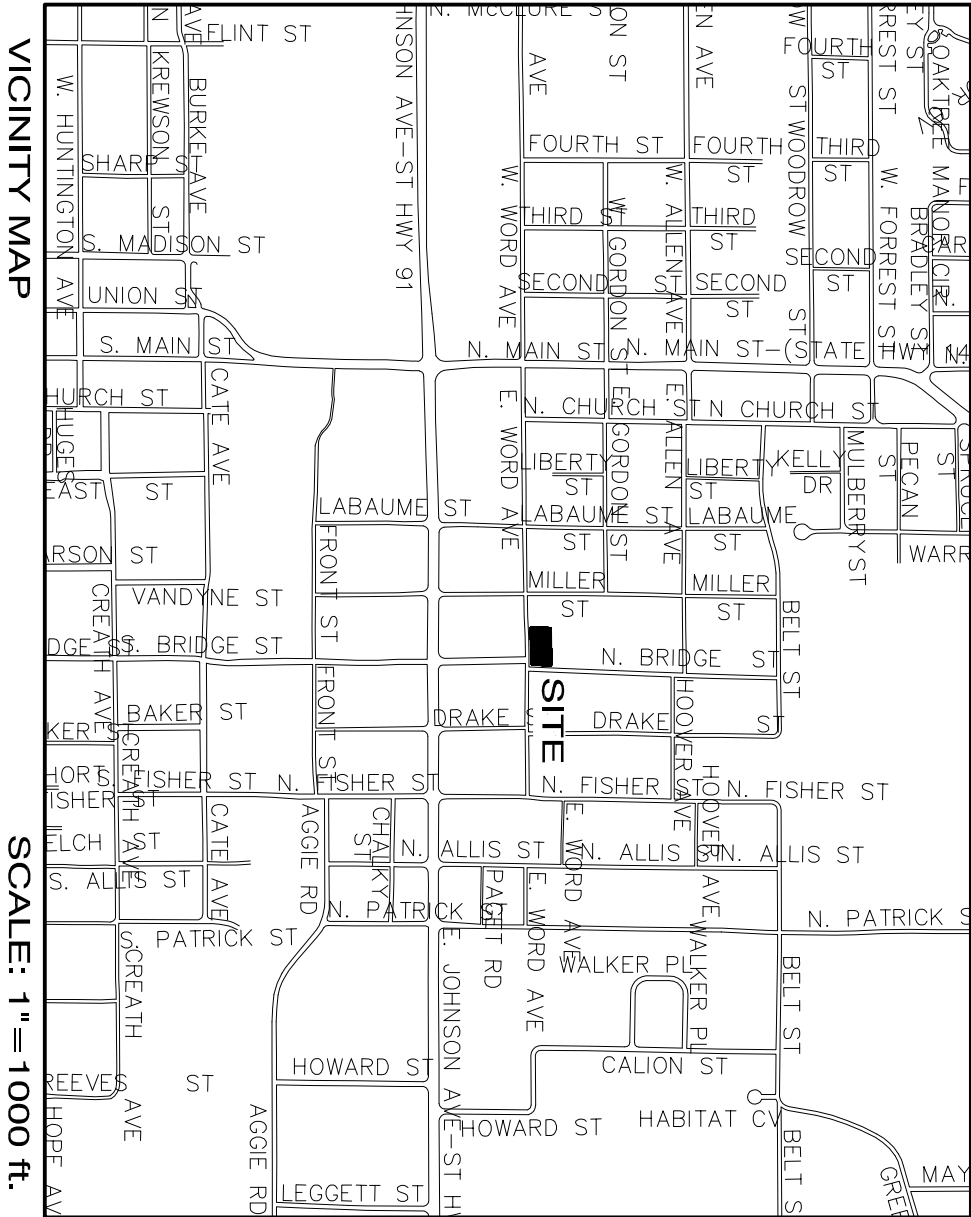
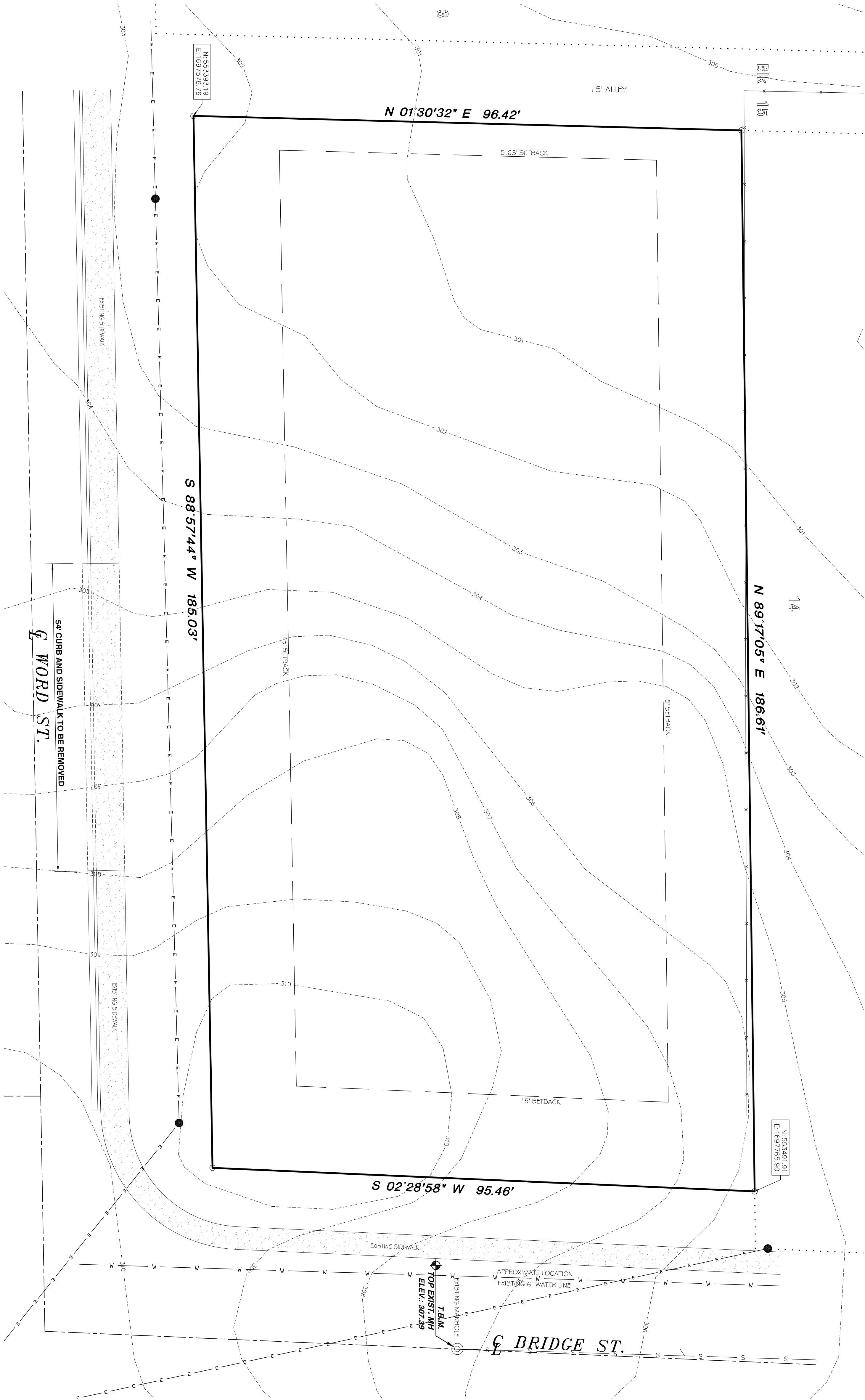


