

VICINITY MAP
N.T.S.

UTILITY PROVIDER

ELECTRIC WATER & SEWER:
CITY WATER & LIGHT
400 E. MONROE
JONESBORO, ARKANSAS
(870)935-5581

NATURAL GAS:
CENTER POINT ENERGY
3013 OLD FEED HOUSE ROAD
JONESBORO, ARKANSAS 72401
(870)972-6682

TELEPHONE & CABEL/TELEVISION
AT&T ARKANSAS
723 S. CHURCH ST.
JONESBORO, ARKANSAS 72401
1-800-454-7928

RITTER COMMUNICATIONS
2109 FOWLER AVE
JONESBORO, ARKANSAS 72401
(870)336-3434

SUDENLINK COMMUNICATIONS
1520 S. CARAWAY RD.
JONESBORO, ARKANSAS 72401
(870)935-3615

CONTROL POINTS:

JONESBORO ARKANSAS - GPS MONUMENTS
MONUMENT 81: NORTH 540279.01
EAST 1692466.66
CONVERGENCE ANGLE 0°44'45.8"
SCALE FACTOR- 0.99994373
ELEV. 339.80 NAVD 88
LOCATION- SOUTHWEST DRIVE & CULBERHOUSE RD.
MONUMENT 82: NORTH 541523.76
EAST 1693714.81
CONVERGENCE ANGLE 0°44'54.7"
ELEV. 312.76 NAVD 88
LOCATION- SOUTHWEST DRIVE & ELK PARK

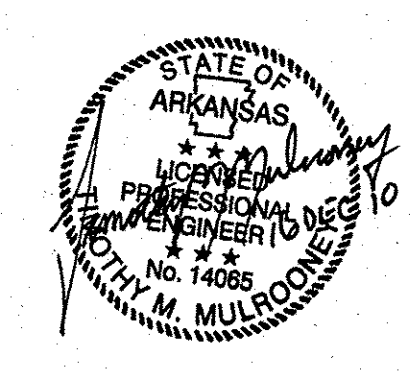
TBM: 1
LOCATED ON EAST CORNER OF CONCRETE HEADWALL
AT THE NORTHEAST CORNER OF LOT 6 AND SOUTHWEST
CORNER OF LOT 2 OF MELTON MANOR.
E.L. 316.31

SHEET 1 OF 1

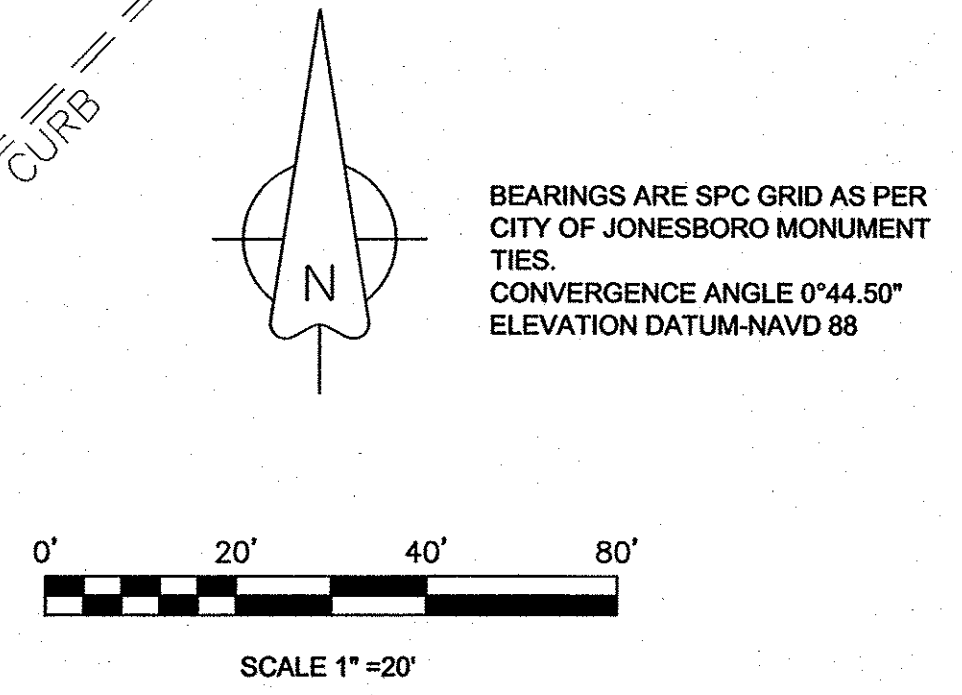
SITE PLAN

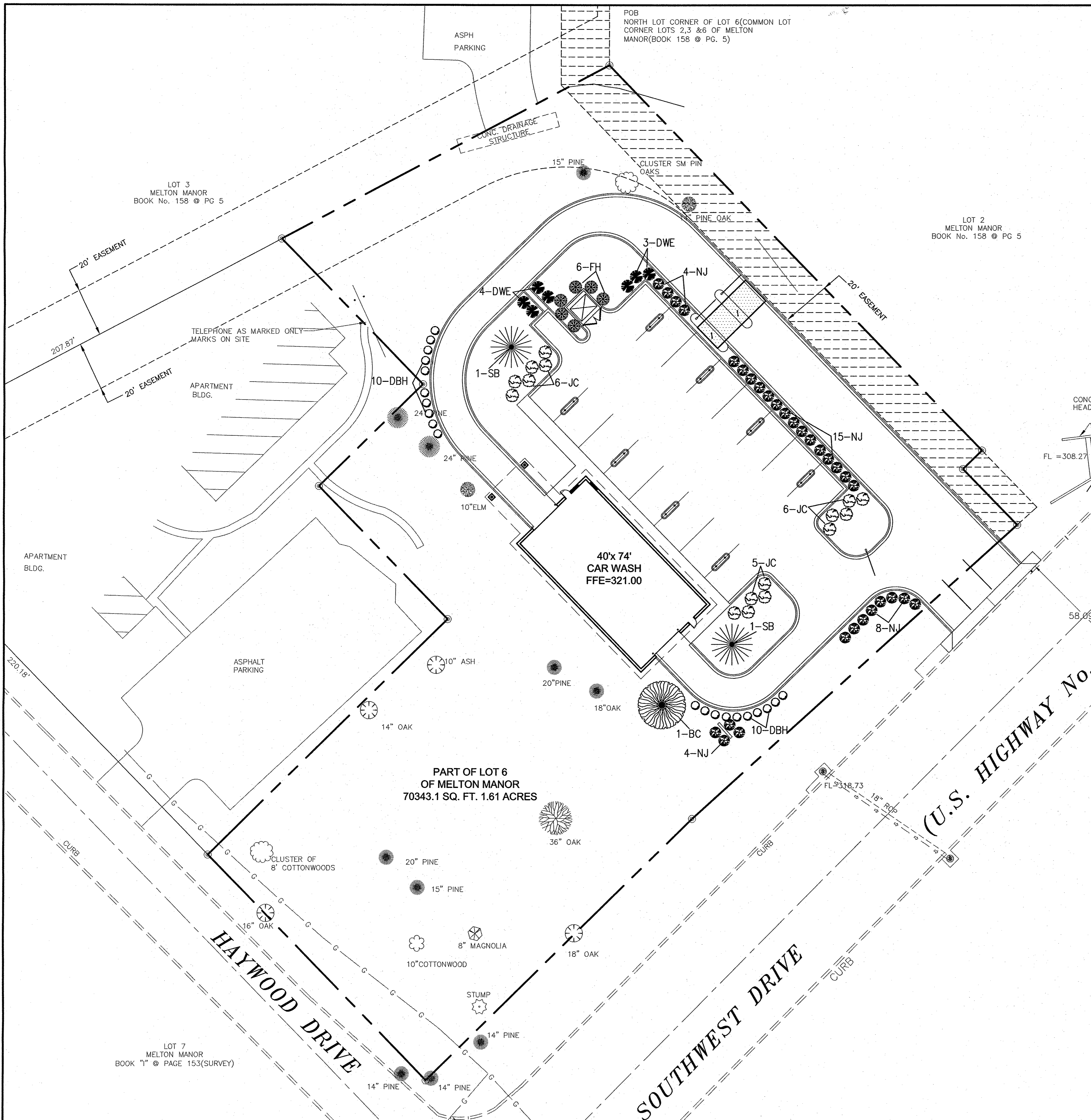
JONESBORO, ARKANSAS
LOCATION: SOUTHWEST DRIVE AT HAYWOOD DRIVE
SURVEY: HIME DATE: 11/2010 BOOK: _____
DESIGN: JMM DATE: 12/10 CKD: _____ DATE: _____
APPROVED _____
CITY ENGINEER DATE

REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



**LOT -6 MELTON MANOR
CAR WASH USA**
DEVELOPER: CAR WASH USA, LLC
3350 HWY. 309 N.
BYHALIA, MISSISSIPPI 38611
ENGINEER: PRIME DEVELOPMENT GROUP, INC.
7620 CAPITAL DR., SUITE 200
GERMANTOWN TN 38138
PH:901-937-3081

