

RESOURCE LIST

- CITY OF JONESBORO - PLANNING AND ZONING**
OTIS SPRIGGS, CITY PLANNER
301 VINE STREET
JONESBORO, AR 72401
870-932-0406
- CITY OF JONESBORO - ENGINEERING**
CRAIG LIGHT, P.E.
CITY ENGINEER
301 VINE STREET
JONESBORO, AR 72401
870-932-2438
- CODES DEPT. FIRE MARSHALL**
CRAIG DAVENPORT
3215 E. JOHNSON AVE.
JONESBORO, AR 72401
870-932-2428
- CITY WATER AND LIGHT - ENGINEERING**
RON BOWEN, P.E. MANAGER
400 EAST MONROE, P.O. BOX 1289
JONESBORO, AR 72403
870-933-9581, FAX: 870-930-3303
SUSAN MERIDETH - ACTING ENGINEERING SERVICES DIRECTOR
870-930-3320
- CENTERPOINT ENERGY**
KEITH CRAIG - SERVICE TECHNICIAN
3013 OLD FEEDHOUSE ROAD
JONESBORO, AR 72404
CELL: 870-891-3150
- AT&T**
123 CHURCH, ROOM B 21
JONESBORO, AR 72403
PHIL FARLEY - AREA MANAGER INSTALLATION & REPAIR
870-912-1921, FAX: 870-912-1610
TOMMY GRAY - AREA MANAGER ENGINEERING DESIGN
870-912-1981, FAX: 870-912-1533
- SUDDEN LINK - CABLE TV**
1520 SOUTH CARAWAY ROAD
JONESBORO, AR 72401
BOB FROCK - CONSTRUCTION MANAGER
870-933-8429 EXT. 212, FAX: 870-912-8141
DEANNA HORNBACK - MANAGER
JIMMY TANCY - FIELD MANAGER
CELL: 870-219-8583

GENERAL NOTES

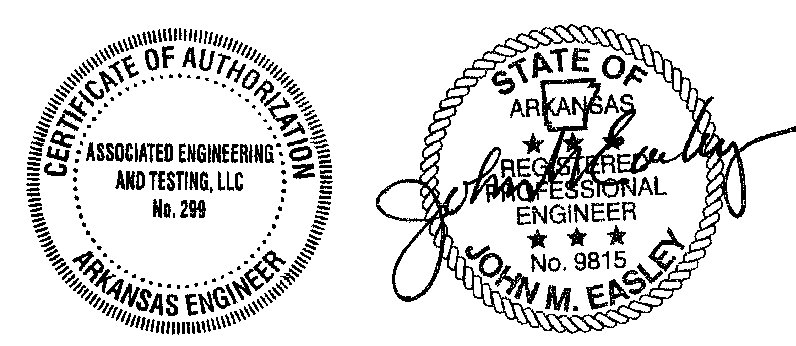
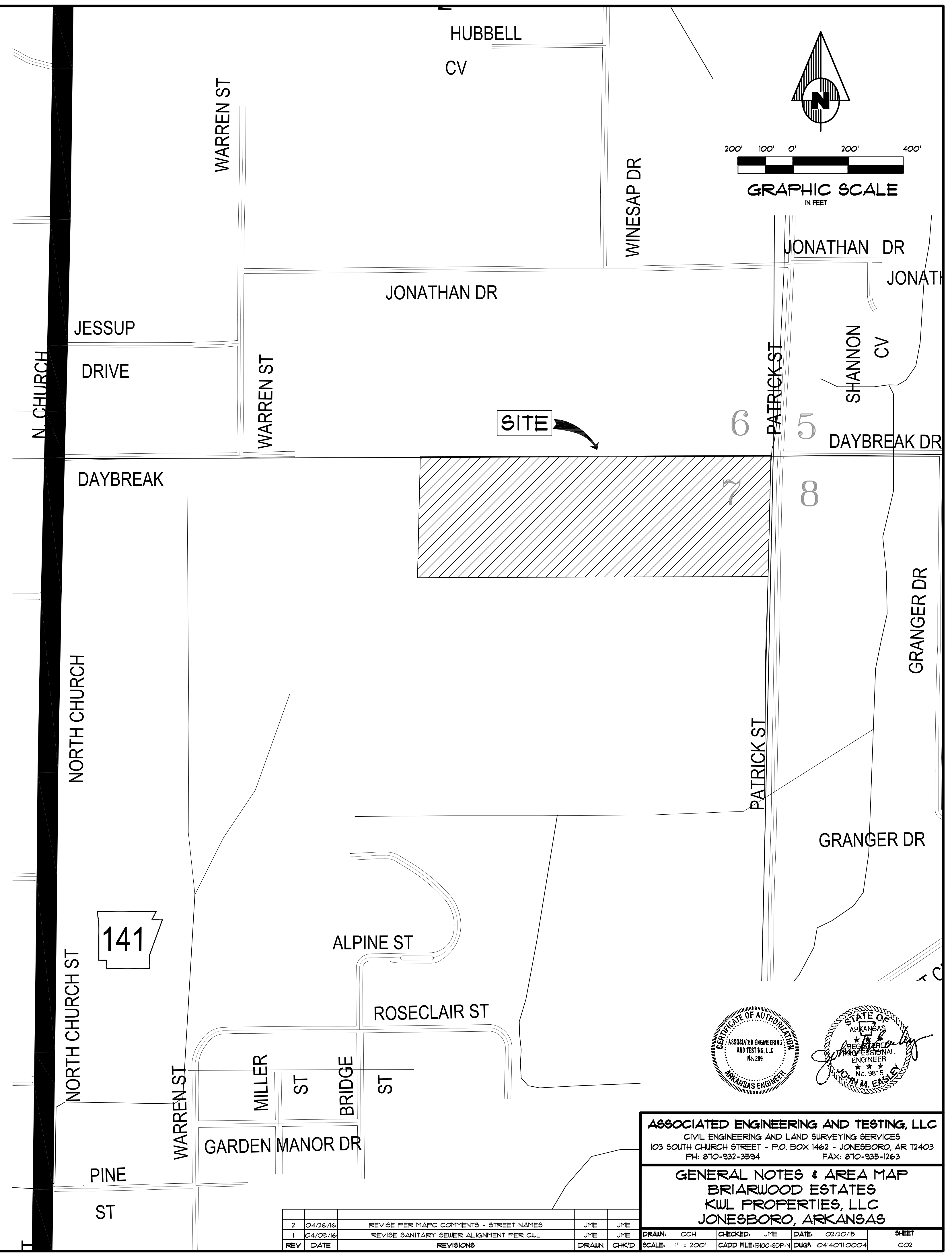
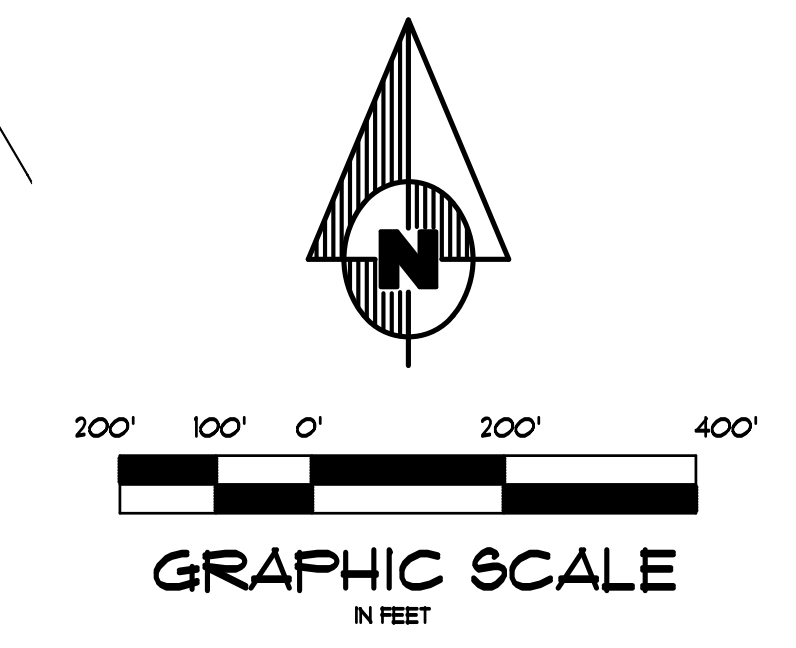
- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN "ZONE AE" 100 YR. FREQUENCY FLOOD ZONE, AS DESIGNATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR CITY OF JONESBORO, COMMUNITY PANEL 0503100044C, EFFECTIVE DATE -SEPTEMBER 21, 1991.
- SCREENING AND BUFFERING ARE AS SHOWN.
- EASEMENTS ARE AS SHOWN.
- COMMON OPEN SPACE AND AMENITIES ARE AS SHOWN.
- NO KNOWN HISTORICAL STRUCTURES ARE LOCATED ON SUBJECT PROPERTY.
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

BENCHMARK LIST

- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- BENCHMARK #1** IS COTTON PICKER SPINDLE IN THE SOUTH SIDE OF POWER POLE LOCATED APPROXIMATELY 180 FEET EAST AND 29 FEET NORTH OF THE NORTHWEST CORNER OF SUBJECT PROPERTY. **BENCHMARK #2** IS CHISELED SQUARE IN NORTH END OF 24" RCP LOCATED APPROXIMATELY 35 FEET WEST AND 31 FEET NORTH OF NORTHEAST CORNER OF SUBJECT PROPERTY. ELEV. = 281.38 (NAVD 88).

LEGEND

<ul style="list-style-type: none"> BOUNDARY LINE LOT LINES FOUND IRON PIPE FOUND COTTON-PICKER SPINDLE FOUND REBAR FOUND IRON PIPE W/ FLG XXXX CAP CITY OF JONESBORO G.P.S. MONUMENT BENCH MARK R/W MONUMENT SET 1 1/4" IRON PIPE W/ FLG #545 CAP EXISTING SANITARY SEWER LINE PROPOSED SANITARY SEWER LINE EXISTING SANITARY SEWER MANHOLE PROPOSED SANITARY SEWER MANHOLE EXISTING SANITARY SEWER CLEANOUT PROPOSED SANITARY SEWER CLEANOUT PROPOSED SANITARY SEWER SERVICE LINE EXISTING WATER LINE PROPOSED WATER LINE EXISTING WATER METER PROPOSED WATER METER WATER VALVE 	<ul style="list-style-type: none"> FIRE HYDRANT VALVE BOX FIRE PROTECTION EXISTING OVERHEAD ELECTRICAL LINE EXISTING UNDERGROUND ELECTRICAL LINE ELECTRIC TRANSFORMER/ELECTRIC METER POWER POLE POWER JUNCTION COMM. BOX SIGN LIGHTS/FLOOR LIGHTS LIGHT POLE (SINGLE) LIGHT POLE (BACK-BACK) LIGHT POLE (3 # 30') EXISTING FENCE LINE FINISHED GROUND CONTOUR EXISTING TREE/SHRUB BASIN BOUNDARY DRAINAGE FLOW GENERAL DRAINAGE FLOW SWALE FLOW DIRECTION SILT FENCE ROCK CHECK DAM RIP RAP AREA INLET PROTECTION ROCK CHECK DAM 	<ul style="list-style-type: none"> GRATED INLET DOWNSPOUT SPRINKLER CONTROL MAILBOX TRASH COMPACTOR COLUMN BOLLARD HANDICAP SIGN EXISTING FENCE LINE EXISTING GROUND CONTOUR FINISHED GROUND CONTOUR EXISTING TREE/SHRUB BASIN BOUNDARY DRAINAGE FLOW GENERAL DRAINAGE FLOW SWALE FLOW DIRECTION SILT FENCE ROCK CHECK DAM RIP RAP AREA INLET PROTECTION ROCK CHECK DAM
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ASSOCIATED ENGINEERING AND TESTING, LLC
CIVIL ENGINEERING AND LAND SURVEYING SERVICES
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
PH: 870-932-2594 FAX: 870-935-1263

GENERAL NOTES & AREA MAP
BRIARWOOD ESTATES
KUL PROPERTIES, LLC
JONESBORO, ARKANSAS

REV	DATE	REVISIONS	DRAWN	CHK'D	SCALE: 1" = 200'	CADD FILE: B00-50P-N	DWG#	0410110004	SHEET	C02
2	04/26/16	REVISE PER MAP COMMENTS - STREET NAMES	JME	JME						
1	04/09/16	REVISE SANITARY SEWER ALIGNMENT PER CUL	JME	JME						

SURVEYOR'S NOTES

1. THIS DRAWING WAS PREPARED FOR BRIARWOOD ESTATES AT JONESBORO LIMITED PARTNERSHIP, ORIGIN BANK OF MONROE LOUISIANA, ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR, BONNIE GOAD, COMMONWEALTH LAND TITLE INSURANCE COMPANY AND FIRST NATIONAL TITLE COMPANY.
2. THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF COMMONWEALTH LAND TITLE INSURANCE COMPANY TITLE COMMITMENT NO. MDL-151481-01, DATED JANUARY 5, 2016.
3. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS SURVEYOR FOR EASEMENTS, RESTRICTIONS, RESERVATIONS OR RIGHTS-OF-WAY AFFECTING THIS PROPERTY.
4. ALL UTILITY LOCATIONS SHOWN HEREON WERE LOCATED BY FIELD MEASUREMENTS OF VISIBLE OBSERVATIONS AND/OR EXISTING UTILITY MAPS. ASSOCIATED ENGINEERING AND TESTING, LLC MAKES NO WARRANTY OR GUARANTEE TO THE UTILITIES SHOWN OR NOT SHOWN HEREON. FURTHERMORE ASSOCIATED ENGINEERING AND TESTING, LLC MAKES NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF EXISTING UTILITY MAPS. IF PRECISE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE CLIENT/CONTRACTOR SHALL COORDINATE WITH SAID UTILITY OWNER TO EXPOSE SAID UTILITY FOR LOCATION AND/OR DEPTH. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ANY AND ALL UTILITY LOCATIONS AND/OR DEPTHS BEFORE EXCAVATION.
5. SUBJECT PROPERTY IS CURRENTLY ZONED R-1, RESIDENTIAL DISTRICT. ADJACENT PROPERTIES ARE ZONED R-1, THE BUILDING SETBACKS FOR R-1 ZONING ARE: FRONT 25' SIDE 15' REAR 25'
6. ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
7. BENCHMARK #1 IS COTTON PICKER SPINDLE IN THE SOUTH SIDE OF POWER POLE LOCATED APPROXIMATELY 180 FEET EAST AND 29 FEET NORTH OF THE NORTHWEST CORNER OF SUBJECT PROPERTY.
8. BENCHMARK #2 IS CHISELED SQUARE IN NORTH END OF 24" RCP LOCATED APPROXIMATELY 35 FEET WEST AND 31 FEET NORTH OF NORTHEAST CORNER OF SUBJECT PROPERTY. ELEV. = 291.38 (NAVD 88).
9. SUBJECT PROPERTY IS LOCATED WITHIN "ZONE X", AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN, AS DESIGNATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR THE CITY OF JONESBORO, COMMUNITY PANEL 050310044C (PANEL 44 OF 200). EFFECTIVE DATE = SEPTEMBER 21, 1991.
10. THE BOUNDARY SHOWN ON THIS SURVEY IS BASED UPON A PREVIOUS SURVEY BY ASSOCIATED ENGINEERING AND TESTING, LLC DATED 01/15/2015 BY KENNETH L. SCRAPE.