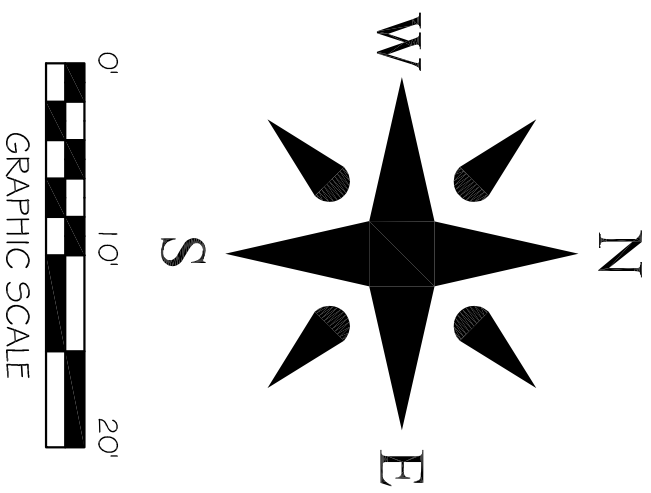
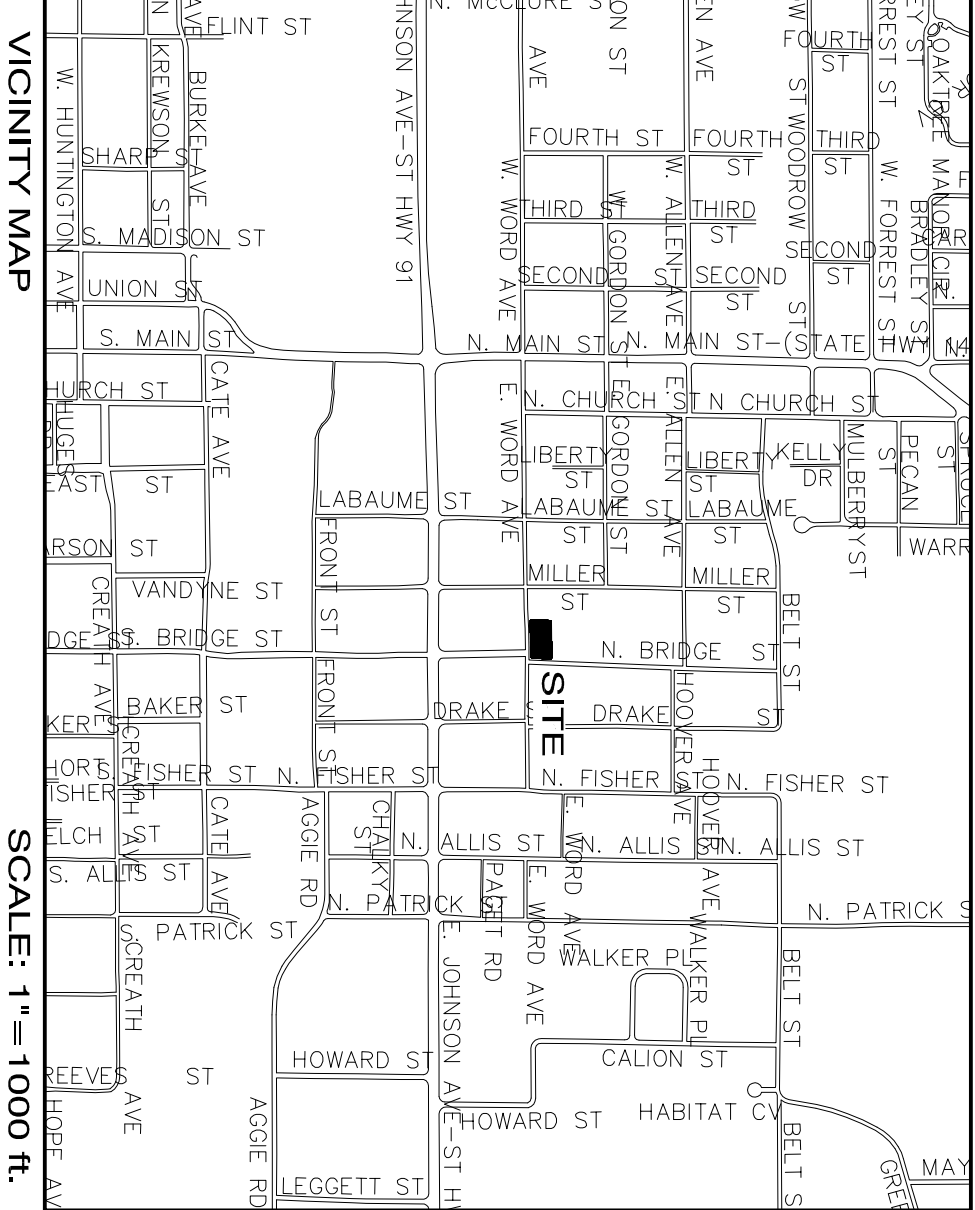
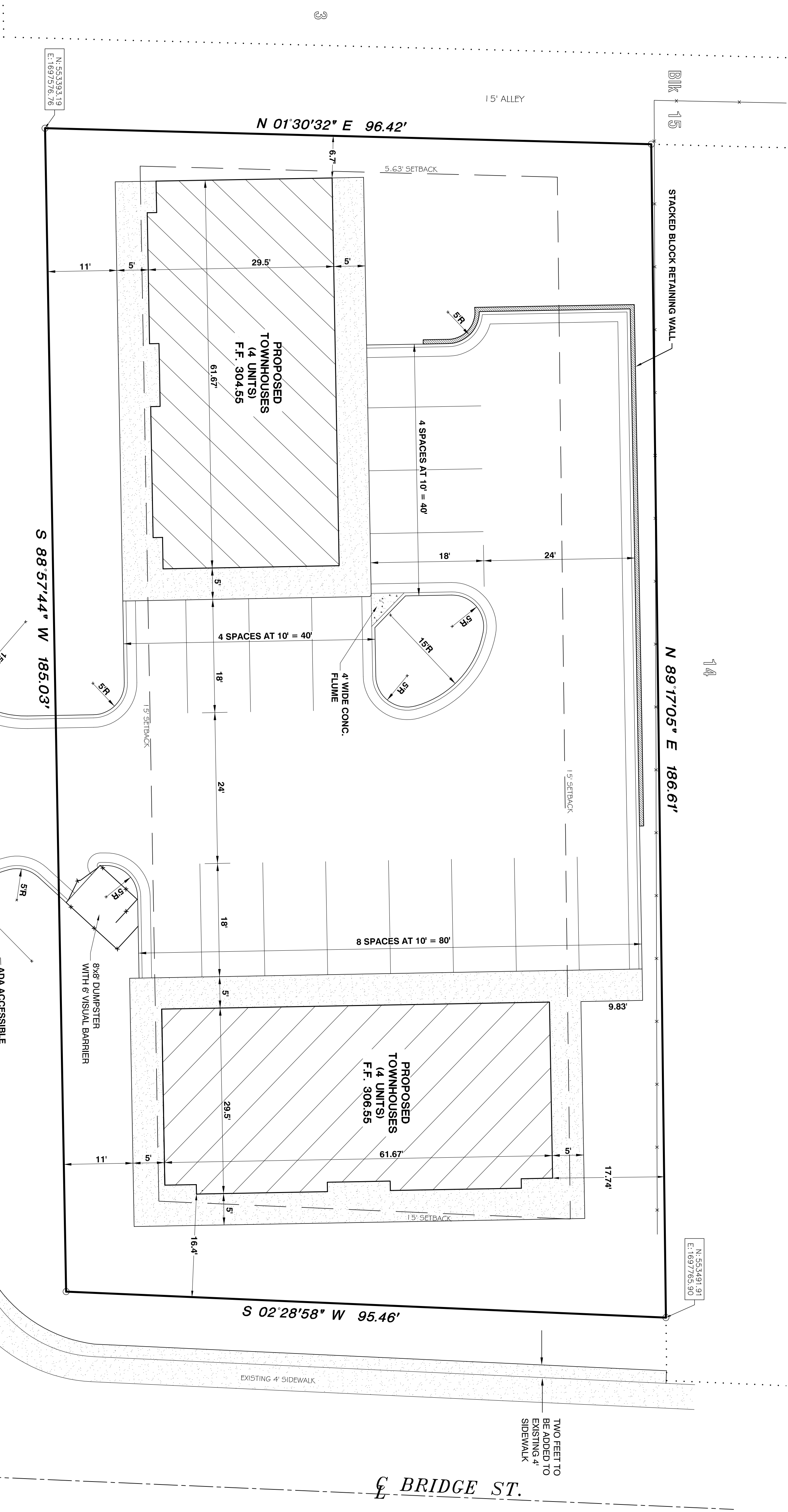


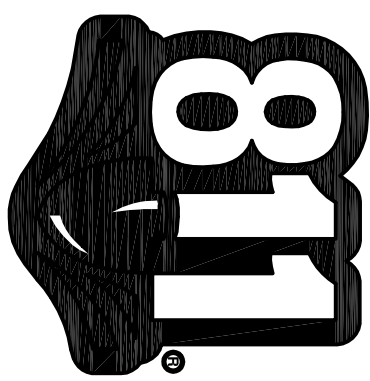
EXISTING CONDITIONS
301 N. BRIDGE ST.
JONESBORO, ARKANSAS
FOR
MR. CHARLES MABRY

ENGINEERS	PLANNERS	SURVEYORS
203 Southwest Dr.-Jonesboro, AR-(870)932-7880-www.civilogic.net		

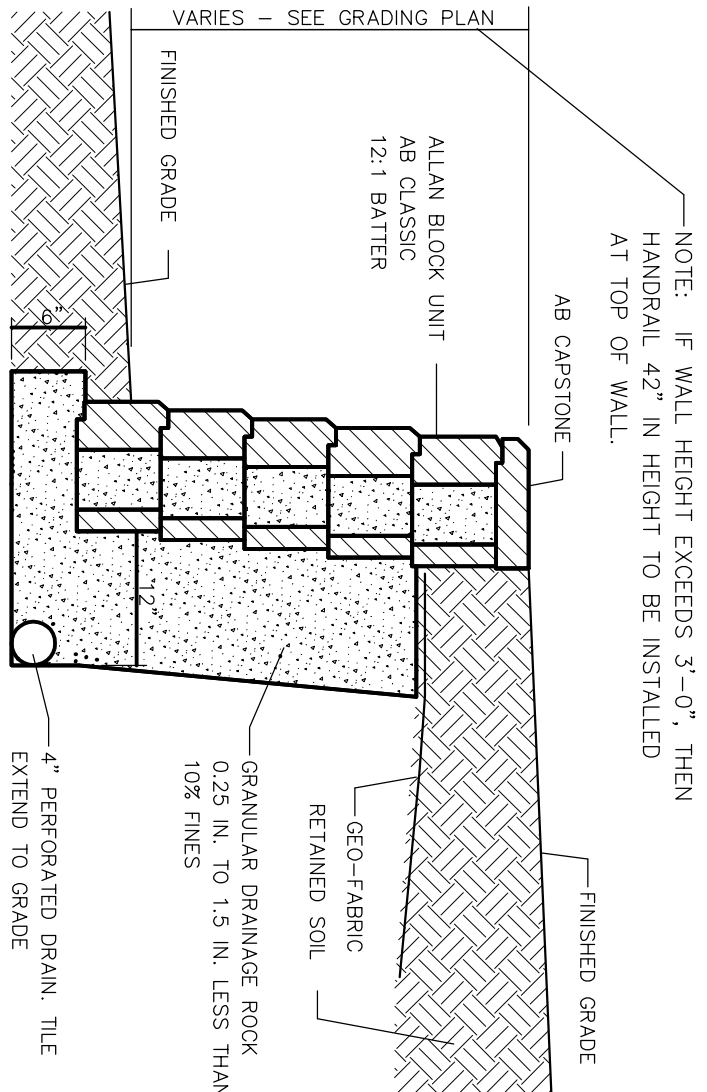
<i>Date</i> 3-5-2020	<i>Scale</i> 1"=10'	<i>Job No.</i> 119088	<i>Sheet No.</i> 1 of 7
<i>Section</i> 18	<i>Township</i> 14N	<i>Range</i> 04E	<i>County</i> CRAIGHEAD
<i>Drawn By:</i> RE	<i>Checked by:</i> GH		
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE ORIGINAL CIVILOGIC COPIES			
© 2020, Civilogic			