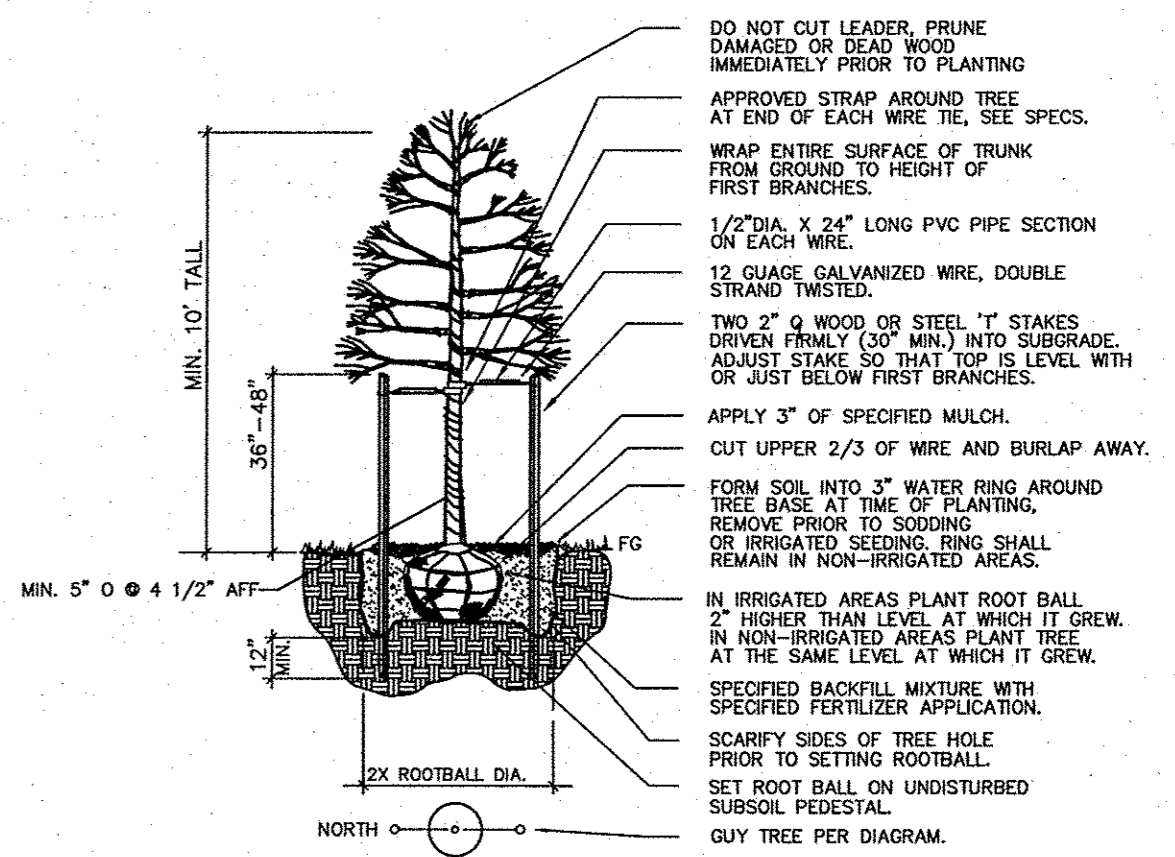




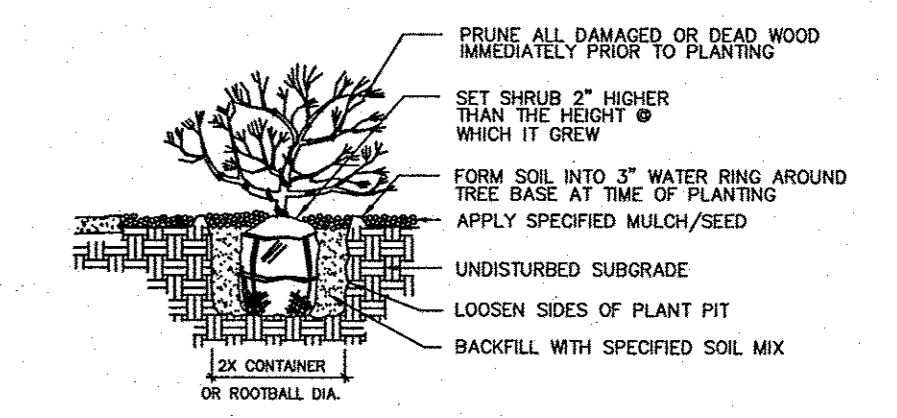
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR TO BE STORED. NOT ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRIP LINES OF TREES OUTSIDE THE LIMIT OF GRADING.
- THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS.
- ALL PLANT MATERIALS TO BE NURSERY GROWN TO COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK, SIZE, AND QUANTITY.
- NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ALL MARKED UTILITIES ACCORDING TO LOCAL STANDARDS AND COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- ALL DISTURBED AREAS TO BE SEEDED UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN. SEED TYPE TO BE APPROVED BY LANDSCAPE ARCHITECT.
- ALL BEDS ARE TO BE TILLED TO A DEPTH OF 6" WITH THE ADDITION OF: (1) 8 CU. FT. BALE OF SPHAGNUM PEAT MOSS (OR APPROVED EQUAL) PER 40 S.F. OF BED AREA; (2) 10-10-10 FERTILIZER PER 1,000 S.F. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORMLY.
- ALL TREES, SHRUBS, AND BEDS ARE TO BE MULCHED WITH DOUBLE HAMMERED HARDWOOD MULCH. MULCH TO BE A MINIMUM DEPTH OF 3".
- THE OWNER OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
- ALL PLANT MATERIAL IS TO BE GUARANTEED FOR ONE (1) YEAR. GUARANTEE PERIOD SHALL START FROM DATE OF FINAL ACCEPTANCE BY OWNER.
- PREEMERGENT HERBICIDE (TRIFLURAL OR APPROVED EQUAL) SHALL BE APPLIED (IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS) TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.

PLANT MATERIAL LIST

Symbol	Botanical Name	Common Name	Quantity	Height	Caliper	Spread	Notes
BC	TAXODIUM DISTICHUM	BALD CYPRESS	1	Min. 6'	2 1/2"	-	SINGLE TRUNK - STRAIGHT LEADER (B&B)
SB	MAGNOLIA VIRGINIANA	SWEET BAY MAGNOLIA	2	Min. 8'	-	-	MULTI TRUNK 3-5 CANES
FH	ILEX ATTENUATA 'FOSTERI'	FOSTER HOLLY	6	5'-6'	-	30"	MATCHING FULL TO GROUND (B&B)
DBH	ILEX CONUTA BURFORDII 'NANA'	DWARF BURFORD HOLLY	20	3 GAL	-	-	FULL (4' o.c.)
NJ	JUNIPERUS CHINENSIS 'COMPACTA'	NICKS JUNIPER	31	-	-	24"	FULL (5' o.c.)
DWE	EUONYMUS ALATA 'COMPACTA'	DWARF WINGED EUONYMUS	7	7 GAL	-	-	FULL (4' o.c.)
JC	TERNSTROEMIA GYMNANTHERA	JAPANESE CLEYERA	17	7 GAL	-	-	FULL (4' o.c.)



DECIDUOUS TREE PLANTING
SCALE: N.T.S.



SHRUB PLANTING
SCALE: N.T.S.

REVISION	DESCRIPTION OF CHANGE	APPROVAL DATE

LOT -6 MELTON MANOR
CAR WASH USA
DEVELOPER: CAR WASH USA, LLC
3350 HWY. 309 N.
BYHALIA, MISSISSIPPI 38611
ENGINEER: PRIME DEVELOPMENT GROUP, INC.
7520 CAPITAL DR., SUITE 200
GERMANTOWN TN 38138
PH:901-937-3081

TBM: 1
LOCATED ON EAST CORNER OF CONCRETE HEADWALL
AT THE NORTHEAST CORNER OF LOT 6 AND SOUTHWEST
CORNER OF LOT 2 OF MELTON MANOR.
EL. 316.31

SHEET _____ OF _____
SITE LANDSCAPE PLAN
JONESBORO, ARKANSAS
LOCATION: SOUTHWEST DRIVE AT HAYWOOD DRIVE
SURVEY: HIME DATE: 11/2010 BOOK: _____
SCALE: _____
DESIGN: TMM DATE: 12/10 CKD: _____ DATE: _____
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CITY ENGINEER _____ DATE _____

POB
NORTH LOT CORNER OF LOT 6 (COMMON LOT
CORNER LOTS 2,3 & 6 OF MELTON
MANOR(BOOK 158 @ PG. 5)

PIPE NO.	UPSTREAM NODE	UPSTREAM INVERT	DOWNSTREAM NODE	DOWNSTREAM INVERT	LENGTH (FT.)	SLOPE (%)	DIAMETER (IN)	MATERIAL	DRAINAGE AREA (AC)	Q CAP. (CFS)	Q25 (CFS)	VELOCITY (FPS)	AS-BUILT UPSTREAM NODE (FT)	AS-BUILT DOWNSTREAM NODE (FT)	AS-BUILT SLOPE (%)	AS-BUILT LENGTH (FT)	AS-BUILT Q CAP (CFS)
P-1	A-1	316.00	A-2	315.22	52	1.50	15	RCP	0.90	8.0	2.4	6.2					
P-2	A-2	315.12	A-3	315.05	5	1.50	15	RCP	1.10	8.0	4.0	6.2					

NOTE: RIMTHROAT ELEVATIONS FOR CURB INLETS ARE REFERENCED TO THE BOTTOM OF CURB.
RIMTHROAT ELEVATIONS FOR HEADWALLS ARE REFERENCED TO THE INVERT OF PIPE.

STRUCTURE NO.	NODE LABEL	TYPE	RIMTHROAT ELEVATION (FT)	INVERT (FT)	DRAINAGE AREA (AC.)	Q25 (CFS)	AS-BUILT RIMTHROAT (FT)	AS-BUILT INVERT (FT)
1	A-1	TYPE 'D' HEADWALL	316.00	316.00	0.90	2.40		
2	A-2	CURB INLET	318.92	315.12	0.20	1.60		
3	A-3	TYPE 'D' HEADWALL	315.05	315.05	N/A	N/A		

LOT 2
MELTON MANOR
BOOK No. 158 @ PG 5

PRE DEVELOPMENT CONDITIONS

BASIN 1 (DRAINS SOUTHEAST INTO THE PERIMETER DITCH)
AREA: 1.27 AC
IMPERVIOUS AREA: 0.48 AC
PERVIOUS AREA: 0.79 AC

BASIN 2 (DRAINS NORTHEAST INTO THE PERIMETER DITCH)
AREA: 0.75 AC
IMPERVIOUS AREA: 0.35 AC
PERVIOUS AREA: 0.40 AC

BASIN 3 (DRAINS INTO SOUTHWEST DRIVE/US HWY 49)
AREA: 0.01 AC
IMPERVIOUS AREA: 0.01 AC
PERVIOUS AREA: 0.00 AC

POST DEVELOPMENT CONDITIONS

BASIN 1A (DRAINS INTO DRIVEWAY CULVERT AT SOUTHWEST DRIVE/US HWY 49 - BYPASS)
AREA: 0.90 AC
IMPERVIOUS AREA: 0.09 AC
PERVIOUS AREA: 0.81 AC

BASIN 1B (DRAINS INTO CURB INLET - BYPASS)
AREA: 0.20 AC
IMPERVIOUS AREA: 0.16 AC
PERVIOUS AREA: 0.04 AC

BASIN 1C (DRAINS INTO THE PERIMETER DITCH - BYPASS)
AREA: 0.03 AC
IMPERVIOUS AREA: 0.00 AC
PERVIOUS AREA: 0.03 AC

BASIN 2A (DRAINS NORTHEAST INTO THE PERIMETER DITCH - BYPASS)
AREA: 0.82 AC
IMPERVIOUS AREA: 0.37 AC
PERVIOUS AREA: 0.45 AC

BASIN 2B (DRAINS INTO THE SEWER SYSTEM)
AREA: 0.01 AC
IMPERVIOUS AREA: 0.01 AC
PERVIOUS AREA: 0.00 AC

BASIN 3 (DRAINS ALONG SOUTHWEST DRIVE/US HWY 49 TO NEXT CURB INLET - BYPASS)
AREA: 0.07 AC
IMPERVIOUS AREA: 0.07 AC
PERVIOUS AREA: 0.00 AC

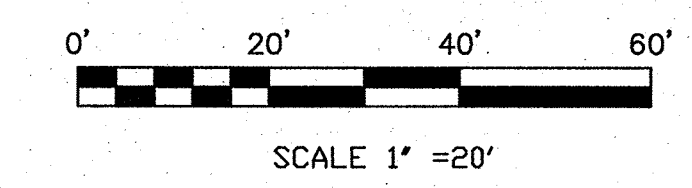
SUMMARY

PRE DEVELOPMENT
AREA: 2.03 AC
IMPERVIOUS AREA: 0.84 AC (41.4%)
PERVIOUS AREA: 1.19 AC (58.6%)

POST DEVELOPMENT
AREA: 2.03 AC
IMPERVIOUS AREA: 0.70 AC (34.5%)
PERVIOUS AREA: 1.33 AC (65.5%)

NOTE: IMPERVIOUS/PERVIOUS AREAS WERE CALCULATED WITH THE EXISTING/PRE DEVELOPMENT CONDITIONS HAVING THE PREVIOUS APARTMENT STRUCTURES REMOVED. THE EXISTING PARKING AREAS, WHICH CURRENTLY REMAIN ONSITE, WERE CONSIDERED A PART OF THE PRE DEVELOPMENT CONDITION.

THE OVERALL IMPERVIOUS AREA OF THE SITE HAS REDUCED BY 6.9% WITH NO SIGNIFICANT CHANGE IN TIME OF CONCENTRATION, THEREFORE RESULTING IN A LOWER POST DEVELOPMENT RUNOFF RATE. STORMWATER DETENTION DEVICES WERE NOT REQUIRED TO MEET THE PRE DEVELOPMENT RUNOFF CONDITION AND SUBSEQUENTLY WERE NOT USED ON THIS SITE.