DESCRIPTION

A PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SECTION 7 TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS; THENCE SOUTH 00°54'53" WEST, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 7, 439.38 FEET; THENCE SOUTH 89°23'51" WEST, LEAVING SAID EAST LINE, 1273.28 FEET; THENCE NORTH 00°54'53" EAST, 439.38 FEET TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 7; THENCE NORTH 89°23'51" EAST, ALONG SAID NORTH LINE, 1273.28 FEET TO THE POINT OF BEGINNING.

CONTAINING IN ALL 559,258 SQ. FT. OR 12.84 ACRES, MORE OR LESS, SUBJECT TO PATRICK STREET RIGHT-OF-WAY ALONG THE EAST SIDE THEREOF.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

THE ABOVE DESCRIBES THE SAME PROPERTY AS SHOWN IN COMMONWEALTH LAND TITLE INSURANCE COMPANY TITLE COMMITMENT NO. MDL-151481-01, DATED JANUARY 5, 2016.

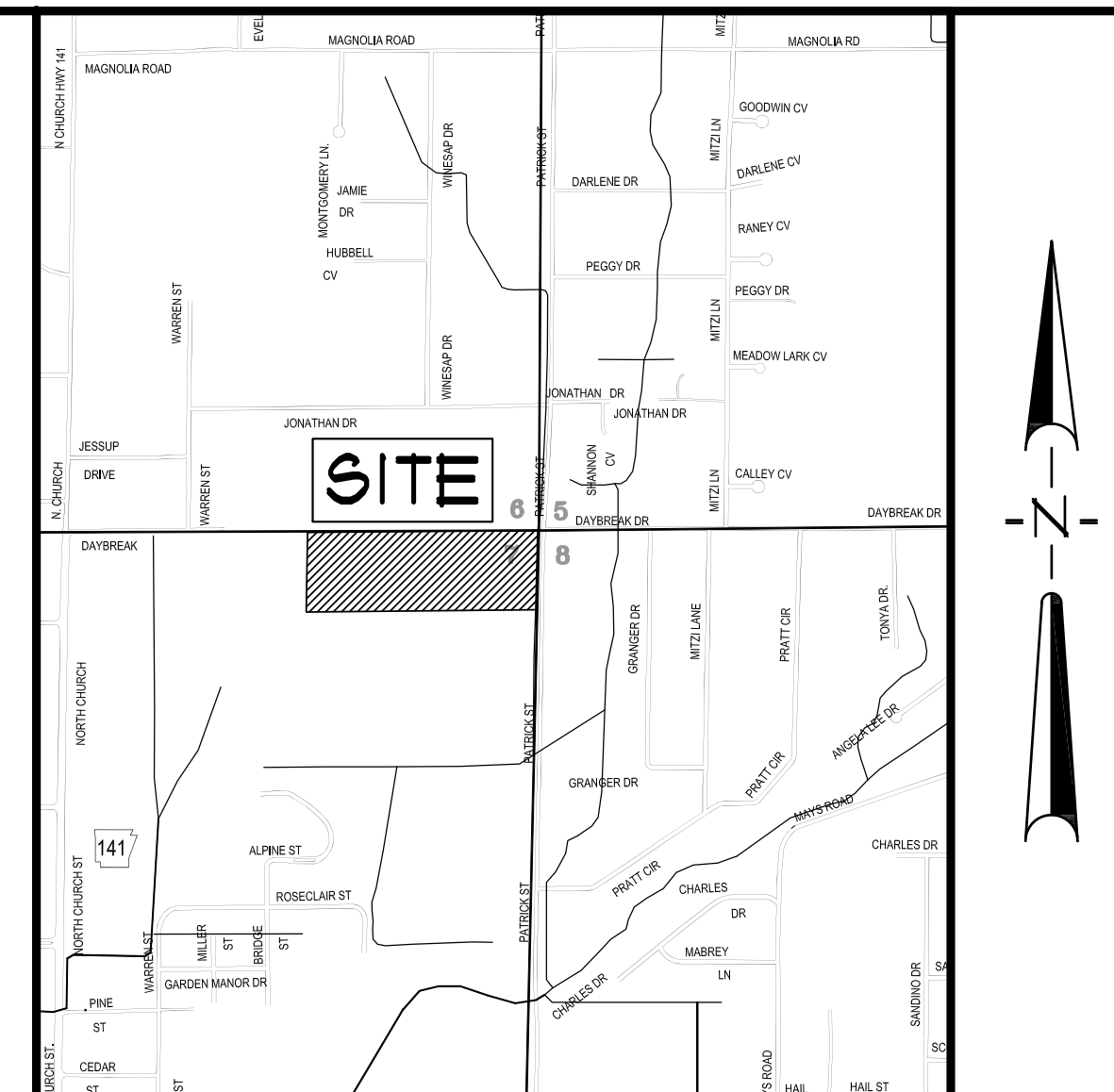
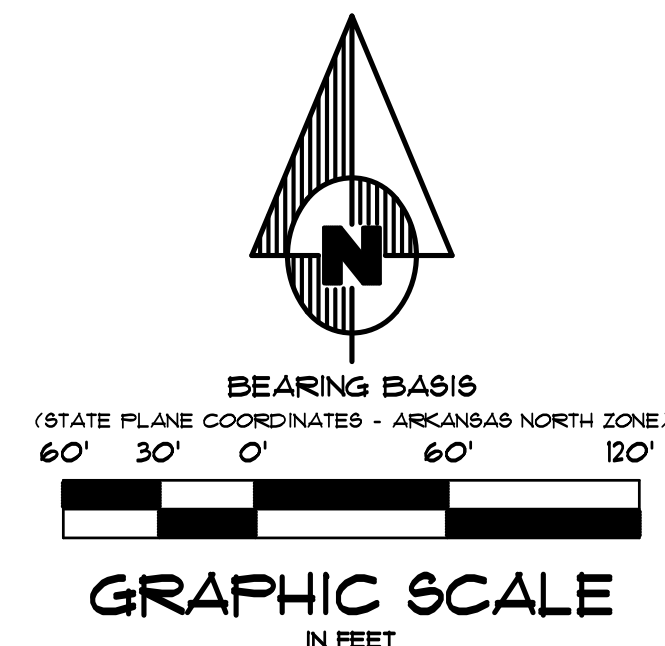


File No. MDL-151481-01

SCHEDULE B - SECTION 2

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the proposed insured acquires for value of record the estate of interest or mortgage thereon covered by this Commitment. (UNABLE TO PLOT)
 2. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. (NO VISIBLE ENCROACHMENTS)
 3. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
 4. Rights or claims of parties in possession not shown by the public records. (UNABLE TO PLOT)
 5. Easements or claims of easements not shown by the public records. (UNABLE TO PLOT)
 6. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown on the public records. (UNABLE TO PLOT)
 7. Coal, oil, gas, limestone and other mineral interests in the land and all rights and easements in favor of the estate of said coal, oil, gas, limestone and other minerals. (UNABLE TO PLOT)
- SPECIAL EXCEPTIONS**
1. Loss arising from Oil, Gas or Minerals, conveyed, retained, assigned or any other activity caused by the sub-surface rights of ownership, including but not limited to the right of ingress and egress for said sub-surface purposes. (UNABLE TO PLOT)
 2. General Taxes for the year 2016, which are not yet due and payable and subsequent years, and future installments of the following special improvement districts: (UNABLE TO PLOT)
 3. None
 4. Easement - Water Lines, in favor of the City Water and Light Plant of Jonesboro, Arkansas, of record in Book 588, Page 203, records of Craighead County, Arkansas. (AS SHOWN ON SURVEY)
 5. Easement - Guying & Anchoring in favor of the City Water and Light Plant of Jonesboro, Arkansas, of record as Doc# JB2011R-015001, records of Craighead County, Arkansas. (AS SHOWN ON SURVEY)
 6. That part of subject property lying within the right of way of Patrick Street. (AS SHOWN ON SURVEY)



VICINITY SKETCH
NOT TO SCALE

LEGEND

- BOUNDARY LINE
- - - ADJACENT LOT LINE
- - - EASEMENT LINE
- FRB
- 6" RCP
- 8" RCP
- 10" RCP
- 12" RCP
- 15" RCP
- 18" RCP
- 24" RCP
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- 3150" RCP
- 3156" RCP
- 3162" RCP
- 3168" RCP
- 3174" RCP
- 3180" RCP
- 3186" RCP
- 3192" RCP
- 3198" RCP
- 3204" RCP
- 3210" RCP
- 3216" RCP
- 3222" RCP
- 3228" RCP
- 3234" RCP
- 3240" RCP
- 3246" RCP
- 3252" RCP
- 3258" RCP
- 3264" RCP
- 3270" RCP
- 3276" RCP
- 3282" RCP
- 3288" RCP
- 3294" RCP
- 3300" RCP
- 3306" RCP
- 3312" RCP
- 3318" RCP
- 3324" RCP
- 3330" RCP
- 3336" RCP
- 3342" RCP
- 3348" RCP
- 3354" RCP
- 3360" RCP
- 3366" RCP
- 3372" RCP
- 3378" RCP
- 3384" RCP
- 3390" RCP
- 3396" RCP
- 3402" RCP
- 3408" RCP
- 3414" RCP
- 3420" RCP
- 3426" RCP
- 3432" RCP
- 3438" RCP
- 3444" RCP
- 3450" RCP
- 3456" RCP
- 3462" RCP
- 3468" RCP
- 3474" RCP
- 3480" RCP
- 3486" RCP
- 3492" RCP
- 3498" RCP
- 3504" RCP
- 3510" RCP
- 3516" RCP
- 3522" RCP
- 3528" RCP
- 3534" RCP
- 3540" RCP
- 3546" RCP
- 3552" RCP
- 3558" RCP
- 3564" RCP
- 3570" RCP
- 3576" RCP
- 3582" RCP
- 3588" RCP
- 3594" RCP
- 3600" RCP
- 3606" RCP
- 3612" RCP
- 3618" RCP
- 3624" RCP
- 3630" RCP
- 3636" RCP
- 3642" RCP
- 3648" RCP
- 3654" RCP
- 3660" RCP
- 3666" RCP
- 3672" RCP
- 3678" RCP
- 3684" RCP
- 3690" RCP
- 3696" RCP
- 3702" RCP
- 3708" RCP
- 3714" RCP
- 3720" RCP
- 3726" RCP
- 3732" RCP
- 3738" RCP
- 3744" RCP
- 3750" RCP
- 3756" RCP
- 3762" RCP
- 3768" RCP
- 3774" RCP
- 3780" RCP
- 3786" RCP
- 3792" RCP
- 3798" RCP
- 3804" RCP
- 3810" RCP
- 3816" RCP
- 3822" RCP
- 3828" RCP
- 3834" RCP
- 3840" RCP
- 3846" RCP
- 3852" RCP
- 3858" RCP
- 3864" RCP
- 3870" RCP
- 3876" RCP
- 3882" RCP
- 3888" RCP
- 3894" RCP
- 3900" RCP
- 3906" RCP
- 3912" RCP
- 3918" RCP
- 3924" RCP
- 3930" RCP
- 3936" RCP
- 3942" RCP
- 3948" RCP
- 3954" RCP
- 3960" RCP
- 3966"