JOB NO.: 119088	SHEET NUMBER
1 of 7	

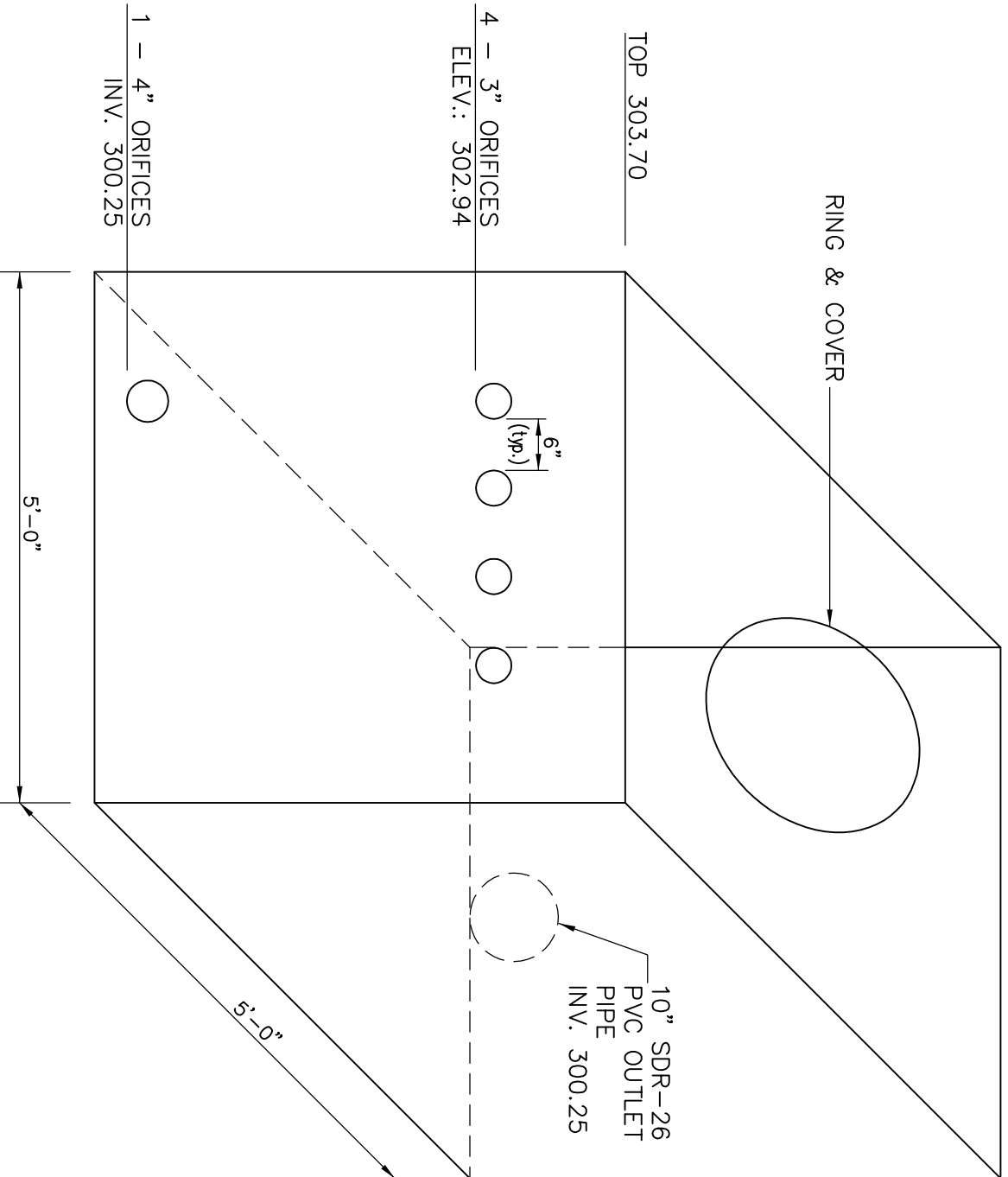




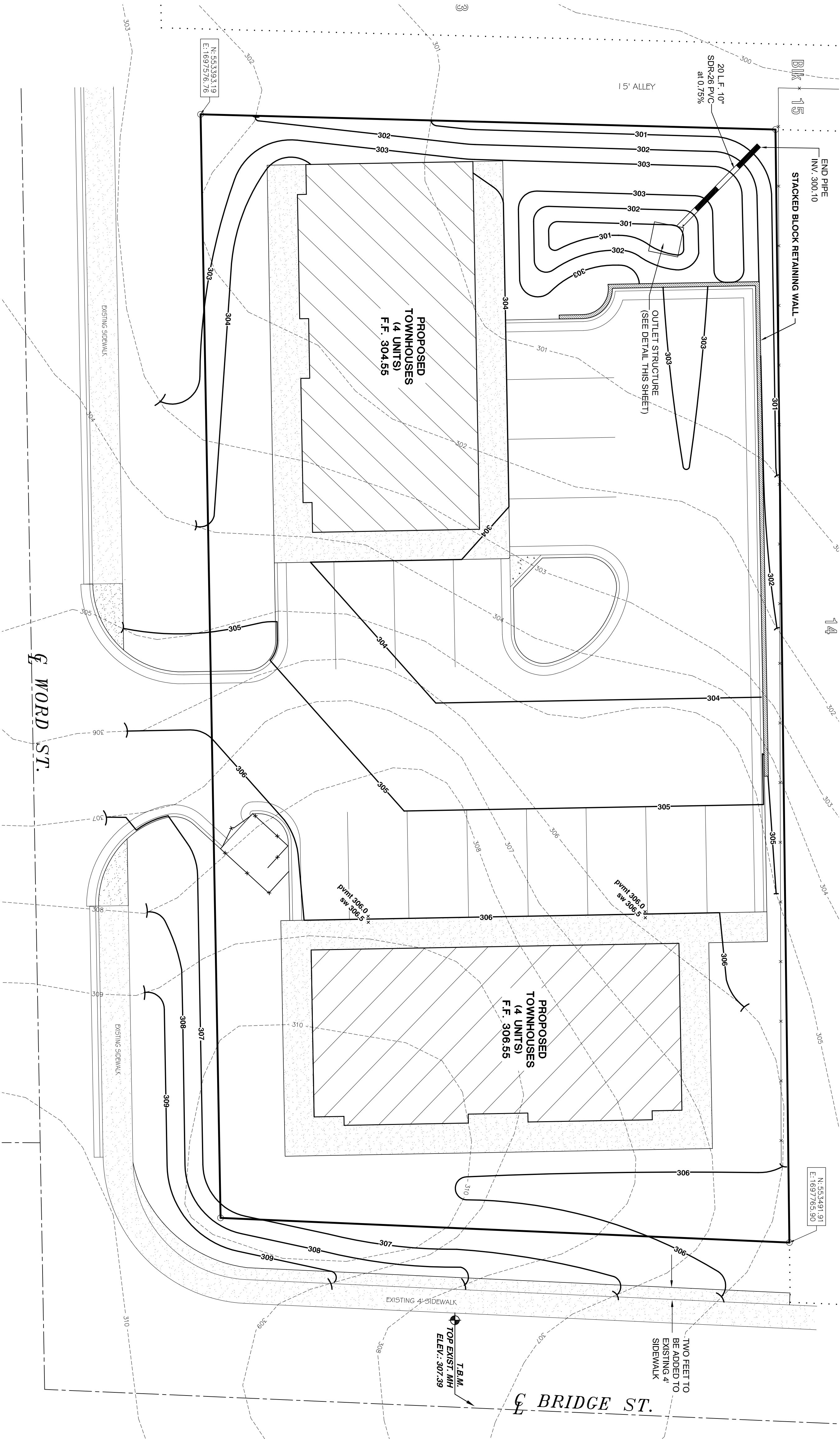
Know what's below.
Call before you dig.



BLOCK GRAVITY WALL SECTION
N.T.S.

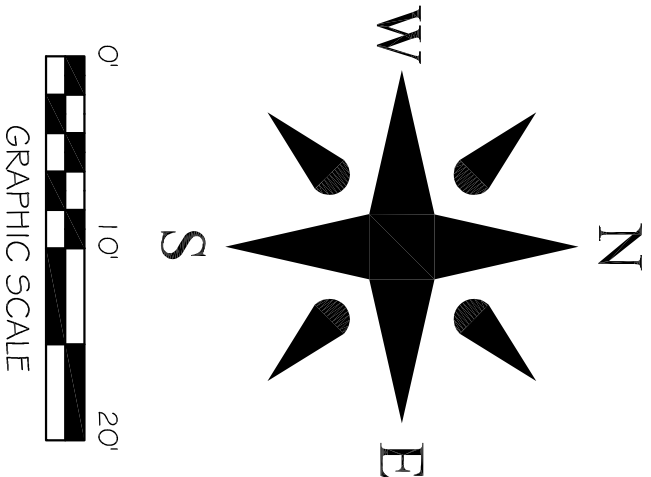


OUTLET STRUCTURE
N.T.S.



NOTES:

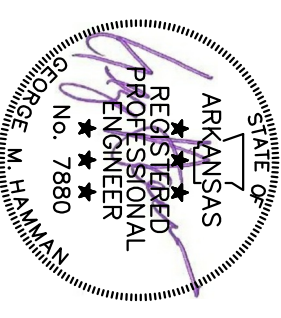
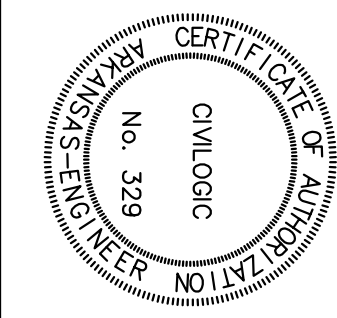
- 1) A GRADING PERMIT SHALL BE OBTAINED FROM THE CITY OF JONESBORO PRIOR TO THE COMMENCEMENT OF EARTHWORK ACTIVITY.
- 2) HANDICAPPED PARKING AND ACCESSIBLE ROUTES SHALL MEET A.D.A. REQUIREMENTS. THE MAXIMUM CROSS-SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 2.0% AND THE MAXIMUM RUNNING SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 8.3%. HANDICAPPED PARKING AREAS SHALL NOT SLOPE MORE THAN 2.0% IN ANY DIRECTION. ALL NEW SIDEWALKS CONSTRUCTED WITHIN THE RIGHT-OF-WAY SHALL MEET A.D.A. STANDARDS.
- 3) VERTICAL CONTROL NAVD 1988, THIRD ORDER.
- 4) HORIZONTAL CONTROL NAD 83, THIRD ORDER CLASS 1, ARKANSAS STATE PLANE NORTH ZONE.
- 5) FLOW ARROWS INDICATE DESIGN DIRECTION OF FLOW & PLAN INTENT. OCCASIONALLY THERE WILL BE A TYPOGRAPHICAL ERROR IN FINISHED GRADES. IF A CONFLICT IS REVEALED, THE FLOW ARROWS CONTROL, AND THE DESIGN ENGINEER SHALL BE CONTACTED IN ORDER TO RESOLVE THE CONFLICT.
- 6) PRECAST DRAINAGE STRUCTURES ARE ACCEPTABLE FOR USE ON THIS DEVELOPMENT. HOWEVER, THEY SHOULD BE MANUFACTURED SIX INCHES (6") SHORTER THAN CURRENT METHODS INDICATE, THAT WILL ALLOW HIGHER TOLERANCES IN THE EVENT A STRUCTURE IS PLACED SLIGHTLY HIGHER THAN DESIGN GRADES. TOPS SHALL BE POURED IN PLACE, ON SITE.



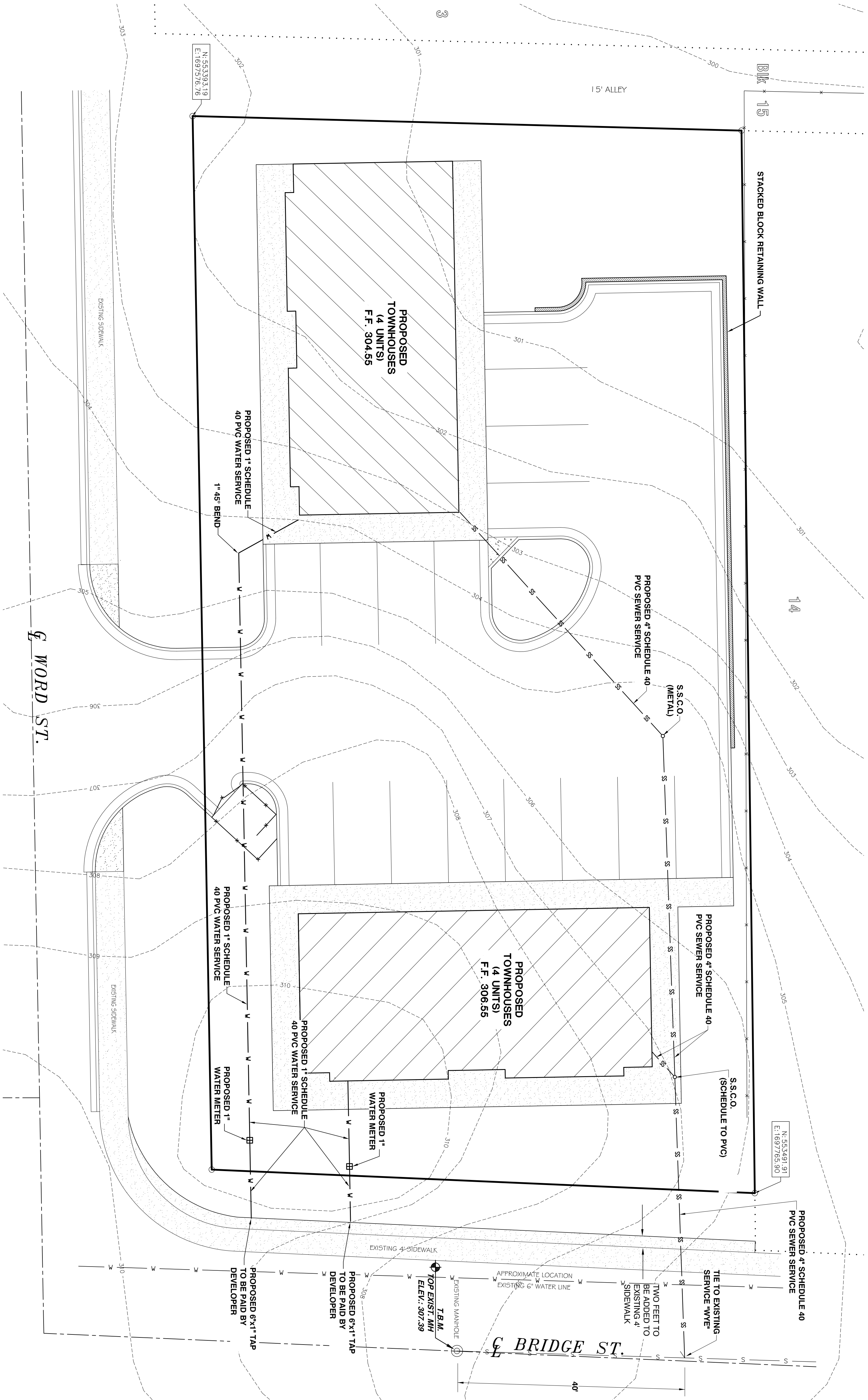
REVISED 3-30-2020: DUMPSTER ADDED

ENGINEERS		PLANNERS		SURVEYORS						
						Date 3-5-2020	Scale 1"=10'	Job No. 119088	Sheet No.	
						Section 18	Township 14N	Range 04E	County CRAIGHEAD	3 of 7
						Drawn By: RE		Checked by: GH		
						ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE ORIGINAL CIVILOGIC COPIES				
						203 Southwest Dr.-Jonesboro, AR-(870)932-7880-www.civilogic.net				