CONTROL POINTS:

JONESBORO ARKANSAS - GPS MONUMENTS

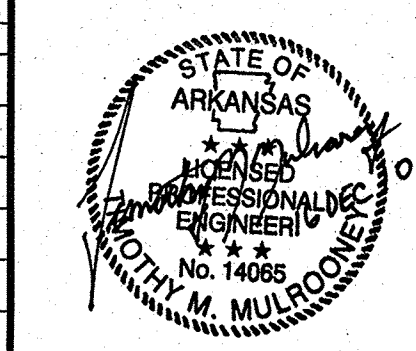
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EAST 1693714.81
CONVERGENCE ANGLE 0°44'54.7"
ELEV. 312.76 NAVD 88
LOCATION - SOUTHWEST DRIVE & ELK PARK

ABBREVIATIONS

C	CUTTER
BC	BOTTOM OF CURB
BS	BOTTOM OF STAIRS
BW	BOTTOM OF WALL
EL	ELEVATION
FG	FINISHED GRADE
FL	FLOWLINE
HP	HIGH POINT
LP	LOW POINT
RM	RIM
TC	TOP OF CURB
TH	THRESHOLD
TS	TOP OF STAIRS
TW	TOP OF WALL

REVISION	DESCRIPTION OF CHANGE	APPROVAL DATE



**LOT -6 MELTON MANOR
CAR WASH USA**

DEVELOPER: CAR WASH USA, LLC
3350 HWY. 309 N.
BYHALIA, MISSISSIPPI 38611

ENGINEER: PRIME DEVELOPMENT GROUP, INC.
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TBM: 1
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EL. 316.31

SHEET 1 OF 1

GRADING & DRAINAGE PLAN

JONESBORO, ARKANSAS

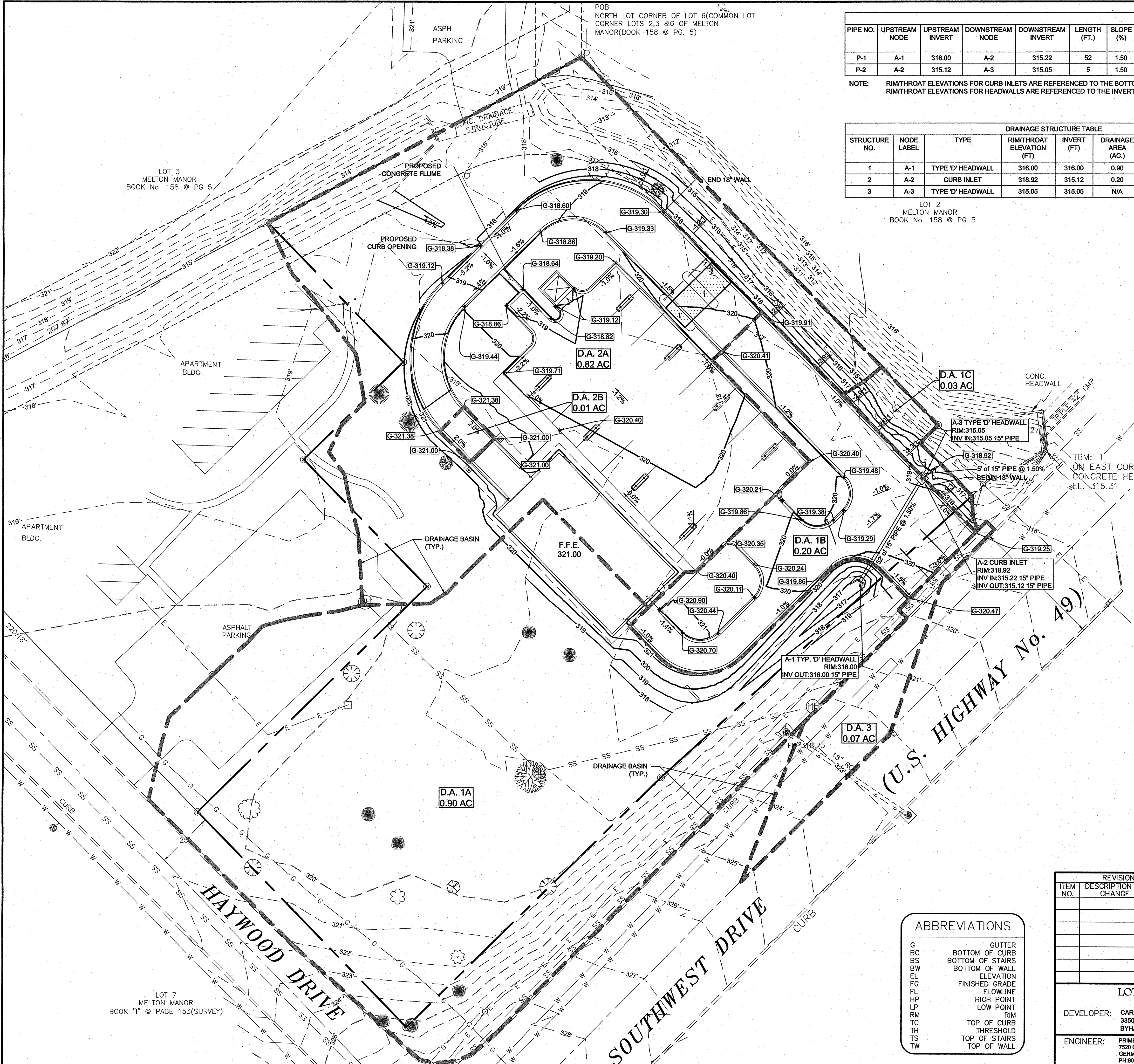
LOCATION: SOUTHWEST DRIVE AT HAYWOOD DRIVE

SURVEY: HIME DATE: 11/2010 BOOK: _____

DESIGN: TMM DATE: 12/10 CKD: _____ DATE: _____

APPROVED _____

CITY ENGINEER DATE _____



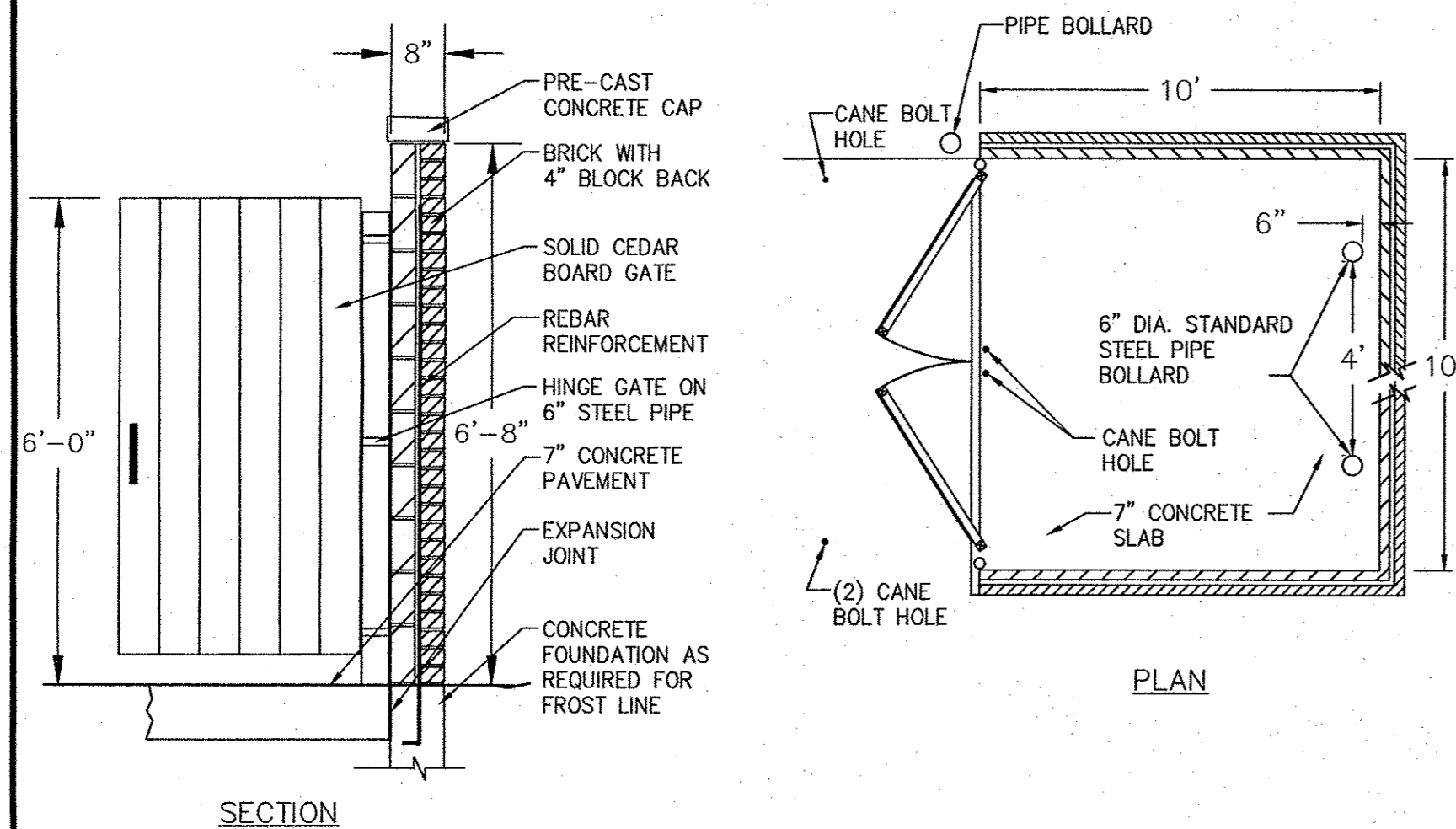
LOT 3
MELTON MANOR
BOOK No. 158 @ PG 5

APARTMENT
BLDG.

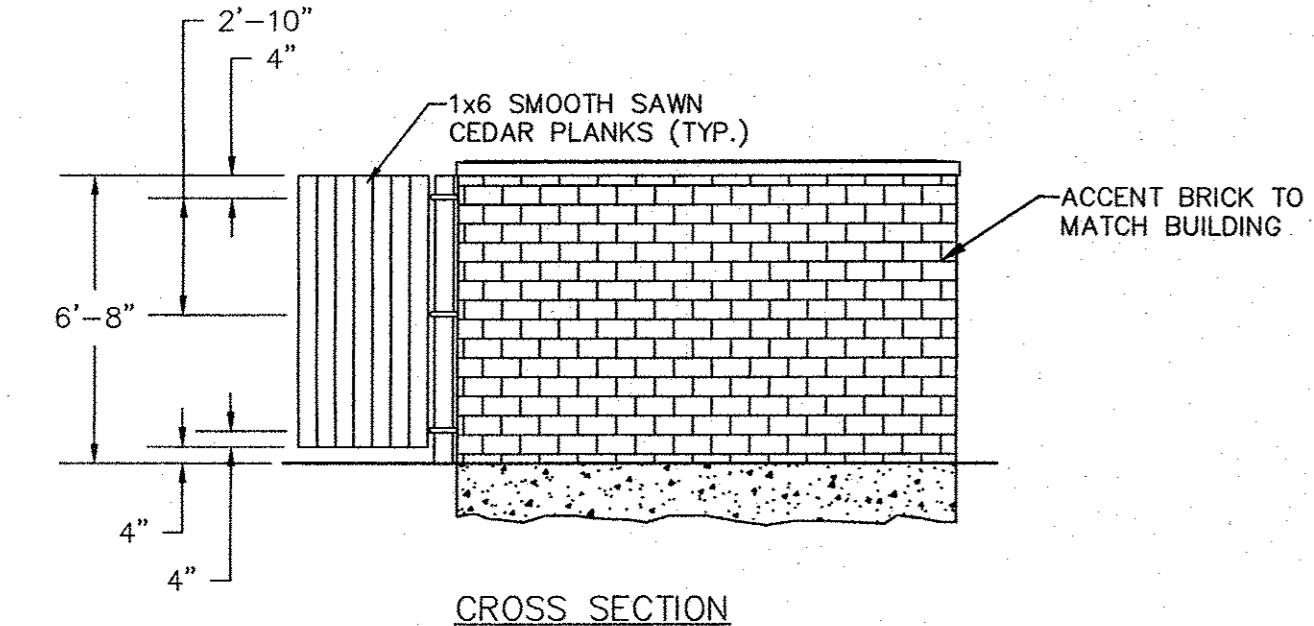
APARTMENT
BLDG.

