

**ON-PREMISE/OFF-PREMISE OUTDOOR
ADVERTISING SIGN ORDINANCE**

**AN ORDINANCE AMENDING TITLE 14, THE ZONING ORDINANCE OF THE CITY OF
JONESBORO, ARKANSAS, ESTABLISHING STANDARDS FOR THE LOCATION,
DEVELOPMENT, CONSTRUCTION, AND MAINTENANCE OF ON-PREMISE AND
OFF -PREMISE OUTDOOR ADVERTISING SIGNS.**

WHEREAS, The City of Jonesboro desires to encourage the orderly development of On & Off-Premise Outdoor Advertising Signs (Billboards) for the benefit of its citizens; and,

WHEREAS, as a matter of public policy the City wishes to control and regulate the proliferation of On-Premise Outdoor Advertising Signs; and,

WHEREAS, the control and regulation of On-Premise Outdoor Advertising Signs and Off-Premise is considered necessary to protect the health, safety, and general welfare of the citizens of Jonesboro.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS:

That the Zoning Ordinance (Title 14 of the Jonesboro Municipal Code) be amended to add the provisions set forth below to Section 14.32.11

Article 14.32.11.1: Off-Premise Signs

That Section 14.32.11 shall remain as-is with the following exceptions, modifications and additions:

Section 14.32.11 (h) Spacing of Off-Premise Signs

(1). No Off-Premise Sign shall be established within 1,000 feet of any other Off-Premise Sign, measured along the same side of the street or highway to which the sign is oriented.

Change to:

(h) (1). No Off-Premise Sign shall be established within 1,500 feet of any other Off-Premise Sign, measured from any angle or direction to which the sign is oriented. (all other off-premise regulations shall remain in force as adopted on November 11, 2003).

Article 14.32.11.1: On-Premise Signs

14.32.11.1: Purpose

The purposes of these sign regulations are:

- (a.)** To encourage the effective use of signs as a means of communication in the City;
- (b.)** To maintain and enhance the aesthetic environment and the City's ability to attract sources of economic development and growth;
- (c.)** To eliminate, to the maximum extent feasible, clutter and to improve corridor visibility;
- (d.)** To improve pedestrian and traffic safety;
- (e.)** To minimize the possible adverse effect of signs on nearby public and private property; and
- (f.)** To ensure the protection of the public's first amendment rights.

14.32.11.2 Applicability

- (a.)** The regulations contained within this Article shall apply to all signs and to all zoning districts.
- (b.)** Unless otherwise provided by this Article, all signs shall require a Zoning Certificate and a payment of fees. No Zoning Certificate is required for the maintenance of a sign or for a change of copy on painted, printed, or changeable copy signs.
- (c.)** Governmental signs are excluded from the scope of these regulations.

14.32.11.3 Compliance Required

- (a.)** It shall hereafter be unlawful for any person to erect, place, or maintain a sign in the City except in accordance with the provisions of these regulations.
- (b.)** All wiring, fittings, and materials used in the construction, connection and operation of electrically illuminated signs shall be in accordance with the provisions of the local electrical code in effect.
- (c.)** No sign of any classification shall be installed, erected, or attached to a structure in

any form, shape, or manner that is in violation of the City's or Arkansas's building or fire codes.

Section 14.32.11.4: Computations

14.32.11.4 Computations

The following principles shall control the computation of sign area and sign height.

14.32.11.4.1 Computation of the Area of Individual Signs

The area of a sign face, which is also the sign area of a wall sign or other sign with only one face, shall be computed by means of the smallest square, circle, rectangle, triangle, or combination thereof that shall encompass the extreme limits of the writing, representation, emblem, or other display. This measurement does not include any supporting framework, bracing, or decorative fence or wall when such fence or wall otherwise meets zoning resolution regulations and is clearly incidental to the display itself. See Figure 15-1.



Figure 15-1: Examples of Measuring Sign Area

14.32.11.4.2 Computation of the Area of Multi-Faced Signs

(A) The sign area for a sign with more than one face shall be computed by adding together the area of all sign faces visible from any one point. This methodology shall be utilized for banner signage face calculations also.

(B) When 2 identical sign faces are placed back to back, or in a “V” formation where the spread is not greater than the width of the face, so that both faces cannot be viewed from any one point at the same time, and when such sign faces are part of the same sign structure and are not more than 48 inches apart, the sign area shall be computed by the measurement of one of the faces.

(C) For “cube” signs or “V” signs with a spread greater than the width of the sign face where two faces may be viewed at the same point, the sign area shall be computed by the total measurement of both faces.

14.32.11.4.3 Computation of Height

The height of a sign shall be computed as the distance from the crown of the fronting adjacent roadway to the top of the highest attached component of the sign.

14.32.11.4.4 Street/Lot Frontage

When a computation is based on the street or lot frontage, the longest street or lot frontage, and not the total street frontage, shall be used.