GRADING and DRAINAGE PLAN
301 N. BRIDGE ST.
JONESBORO, ARKANSAS
FOR
MR. CHARLES MABRY

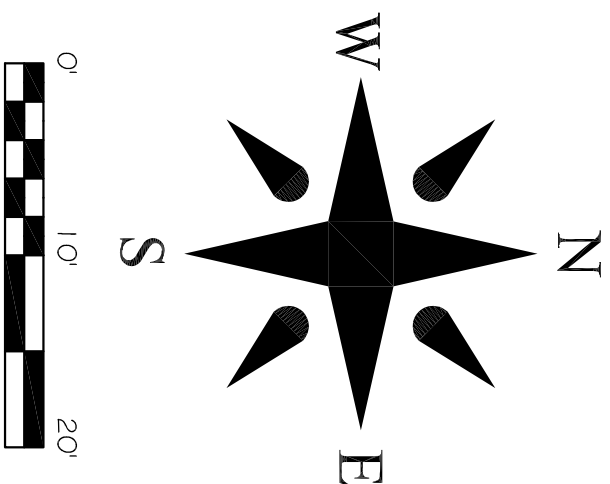


JOB NO.: 119088
SHEET NUMBER
3 of 7



NOTES:

- 1) TOTAL C-900 WATER LINE _____ FEET.
- 2) ALL _____ NEW METERS ARE TO BE 5/8" METERS.
- 3) WATER AND ELECTRIC TO BE INSTALLED TOGETHER.
- 4) NO TRANSFORMER, JUNCTION BOX, OR PULL BOX SHALL BE PLACED OVER WATER FITTINGS WITHOUT CITY WATER AND LIGHT APPROVAL.
- 5) CITY WATER AND LIGHT IS NOT RESPONSIBLE FOR ANY WATER OR SEWER TRENCH SETTLEMENT BEFORE, DURING, OR AFTER WARRANTY PERIOD.
- 6) THE DEVELOPER AND ENGINEER ARE RESPONSIBLE FOR METER BOX LOCATIONS.
- 7) ANY CONFLICTS THAT REQUIRE PLASTIC BOX(S) TO BE EXCHANGED FOR CONCRETE BOX(S) WILL BE AT THE DEVELOPERS OR ENGINEERS EXPENSE.
- 8) IF UNSAFE PRACTICES ARE DISCOVERED BY CWL DURING OUR INSPECTIONS OF WORKMANSHIP AND MATERIALS, CWL WILL NOTIFY THE OSHA. THIS IN NO WAY OBLIGATES CWL FOR THE RESPONSIBILITY OF THE CONTRACTORS SAFETY PRACTICES.

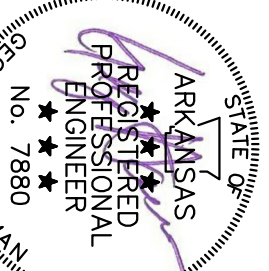
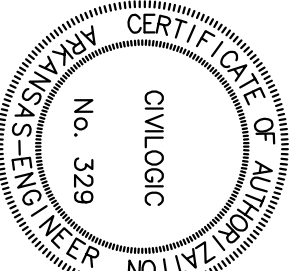


REVISED 3-30-2020: DUMPSTER ADDED

ENGINEERS		PLANNERS		SURVEYORS											
						Date 3-5-2020		Scale 1"=10'		Job No. 119088		Sheet No.			
						Section 18		Township 14N		Range 04E		County CRAIGHEAD		4 of 7	
						Drawn By: RE				Checked by: GH					
						ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE ORIGINAL CIVILLOGIC COPIES									
						© 2020, Civillogic									
203 Southwest Dr.-Jonesboro, AR--(870)932-7880--www.civilogic.net															

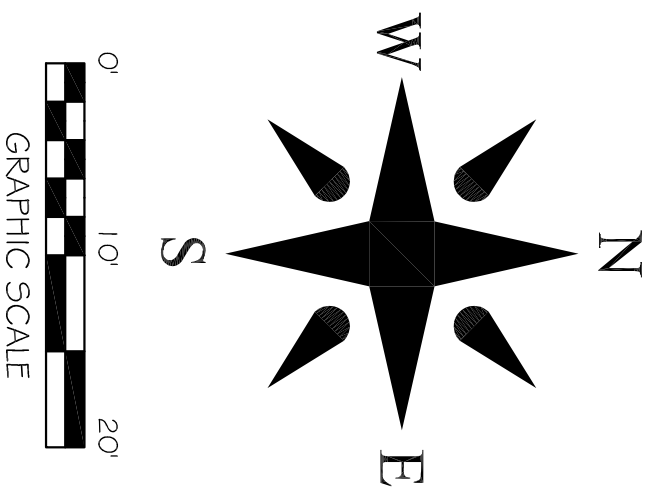
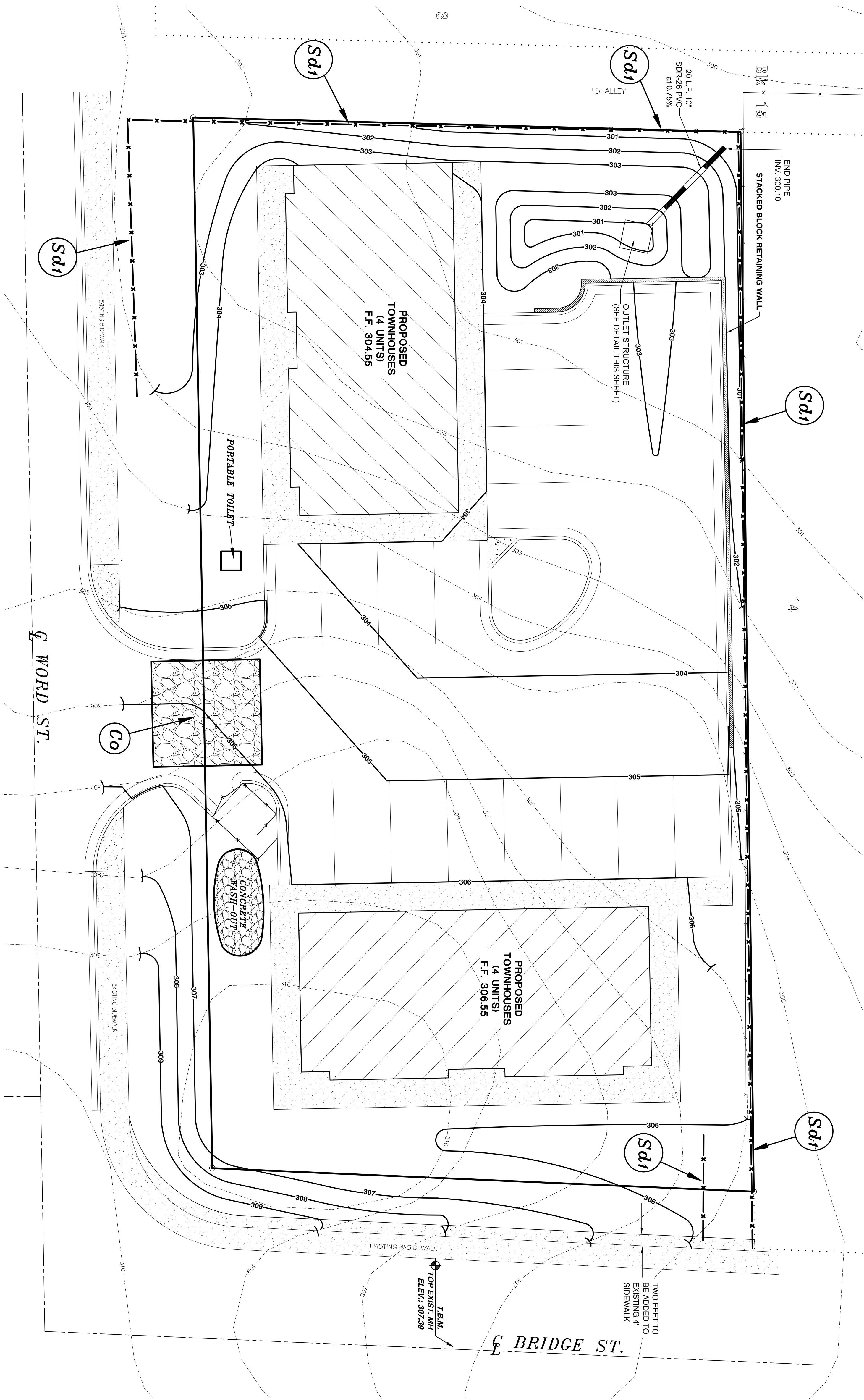
203 Southwest Dr.-Jonesboro, AR-(870)932-7880-www.civillogic.net

UTILITY SERVICE PLAN
301 N. BRIDGE ST.
JONESBORO, ARKANSAS
FOR
MR. CHARLES MABRY



JOB NO.: 119088
SHEET NUMBER

4 of 7

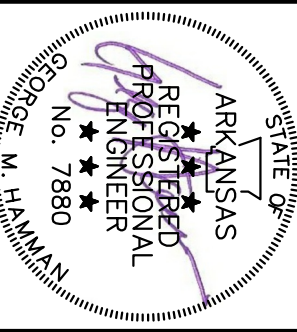
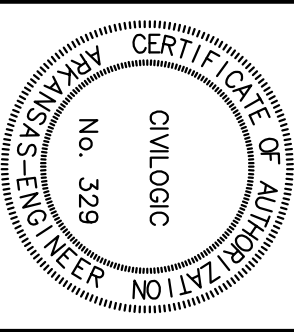