ASP. PARKING

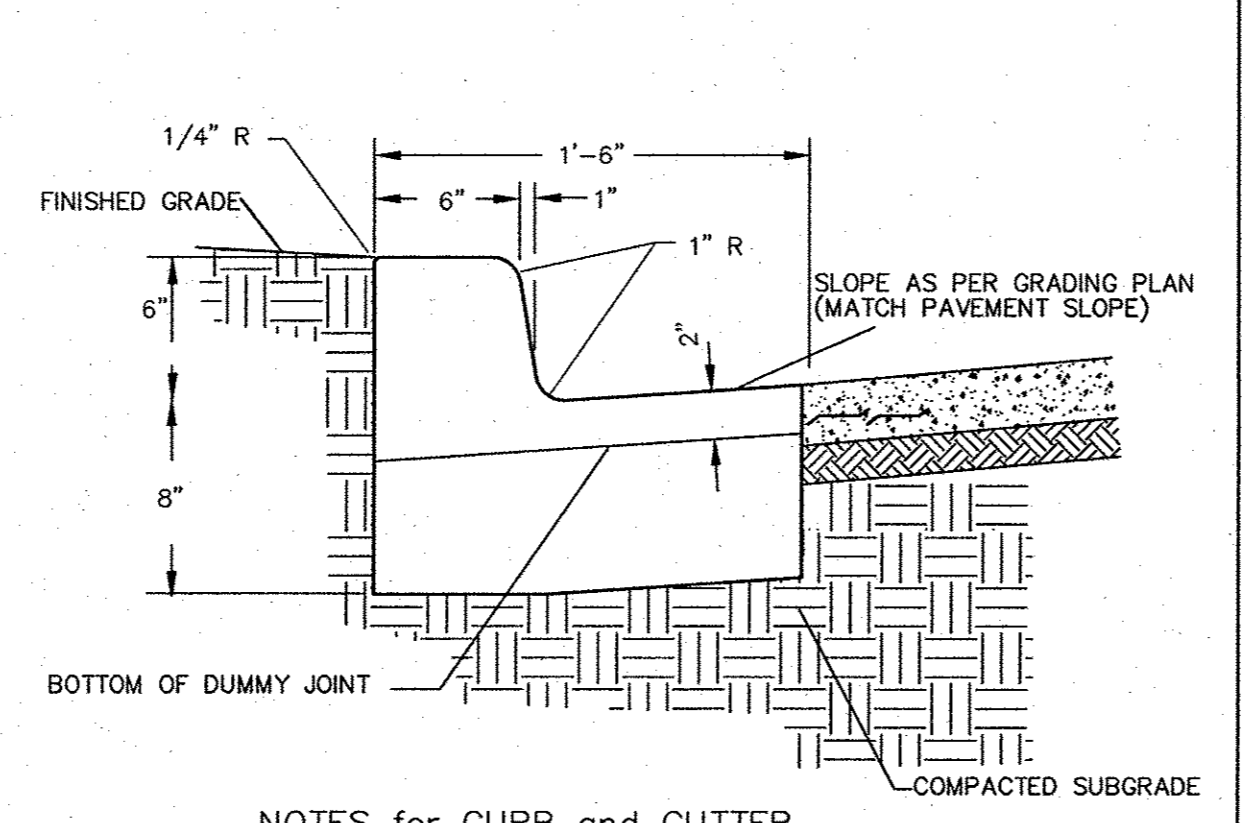
LOT 7
MELTON MANOR
BOOK "1" @ PAGE 153(SURVEY)



TRASH ENCLOSURE DETAILS
SCALE: N.T.S.

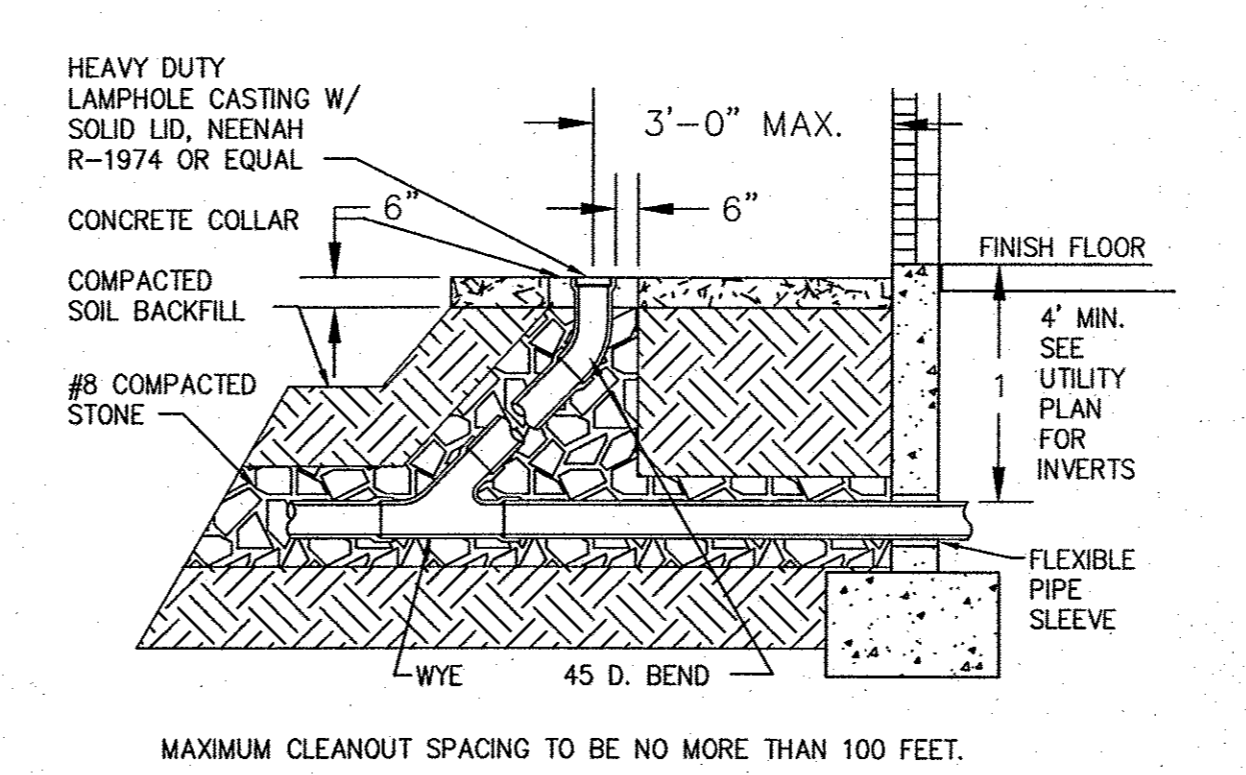


TRASH ENCLOSURE DETAILS
SCALE: N.T.S.



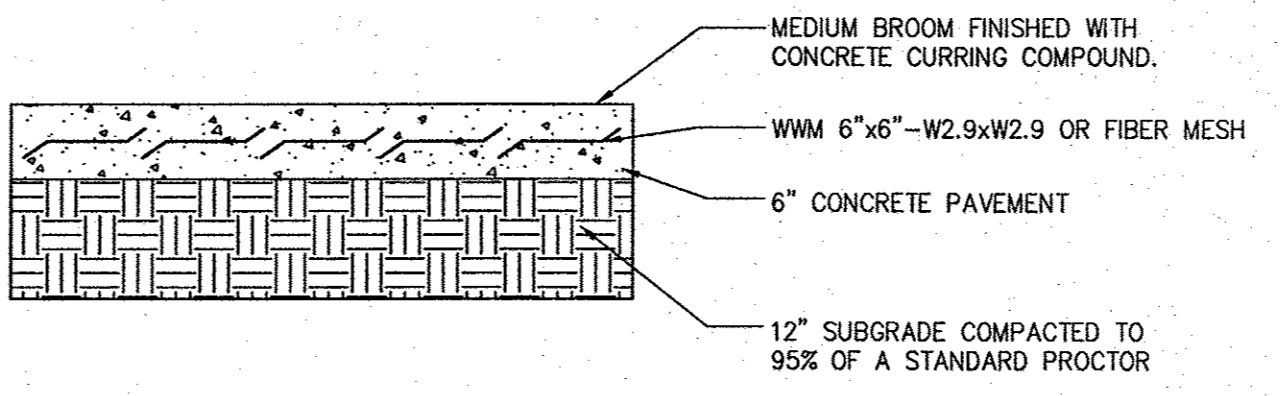
- NOTES for CURB and GUTTER
- PRE-CUT EXPANSION JOINT MATERIAL SHALL BE USED IN ALL EXPANSION JOINTS.
 - DUMMY JOINTS SHALL BE INSTALLED AT 10 FT. INTERVALS, MAXIMUM.
 - INSTALL EXPANSION JOINTS EVERY 40 FT., MAXIMUM, AT ENDS OF RADIUS, AND A MINIMUM OF 5 FT. FROM INLET STRUCTURES.
 - WHEN CURB AND GUTTER IS USED ON THE HIGH SIDE OF ROADWAY, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT UNLESS OTHERWISE INDICATED ON PLANS.
 - ALL CONCRETE SHALL BE MIN. 3500 PSI.

6-18 CURB AND GUTTER
SCALE: N.T.S.