14.32.11.5 General Sign Standards

14.32.11.5.1 Signs in the Right-of-Way; Obstructing Vision or Traffic

(A) No signs shall be placed in any public right-of-way except:

- (1) Publicly owned signs, such as traffic control signs, City identification signs, and freestanding signs as permitted in Section 14.32.11.7.1;
- (2) Projecting, canopy, and awning signs may project over a public right-of-way if they are in conformity with all other applicable standards of this article.

(B) No sign or other advertising structure as regulated by this Article shall be erected:

- (1) At the intersection of streets in such a manner as to obstruct free and clear vision; or
- (2) At any location where, by reason of the position, shape or color, it may interfere with traffic, obstruct the view of traffic, or be confused with the use of words such as “stop,” “danger,” or any other word, phrase, symbol, or character in such a manner as to interfere with, mislead, or confuse traffic.

14.32.11.5.2 Illumination

(A) The light from any illuminated sign or from any light source shall be so shaded, shielded, or directed that the light intensity or brightness shall not adversely affect surrounding or facing residential districts, or adversely affect the safe vision and operation

of vehicles moving on public or private roads, highways, or parking areas. Light shall not directly shine or reflect on or into residential structures.

(B) Signs shall be subject to the outdoor lighting provisions of Subsection 15.5.6 (Signs on Awnings, Canopies, Fascia, or Marquees) and other applicable regulations in this Article.

14.32.11.5.3 Message Changes

(A) Message changes are permitted and do not require a permit on any permitted or legal nonconforming sign with changeable copy. However, signs that flash intermittently are prohibited.

(B) Signs having video capability shall be permitted, provided they changes at rate of 20 frames per second or less. This type of signs must be equipped with an auto dimmer that dims the brightness between dusk and dawn. These signs will be allowed in any zoning; however they may not be located with 250' of a residential structure.

(C) Signs shall not have moving or rotating mechanical parts that change position more often than every 7 second. Signs that rotate continuously (360 degrees) will be allowed provided they do not rotate at a rate of more that 6 RPM. (Example: Tri-vision mechanical triangular panel signs)

(D) Electronic Information Signs

(1) Lighted electronic information signs whose only movement is the periodic changing of information against a solid, shall be considered a changeable copy sign for the purpose of this Article.

(2) Bulbs with automatic dimmers and glare screens shall illuminate all such signs.

(3) Any sign under this Section shall meet all other zoning requirements.

(4) Electronic Marquee signs shall be permitted but shall meet all zoning requirements regarding flashing and transitioning.

14.32.11.5.4 Address Signs

All development shall have a sign providing the numeric address of the identification purposes to assist in fire and safety protection.

14.32.11.5.5 Required Landscape Area for Signs

(A) Unless otherwise provided in this Article, all monument type signs shall be located in a landscaped area with a minimum area equal to the total sign area. See Figure 15-2.

(B) The landscape area for permanent freestanding signs shall consist of shrubs, flowers, sod and/or ground cover.



Figure 15.2: Landscaping for Monument Signs

14.32.11.5.6 Signs on Awnings, Canopies, Fascia, or Marquees

(A) Awnings, canopies, fascia, or marquees shall be designated as permanent parts of the building and shall meet all of the requirements of all applicable building and electrical codes.

(B) Unless otherwise provided in this Article, the sign area of the awning, canopies, fascia, or marquee shall be included as part of the wall sign area calculation.

(C) In cases where the awning, canopy, fascia, or marquee is constructed of translucent material, is illuminated from within or behind the structure, and contains sign copy, the area of the sign face shall be calculated in determining the sign area.

14.32.11.5.7 Wall Signs

Wall signs excluding awnings shall not extend more than 12 inches as measured from the face of the building/parapet wall or extend above the roof of the structure, unless otherwise allowed within this sign ordinance.

14.32.11.5.8 Mobile Signs: One mobile sign may be used for each use for a period of sixty days following the issuance of a permit to construct a permanent sign for that use. Upon inspection and approval of the permanent sign, or upon expiration of the sixty-day period, whichever first occurs, the mobile sign must be removed. Mobile signs may not employ animation, flashing lights or intermittent lights. Public transit advertisement shall be exempt from this section.

Section 14.32.11.6: Prohibited Signs

The following types of signs are prohibited in all districts:

14.32.11.6.1 Abandoned Signs

A) Any sign now or hereafter existing that no longer advertises a commercial message for a bona fide business conducted on the premises or a product sold on the premises for a period of one year shall be deemed abandoned.

(B) Such a sign shall be taken down and removed or the face shall be changed as provided in section "C" below by the owner, agent, or person having the beneficial use of the building or structure upon which the sign may be found within 30 days after notification to the owner from the Zoning Administrator.

(C) The face of the abandoned sign shall be replaced with a blank face so as to cover all internal light or structural systems or the existing face must be blanked out so that in no way may the previous message be read; otherwise, entire sign/structure must be removed.

(D) All signs shall be in conformance with Section 14.32.11.11(Maintenance) regarding the maintenance of all signs.

14.32.11.6.2 No permanent sign shall contain or consist of banners, posters, pennants, ribbons, streamers, spinners, or other similar moving devices for the purpose of advertising or attracting attention for commercial or advertising purposes except to cover existing signs when faces must be changed immediately to allow time to produce and install the permanent faces or where otherwise permitted in this Article.