DESCRIPTION

A PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

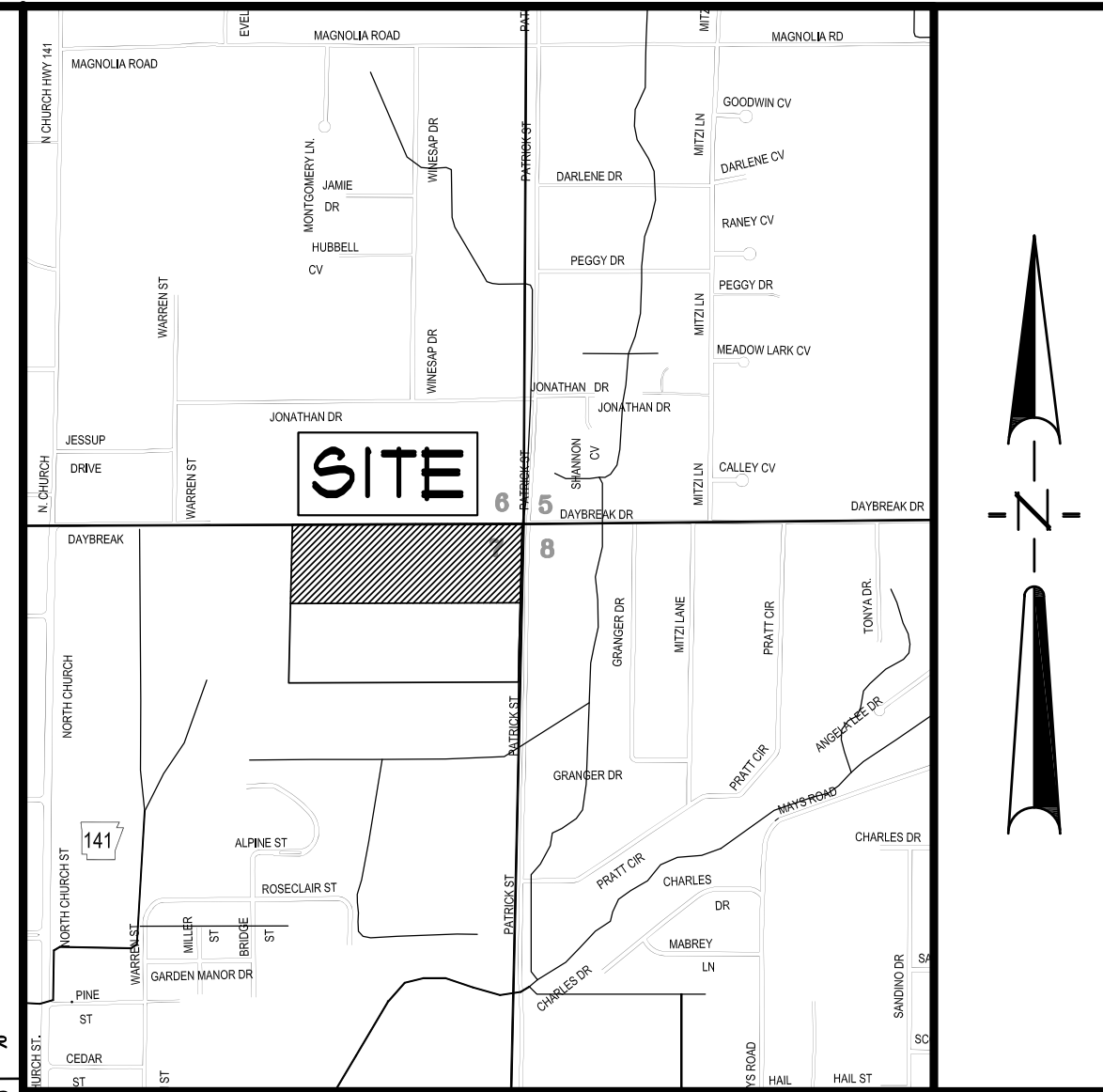
BEGINNING AT THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS; THENCE SOUTH 00°54'33" WEST, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1, AFORESAID, A DISTANCE OF 439.38 FEET; THENCE SOUTH 89°23'51" WEST DEPARTING SAID EAST LINE, A DISTANCE OF 992.10 FEET; THENCE SOUTH 00°36'03" EAST, A DISTANCE OF 169.61 FEET; THENCE SOUTH 89°23'51" WEST, A DISTANCE OF 66.61 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 50.00 FEET, AN ARC LENGTH OF 184.46 FEET; A CHORD BEARING OF NORTH 69°10'03" WEST AND A CHORD DISTANCE OF 83.09 FEET TO THE POINT OF REVERSE CURVATURE; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 8.09 FEET; THENCE SOUTH 89°23'51" WEST, A DISTANCE OF 135.10 FEET; THENCE NORTH 00°54'33" EAST, A DISTANCE OF 568.33 FEET TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 89°23'51" EAST, ALONG SAID NORTH LINE, 1230.31 FEET TO THE POINT OF BEGINNING.

CONTAINING IN ALL 6.06181 SQ. FT. OR 13.92 ACRES, MORE OR LESS, SUBJECT TO PATRICK STREET RIGHT-OF-WAY ALONG THE EAST SIDE THEREOF. SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

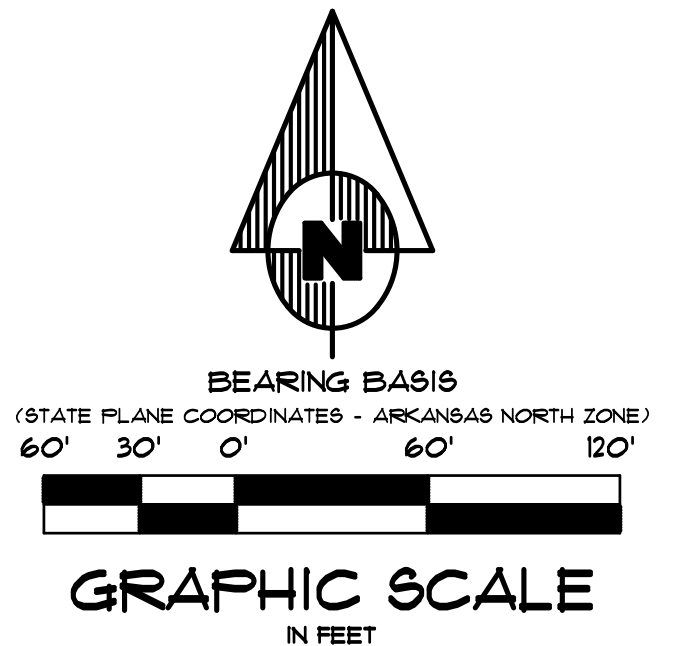
OWNER'S CERTIFICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF PROPERTY AS DESCRIBED HEREON, THAT WE ADOPT THE PLAN OF SUBDIVISION AND DEDICATE THE PERPETUAL USE OF ALL STREETS AND EASEMENTS AS NOTED.

KUL PROPERTIES, LLC
STEVE PERRY, AGENT



VICINITY SKETCH
NOT TO SCALE



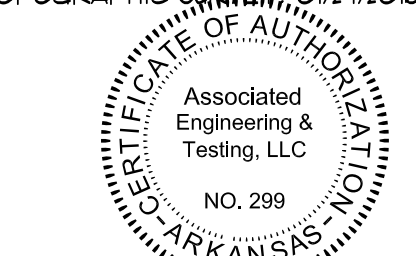
LEGEND

- BOUNDARY LINE
- - - ADJACENT LOT LINE
- - - EASEMENT LINE
- F.R.B.
- S.I.P.
- FOUND REBAR
- SET 1-1/4" IRON PIPE W/ P5 #5-49 CAP

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT ASSOCIATED ENGINEERING AND TESTING, LLC HAS THIS DATE MADE A BOUNDARY SURVEY OF THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON AND THAT SAID SURVEY IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THERE ARE NO APPARENT ABOVE GROUND ENCROACHMENTS OTHER THAN AS SHOWN OR STATED HEREON AND THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE ARKANSAS MINIMUM STANDARDS FOR PROPERTY SURVEYS AND PLATS IN EFFECT ON THIS DATE.

DATE OF TOPOGRAPHIC SURVEY: 01/21/2016



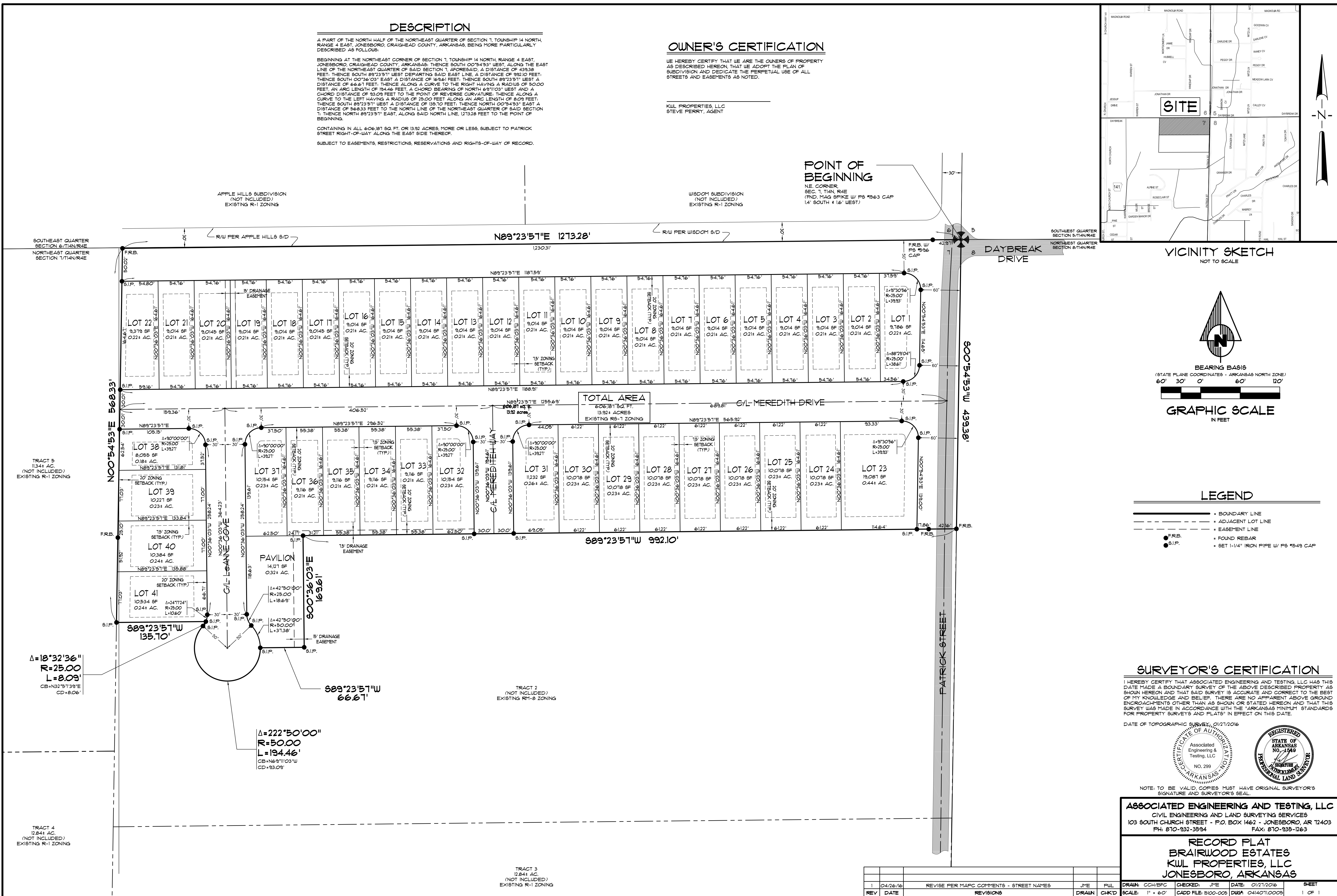
NOTE: TO BE VALID, COPIES MUST HAVE ORIGINAL SURVEYOR'S SIGNATURE AND SURVEYOR'S SEAL.

ASSOCIATED ENGINEERING AND TESTING, LLC
CIVIL ENGINEERING AND LAND SURVEYING SERVICES
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
PH: 810-932-3594 FAX: 810-935-1263

RECORD PLAT
BRAIWOOD ESTATES
KUL PROPERTIES, LLC
JONESBORO, ARKANSAS

POINT OF BEGINNING

NE CORNER
SEC. 1, T14N R4E
(FND. MAG SPIKE W/ P5 #5-49 CAP
1.4" SOUTH & 1.6" WEST)



TOTAL AREA
606181 SQ. FT.
13.92 ACRES
EXISTING RS-1 ZONING

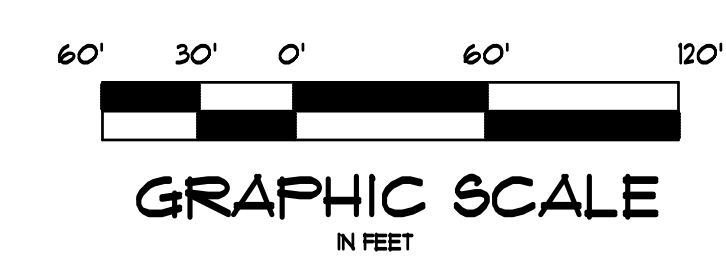
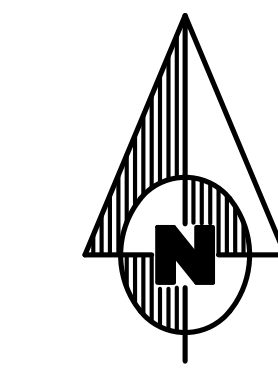
TRACT 5
1344 AC.
(NOT INCLUDED)
EXISTING R-1 ZONING

TRACT 2
(NOT INCLUDED)
EXISTING RM-8 ZONING

TRACT 4
1284 AC.
(NOT INCLUDED)
EXISTING R-1 ZONING

TRACT 3
1284 AC.
(NOT INCLUDED)
EXISTING R-1 ZONING

DATE	04/26/16	REVISIONS	REVISE PER MAP COMMENTS - STREET NAMES	JME	PLU
DRAWN	CCH/BPC	CHECKED	JME	DATE	01/21/2016
SCALE	1" = 60'	CADD FILE	1500-005	DWG#	041010005
					SHEET
					1 OF 1



GENERAL NOTES

- SITE LAYOUT BASED ON ARCHITECT'S INFORMATION.
- SUBJECT PROPERTY IS CURRENTLY ZONED RS-1. RS-1 ZONING IS DEFINED AS SINGLE FAMILY DISTRICT. THE SURROUNDING PROPERTY IS ZONED R-2 4 R-1.
THE BUILDING SETBACK FOR RS-1 ZONING ARE:
FRONT - 20'
SIDE - 15'
REAR - 20'
- SUBJECT PROPERTY DOES NOT LIE IN THE FLOOD PLAIN "ZONE AE", ACCORDING TO PANEL 44 OF 200 OF THE NATIONAL FLOOD INSURANCE RATE MAP FOR CRAIGHEAD COUNTY, ARKANSAS AND INCORPORATED AREAS. EFFECTIVE DATE - SEPTEMBER 21, 1991
- PARKING AREAS AND DRIVES SHALL BE CONCRETE PAVING WITH CONCRETE CURB AND GUTTER (18"). ALL CONCRETE SHALL BE 3000 PSI WITH 6"x6" W/4"x4 WLF.
- ALL CURB RETURN RADII SHALL BE 5' UNLESS OTHERWISE SHOWN. CURB RADII SHOWN AT BACK OF CURB.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE SHOWN.