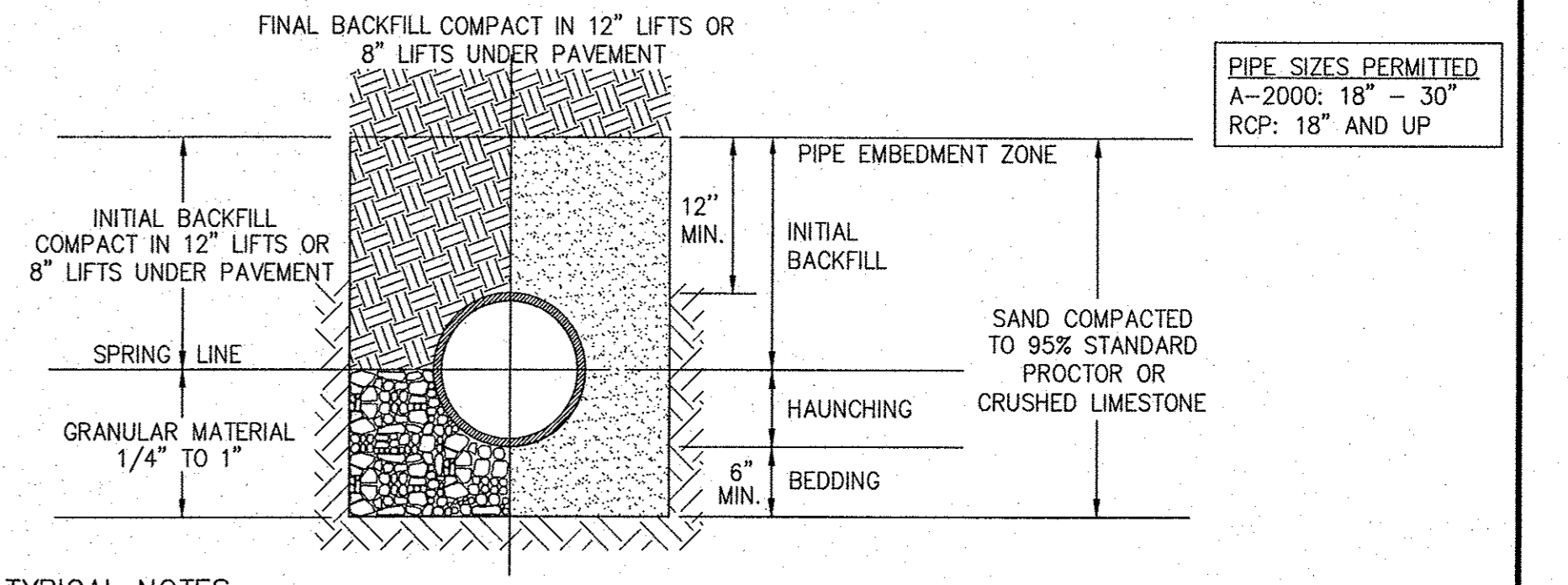
MAXIMUM CLEANOUT SPACING TO BE NO MORE THAN 100 FEET.

CLEANOUT DETAIL
SCALE: N.T.S.



NOTE: PAVEMENT DESIGN PER GEOTECHNICAL ENGINEERS RECOMMENDATION.

CONCRETE PAVEMENT DETAIL
SCALE: N.T.S.

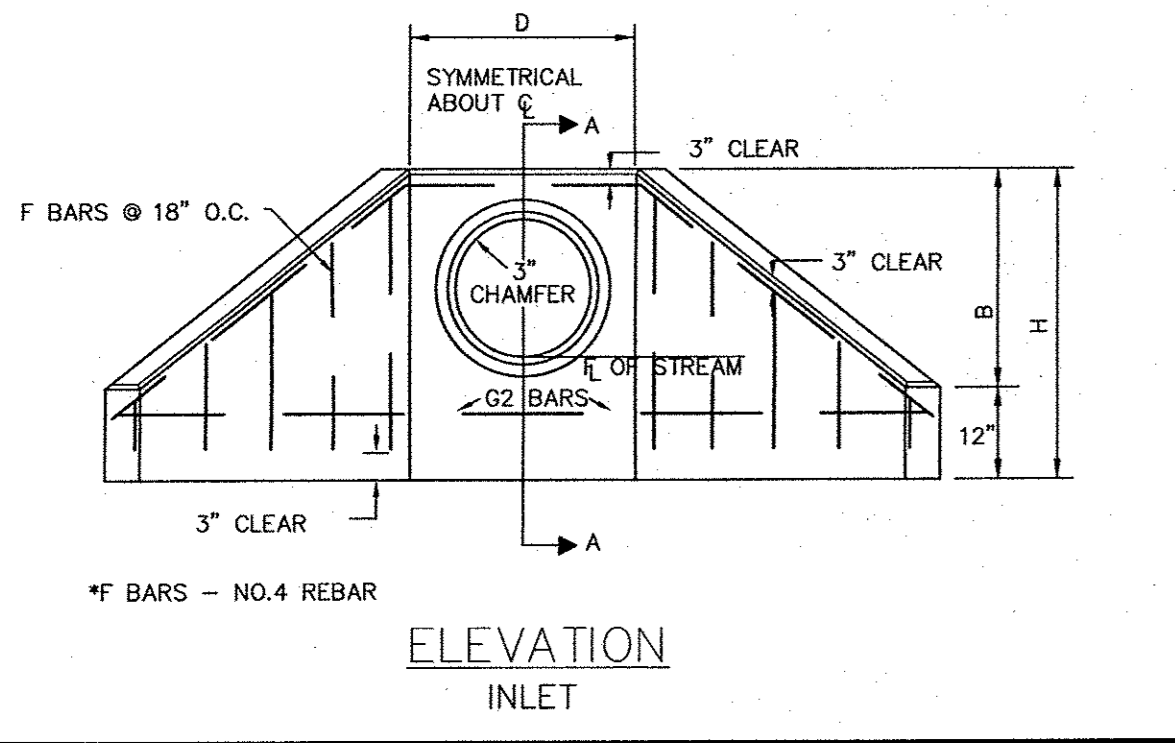
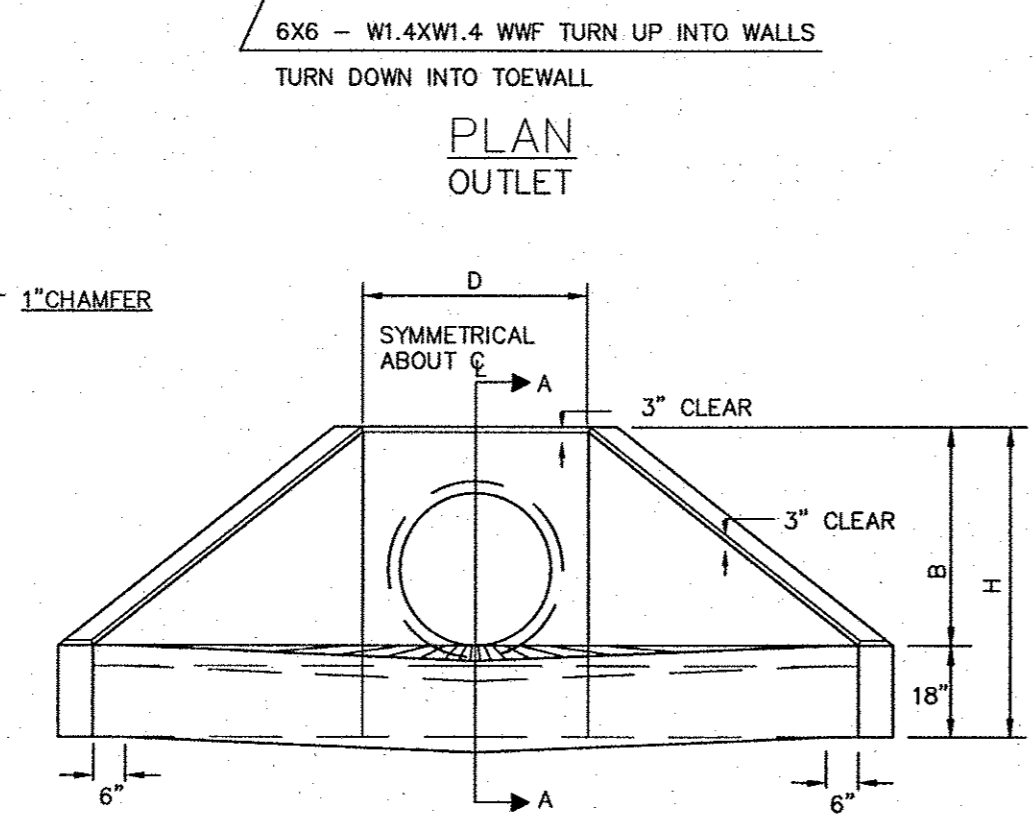
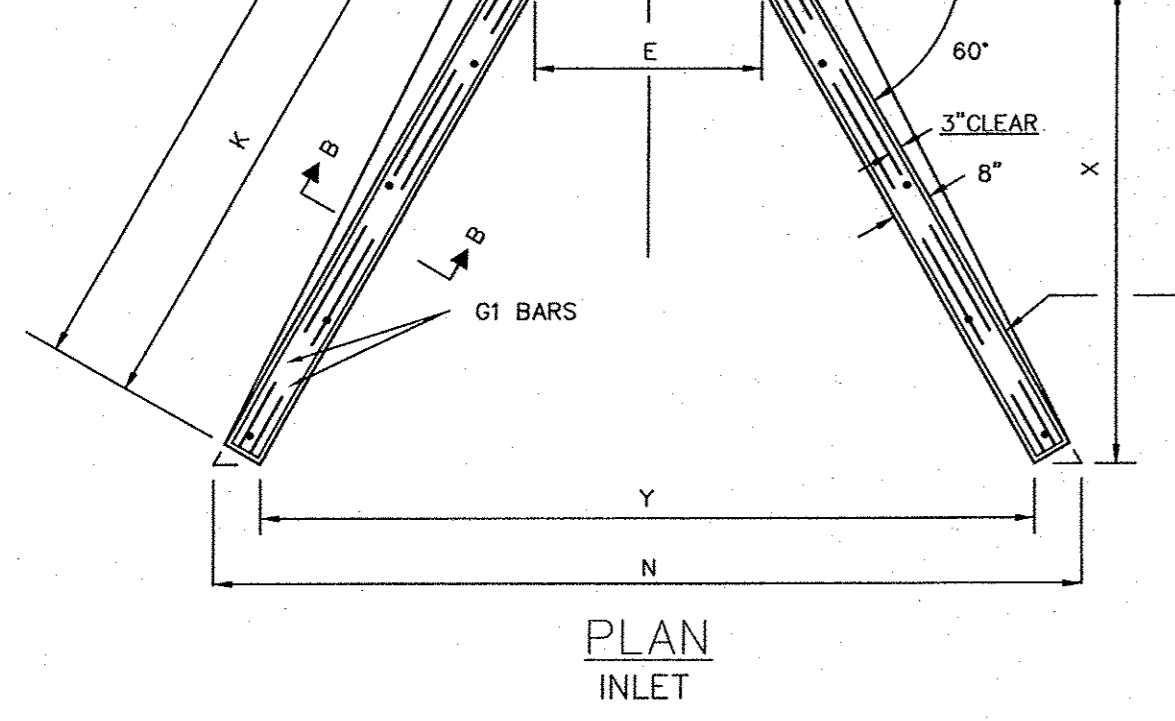
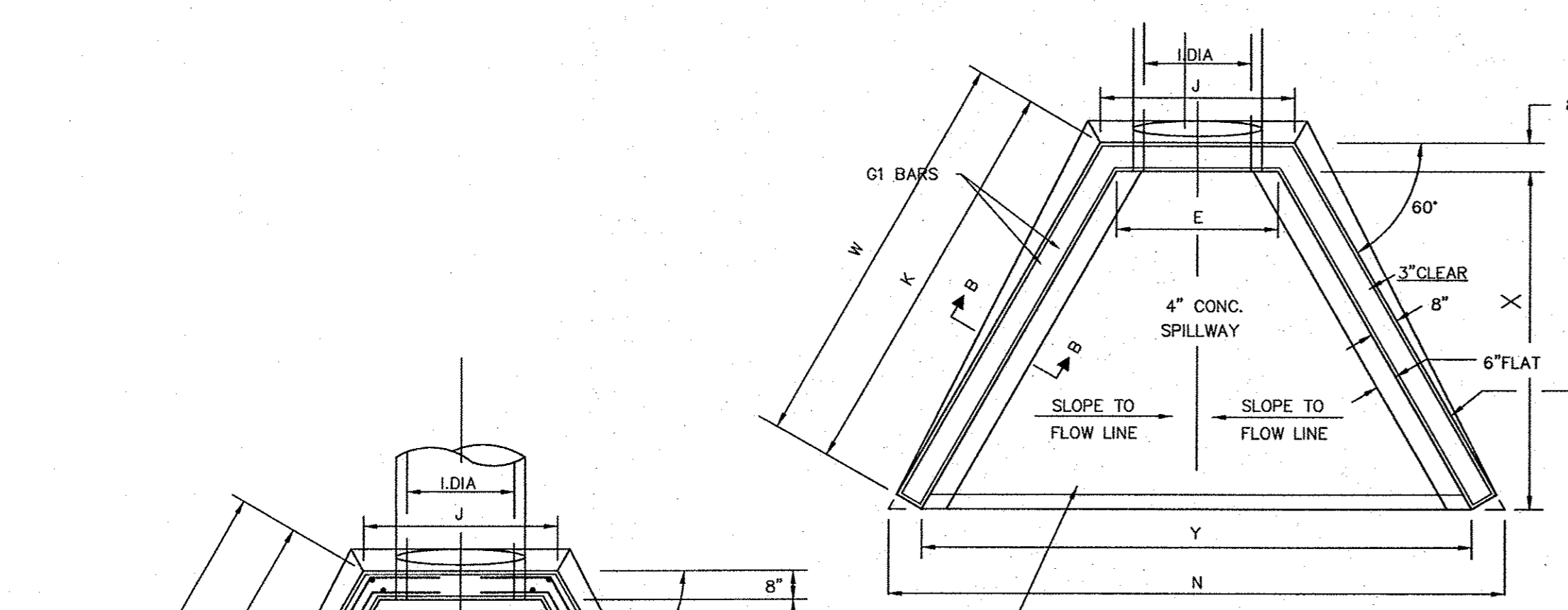