14.32.11.6.3 Air activated graphics or balloons used for commercial or advertising reasons shall not be permitted except where otherwise permitted in this Article

14.32.11.6.4 No person shall erect any sign which rotates, revolves, or otherwise moves unless otherwise expressly permitted under this Article;

14.32.11.6.5 Signs placed on vehicles or trailers that are parked or located for the primary purpose of displaying such signs. This provision does not apply to portable signs or lettering on buses, taxis, or vehicles operating during the normal course of business;

14.32.11.6.6 Signs imitating or resembling official traffic or governmental signs or signals;

14.32.11.6.7 No person shall display upon any sign or other advertising structure any obscene, indecent, or immoral matter;

14.32.11.6.8 Signs that consist of lights that revolve or flash are prohibited in all districts with the exception of electronic information signs; The following sign types shall also be prohibited,

- a. Bench signs, excluding publicly owned bus shelters.
- b. Portable signs or portable black signs;
- c. Snipe signs;
- d. Graffiti; or
- e. Roof signs.

Section 14.32.11.7: Signs not Requiring a Zoning Certificate

The following sign types shall be exempted from permit requirements but shall be in conformance with all other requirements of this Article:

14.32.11.7.1 Signs conforming with the Manual of Uniform Traffic Control Devices and bearing no commercial message; Beautification Award signs shall be exempt from Zoning Certificate, however permission must be granted by the City of Jonesboro.

14.32.11.7.2 Signs bearing no commercial message and installed by employees or officials of a city department, state or federal agency in the course of their governmental duties for identification, safety and traffic control purposes;

14.32.11.7.3 Signs required by a city, state or federal statute;

14.32.11.7.4 Signs required by an order of a court of competent jurisdiction;

14.32.11.7.5 Signs installed by public utilities in their rights-of-way or on their facilities and bearing no commercial message other than such message is necessary to identify the use;

14.32.11.7.6 Signs installed by a transit company with a franchise or other right to operate in City of Jonesboro, where such signs are installed along its routes and relate to schedules or other information about the transit route.

14.32.11.7.7 Certain temporary signs as regulated by Section 14.32.11.10 (Temporary Signs);

14.32.11.7.8 Permanent freestanding signs in a C-1, C-2, C-3, C-4, C-5, CR-1, I-1, I-2, PD-B, PD-I, or PD-M District under the following provisions:

- (A) The sign may be permitted in the right-of-way;
- (B) The sign shall be located within 10 feet of the intersection of a public street and a private driveway;
- (C) The sign does not contain a commercial message;
- (D) One sign may be permitted per individual driveway;
- (E) The maximum sign area shall be 4 square feet in area; and
- (F) The maximum sign height shall be 3 feet.

14.32.11.7.9 Permanent freestanding sign on a lot that is considered agricultural land based on the definition in Subsection 4.2.3 (Exemptions from Zoning Certificates) and provided the sign meets the following requirements:

- (A) Such sign shall be located a minimum of 15 feet from a right-of-way.
- (B) The maximum sign area shall be 32 square feet.

(C) The maximum sign height shall be 6 feet.

14.32.11.7.10 One non-illuminated wall sign of 4 square feet or less in a residential zoning district as part of a home occupation permitted pursuant to Section 14.28.03b of this Resolution;

14.32.11.7.11 Commemorative plaques placed by recognized historical agencies;

14.32.11.7.12 Mailbox identification when such is an integral part of such mailbox;

14.32.11.7.13 Warning signs including “no hunting,” “no trespassing,” “keep off grass,” “no dumping,” or signs of a similar nature provided that they do not exceed 2 square feet in area.

14.32.11.7.14 Window signs not to exceed 50 percent of the window surface. The window signs shall be so located as to allow clear visibility into the building for the purposes of fire and police protection.

14.32.11.7.15 Beautification award signage bearing the name/logo of the Award recipient without further advertisement of the commercial business.

14.32.11.8 Permanent On-Premises Signs

14.32.11.8.1 Signs Permitted in any Residential or RF Zoning District

The following on-premises signs may be permitted in an R-1, R-2, R-3, R-4, R-5, R-6, R-7, R-8, or PD-R District.

(A) All signs not requiring a Zoning Certificate pursuant to Section 14.32.11.7 (Signs not Requiring a Zoning Certificate);

(B) Permanent freestanding signs for a subdivision, open space residential development, multi-family dwelling, public/institutional use, or commercial enterprise permitted in a residential zoning district (kennel, riding stable, etc.) provided that the signs meet the following requirements (See Figure 14.32.11a):

(1) Two permanent freestanding signs may be permitted, by Zoning Certificate, at each development entrance along a City or state road;

(2) The signs shall be ground mounted signs;



Figure 14.32.11a:
Development Sign

- (3) The signs shall be set back 15 feet from the public right-of-way
 - a. Subdivision median monument signage may be reviewed and approved by the City of Jonesboro Street Superintendent as a revocable permit which may be subject to removal and relocation at the owners expense if future city right of way projects cause such action.
- (4) The maximum sign area for each sign shall be 150 square feet in area;
- (5) No such sign or any portion of the structure shall exceed 10 feet in height; and
- (6) The sign may only be illuminated through external lighting.