POINT OF BEGINNING

TRACT 1
(P.O.C. - TRACT 2)
N.E. CORNER
SEC. 1, T14N, R4E
(FND. MAG SPIKE W/ FS #1863 CAP
14' SOUTH + 1.6' WEST)

DAYBREAK DRIVE

WISDOM SUBDIVISION
(NOT INCLUDED)
EXISTING R-1 ZONING

APPLE HILLS SUBDIVISION
(NOT INCLUDED)
EXISTING R-1 ZONING

2 - C.P.S. IN
SOUTH SIDE OF
POWER POLE

N89°23'51"E 1273.28'

1230.31'

SOUTHEAST QUARTER
SECTION 6, T14N, R4E
NORTHEAST QUARTER
SECTION 7, T14N, R4E

15' DRAINAGE EASEMENT

NOO°54'53"E 568.33'

C/L MEDERITH DRIVE

500°54'53"W 439.38'

PATRICK STREET

500°54'53"W 439.38'

1 - C.P.S. IN
WEST SIDE OF
POWER POLE

S89°23'51"W 992.10'

S89°23'51"W 135.10'

S89°23'51"W 66.61'

Δ=222°50'00"
R=50.00
L=194.46'
CB=N6°9'11"O3"W
CD=93.03'

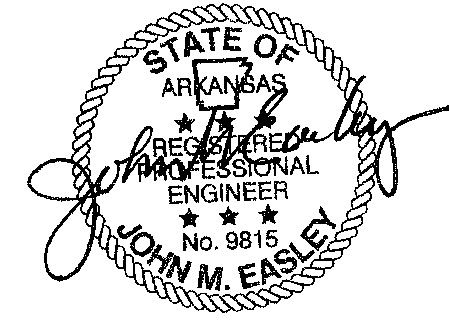
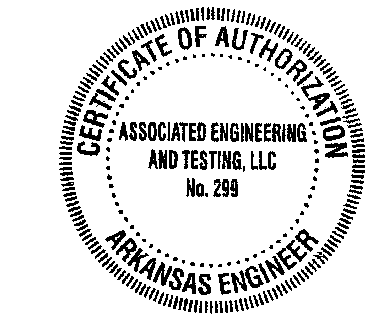
Δ=18°32'36"
R=25.00
L=8.09'
CB=N32°51'39"E
CD=8.06'

S89°23'51"W 1273.28'

1231.92'

TRACT 4
12.84+ ACRES
(NOT INCLUDED)
EXISTING R-1 ZONING

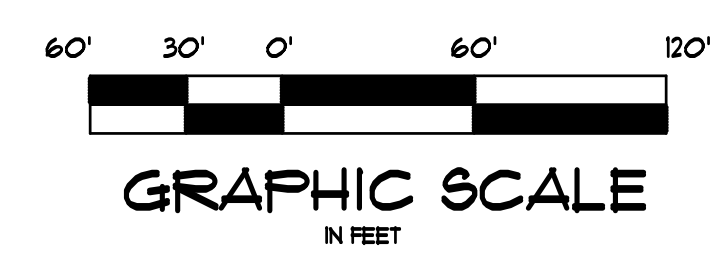
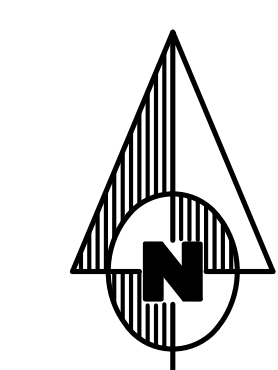
TRACT 3
12.84+ ACRES
(NOT INCLUDED)
EXISTING R-1 ZONING



ASSOCIATED ENGINEERING AND TESTING, LLC
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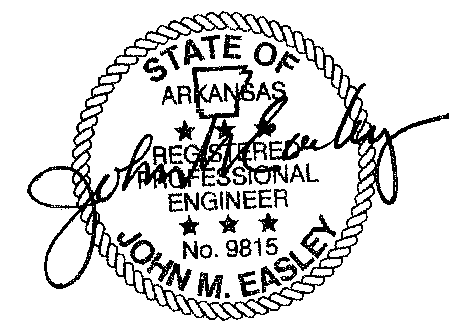
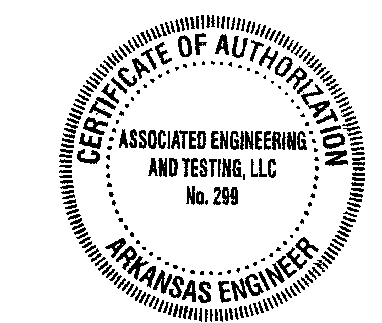
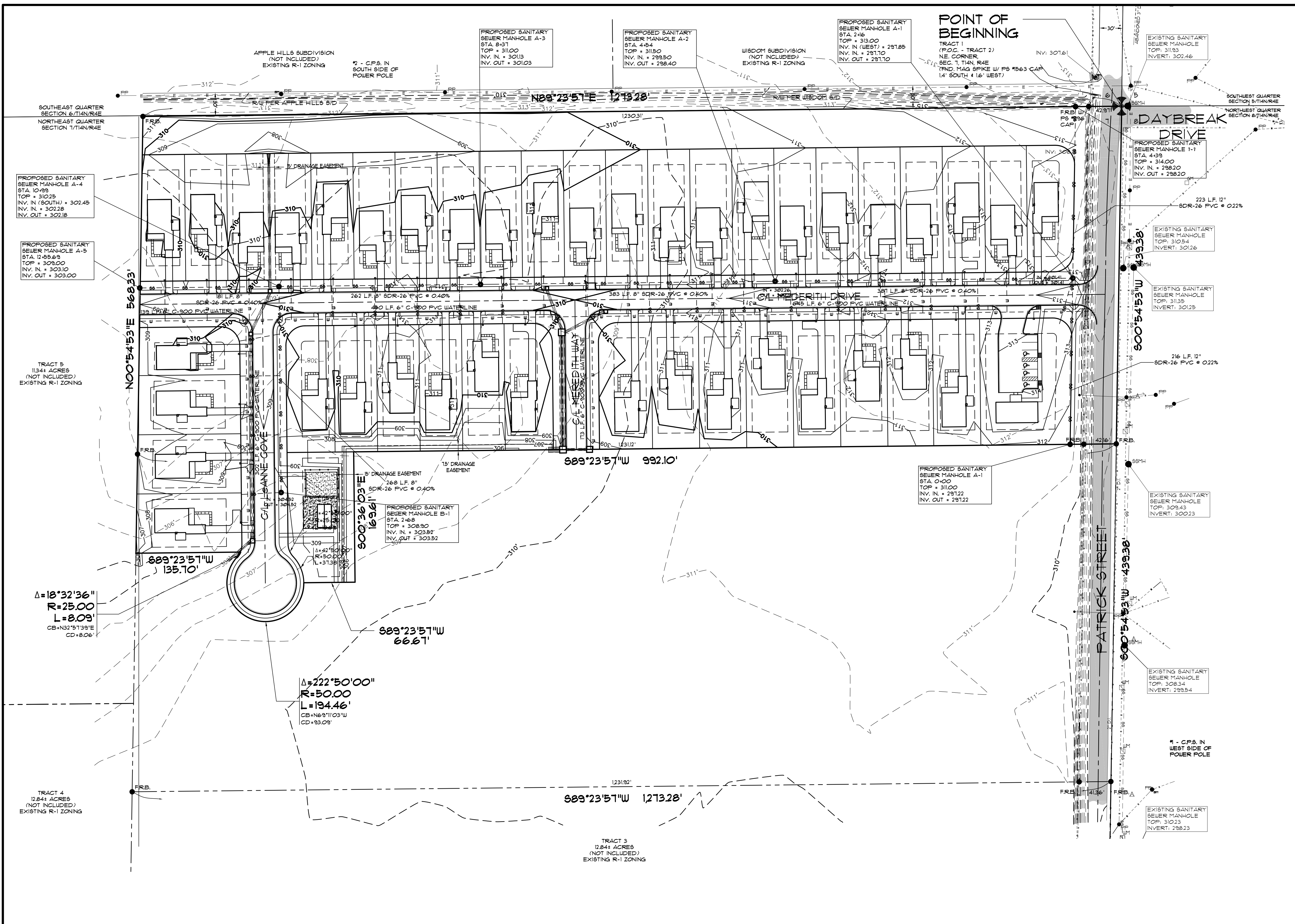
SITE LAYOUT
BRIARWOOD ESTATES
KUL PROPERTIES, LLC
JONESBORO, ARKANSAS

REV	DATE	REVISIONS	DRAWN	CHKD	SCALE:	CADD FILE	DATE	SHEET
2	04/26/16	REVISE PER MAP COMMENTS - STREET NAMES	JME	JME	1" = 60'	0414010004	01/28/2016	C05
1	04/09/16	REVISE SANITARY SEWER ALIGNMENT PER CUL	JME	JME				



GENERAL UTILITY NOTES

- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- VERTICAL DATUM REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NAVD 88)
- 1709 LF OF 6" ALUMINA C-900 PRESSURE CLASS 150/DR18 WATER LINE.
- 1488 LF OF 8" ASTM D3034 SDR-26 SEWER LINE. 439 LF. 12" ASTM D3034 SDR-26 SEWER LINE.
- PIPE DISTANCE SHOWN ARE TO CENTER OF STRUCTURES.
- ALL WATER LINES SHALL BE 6" C-900 WITH 42" MIN. COVER. VALVES, CONNECTIONS AND RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH NFPA STANDARDS. CITY OF BROOKLAND UTILITIES SPECIFICATION AS WELL AS THE CITY OF BROOKLAND AND INSTALLED WITH REQUIRED BEDDING AND THRUST BLOCKING.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- EXCAVATE AND VERIFY ALL UTILITY CROSSINGS AND INFORM THE OWNER'S REPRESENTATIVE OF ANY CONFLICT OR REQUIRED DEVIATION FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- WHERE SEWER LINES PASS WITHIN 2 FT. VERTICALLY OF WATER LINES, THE SEWER LINE SHALL BE ENCASED IN WATERTIGHT PIPE (SEE PART XIV.A OF ADH RULES AND REGULATIONS PERTAINING TO RUI).
- WATER LINES AND STORM SEWER CROSSINGS SHALL MAINTAIN 36" MIN. SEPARATION IN ALL DIRECTIONS.
- THE INSTALLER OF THE SANITARY SEWER DISPOSAL SYSTEM MUST BE LICENSED IN THE STATE OF ARKANSAS TO INSTALL LOW PRESSURE PIPE SYSTEMS.
- WATER AND SEWER LINES SHALL MAINTAIN 10 FEET HORIZONTAL SEPARATION.
- THE SITE SHALL BE CONSTRUCTED TO SUBGRADE AND ALL PROPOSED FILL SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF UTILITIES.
- LOCATION OF UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION. THE COSTS OF SUCH PROTECTION IS INCLUDED IN THE BASE BID.
- UNDERGROUND ELECTRIC TO BE INSTALLED WITH PROPOSED WATERLINES ALONG PROPOSED STREETS.



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 PH: 810-932-3594 FAX: 810-935-1263

SITE UTILITY PLAN
BRIARWOOD ESTATES
KUL PROPERTIES, LLC
JONESBORO, ARKANSAS

REV	DATE	REVISIONS	DRAWN	CHKD	SCALE:	DATE:	BY:	NO. SHEET
2	04/26/16	REVISE PER MAPC COMMENTS - STREET NAMES	JME	JME	1" = 60'	01/28/2016	CCH/BPC	1
1	04/09/16	REVISE SANITARY SEWER ALIGNMENT PER CUL	JME	JME				

PROPOSED SANITARY SEWER MANHOLE A-4
 STA. 10+95
 TOP = 310.25
 INV. IN. (SOUTH) = 302.45
 INV. IN. = 302.28
 INV. OUT. = 302.18

PROPOSED SANITARY SEWER MANHOLE A-5
 STA. 10+56.69
 TOP = 308.00
 INV. IN. = 303.10
 INV. OUT. = 303.00

PROPOSED SANITARY SEWER MANHOLE A-3
 STA. 8+97
 TOP = 311.00
 INV. IN. = 301.13
 INV. OUT. = 301.03

PROPOSED SANITARY SEWER MANHOLE A-2
 STA. 4+54
 TOP = 315.00
 INV. IN. = 298.50
 INV. OUT. = 298.40

PROPOSED SANITARY SEWER MANHOLE A-1
 STA. 2+46
 TOP = 313.00
 INV. IN. (WEST) = 297.88
 INV. IN. = 297.70
 INV. OUT. = 297.70