REVISED 3-30-2020: DUMPSTER ADDED

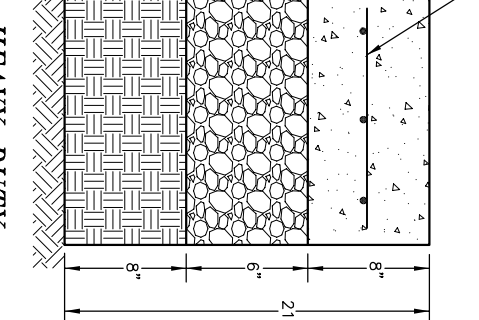
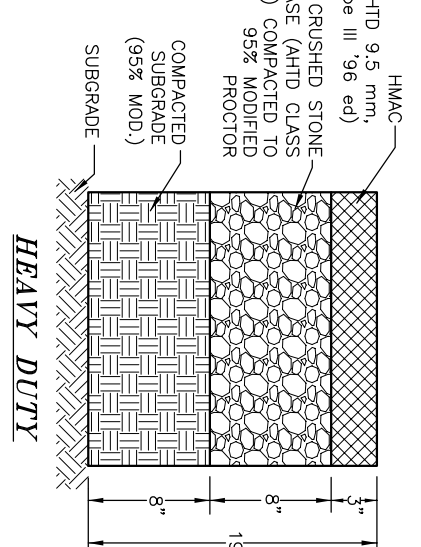
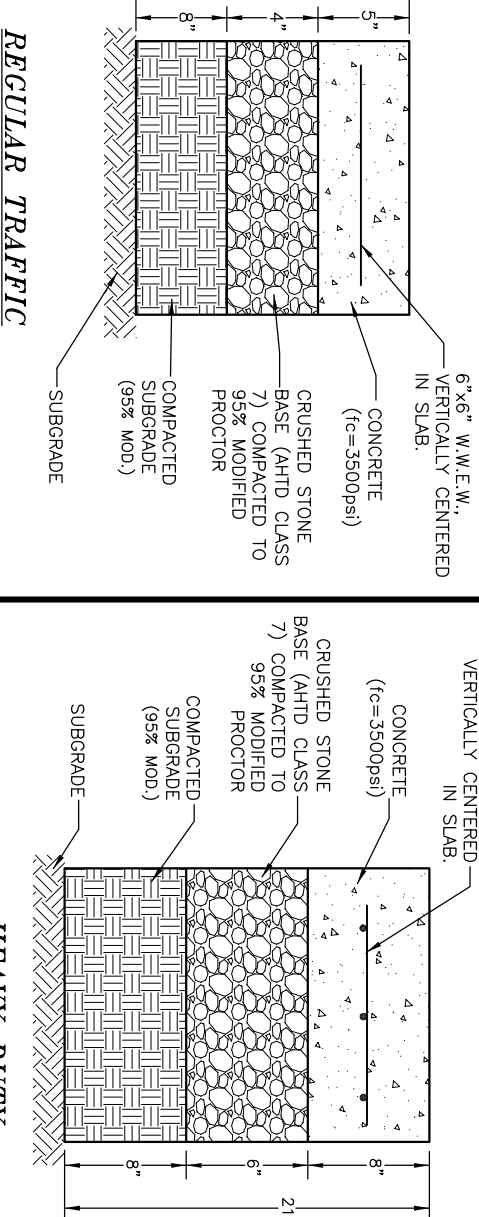
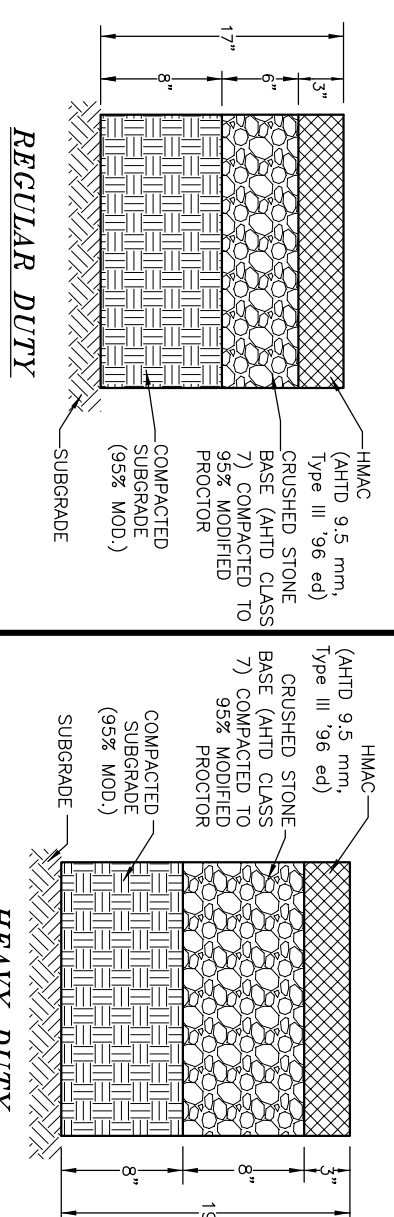
ENGINEERS	PLANNERS	SURVEYORS
Civilogic		
203 Southwest Dr.-Jonesboro, AR-(870)932-7880-www.civilogic.net		

Date 3-5-2020		Scale 1"=10'		Job No. 119088	
Section 18		Township 14N		Range 04E	
				County CRAIGHEAD	
Drawn By: RE				Checked by: GH	
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE ORIGINAL					
© 2020, Civilogic					

SOIL & EROSION CONTROL PLAN
301 N. BRIDGE ST.
JONESBORO, ARKANSAS
FOR
MR. CHARLES MABRY



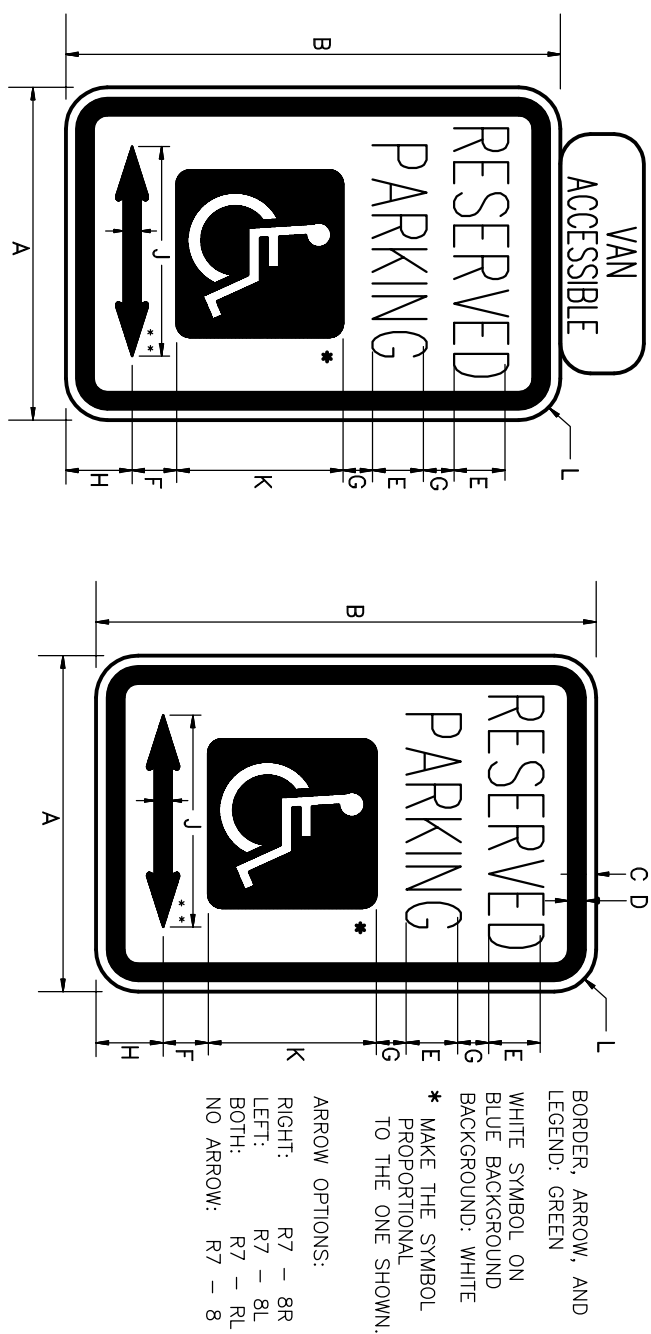
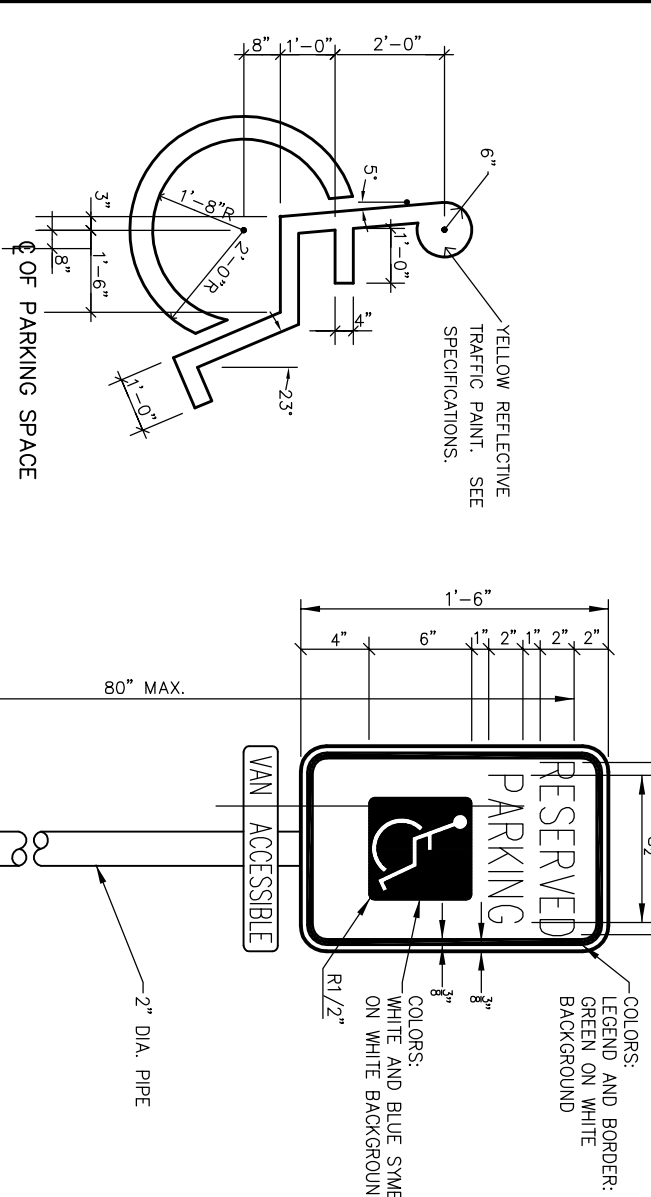
JOB NO.: 119088
SHEET NUMBER
5 of 7



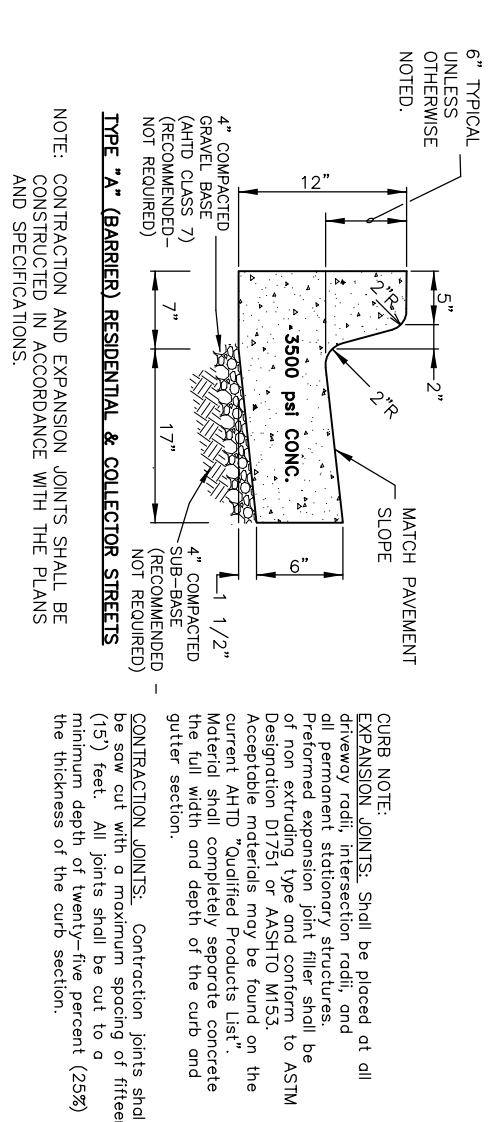
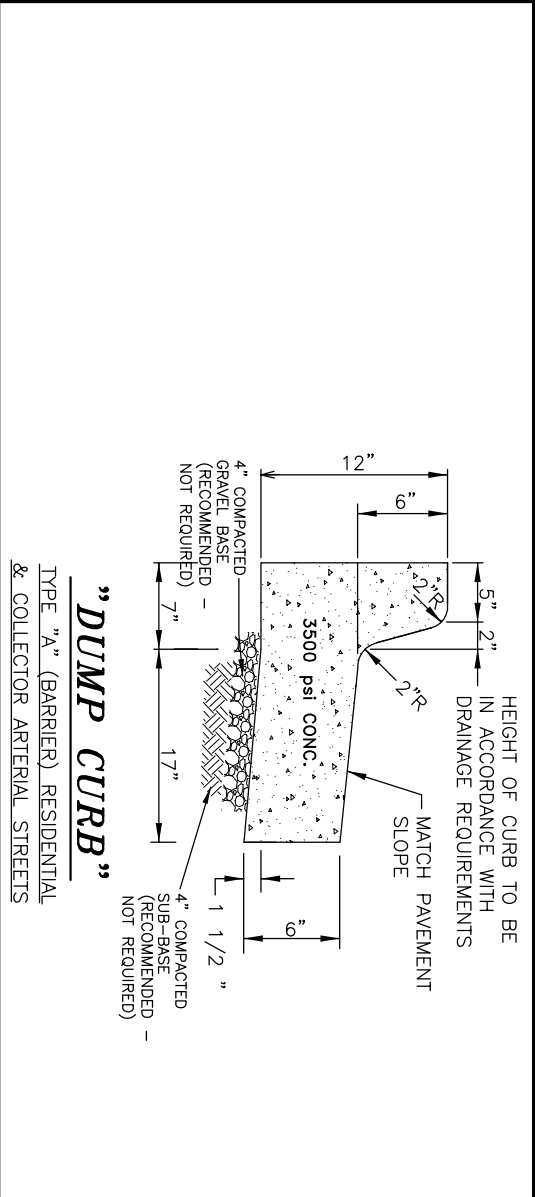
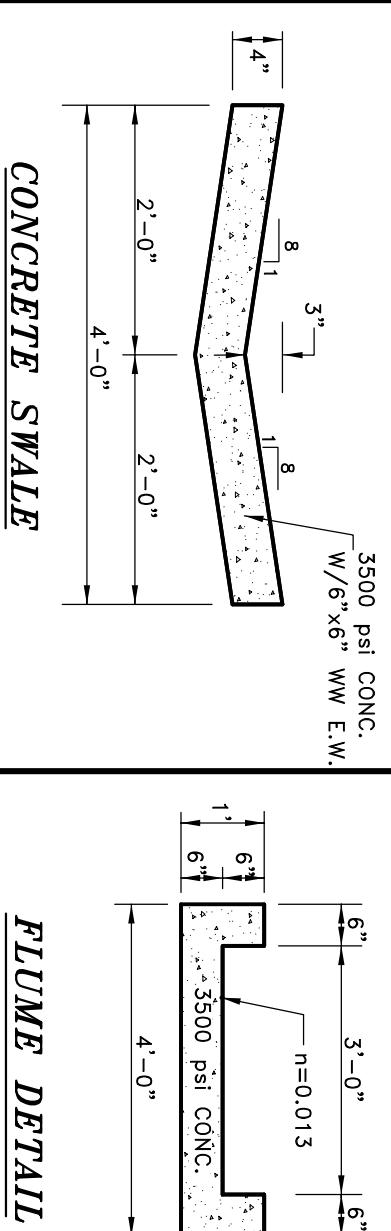
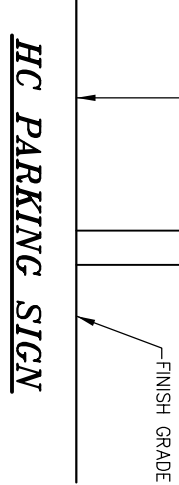
FLEXIBLE PAVEMENT STRUCTURE