(C) Permitted public and institutional uses may be permitted to have one permanent freestanding sign per street frontage in a Residentially Zoned area provide the sign meets the following requirements:

- (1) The sign shall be a ground mounted sign;
- (2) The signs shall be set back 15 feet from the public right-of-way and 20 feet from any adjacent property lines.
- (3) The sign shall have a maximum sign area of 75 square feet in area;
- (4) No such sign or any portion of the structure shall exceed 10 feet in height; and
- (5) The sign may only be illuminated through external lighting. Internal illumination may be permitted if light does not spill over on residential abutting properties, satisfying section 14.32.11.5.2.

14.32.11.8.2 Signs Permitted in any C-4 or CR-1 District (or existing C-5 Districts)

The following on-premises signs may be permitted in a C-4, C-5, or CR-1.

(A) All signs not requiring a Zoning Certificate pursuant to Section 14.32.11.7 (Signs not Requiring a Zoning Certificate);

(B) All signs shall be set back a minimum of 10 feet from the back of the curb or the edge of the pavement or off the right-of-way, which ever is greater. In no location shall

signage or sign structural parts be placed within the public right of way, unless otherwise authorized by this ordinance.

(b) Ground Mounted Signs

One permanent ground mounted sign per parcel, lot, or site per street frontage (if on street corner totals may be combined with maximum height and size restrictions below satisfied) subject to the following requirements:

(1) The height of the sign for a single occupant building shall not exceed 18 feet. For each additional occupant the height may be increased by 2', but shall not exceed 25' in height.

(2) The maximum sign area for a single occupant building shall be equivalent to 1.0 square feet for each lineal foot of frontage, but shall not exceed 100 square feet. For each additional business or occupant, an additional 1.5 square feet per 1 ft. of lot width, not to exceed 500 square feet.

(c) Wall Signs

(1) Wall signs may be permitted up to a total square footage equal to 10% of the building frontage which the tenant occupies. These signs may be placed on any walls desired by the tenant.

(2) Buildings located on a corner lot may be permitted to add the total of all frontages to come up with the maximum size for all signs.

(3) Incidental awnings bearing supplemental direction/identification shall be permitted for automatic teller machines, drive through and other protected entrances.

14.32.11.8.3 Signs Permitted in any C-1, C-2, C-3, C-4, C-5, CR-1, I-1, I-2, PD-B, PD-I, or PD-M District.

The following signs may be permitted in a C-1, C-2, C-3, C-4, CR-5, CR-1, I-1, I-2, PD-B, PD-I, or PD-M District.

(A) All signs not requiring a Zoning Certificate pursuant to Section 14.32.11.7 (Signs not Requiring a Zoning Certificate);

(B) Temporary signs pursuant to Section 14.32.11.10 (Temporary Signs);

(C) All signs shall be set back a minimum of 10 feet from the back of the curb or the edge of the pavement or off the right-of-way, whichever is greater.

(D) Freestanding Signs

One freestanding pole or ground mounted sign per parcel, lot, or site subject to the following requirements:

(1) The height of the sign for a single occupant building shall not exceed 25 feet. For each additional occupant, an additional 4' will be allowed, but shall not exceed 45' in height.

(2) The maximum sign area for a single occupant building shall be equivalent to 1.0 square feet for each lineal foot of frontage, but shall not exceed 150 square feet. For each additional occupant, an additional 40 square feet will be allowed, but not to exceed 500 square feet.

(E) Freestanding Driveway Directional Signs

Permanent freestanding signs in a C-1, C-2, C-3, C-4, C-5, CR-1, I-1, I-2 or a PUD-R or PUD-C District under the following provisions:

(1) The sign shall be located within 10 feet of the intersection of a public street and a private driveway;

(2) The sign may contain company logo/identifiers but must have the overall intent/content of direction.

(3) The maximum sign area shall be 8 square feet in area; and

(4) The maximum sign height shall be 4 feet.

(5) Vehicular vision obstruction cases may be waived to achieve maximum 8 ft in height, located 10 ft. outside of public right of way.

(6) Downtown District (C-1) freestanding shall be exempt from right of way setback requirements; however an encroachment permit shall be required.

Administrator or Superintendent of Streets may require that sign be placed at or outside of right of way.

(F) Secondary Directional/Identification Signs

Permanent freestanding signs in a C-1, C-2, C-3, C-4, C-5, CR-1, I-1, I-2 or a PUD-R or PUD-C District under the following provisions:

(1) The sign shall be located within 10 feet of the intersection of a public street and a private driveway and shall be located one foot outside of the public right of way.

(2) One sign may be permitted per individual driveway

(3) The maximum sign height and sign area will be determined by its distance from the main ID sign as follows:

(a) If the secondary ID sign is 400 ft. or more in distance from main ID Sign, the maximum height shall be 8 ft. and the maximum sign area shall be 100 square feet.