PROPOSED SANITARY SEWER MANHOLE 1-1
 STA. 4+39
 TOP = 314.00
 INV. IN. = 298.20
 INV. OUT. = 298.20

EXISTING SANITARY SEWER MANHOLE
 TOP: 310.54
 INVERT: 301.26

EXISTING SANITARY SEWER MANHOLE
 TOP: 310.54
 INVERT: 301.25

PROPOSED SANITARY SEWER MANHOLE A-1
 STA. 0+00
 TOP = 311.00
 INV. IN. = 297.22
 INV. OUT. = 297.22

EXISTING SANITARY SEWER MANHOLE
 TOP: 308.43
 INVERT: 300.23

EXISTING SANITARY SEWER MANHOLE
 TOP: 308.34
 INVERT: 299.54

EXISTING SANITARY SEWER MANHOLE
 TOP: 310.23
 INVERT: 298.23

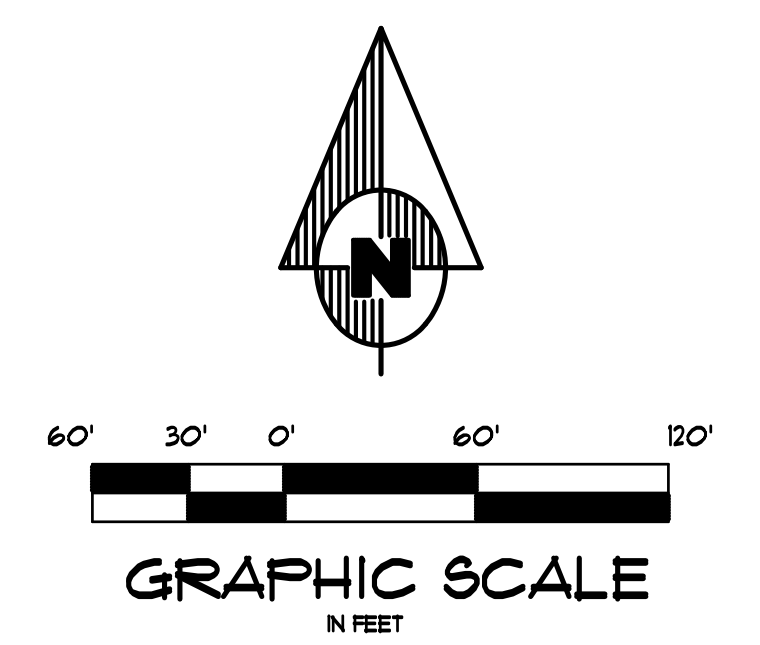
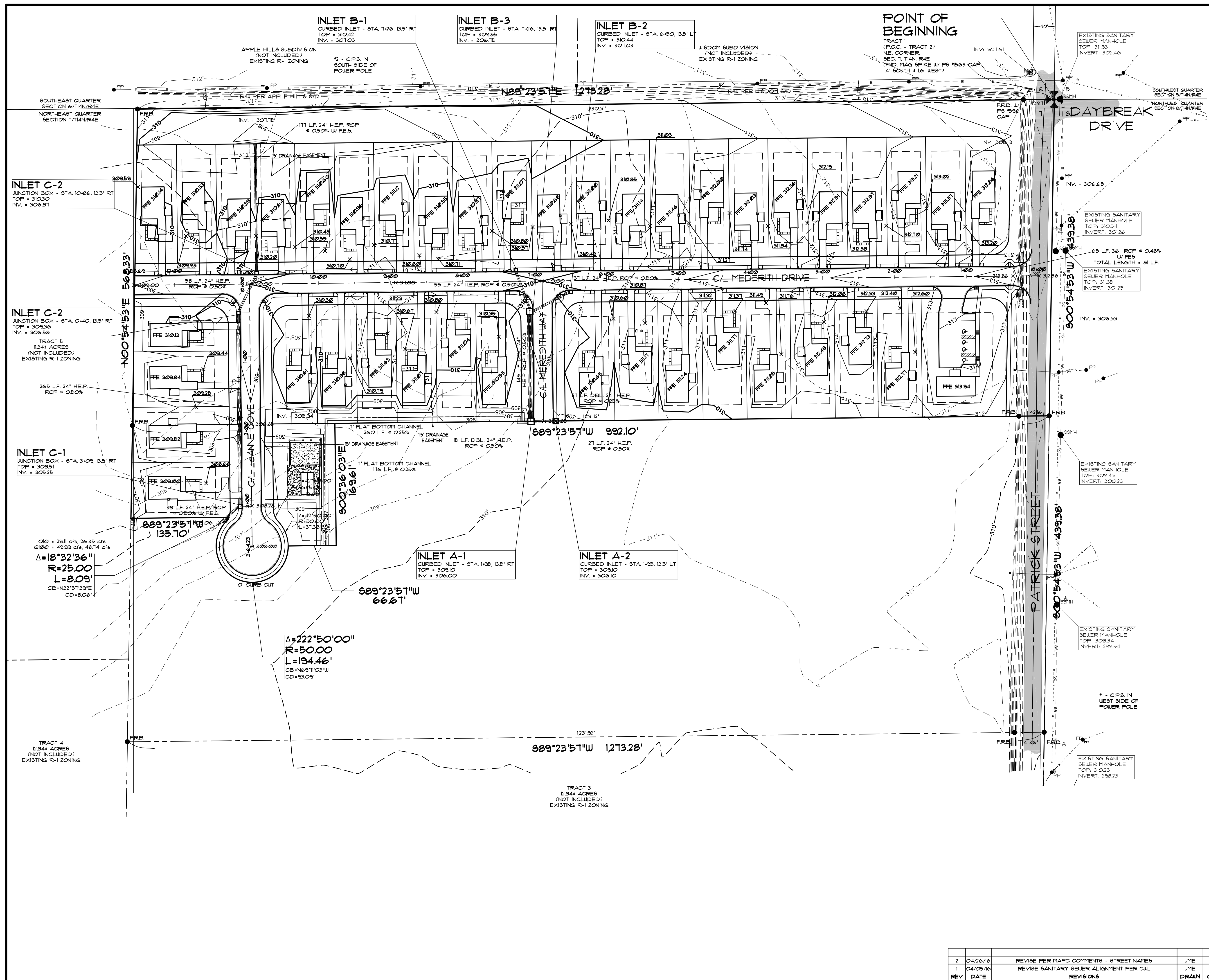
$\Delta = 222'50'00"$
 $R = 50.00$
 $L = 194.46'$
 CB = N69°11'03"W
 CD = 83.03'

$\Delta = 18'32'36"$
 $R = 25.00$
 $L = 8.09'$
 CB = N32°51'39"E
 CD = 8.06'

TRACT 3
 12.84+ ACRES
 (NOT INCLUDED)
 EXISTING R-1 ZONING

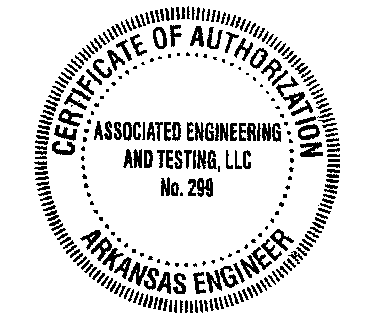
TRACT 4
 12.84+ ACRES
 (NOT INCLUDED)
 EXISTING R-1 ZONING

TRACT 5
 13.44+ ACRES
 (NOT INCLUDED)
 EXISTING R-1 ZONING



ENGINEER'S NOTES

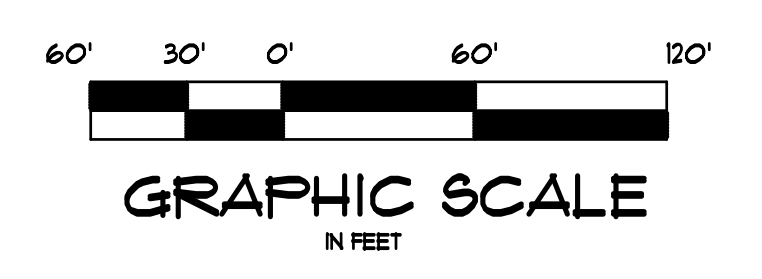
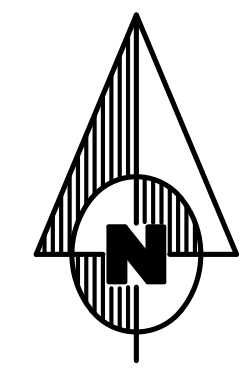
- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO NAVD 88 DATUM.
- REFER TO SHEET C2 FOR BENCHMARK INFORMATION.
- NEITHER THE OWNER OR THE ENGINEER SHALL BE RESPONSIBLE FOR SUB-SURFACE CONDITIONS. THE CONTRACTOR SHOULD MAKE HIS OWN DETERMINATION CONCERNING SUB-SURFACE CONDITIONS.
- RUNOFF CALCULATIONS:
 10-YEAR EXISTING RUNOFF: 29.11 CFS
 10-YEAR DEVELOPED RUNOFF: 26.39 CFS
 100-YEAR EXISTING RUNOFF: 49.93 CFS
 100-YEAR DEVELOPED RUNOFF: 48.14 CFS
 DETENTION BASIN LOCATED OFF-SITE.
 BOTTOM: 304.15
 TOP: 308.50
 OUTLET WEIR: 1.75' BROAD CRESTED WEIR, ELEV. 304.75
 4.00' BROAD CRESTED WEIR, ELEV. 301.00
 REFER TO DRAINAGE REPORT FOR ADDITIONAL INFORMATION REGARDING DETENTION.
- PIPE SHALL BE R.C.P. FOR ALL ROAD CROSSINGS; ULTRA FLO STORY PIPES MAY BE USED IN OTHER APPLICATIONS WITH ENGINEER'S APPROVAL.
- THROUGHOUT ALL EXCAVATION ACTIVITIES POSITIVE DRAINAGE SHALL BE MAINTAINED WITHIN MINIMUM SLOPES OF 0.50% OR GREATER AND SURFACE DRAINAGE GENERALLY IN THE DIRECTION PROVIDED BY EXISTING TOPOGRAPHY.
- WORK SHALL PROGRESS IN SUCH A MANNER AS TO ALLOW EXISTING VEGETATION TO REMAIN AS LONG AS POSSIBLE, CONSISTENT WITH THE SCOPE OF WORK.
- ALL SPOT ELEVATIONS ARE EDGE OF ASPHALT, UNLESS OTHERWISE NOTED.
- DUST SHALL BE KEPT AT TOLERABLE LIMITS.
- ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL ACCESSIBLE PARKING SPACES SHALL HAVE A MAXIMUM SLOPE OF 2.0% IN ALL DIRECTIONS.
- ALL SIDEWALKS HAVE A SLOPE OF LESS THAN 5.0%. ALL SIDEWALKS HAVE A CROSS SLOPE OF 2.0% OR LESS.



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SITE DRAINAGE PLAN
BRIARWOOD ESTATES
KUL PROPERTIES, LLC
JONESBORO, ARKANSAS

REV	DATE	REVISIONS	DRAWN	CHKD	SCALE:	DATE:	DATE:	SHEET
2	04/26/16	REVISE PER MAPC COMMENTS - STREET NAMES	JME	JME	1" = 60'	01/28/2016	04/20/2016	C01
1	04/09/16	REVISE SANITARY SEWER ALIGNMENT PER CUL	JME	JME				

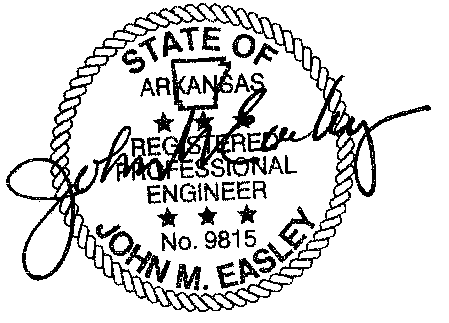
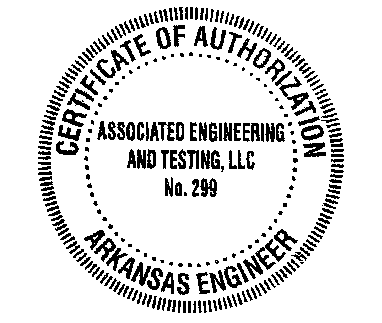
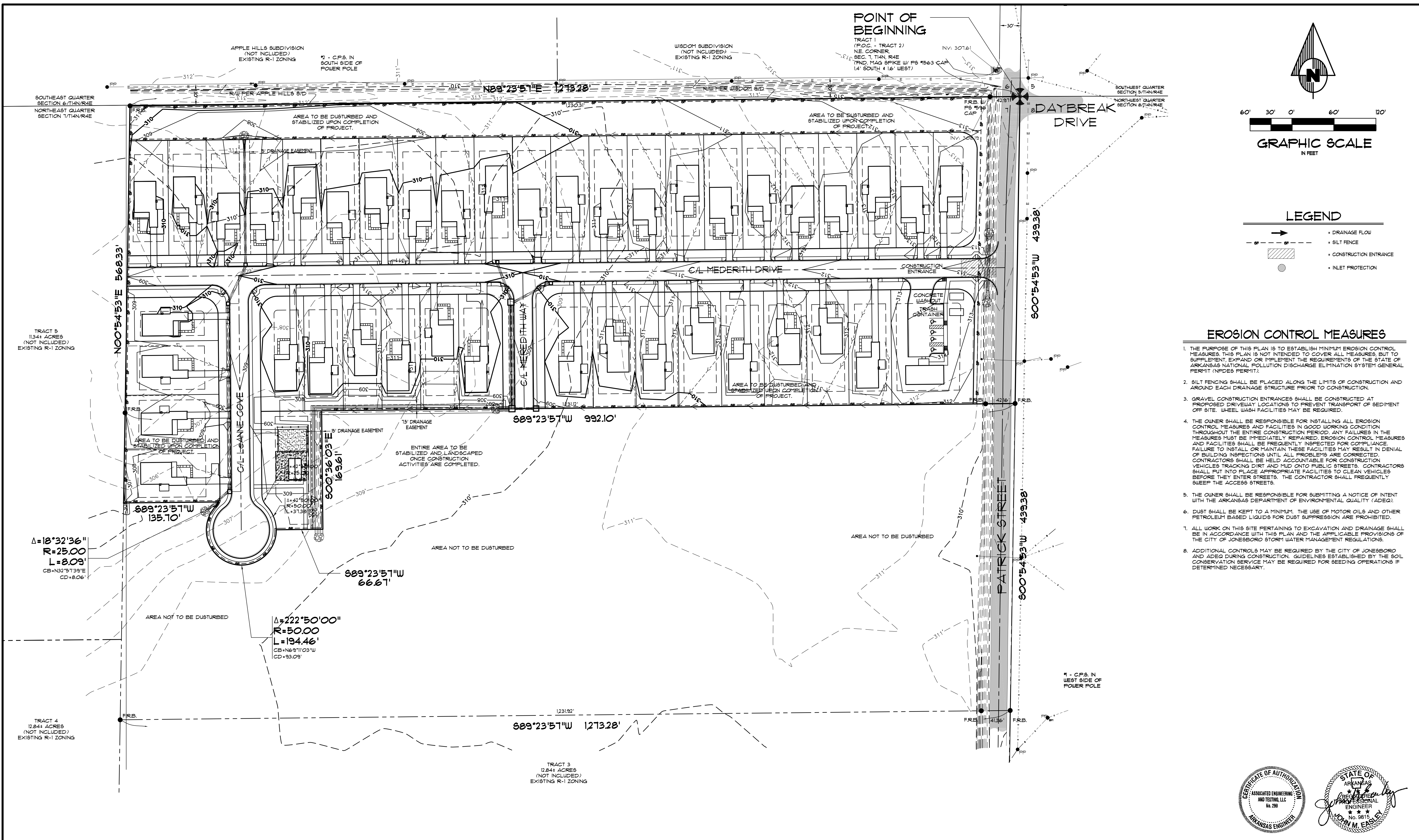