RECOMMENDED RIGID PAVEMENT STRUCTURE

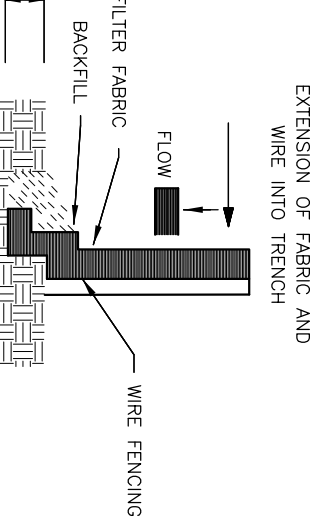
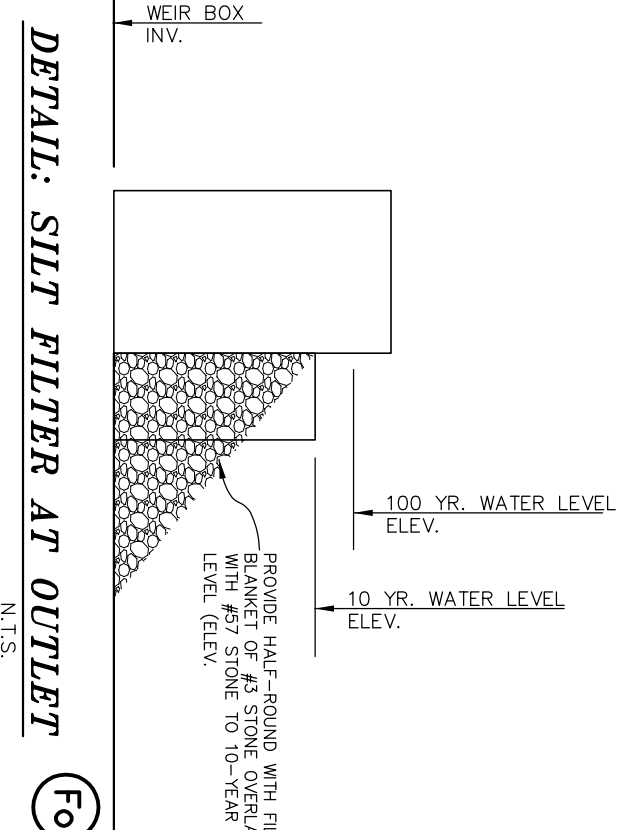
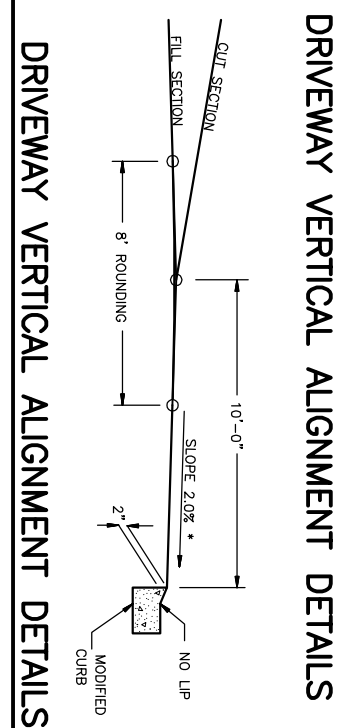
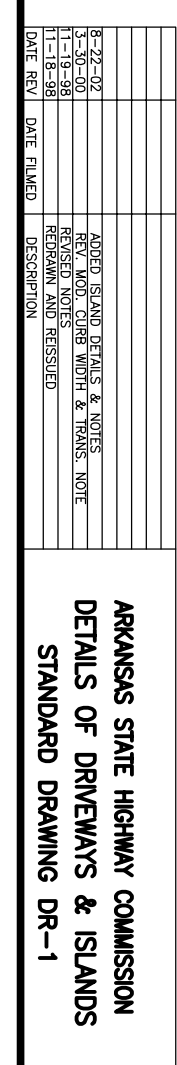
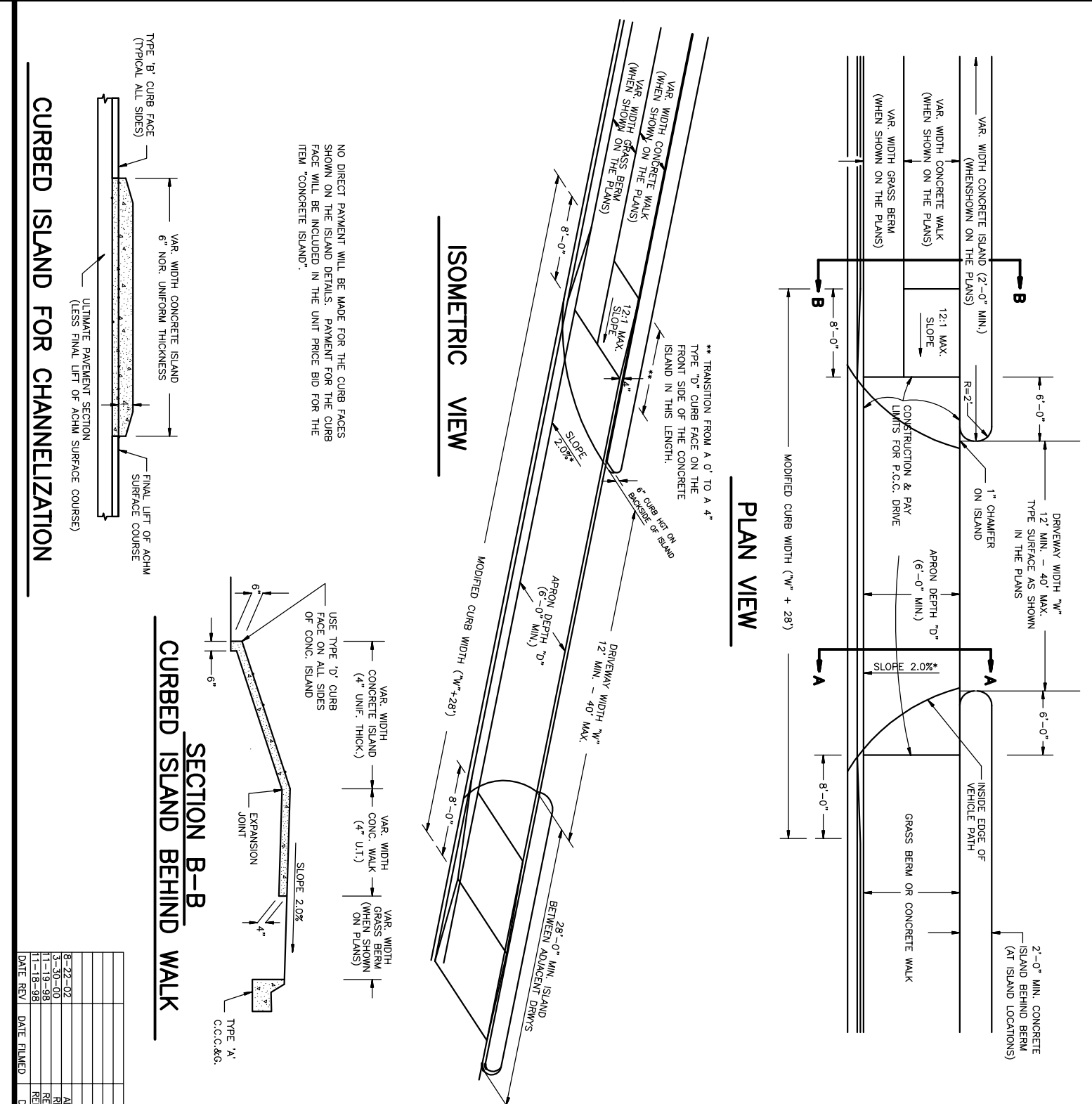
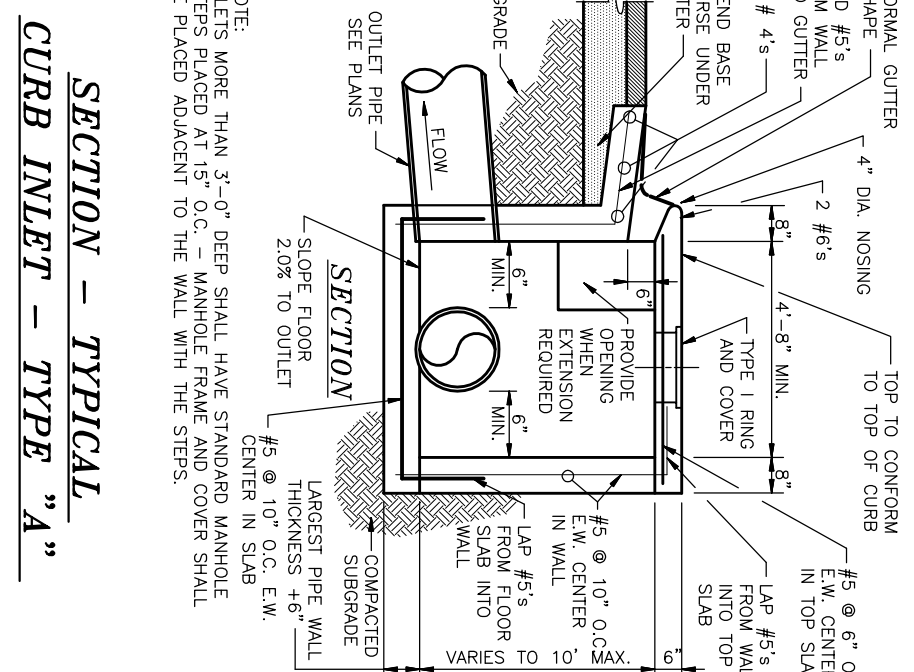
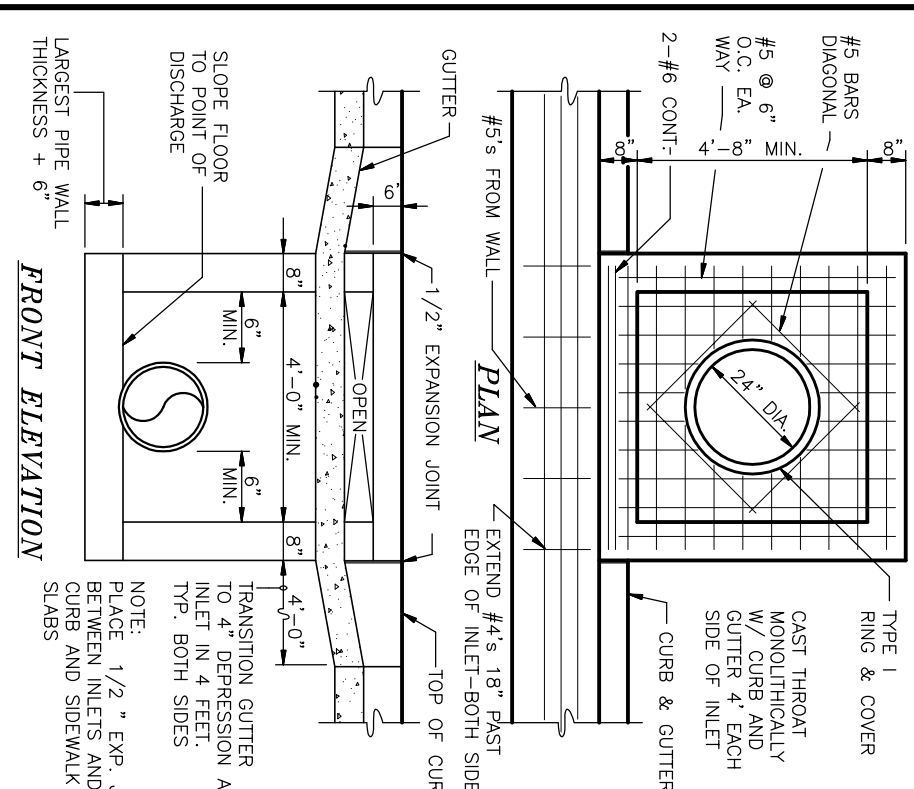