(b) If the secondary ID sign is less than 400 ft. in distance from the main ID Sign, the maximum height shall be 5 ft. and the maximum sign area shall be 50 ft. square feet.

(c) Downtown District (C-1) freestanding shall be exempt from right of way setback requirements; however an encroachment permit shall be

required. Administrator or Superintendent of Streets may require that sign be placed at or outside of right of way.

(G) High Rise Signs

One high-rise pole sign is permitted on each lot located in the C-3 District with in a radius of 1500 ft. parallel to the intersecting corridor and interstate 63 and within a radius point of 800 ft. running perpendicular to Interstate 63. All such signs shall be subject to the following, unless sign size and height fits the requirements for freestanding signs in section D above.

- (1) A Zoning and building permit shall be required.
- (2) All high-rise pole signs shall have a maximum height of 75 feet.
- (3) The maximum sign area shall be 500 square feet.
- (4) Setback shall be the same as for ground and pole signs.

(H) Wall Signs

- (1) Wall signs may be permitted up to a total square footage equal to 15% of the building frontage which the tenant occupies. These signs may be place on any walls desired by the tenant.
- (2) Buildings located on a corner lot may be permitted to add the total of all frontages to come up with the maximum size for all signs.
- (3) Incidental awnings bearing supplemental direction/identification shall be permitted for automatic teller machines, drive through and other protected entrances.

SIGN AREA - COMPUTATION METHODOLOGY
Sum Of Shaded Areas Only Represent Sign Area

Signs constructed with panels or cabinets



Sign structures

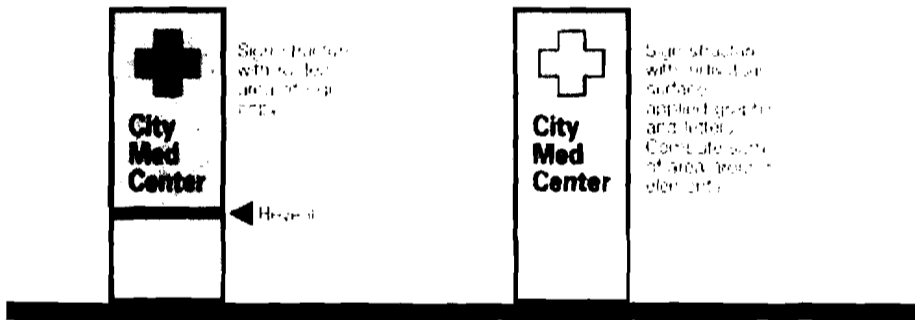


Figure 1003.3
SIGN AREA - COMPUTATION METHODOLOGY
Sum of Shaded Areas Only Represent Sign Area
Signs constructed with panels or cabinets