PIPE SIZES PERMITTED
A-2000: 18" - 30"
RCP: 18" AND UP

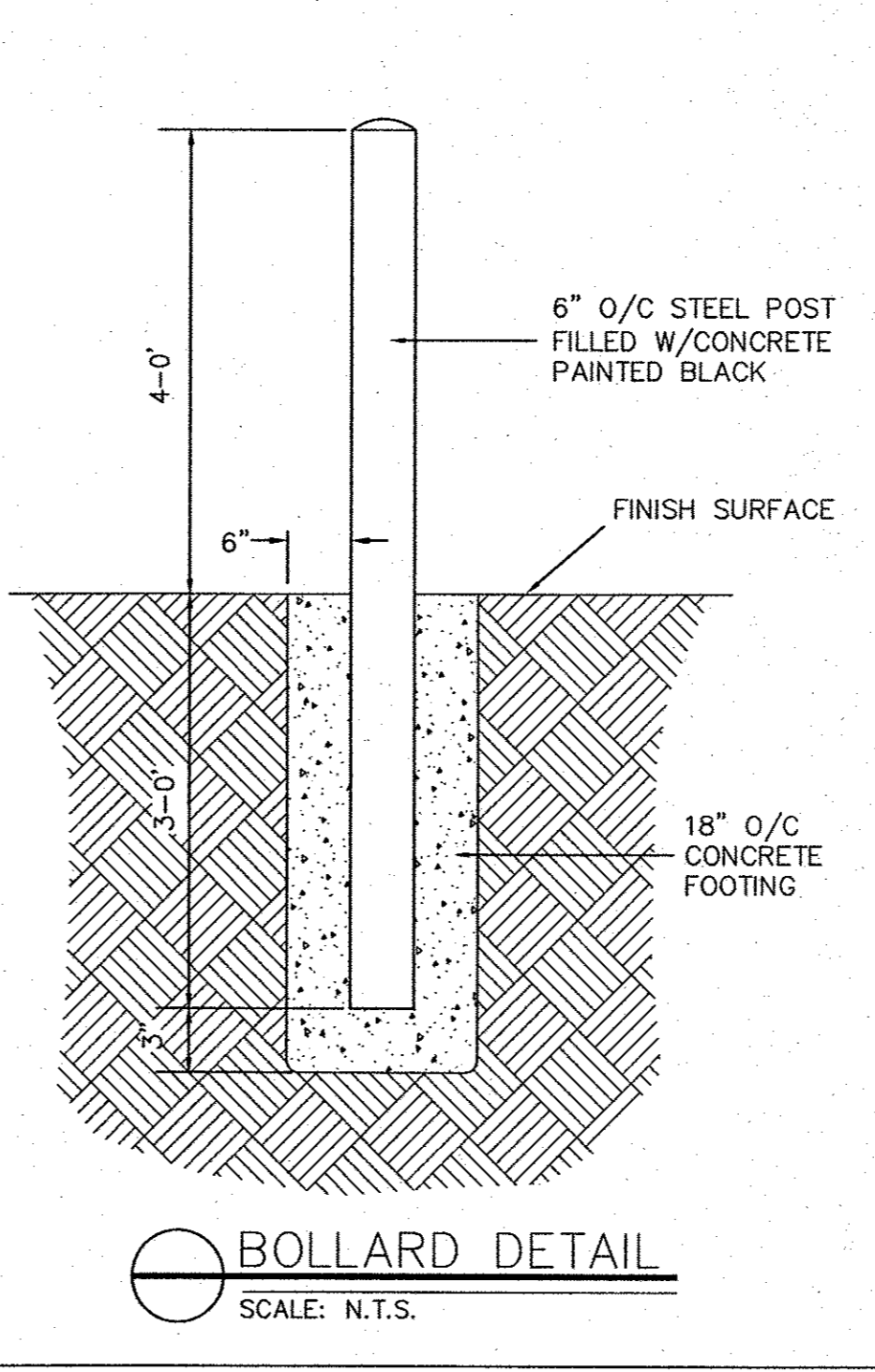
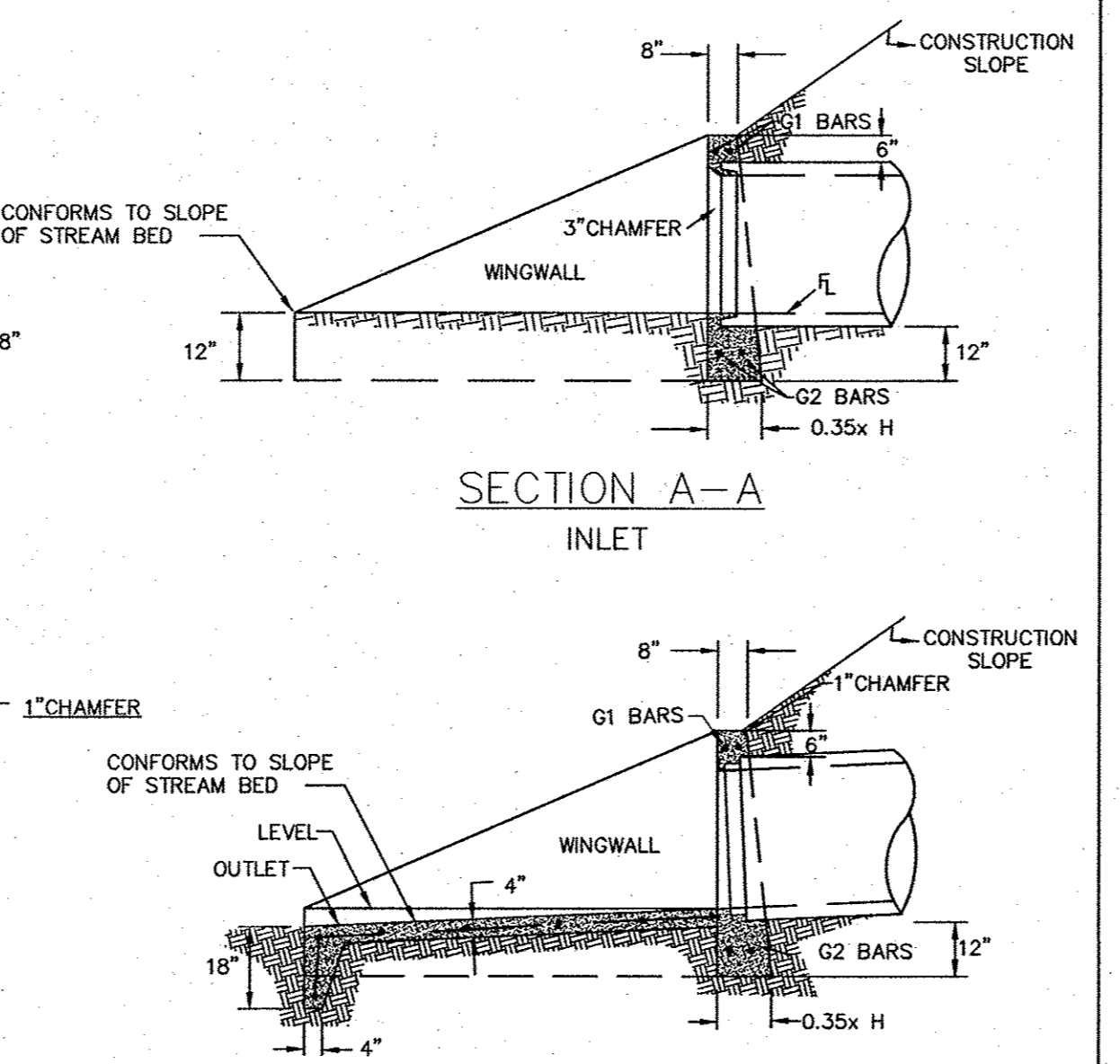
TYPICAL NOTES

- MATERIAL: DOUBLE WALL CORRUGATED PVC PIPE WITH SMOOTH INTERIOR PER ASTM F949 A-2000 OR RCP.
- PVC PIPE SHALL BE A-2000 MANUFACTURED BY CONTECH CONSTRUCTION PRODUCTS OR APPROVED EQUAL. ALL OTHER MANUFACTURERS OF CORRUGATED PVC PIPE SHALL BE PRE-QUALIFIED BY THE CITY ENGINEER 10 DAYS PRIOR TO BID OPENING TO BE CONSIDERED AS APPROVED MATERIAL SUPPLIERS. PRE-QUALIFIED SHALL DEMONSTRATE A MINIMUM OF 5 YEARS EXPERIENCE OF MANUFACTURING PROPOSED PRODUCTS. FOR PRODUCT AND PRICING INFORMATION CONTACT PAUL GAVIN OF CONTECH CONSTRUCTION PRODUCTS AT 901-299-4847.
- GRADE THE BOTTOM OF THE TRENCH TO PROVIDE A FIRM BEDDING SURFACE OF UNIFORM DENSITY ALONG THE ENTIRE LENGTH OF THE PIPE. BEDDING FOR ALL PIPES SHALL BE 6 INCHES MIN.
- WORK ENOUGH MATERIAL UNDER THE HAUNCH OF THE PIPE BY HAND TO PROVIDE PROPER COMPACTION AND SIDE SUPPORT.
- COMPACT FINAL BACKFILL TO THE SUBGRADE USING SUITABLE SOILS IN MAXIMUM 12" LIFTS OR 8" LIFTS UNDER PAVEMENT. USE COMPACTING EQUIPMENT - NOT EQUIPMENT TRACKS OR BUCKETS.
- AFTER JOINT ASSEMBLY, THE FIRST LOAD OF BACKFILL SHOULD BE PLACED OVER THE MIDDLE OF THE PIPE. WHILE THE FIRST LOAD IS BEING PLACED, THE FREE END SHOULD BE HELD ON LINE (EITHER BY PLACING A FOOT INSIDE THE BELL OR BY STRADDLING THE BELL WITH BOTH ANKLES.) THIS TECHNIQUE WILL MINIMIZE PIPE MOVEMENT DURING BACKFILLING FOR A-2000.
- SEAT ALL BELLS SO THAT NO VOIDS OCCUR UNDER PIPE.
- ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF OLIVE BRANCH.