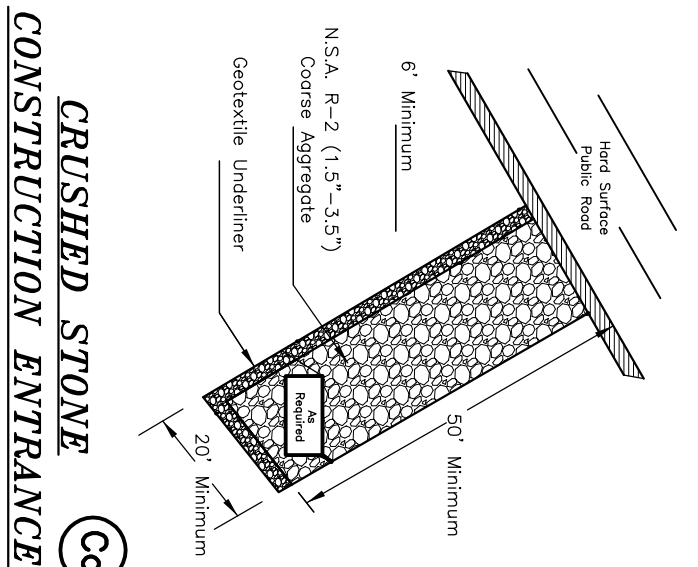
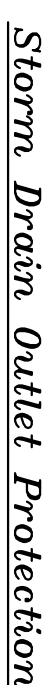
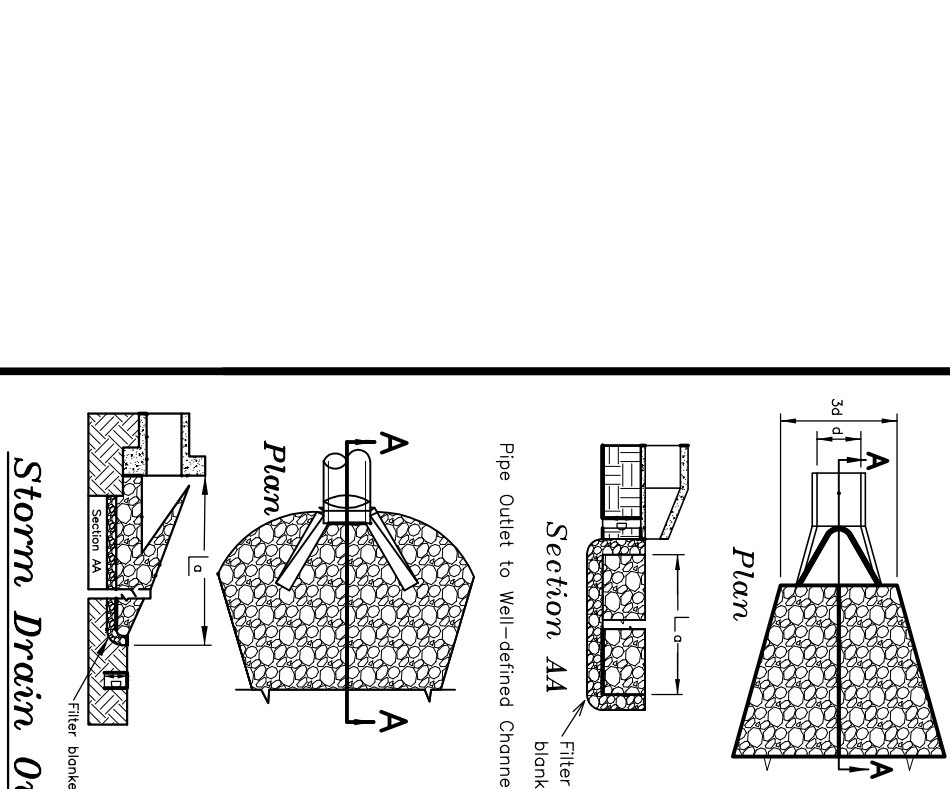
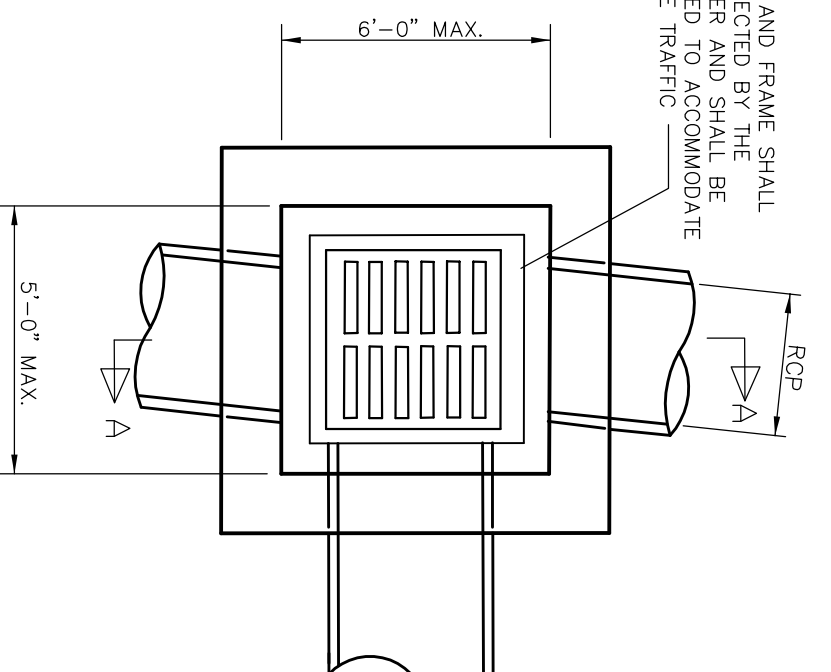
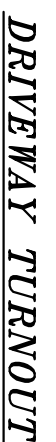
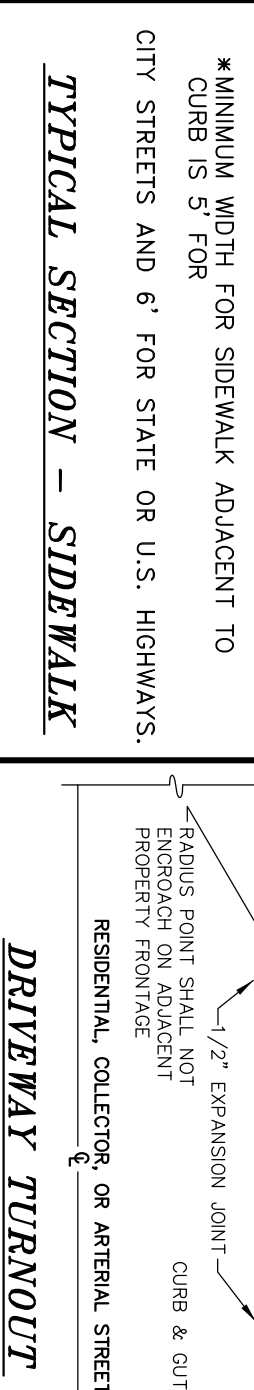
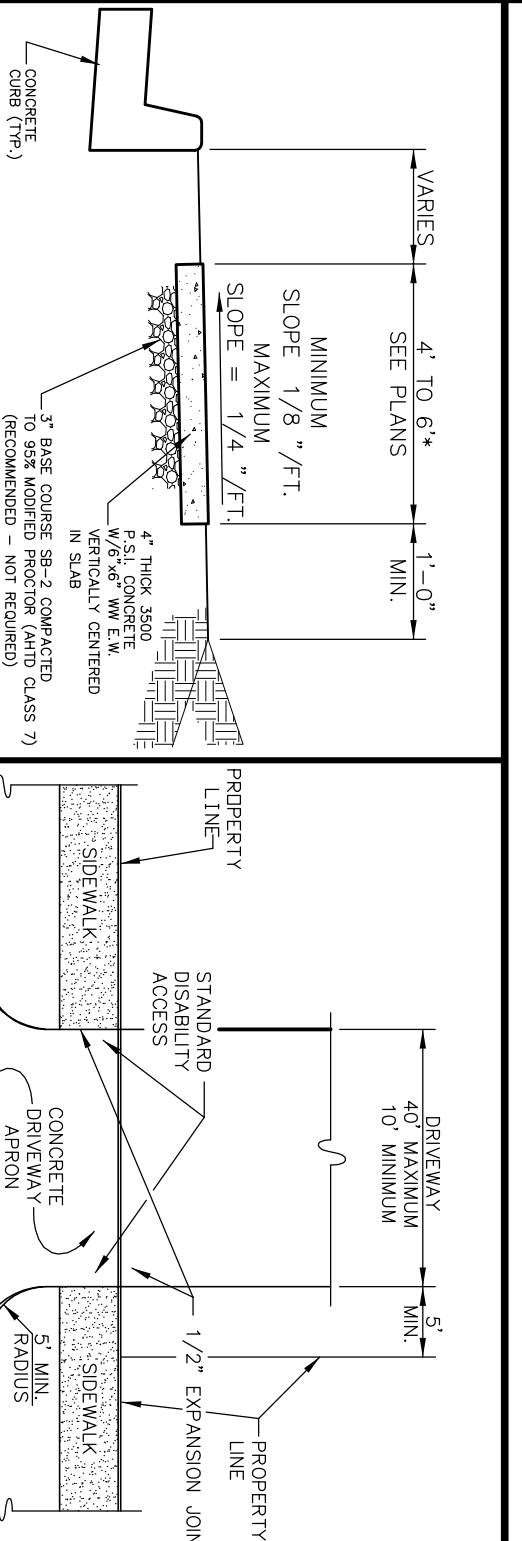
DRIVING SURFACE SECTIONS