COMPARISON - ROOF & WALL OR FASCIA SIGNS

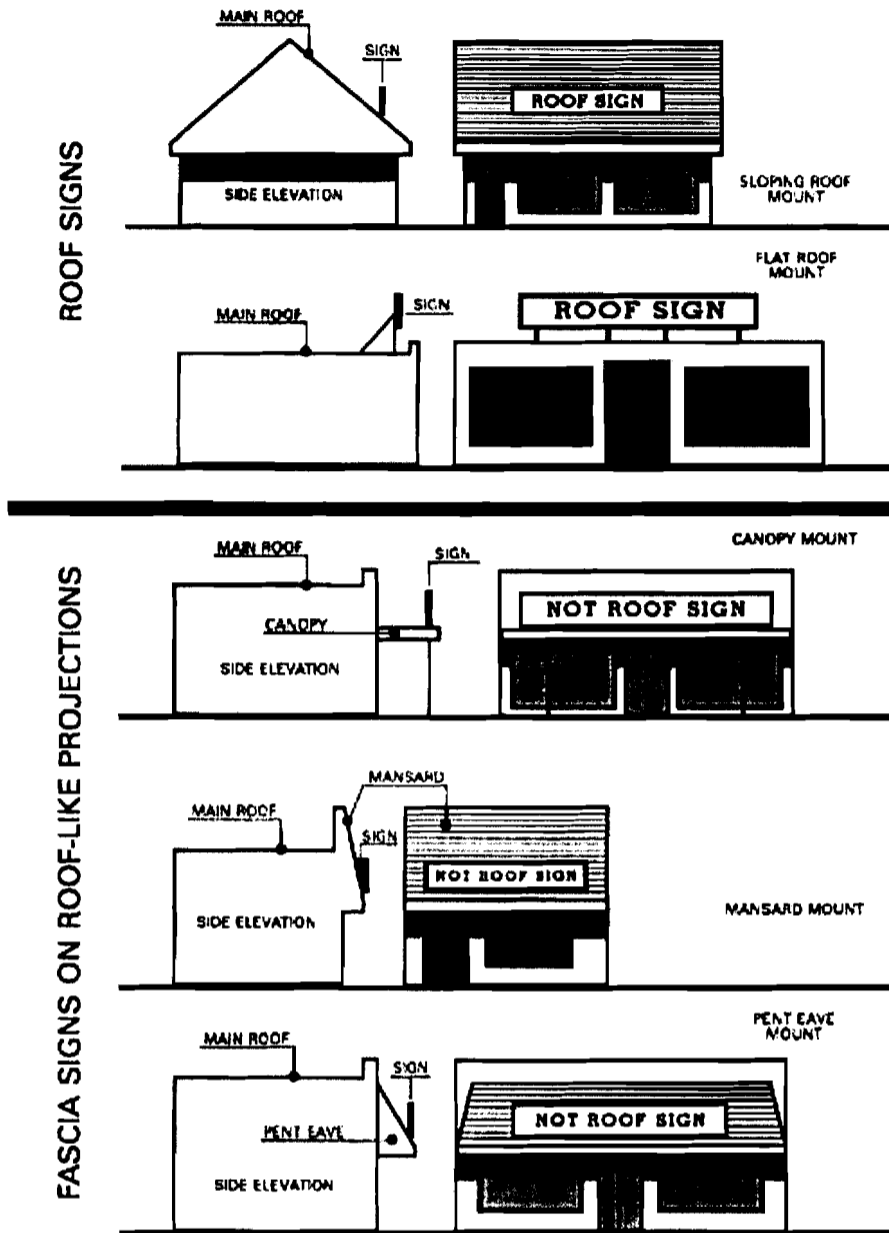


Figure 1003.2
Comparison - Roof and Wall or Fascia Signs

SECTION 14.32.11.9 - GENERAL SIGN TYPES

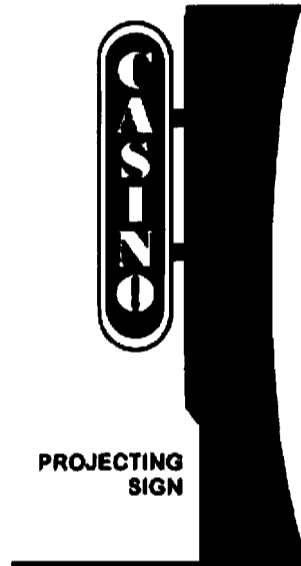
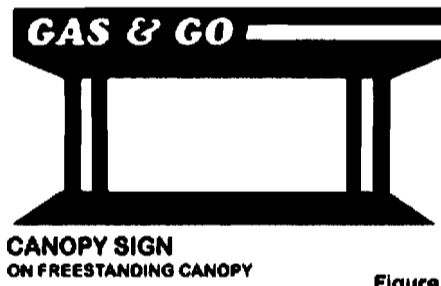
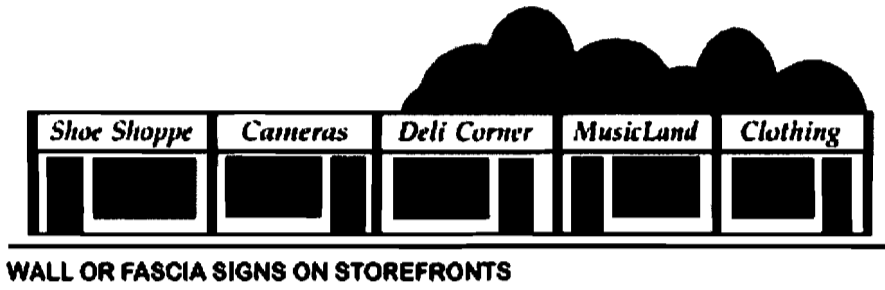
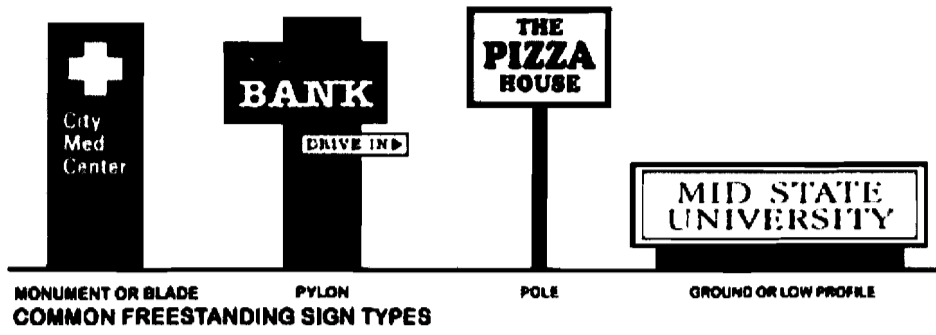


Figure 1003.1
General Sign Types

SIGN AREA - COMPUTATION METHODOLOGY
Sum Of Shaded Areas Only Represent Sign Area For Code Compliance Purposes

Signs consisting of individual letters, elements, or logos placed on building walls or structures.

METROLAND BANK ◀ Compute area around copy, elements only
Drive In Branch

▶ Compute area inside defined border of sign or contrasting color area

METROLAND BANK
Drive In Branch



Arrowhead

▶ Compute sum of areas of individual elements on wall or structure

PARKING ▶

Village Center

▶ Compute area for upper and lower case letters, including ascenders, OR ascenders, but not both. Compute separate area for each separately, as indicated.