PIPE BEDDING DETAIL
SCALE: N.T.S.



TYPE "D" HEADWALL
SCALE: N.T.S.



BOLLARD DETAIL
SCALE: N.T.S.

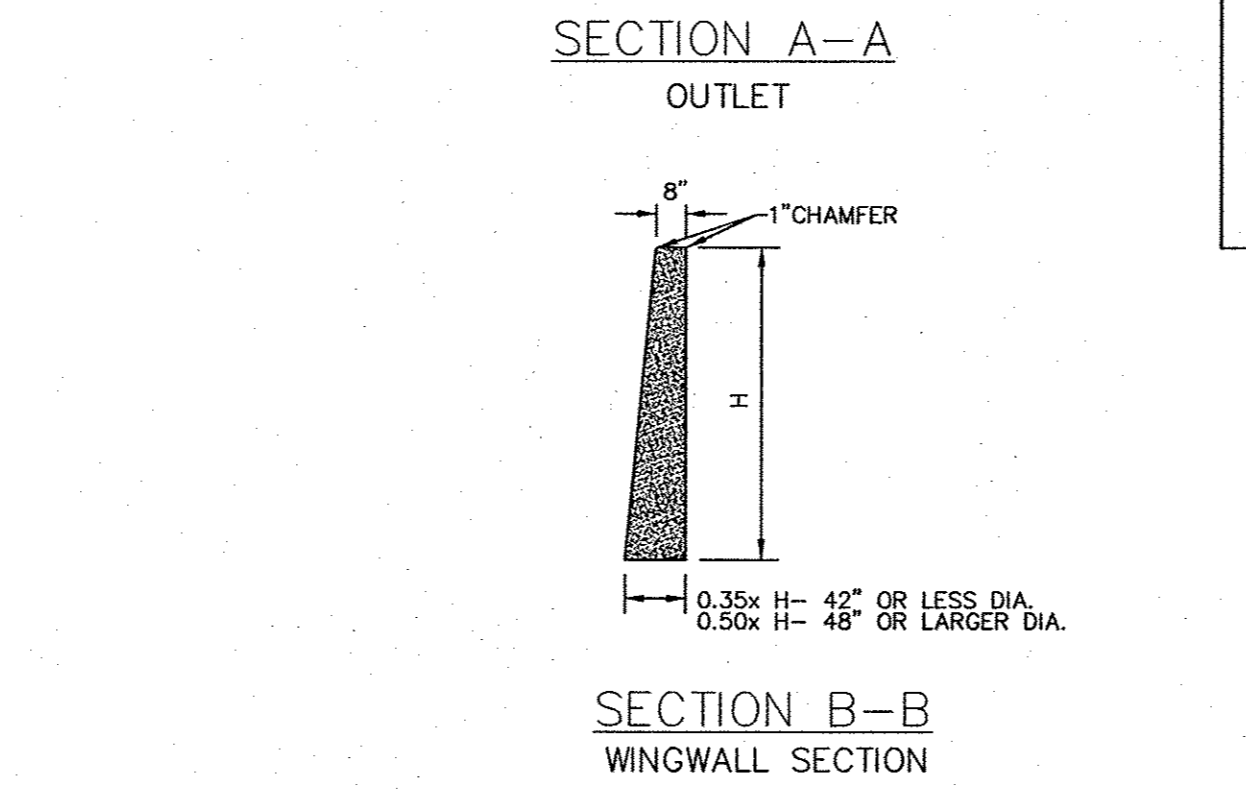
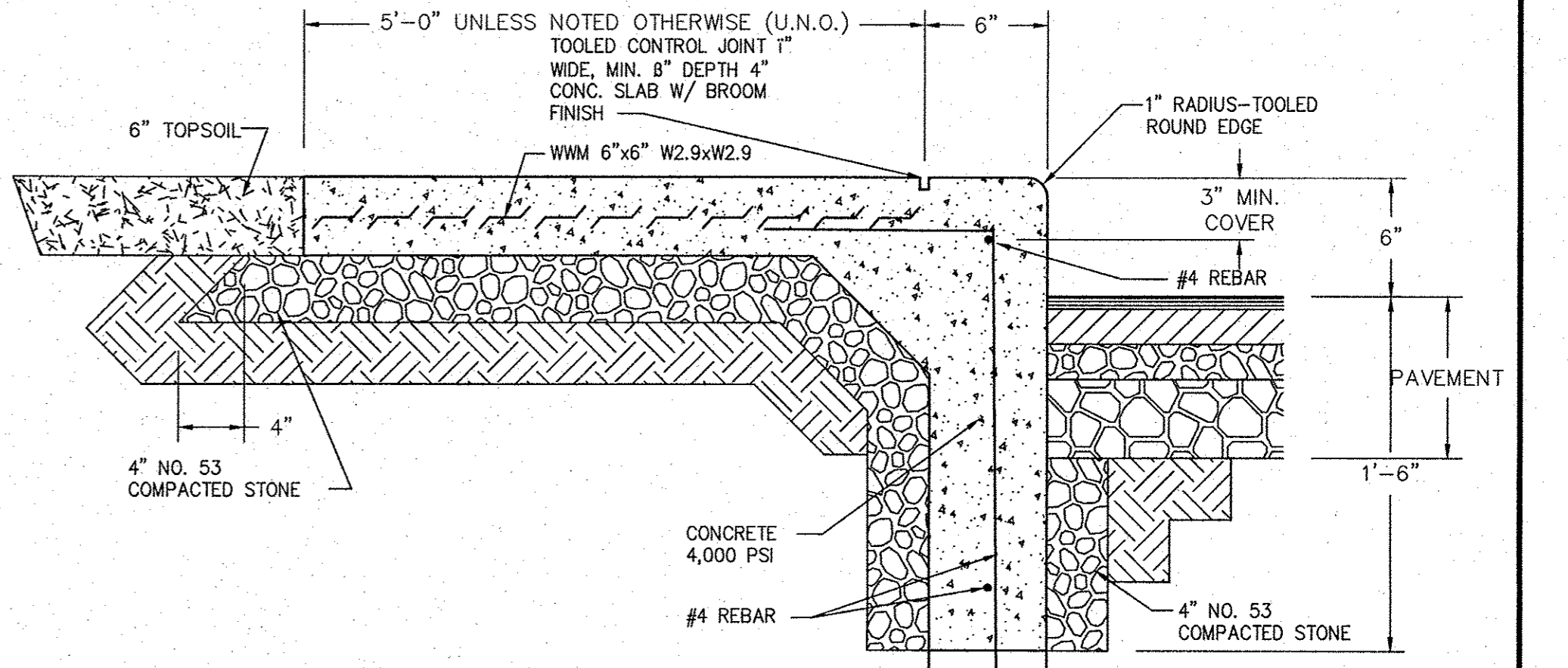


TABLE OF DIMENSIONS AND DIAMETERS

DIA.	15"	18"	21"	24"	30"	36"	42"	48"	54"	60"	66"	66"
B	1'-11 1/2"	2'-2 1/2"	2'-5 1/2"	2'-8 1/2"	3'-3"	3'-9 1/2"	4'-4"	4'-10 1/2"	5'-5"	6'-0"	6'-6 1/2"	7'-1"
D	1'-7 1/2"	1'-10 1/2"	2'-1 1/2"	2'-5"	3'-0"	3'-7"	4'-2"	4'-9"	5'-4"	6'-0"	6'-7"	7'-2"
E	1'-9 1/4"	2'-0 1/2"	2'-3 1/2"	2'-7"	3'-2"	3'-9"	4'-4"	4'-10"	5'-6"	6'-2"	6'-9"	7'-4"
H	3'-1 1/4"	3'-4 1/2"	3'-7 1/2"	3'-11"	4'-6"	5'-1"	5'-8"	6'-3"	6'-10"	7'-6"	8'-1"	8'-8"
J	2'-7 3/4"	3'-10 3/4"	3'-1 3/4"	3'-5 3/4"	4'-0 3/4"	4'-10 3/4"	5'-2 3/4"	5'-9 3/4"	6'-4 3/4"	7'-0 3/4"	7'-7 3/4"	8'-2 3/4"
K	4'-10 3/8"	5'-5 3/8"	6'-0 3/8"	6'-8 3/8"	7'-11 3/8"	9'-2 3/8"	10'-5 3/8"	11'-8 3/8"	12'-11 3/8"	15'-6 3/8"	18'-9 3/8"	21'-2 3/8"
N	7'-11 1/2"	8'-9 3/4"	9'-7 3/4"	10'-6 3/4"	12'-4 3/4"	14'-2 3/4"	16'-0 3/4"	17'-10 3/4"	19'-8 3/4"	21'-9 3/4"	23'-7 3/4"	25'-5 3/4"
W	5'-3 3/4"	5'-11"	6'-5 7/8"	7'-1 1/2"	8'-4 1/2"	9'-2 1/2"	10'-10 1/2"	12'-1 1/2"	13'-4 1/2"	14'-8 3/4"	15'-11 3/4"	17'-2 1/4"
X	3'-10 1/4"	4'-4 1/2"	4'-10 1/2"	5'-5"	6'-6"	7'-7"	8'-8"	9'-9"	10'-10"	12'-0"	13'-1"	14'-2"
Y	6'-2 3/8"	7'-1 3/8"	7'-11"	8'-10 3/8"	10'-8 3/8"	12'-6 3/8"	14'-4 3/8"	16'-2 3/8"	18'-0 3/8"	20'-0 3/8"	21'-10 3/8"	23'-8 3/8"

* This Table of Dimensions is for 2:1 construction slope.

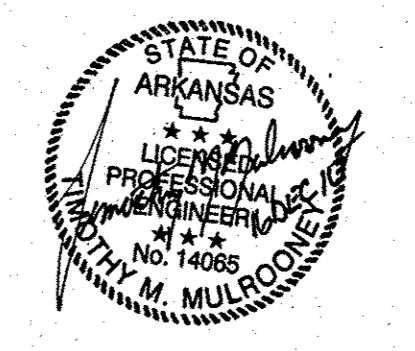


INTEGRAL CURB & WALK DETAIL
SCALE: N.T.S.