LEGEND

- DRAINAGE FLOW
- SILT FENCE
- CONSTRUCTION ENTRANCE
- INLET PROTECTION

EROSION CONTROL MEASURES

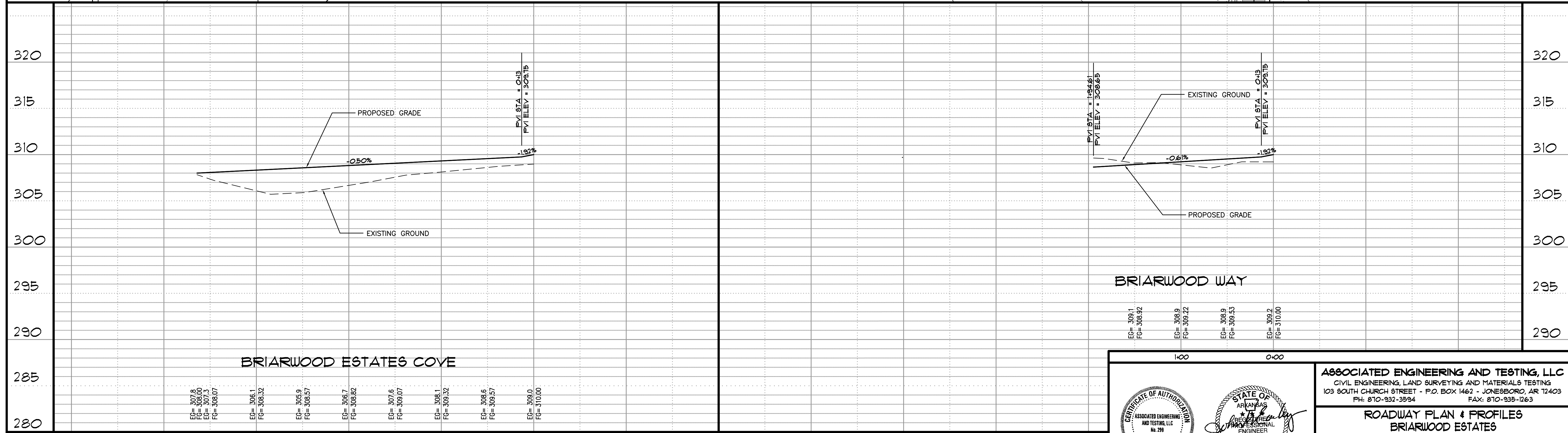
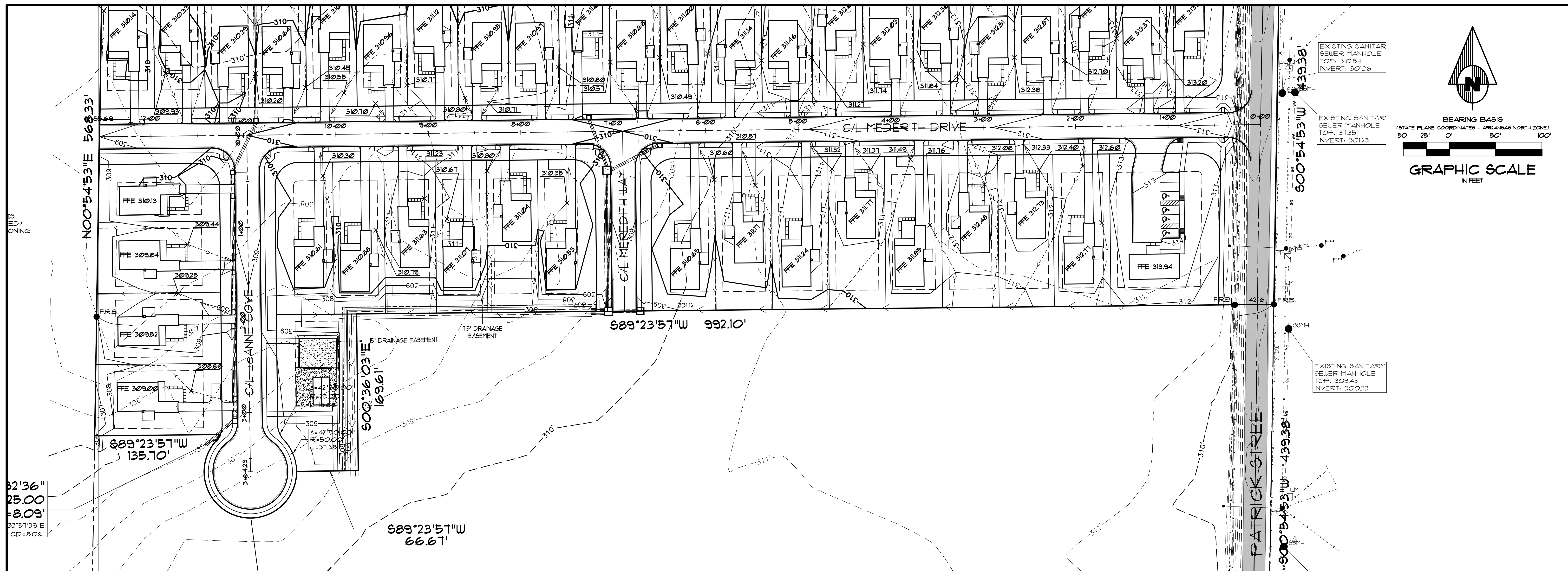
1. THE PURPOSE OF THIS PLAN IS TO ESTABLISH MINIMUM EROSION CONTROL MEASURES. THIS PLAN IS NOT INTENDED TO COVER ALL MEASURES, BUT TO SUPPLEMENT, EXPAND OR IMPLEMENT THE REQUIREMENTS OF THE STATE OF ARKANSAS NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT).
2. SILT FENCING SHALL BE PLACED ALONG THE LIMITS OF CONSTRUCTION AND AROUND EACH DRAINAGE STRUCTURE PRIOR TO CONSTRUCTION.
3. GRAVEL CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED AT PROPOSED DRIVEWAY LOCATIONS TO PREVENT TRANSPORT OF SEDIMENT OFF SITE. WHEEL WASH FACILITIES MAY BE REQUIRED.
4. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLING ALL EROSION CONTROL MEASURES AND FACILITIES IN GOOD WORKING CONDITION THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. ANY FAILURES IN THE MEASURES MUST BE IMMEDIATELY REPAIRED. EROSION CONTROL MEASURES AND FACILITIES SHALL BE FREQUENTLY INSPECTED FOR COMPLIANCE. FAILURE TO INSTALL OR MAINTAIN THESE FACILITIES MAY RESULT IN DENIAL OF BUILDING INSPECTIONS UNTIL ALL PROBLEMS ARE CORRECTED. CONTRACTORS SHALL BE HELD ACCOUNTABLE FOR CONSTRUCTION VEHICLES TRACKING DIRT AND MUD ONTO PUBLIC STREETS. CONTRACTORS SHALL PUT INTO PLACE APPROPRIATE FACILITIES TO CLEAN VEHICLES BEFORE THEY ENTER STREETS. THE CONTRACTOR SHALL FREQUENTLY SWEEP THE ACCESS STREETS.
5. THE OWNER SHALL BE RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT WITH THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ).
6. DUST SHALL BE KEPT TO A MINIMUM. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED LIQUIDS FOR DUST SUPPRESSION ARE PROHIBITED.
7. ALL WORK ON THIS SITE PERTAINING TO EXCAVATION AND DRAINAGE SHALL BE IN ACCORDANCE WITH THIS PLAN AND THE APPLICABLE PROVISIONS OF THE CITY OF JONESBORO STORM WATER MANAGEMENT REGULATIONS.
8. ADDITIONAL CONTROLS MAY BE REQUIRED BY THE CITY OF JONESBORO AND ADEQ DURING CONSTRUCTION. GUIDELINES ESTABLISHED BY THE SOIL CONSERVATION SERVICE MAY BE REQUIRED FOR SEEDING OPERATIONS IF DETERMINED NECESSARY.



ASSOCIATED ENGINEERING AND TESTING, LLC
 CIVIL ENGINEERING AND LAND SURVEYING SERVICES
 103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
 PH: 810-932-3594 FAX: 810-935-1263

SITE EROSION CONTROL
BRIARWOOD ESTATES
KUL PROPERTIES, LLC
JONESBORO, ARKANSAS

REV	DATE	REVISIONS	DRAWN	CHKD	SCALE:	CADD FILE	DATE	SHEET
2	04/26/16	REVISE PER MAPC COMMENTS - STREET NAMES	JME	JME	1" = 60'	041010004	01/28/2016	5 SHEET
1	04/09/16	REVISE SANITARY SEWER ALIGNMENT PER CUL	JME	JME				



50' 25' 0" 50' 100'

GRAPHIC SCALE IN FEET

ENGINEER'S NOTES

FOR BENCHMARK LOCATION AND ELEVATION PLEASE REFER TO BENCHMARK LISTINGS ON SHEET 2 OF THESE PLANS.

SCALE: HORIZONTAL SCALE: 1"=50' VERTICAL SCALE: 1"=5'

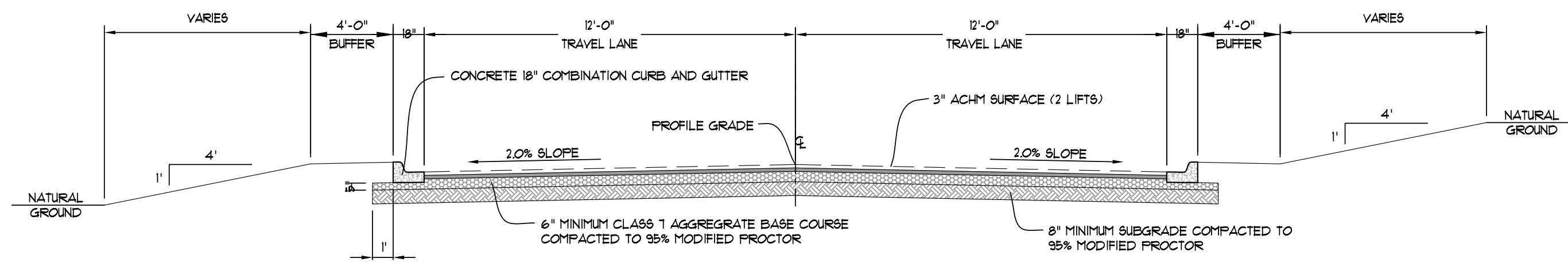
REV	DATE	REVISIONS	DRAWN	CHK'D
2	04/26/16	REVISE PER MAPC COMMENTS - STREET NAMES	JME	JME
1	04/05/16	REVISE SANITARY SEWER ALIGNMENT PER CUL	JME	JME

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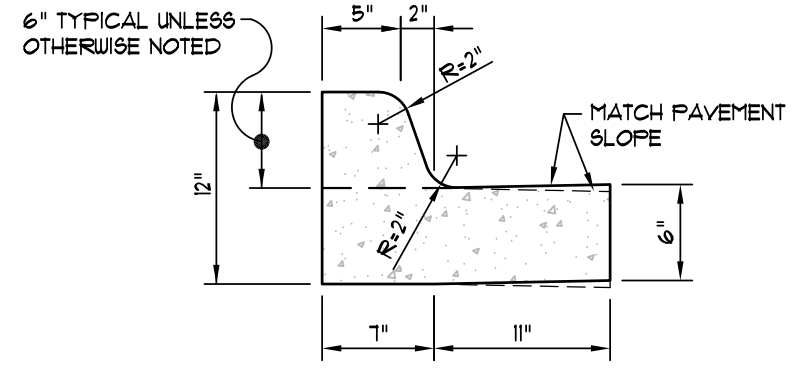
ASSOCIATED ENGINEERING AND TESTING, LLC
CIVIL ENGINEERING, LAND SURVEYING AND MATERIALS TESTING
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
PH: 810-932-3594 FAX: 810-935-1263

ROADWAY PLAN & PROFILES
BRIARWOOD ESTATES
KUL PROPERTIES, LLC
JONESBORO, ARKANSAS

DRAWN: JME CHECKED: JME DATE: 01/28/16 SHEET: C10
SCALE: 1"=50' CADD FILE: B300-SDP DWG#: 0516143.00028



LOCAL STREET SECTION
SCALE: NONE



TYPICAL CURB & GUTTER TYPE 'A-18'
(NOT TO SCALE)