Figure 1003.4
SIGN AREA - COMPUTATION METHODOLOGY
Sum of Shaded Areas Only Represent Sign Area for Code Compliance Purposes
Signs consisting of individual letters, elements, or logos placed on building walls or structures

14.32.11.10 Temporary Signs

14.32.11.10.1 General Standards for All Temporary Signs

(A) No temporary sign shall be mounted, attached, affixed, installed or otherwise secured so as to protrude above the roof or extend above a parapet wall.

(B) No temporary sign that is 8 square feet or less in size shall be illuminated by anything other than non-reflected daylight, except by variance issued by the Board of Zoning Adjustment

(C) Temporary signs shall be set back as follows:

(1) A minimum of 10 feet from the edge of street pavement or off the street right-of-way, whichever is the greater setback;

(2) A minimum of 20 feet from all lot lines adjacent to a residential use or residential zoning district;

(3) A minimum of 5 feet from all other property lines; and

(4) A minimum of 5 feet from all lot lines adjacent to a commercial use zoning district;

(5) A minimum of 5 feet from any other temporary sign.

(D) Use of temporary displays on days without approval by Zoning Certificate, when required, or beyond the stated date of approval, when applicable, shall be deducted from the allotted number of days.

(E) Violations of zoning regulations applying to temporary signs shall be corrected within 24 hours of written notification of the violation.

14.32.11.10.2 Temporary Signs Permitted in a Residential Zoning District

This section addresses permitted temporary signs in an RS-1, RS-2, RS-3, RS-4, RS-5, RS-6, RS-7, RS-8, RM-4, RM-6, RM-8, RM-12, RM-16, or PD-R District.

(A) The maximum height of all temporary signs in a residential district shall be 7 feet. See step 3 below for signage attributed to construction signage.

(B) A maximum of 5 temporary signs are permitted on each property, during construction or remodeling, provided they are 6 square feet or smaller in sign area. After construction or remodeling is complete all such signs shall be removed within 14 days, except (1) "For Sale, Lease or Rent" sign per street frontage. These signs may remain for a period not to exceed (90) days after the property has sold or has been leased or rented. Such signs shall not require a Zoning Certificate or payment of a fee. The maximum height of all temporary signs in a residential district shall be 7 feet.

(C) A maximum of (2) temporary signs are permitted on each street frontage for a period up to 60 days, provided the signs are less than 6 square feet and they do not contain a commercial message. Such signs shall not require a Zoning Certificate or payment of a fee. The maximum height shall be 7 feet.

(D) Temporary signs greater than 6 square feet in size may be permitted under the following provisions:

(1) The owner of the property where the sign will be located applies for, and receives a Zoning Certificate for the sign;

(2) There shall be a limit of one sign with a maximum of two sides per single lot per street frontage and such signs shall not exceed the follow maximum square footage.

a.) Lots (1) Acre of Less – 16 Square Feet

b.) Lots Larger than (1) acre – 32 Square Feet

c.) The maximum height shall be 7 feet.

(3) Signs larger than 32 square feet will be allowed to announce the development and the sale of lots within a subdivision. There may be one sign per entrance and these signs shall not exceed the follow maximum square footage.

a.) Developments less than (5) Acres – 32 Square Feet

b.) Developments (5) Acres or more, but less than (10) Acres – 64 Square Feet

c.) Developments (10) Acres or More – 96 Square Feet;

d.) The maximum height of 12 ft.

(3) The sign shall not be illuminated unless authorized by the Board of Zoning Adjustment through the variance process;

(4) The time limit for the Zoning Certificate shall comply with the following:

a.) A temporary sign under this section may be posted during construction and/or development of the subject property without a specific time limit. The sign shall be removed within 14 days of completion of construction or development.

b.) A temporary sign for the purpose of selling, renting or leasing the site may remain for a period up to 30 days after the property has been sold, leased or rented.

c.) All other temporary signs under this section shall be displayed for not more than 30 days per Zoning Certificate, and not to exceed 90 days per year.

(E) Public and institutional uses in a residential district may be permitted to have one additional temporary sign with a commercial message, without apply for a Zoning Certificate or paying a fee, under the following provisions:

(1) Such sign shall not exceed 32 square feet per side with a maximum of 2 sides;

- (2) The sign shall not be illuminated unless authorized by the Board of Zoning Adjustment through the variance process;
- (3) The sign may be permitted for a maximum of 2 periods in a calendar year not to exceed 45 days each period.
- (4) A minimum of 30 days between each 45-day period is required.
- (5) Golf tournament signs are permitted without regulations on size or quantity, but only for a period not to exceed 7 days and notification must be given to planning office before installation.

14.32.11.10.3 Temporary Signs Permitted in a Mixed Use or Nonresidential Zoning District

This section addresses permitted temporary signs in a C-1, C-2, C-3, C-4, CR-1, I-1, I-2 or a PUD-R or PUD-C, PD-1, or PD-M District.

(A) The maximum height of all temporary signs shall be 12 feet unless they are attached to a building as a wall sign in which case they shall not be attached in a manner as to exceed the height of the structure or unless otherwise allowed in this ordinance.