CONTROL POINTS:
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MONUMENT 82: NORTH 541523.76
EAST 1693714.81
CONVERGENCE ANGLE 0°44'54.7"
ELEV. 312.76 NAVD 88
LOCATION - SOUTHWEST DRIVE & ELK PARK

REVISION

ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE

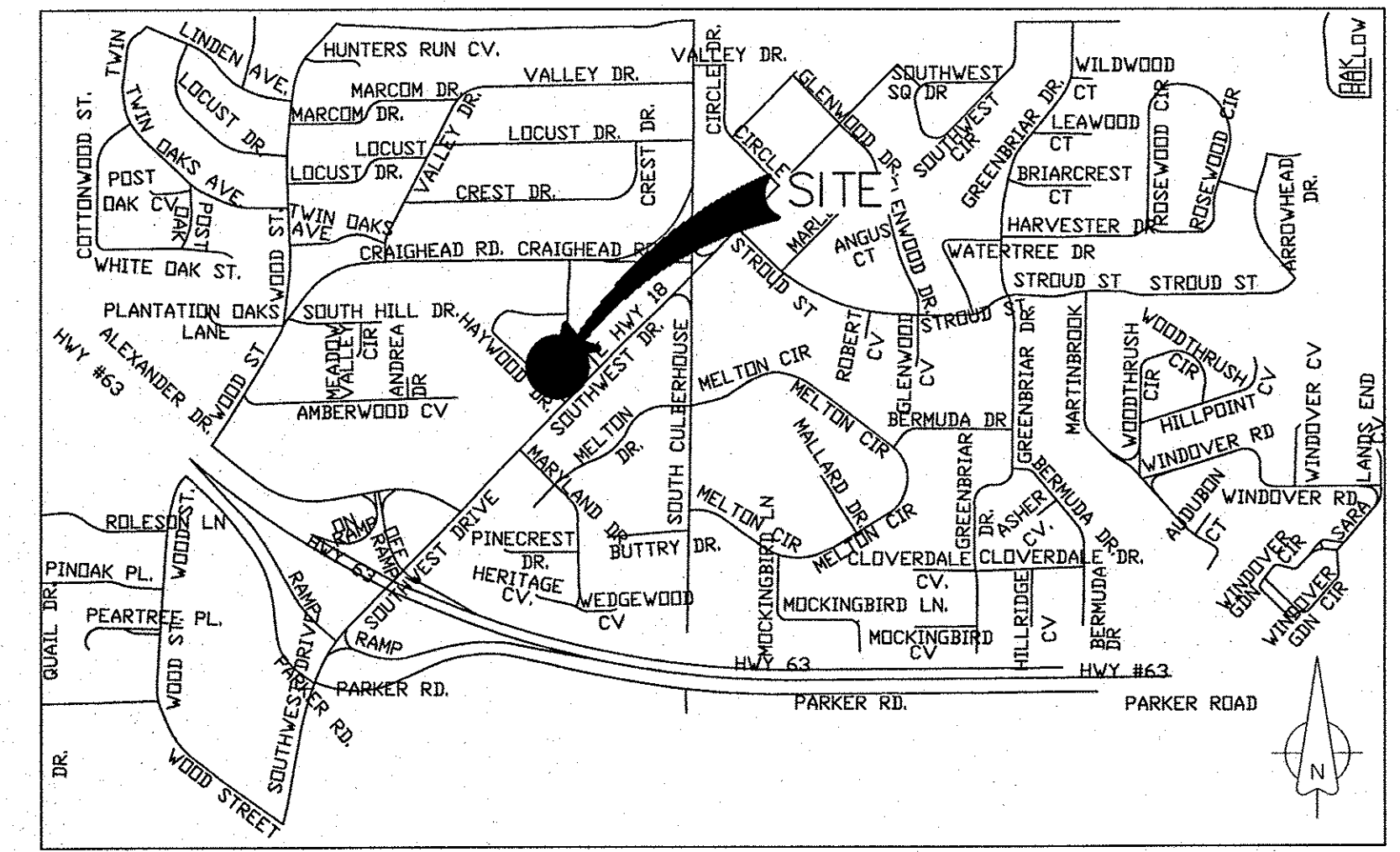
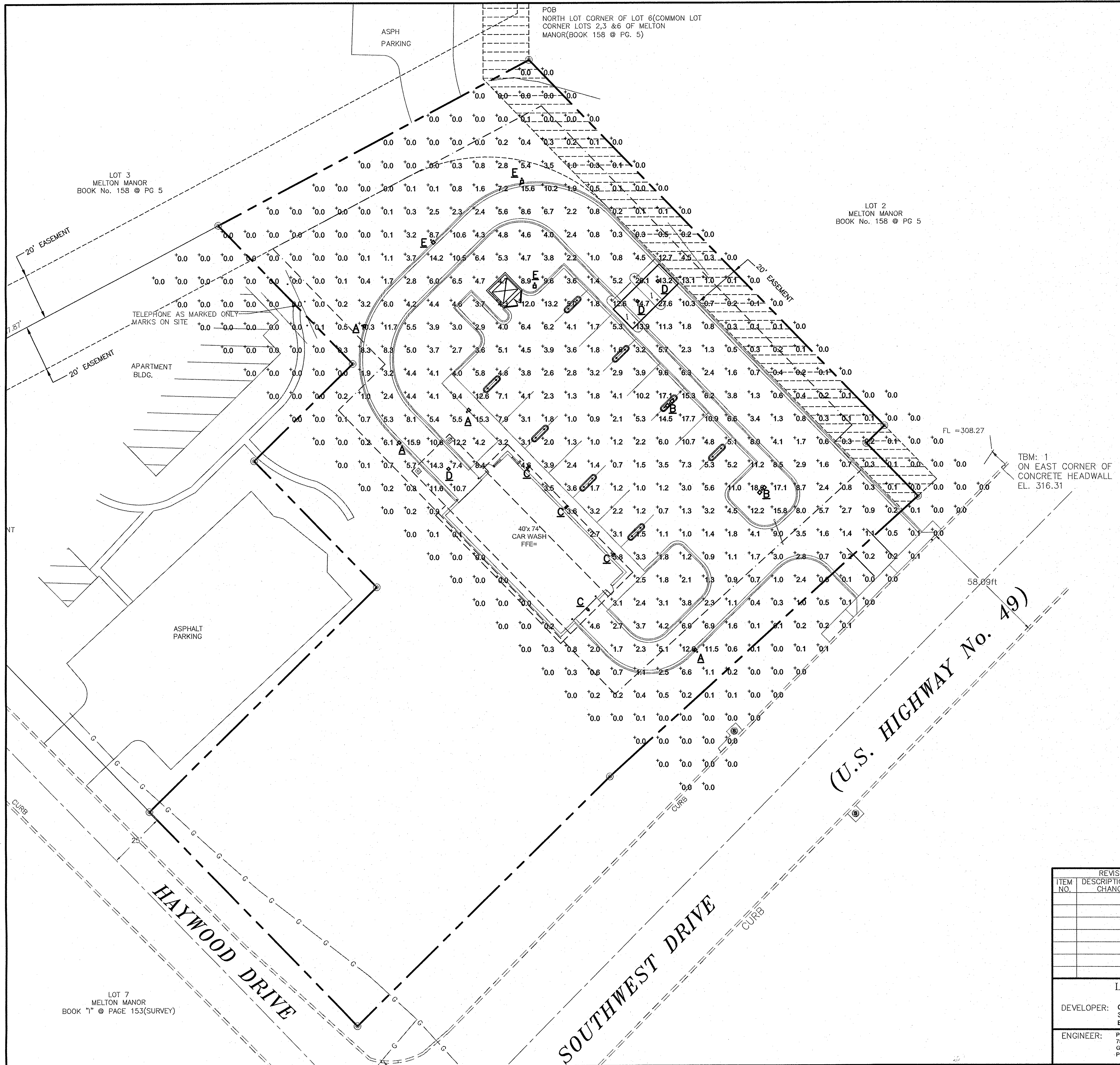


LOT -6 MELTON MANOR
CAR WASH USA
DEVELOPER: CAR WASH USA, LLC
3350 HWY. 308 N.
BYHALIA, MISSISSIPPI 38611
ENGINEER: PRIME DEVELOPMENT GROUP, INC.
7500 CAPITAL DR., SUITE 200
GERMANTOWN TN 38138
PH:901-937-3081

TBM: 1
LOCATED ON EAST CORNER OF CONCRETE HEADWALL
AT THE NORTHEAST CORNER OF LOT 6 AND SOUTHWEST
CORNER OF LOT 2 OF MELTON MANOR.
EL. 316.31

SHEET 1 OF 1

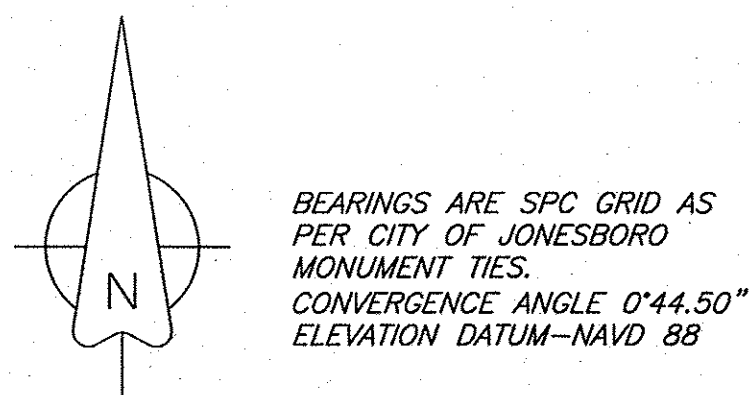
SITE DETAILS
JONESBORO, ARKANSAS
LOCATION: SOUTHWEST DRIVE AT HAYWOOD DRIVE
SURVEY: HIME DATE: 11/2010 BOOK: _____
SCALE: _____
DESIGN: TMM DATE: 12/10 CKD: _____ DATE: _____
APPROVED _____
CITY ENGINEER DATE



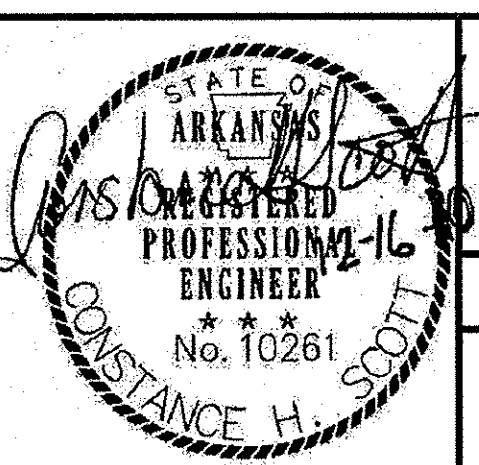
LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Watts	
□	A	4	CR1-MS25-H4-HS	CIMARRON RECTANGULAR AREA LIGHT TYPE IV REFLECTOR CLEAR FLAT LENS, INTERNAL HOUSE SHIELD	250W CLEAR ED-28 SUPER METAL HALIDE, HORIZONTAL POSITION	288
□	B	2	CR1-H40-H2	CIMARRON RECTANGULAR AREA LIGHT TYPE II REFLECTOR CLEAR FLAT LENS	400W CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION	920
⌞	C	4	LMC-70P	OUTDOOR WALL/CEILING ROADWAY REFL: HAMMERTONE ALUMINUM ENCL: CLEAR FLAT GLASS LENS	70W MET HAL ED17	95
□	D	3	EC-S-100-PSMV-F	ENCORE	1-100W PSMV CLEAR BU	208
□	E	3	CR1-MS25-H4	CIMARRON RECTANGULAR AREA LIGHT TYPE IV REFLECTOR CLEAR FLAT LENS	250W CLEAR ED-28 SUPER METAL HALIDE, HORIZONTAL POSITION	288

NOTE: ALL POLES TO BE 14' IN HEIGHT WITH A 2' BASE

STATISTICS				
Description	Symbol	Avg	Max	Min
Calc Zone #1	+	2.6 fc	27.6 fc	0.0 fc



REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



TBM: 1
LOCATED ON EAST CORNER OF CONCRETE HEADWALL
AT THE NORTHEAST CORNER OF LOT 6 AND SOUTHWEST
CORNER OF LOT 2 OF MELTON MANOR.
EL. 316.31

LOT -6 MELTON MANOR
CAR WASH USA

DEVELOPER: CAR WASH USA, LLC
3350 HWY. 309 N.
BYHALIA, MISSISSIPPI 38611

ENGINEER: PRIME DEVELOPMENT GROUP, INC.
7520 CAPITAL DR., SUITE 200
GERMANTOWN TN 38138
PH:901-937-3081

SHEET ___ OF ___

PHOTOMETRIC SITE PLAN

JONESBORO, ARKANSAS

LOCATION: SOUTHWEST DRIVE AT HAYWOOD DRIVE

SURVEY: HIME DATE: 11/2010 BOOK: _____

SCALE: 1" = 20'

DESIGN: TMM DATE: 12/10 CKD: _____ DATE: _____

APPROVED _____

CITY ENGINEER DATE _____