ROAD CLASS	DIMENSIONS (inches)													
	A	B	C	D	E	F	G	H	J	K	L	M	N	
CONV & MIN	12	18	0.36	0.63	2C	1.5	1	2.5	7.75	6	1.5	0.75	1.75	

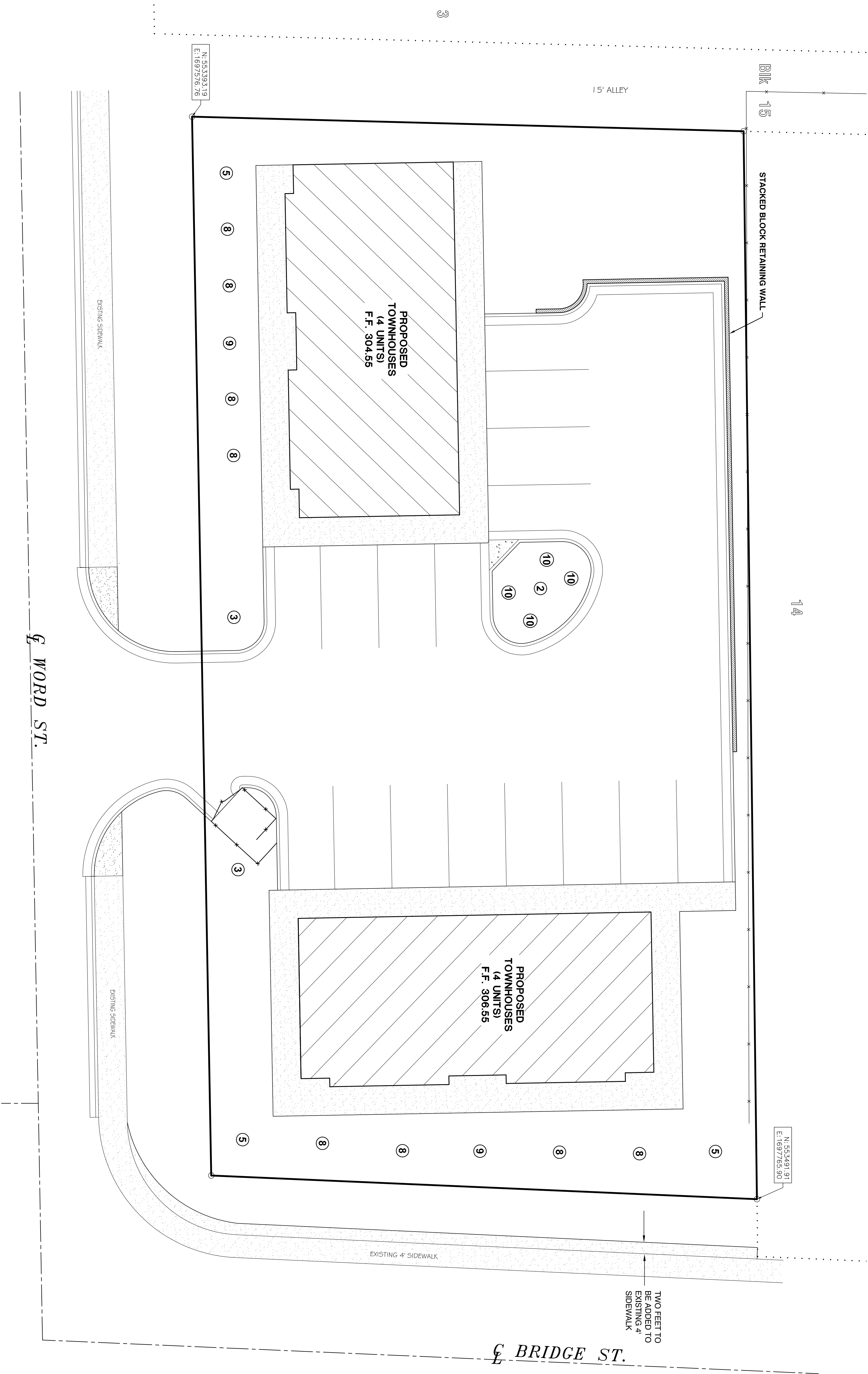


COMBINATION CURB AND GUTTER



- SITE DEVELOPMENT PLAN CHECKLIST NOTIONS:**

 - 1) This is a Site Development Plan for a proposed Residential Single-Family Detached house, located on Lot 16 and 1st block Myers Addition.
 - 2) Property Address: 301 N. Bridge St., Jonestown, AR
 - 3) A location Map is included on the plan.
 - 4) Charles Mobley
1200 N. Ford St.
Jonestown, Arkansas
71401
 - 5) A north arrow is shown on the drawing.
 - 6) This plan scale is 1" = 60'.
 - 7) This site is in the City of Jonestown, Craighead County, AR
 - 8) The date of the preparation of these plans is 03-06-2020.
 - 9) The project is a proposed 2nd floor residential R-2.
 - 10) ENGINEER/SURVEYOR
Chillogie
203 Southwest Drive
Jonestown, Arkansas
71401
870) 932-7880 (phone)
870) 932-9662 (fax)
email: greg@chillogie.com
The name and signature of the Engineer/Surveyor is George Harman, AR PE 17805, are included on the drawing.
 - 11) Boundary Information provided by Chillogie.
 - 12) SITE AREA = 17,805 SF = 0.41 acres.
 - 13) Building Setbacks:
Front, from right-of-way: 20'
Side, from right-of-way: 20'
Rear: 20'
No other restrictions are known, nor were provided, other than those shown on the drawing.
 - 14) This tract does not lie within the 100-year Flood Plain per Flood Insurance Rate Map of Craighead County, Arkansas and Incorporated Areas, Community Flood Numbers 03051C0043, 03051C0044, and 03051C0045, within a Zone "X" Flood Plain per the map referenced above.
 - 15) The existing land contours shown were derived from City of Jonestown topographic information and ground-sun topographic verification by Chillogie, in December, 2019.
 - 16) The proposed building is shown on the drawing.
 - 17) The length of the site boundaries are shown.
 - 18) The bearings of the site boundaries are shown.
 - 19) The location and exterior dimensions, measured from outside corners, of the proposed building are shown on the drawing.
 - 20) The contours and other topographic features are shown on the drawing.
 - 21) There are no known easements impacting the proposed building.
 - 22) UTILITIES:
Prior to any excavation activity on this site, the contractor shall notify the utility protection service of 1-800-462-8996 of all buried utilities located on the site.
 - 23) The nearest water line is located along the West side of the property, and the records are based upon the records available through City Water and Light.
 - 24) FIRE HYDRANTS:
There is an existing fire hydrant at the Southeast corner of the property, and no other fire hydrants are shown.
 - 25) SEWER:
The nearest publicly sewer line is located along the East side of the property, and no other sewer lines are shown.
 - 26) ELECTRICAL LINES:
No overhead electrical lines is based upon field location and the records available through City Water and Light.
 - 27) No natural gas lines are shown on this plan.
 - 28) MATERIALS:
No material gas lines are shown on this plan.
 - 29) STORM DRAINAGE:
This building site is to be drained by use of surface drainage ditches.
 - 30) DUMPSTER:
Dumpster shown on plans.
 - 31) The drainage plan is indicated by the proposed contours, and proposed spot elevations for finished grades on Sheet 3.
 - 32) The owner/developer shall be responsible for obtaining all the control measures. It shall be the responsibility of the owner/developer to obtain the proper permits through ADO.
 - 33) A) The soil and erosion control measures shown are the minimum requirements for the site.
B) The soil and erosion control measures shown shall be inspected at least weekly.
C) Following successful control measures shall be inspected and approved by the engineer.
D) Additional soil and erosion control measures may be required by the engineer.
E) The existing and proposed structures are shown included on the drawing. The construction of construction, and are to be maintained for the duration of the construction period until the disturbed areas are stabilized.
 - 34) PARKING:
The Site Development Plan addresses the parking for this site, and the parking is shown on the drawing.
Parking Provided: 16 spaces
The dimensions of access drive are shown on Sheet 2.
Loading Area: No loading space will be necessary for this site.
Surface and one to have curb and gutter on the perimeter of the impervious surface.
 - 35) Sign location and type: No proposed signs
 - 36) Landscaping: The Landscaping plan is included in this set of plans, Sheet 7.
 - 37) There are no known restrictive covenants, grants of easements or other recorded interests on this site.
 - 38) No additional common open space plan is proposed for this development.
 - 39) Any exterior site lighting will be installed and directed in such a manner as to not impose on adjacent properties.
 - 40) No encroachments or encroachments of any historical structures on this site.
 - 41) Greenspace calculation:
Total site: 17,805 sq. ft.
Impervious: 13,420 sq. ft.
Developed site is 25.5% greenspace.

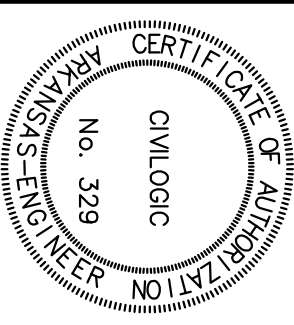


REVISED 3-30-2020: DUMPSTER ADDED

ENGINEERS	PLANNERS	SURVEYORS
203 Southwest Dr.-Jonesboro, AR-(870)932-7880-www.civilogic.net		

Date 3-5-2020		Scale 1"=10'		Job No. 119088		Sheet No.	
Section 18		Township 14N		Range 04E		County CRAIGHEAD	
Drawn By: RE		Checked by:		GH		7 of 7	
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE ORIGINAL CIVILOGIC COPIES							
© 2020, Civilogic							

LANDSCAPE PLAN
301 N. BRIDGE ST.
JONESBORO, ARKANSAS
FOR
MR. CHARLES MABRY



JOB NO.: 119088
SHEET NUMBER
7 of 7

LANDSCAPE LEGEND:

TREES

- ① (0) BELL TOWER SUGAR MAPLE
- ② (1) JAPANESE MAPLE
- ③ (2) NELLIE STEVENS HOLLY
- ④ (0) RED MAPLE
- ⑤ (3) KOUSA DOGWOOD
- ⑥ (0) OKLAHOMA REDBUD
- ⑦ (0) BLACK TUPELO
- TOTAL TREES (6)

SHRUBS

- ⑧ (8) PINK VELOUR CREPE MYRTLE
- ⑨ (2) FORSYTHIA
- ⑩ (0) YAPON HOLLY
- ⑪ (0) GOLDEN ORIOLE AZALEA
- ⑫ (4) DWARF JUNIPER
- TOTAL SHRUBS (14)

LANDSCAPE REQUIREMENTS:

TOTAL SITE: 17,805 sq. ft.
SITE IS LESS THAN 2 ACRES, THEREFORE 1 TREE OR SHRUB PER 1,000 sq. ft. SITE AREA, 18 REQUIRED.
1 TREE REQUIRED PER 15 PARKING SPACES, OR 25% OF REQUIRED TREES & SHRUBS, WHICHEVER IS GREATER.
16 SPACES ÷ 15 = 1.07 OR 1.
25% OF 10 = 4.5, OR 5.
THEREFORE 5 TREES REQUIRED WITH A MINIMUM OF 10% EVERGREEN. TOTAL REQUIREMENT:
1 EVERGREEN TREES
4 OTHER TREES
13 SHRUBS
MINIMUM 40% MUST BE NATIVE SPECIES. ALL PLANTS SHALL COMPLY WITH ORDINANCE ADOPTED BY JONESBORO CITY COUNCIL IN JANUARY OF 2019.