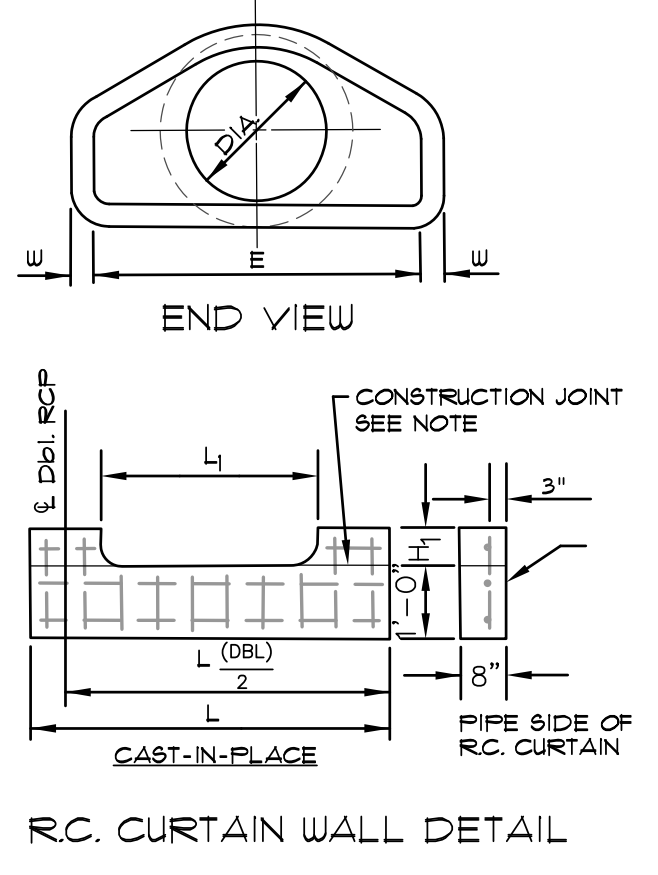
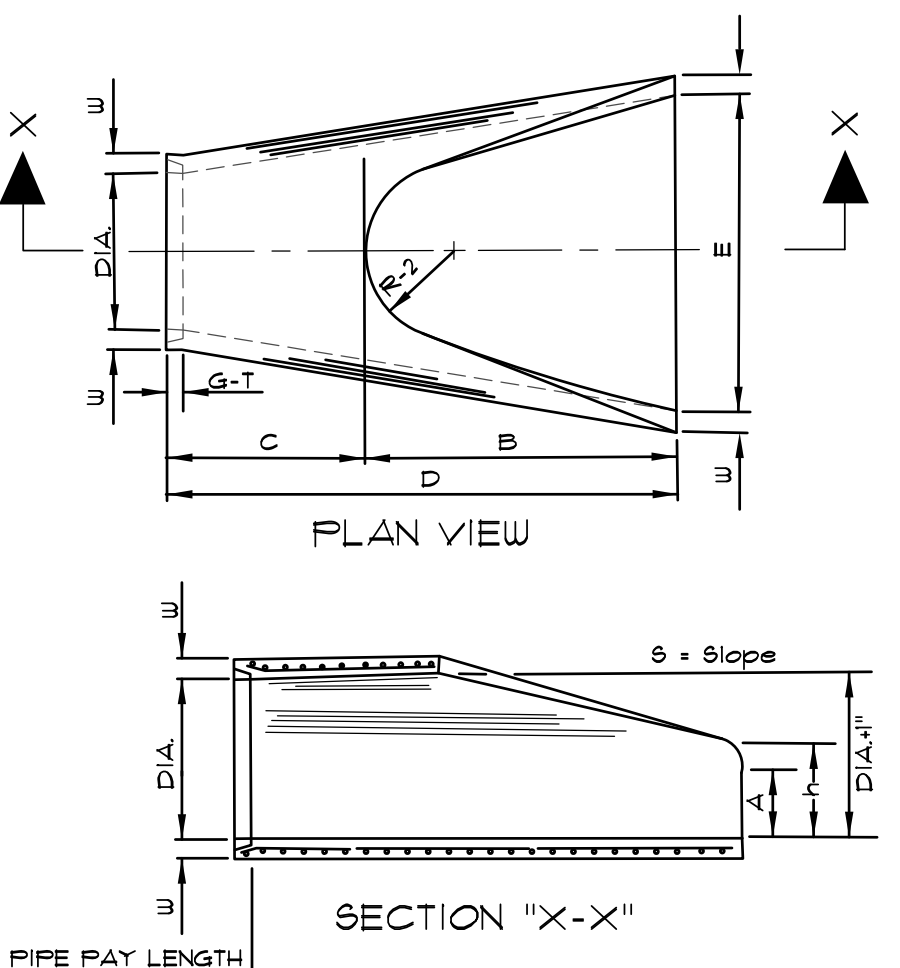
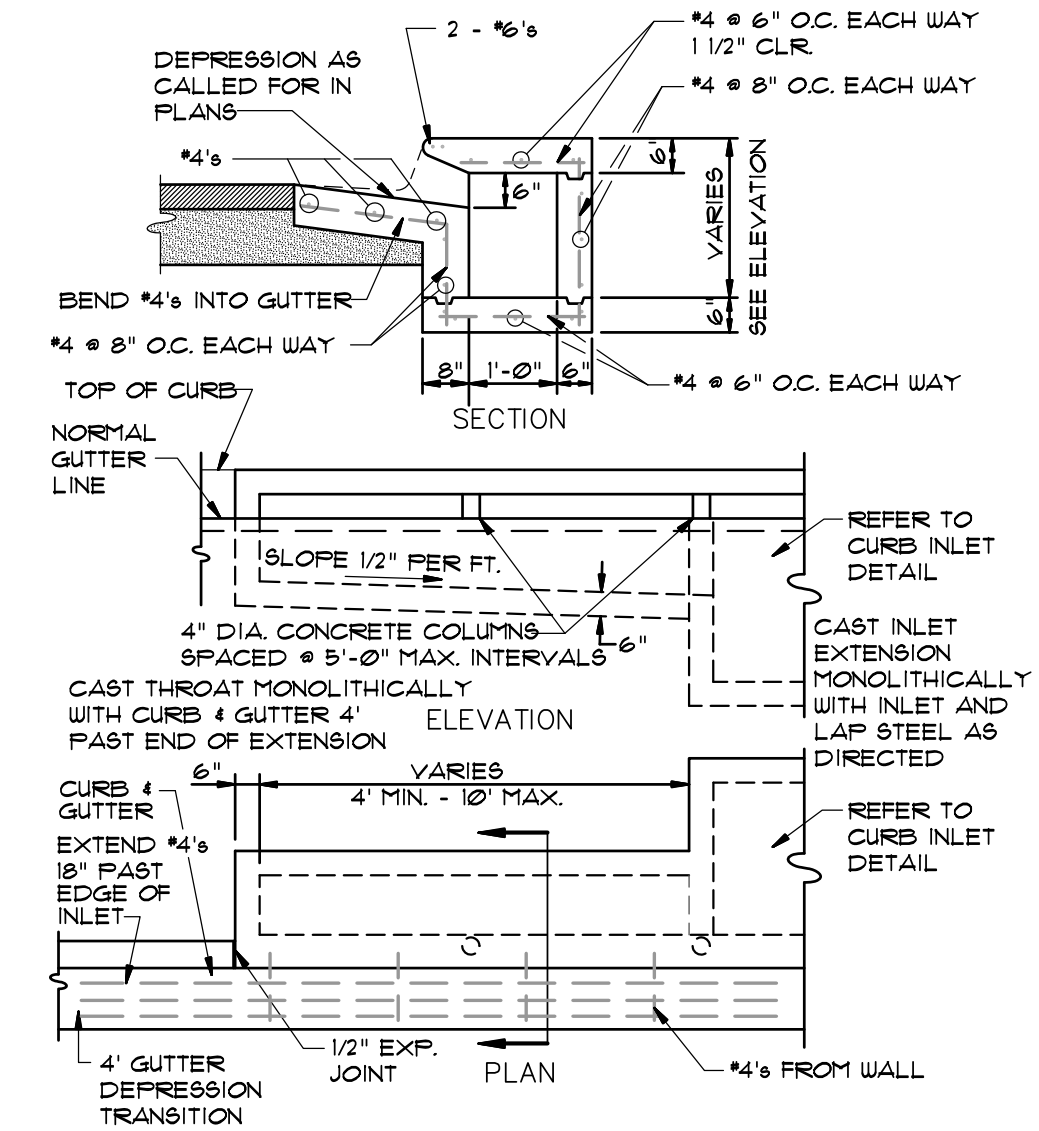


TABLE OF DIMENSIONS

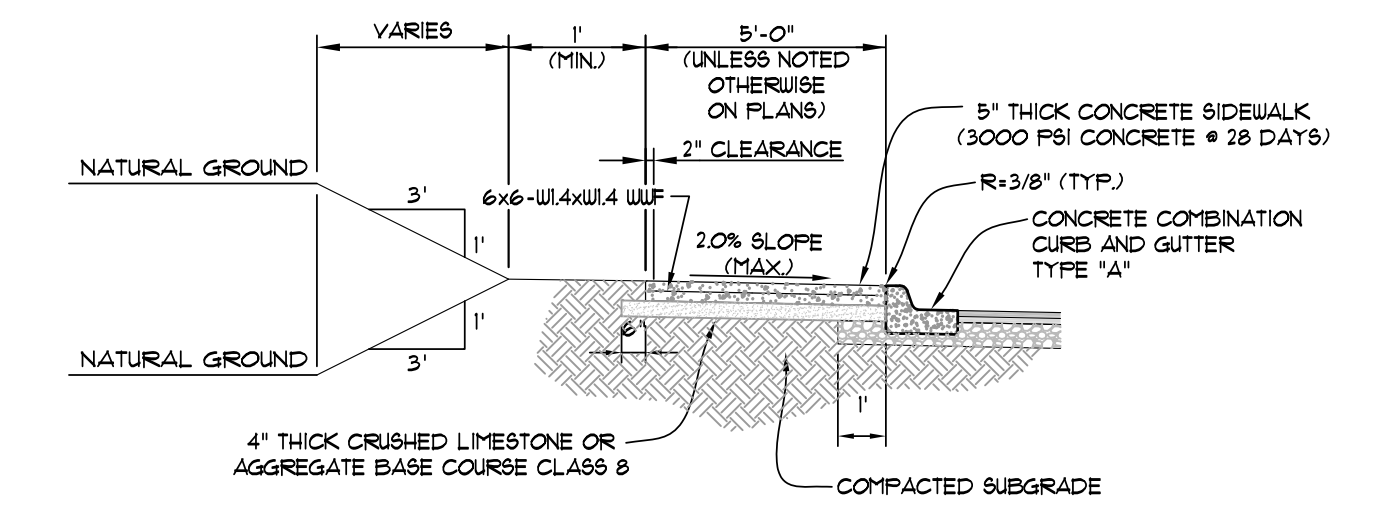
DIA.	WALL	A	B	C	D	E	S	DIA.+1"	P	R-1	R-2	G-T	WT	h
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	3:1	19"	29"	15 1/2"	12"	2"	1000	1'-0 1/2"
24"	3"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	3:1	25"	33 3/16"	16 13/16"	14"	2 1/2"	1600	1'-1 1/2"
30"	3 1/2"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	3:1	31"	37"	18 1/2"	15"	3 1/4"	1940	1'-4 5/8"
36"	4"	1'-3"	5'-3"	2'-10 3/4"	6'-1 3/4"	6'-0"	3:1	37"	47 13/16"	24 5/16"	20"	3 1/2"	4100	1'-8"
42"	4 1/2"	1'-9"	5'-3"	2'-11"	8'-2"	6'-6"	3:1	43"	53 7/8"	27 1/2"	22"	3 1/2"	5380	2'-2 1/2"
48"	5"	2'-0"	6'-0"	2'-2"	8'-2"	7'-0"	3:1	49"	56 1/2"	28 1/2"	22"	3 1/2"	6550	2'-6"
54"	5 1/2"	2'-4"	6'-6"	1'-10"	8'-4"	7'-6"	3:1	55"	65 1/2"	33 1/8"	24"	4"	8750	2'-10 1/2"
60"	6"	2'-10"	6'-6"	1'-10"	8'-4"	8'-0"	3:1	61"	75 1/2"	36 11/16"	24"	4"	9270	3'-2"
72"	7"	3'-10"	6'-6"	1'-10"	8'-4"	9'-0"	3:1	73"	77 13/16"	38 15/16"	24"	5"	13250	4'-6"

- NOTES:
- THE PORTION OF THE RC. CURTAIN WALL BENEATH THE FLARED END SECTION (LOWER 1'-0") SHALL BE PLACED MONOLITHICALLY. THE FLARED END SECTION SHALL THEN BE SET IN PLACE AND THE REMAINING PORTIONS OF THE RC. CURTAIN WALL PLACED.
 - ALL REINFORCING STEEL ARE #4 BARS AT 6" O.C.
 - NO SEPARATE PAYMENT WILL BE MADE FOR THE CURTAIN WALLS. THEY SHALL BE CONSIDERED SUBSIDIARY TO THE FLARED END SECTIONS.
 - TONGUE END ON UPSTREAM SECTION. GROOVE END ON DOWNSTREAM SECTION.

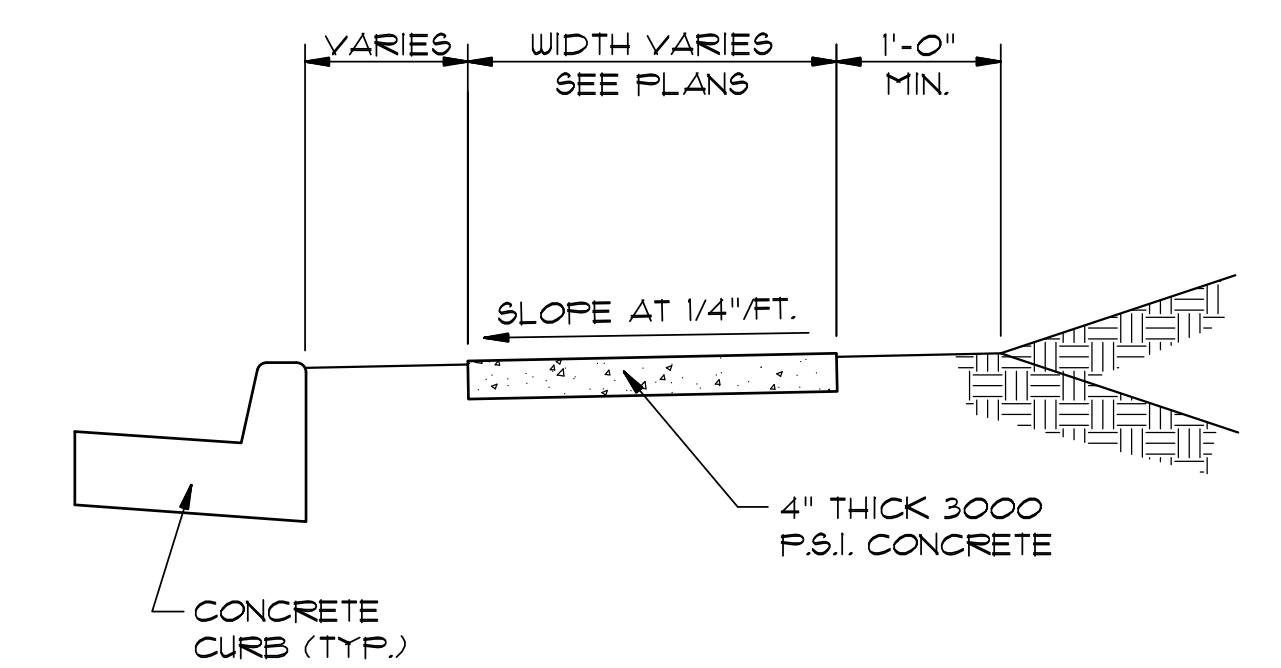
FLARED END SECTION DETAILS FOR REINFORCED CONCRETE PIPE CULVERT
(NOT TO SCALE)



CURB INLET EXTENSION
(NOT TO SCALE)

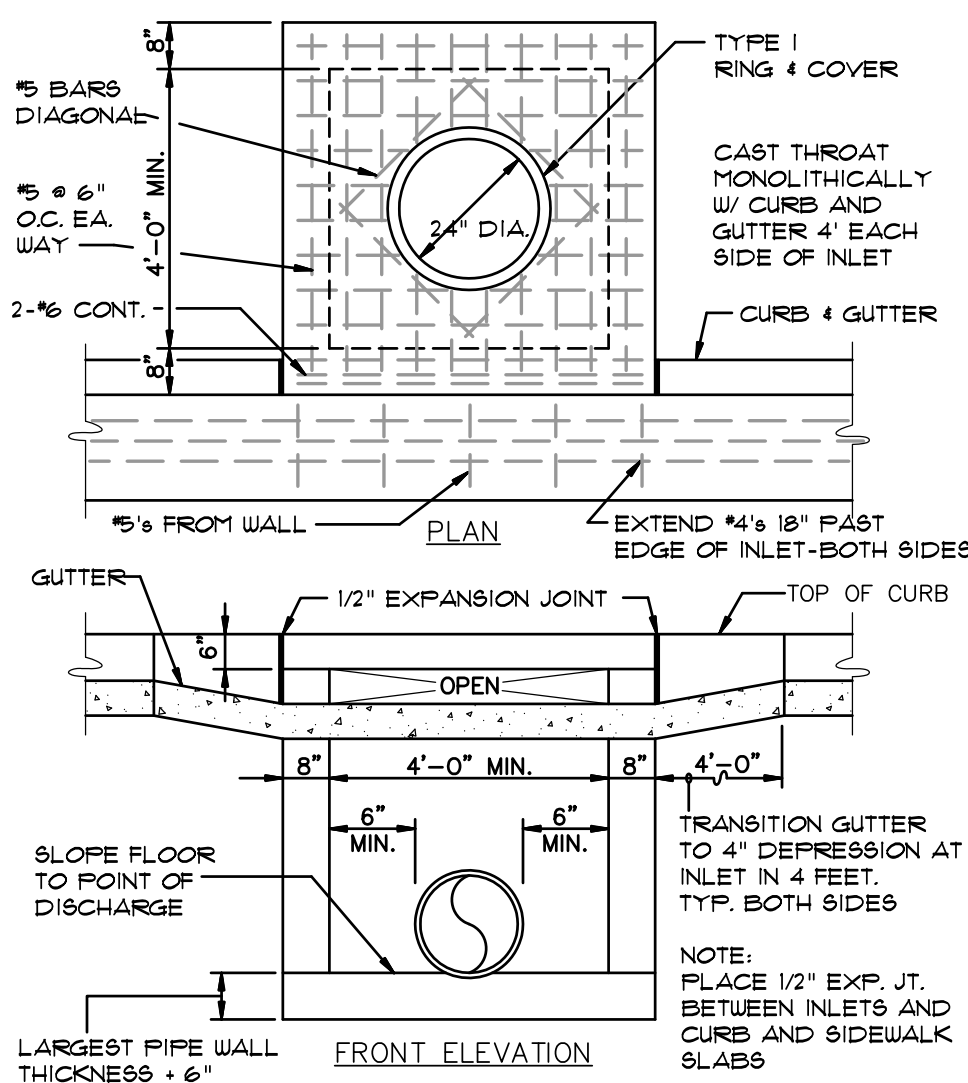


TYPICAL SECTION - SIDEWALK AT CURB
(NOT TO SCALE)

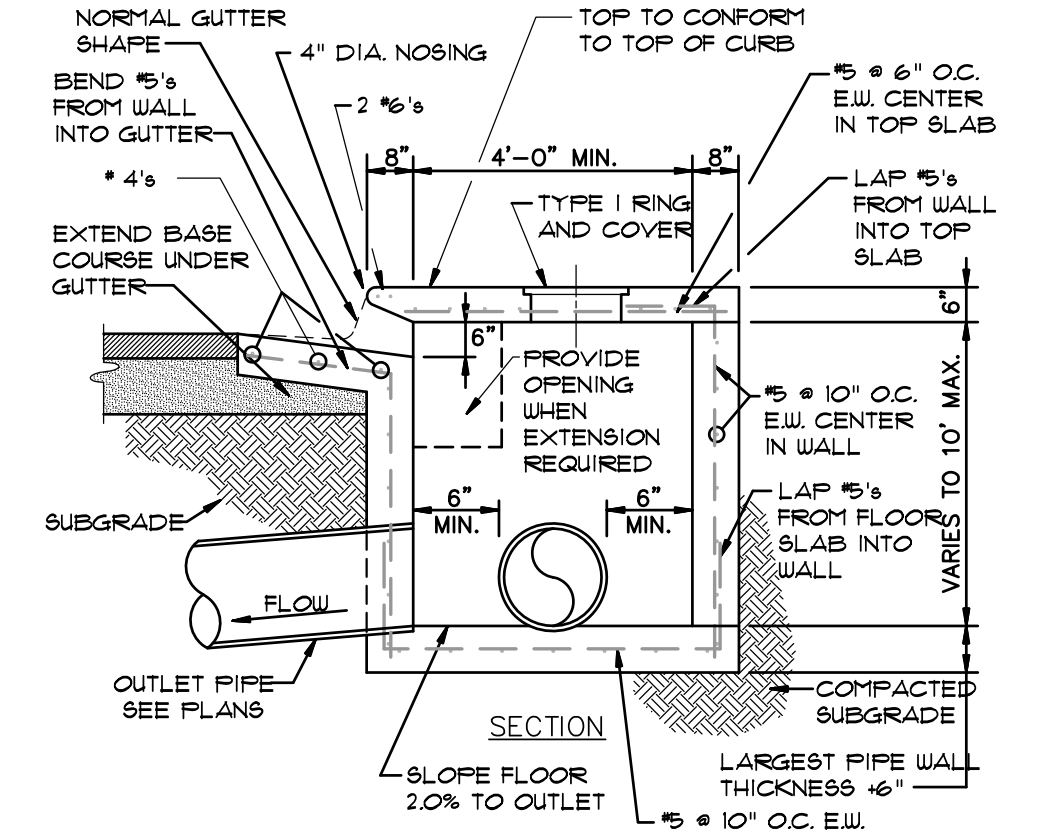


TYPICAL SECTION - SIDEWALK
N.T.S.

* MINIMUM WIDTH FOR SIDEWALK ADJACENT TO CURB IS 5' FOR CITY STREETS AND 6' FOR STATE OR U.S. HIGHWAYS.



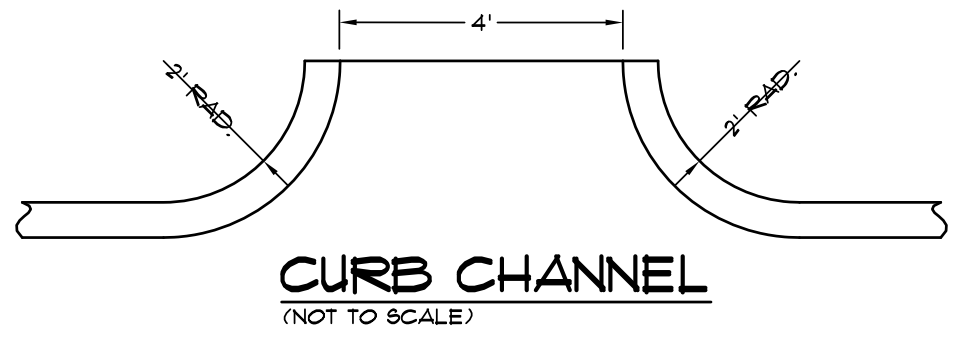
CURB INLET - TYPE 'A'
(NOT TO SCALE)



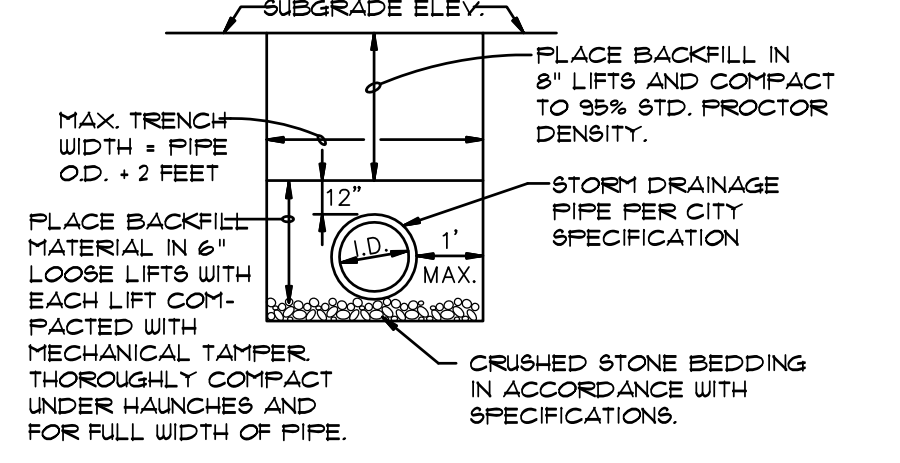
NOTE: INLETS MORE THAN 3'-0" DEEP SHALL HAVE STANDARD MANHOLE STEPS PLACED AT 15" O.C. - MANHOLE FRAME AND COVER SHALL BE PLACED ADJACENT TO THE WALL WITH THE STEPS.

SECTION - JUNCTION BOX - LIGHT
N.T.S.

- NOTES:
- JUNCTION BOXES MORE THAN 3 FEET DEEP SHALL HAVE STANDARD MANHOLE STEPS PLACED @ 15" O.C.
 - SEE REINFORCING DETAIL FOR OPENING IN WALL OR SLAB.

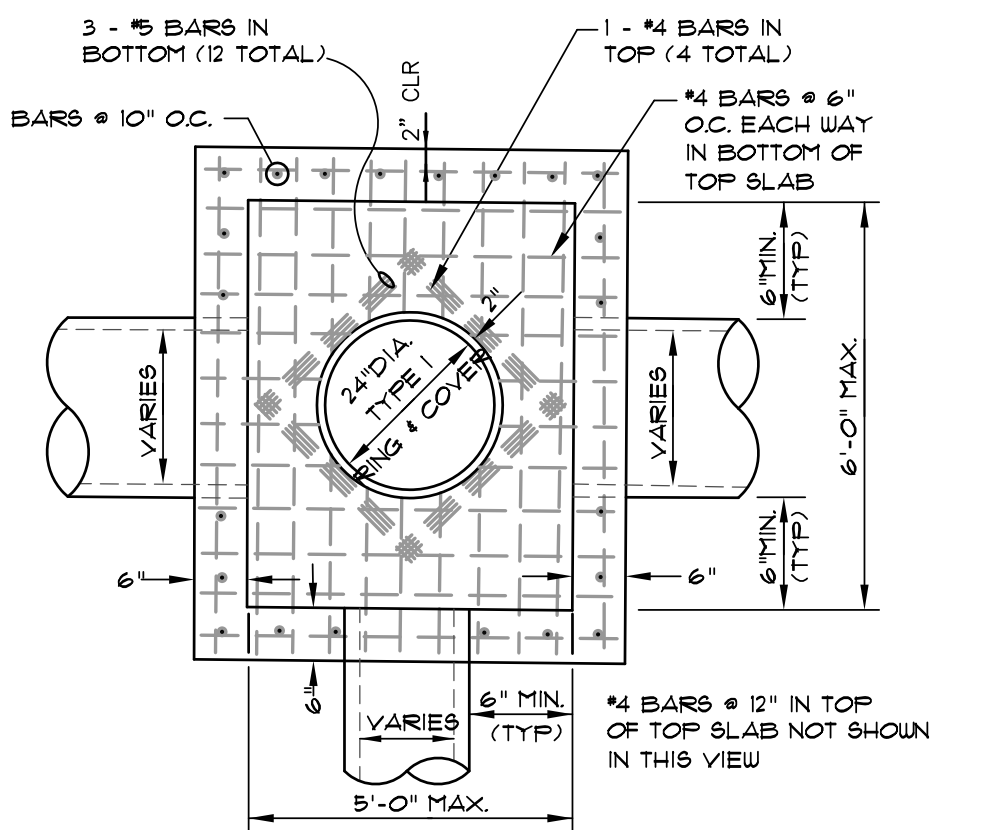


CURB CHANNEL
(NOT TO SCALE)



DRAINAGE PIPE TRENCH DETAIL

NOTE: TO BE USED WITH NEW STREET CONSTRUCTION. SEE DRAWING NO. PT-1 FOR EXISTING STREET CUTS.



PLAN - JUNCTION BOX - LIGHT
N.T.S.

NOTE: DO NOT USE UNDER VEHICULAR TRAFFIC.

REV	DATE	REVISIONS	DRAWN	CHECKED	DATE	SHEET
2	04/26/16	REVISE PER MAPC COMMENTS - STREET NAMES	JME	JME		
1	04/05/16	REVISE SANITARY SEWER ALIGNMENT PER CUL	JME	JME		
			DRAWN	CHKD	SCALE: AS SHOWN	C11

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STANDARD DETAILS
BRIARWOOD ESTATES
KUL PROPERTIES, LLC
JONESBORO, ARKANSAS

STATE OF ARKANSAS PROFESSIONAL ENGINEER JOHN M. EASLEY No. 9815