(B) A maximum of 4 temporary signs that are meant to be read from the roadway are permitted on each property provide they are 32 square feet or smaller in sign area and they are spaced no closer than 150' from another temporary sign. Such signs shall not require a Zoning Certificate or payment of a fee. Signs that are not meant to be read from the roadway is exempt from the 150' spacing regulation.

(C) Temporary signs or Special Event Signage greater than 32 square feet in area may be permitted under the following provisions:

(1) The owner of the property where the sign will be located applies for, and receives a Zoning Certificate for the sign;

(2) There shall be a limit of 1 sign per premises per frontage and such sign shall not exceed the following square feet per side with a maximum of 2 sides.

a.) Lots on less than 5 acres – 128'

b.) Lots 5 acres or larger – 360'

(This will allow for the larger coming soon signs as mentioned above but limits them to either 8x16 or 10x36)

(3) The time limit for the Zoning Certificate shall comply with the following:

a.) A temporary sign under this section may be posted during construction and/or development of the subject property without a specific time limit. The sign shall be removed within 14 days of completion of construction or development.

b.) A temporary sign for the purpose of selling, renting or leasing the site may remain for a period up to 30 days after the property has been sold, leased or rented.

c.) All other temporary signs under this section shall be displayed for not more than 30 days per Zoning Certificate, and not to exceed 90 days per year.

(4) Temporary signs consisting of banners, pennants, ribbons, streamers, spinners may be permitted in addition to other signs permitted as part of this Article provided they meet the following requirements except for pole pocket banner described in section 6 below.

a.) A Zoning Certificate shall be required for a banner sign or similar special event sign.

b.) The signs may be permitted for a maximum of 4 periods in a calendar year not to exceed 60 days each period.

c.) A minimum of 30 days between each 60-day period is required.

d.) Any certificate issued in the same calendar year as provided in paragraph (b) above shall count as one of the 4 - 60 day periods permitted in this section.

e.) Only 1 banner sign or one special event sign per use and per street frontage shall be used at a time.

f.) The maximum sign height shall be 8 12 feet.

g.) Lettering on banners shall be silk-screened, stenciled, created with vinyl letters or sewn into the fabric or material.

h.) All signs are subject to the minimum setback requirements of temporary signs.

(F) Pole Pocket Banners may be permitted in addition to other signs as described below

a. Banners shall have pole pockets on at least (2) sides

b. Banners shall be mounted to permanent structures or poles by means of rods thru the entire length of the banner pocket

14.32.11.10.4 DOWNTOWN JONESBORO SIGNAGE STANDARDS



All signs erected, maintained or located in the Downtown Core Area (C-1), shall comply with the provisions described herein. In circumstances where said provisions do not address a particular aspect of signage, the Sign Ordinance of the City of Jonesboro will take precedence. No sign shall be erected or altered before acquiring a sign permit. Moreover, no sign permit shall be issued for any additional sign or alterations to existing signs until all signs on the property or development conform to said provisions.

14.32.11.10.4.1 SIGNAGE: TYPES PERMITTED

The types of signs permitted in the Downtown Project Area will be limited to wall signs, temporary signs, hanging signs, and logo signs. Awnings and Monument signs will also be permitted.

Illuminated signs will be permitted and shall conform with the Jonesboro Municipal Code Sign Ordinance.

Following are restrictions for each type sign:

a) Wall Signs. Wall signs shall not exceed fifteen (12) percent of the exposed area of the wall on which they are located. Said fifteen (12) percent also to include valance, permanent window signs and temporary signs. Maximum allowable sign area shall be 350 sq. ft.

b) Hanging Signs. Hanging signs will be limited to nine (9) square feet in area and will be attached to the building. Material used for fastening or supporting hanging signs will be restricted to metals with porcelain enamel, stainless steel, brass or bronze finish. For adequate clearance, hanging signs will be placed no lower than eight feet above grade. Those over publicly owned rights-of-way shall require an encroachment permit.

c) Temporary Signs. Temporary signs shall not exceed ten (10) percent of the window.

d) Monument Signs. Monument signs shall be allowed but must satisfy the requirements of Section 14.32.11.8.3

14.32.11.10.4.2 SIGNAGE: TYPES NOT PERMITTED

The following types of signs will be prohibited in the Downtown Core Area (C-1):

a) Ground/pole signs

b) Roof signs or any type of sign which is placed above the apparent flat roof or eaves of a building.

c) External rotating, moving, flashing, changing, blinking signs.

d) Permanent signs will be for business identification only; brand names or product advertising are not permitted.

e) Permanent signs will not cover windows, building details, trim, roof or tower over the building.

14.32.11.10.4.3 SIGNAGE AREA

Total sign area allotment permitted will be one and one-half (1.5) square feet of sign for each linear foot of qualified street frontage with a minimum allowance of twenty-five (25) square feet. Maximum height of letters will be restricted to eighteen (18) inches; maximum height of letters on canvas awnings will be limited to ten (10) inches. Business identification shall not exceed two (2) feet, six (6) inches.

14.32.11.10.4.4 SECOND STORY SIGNAGE

Where leasable office space occurs on a second level, signage will be allowed for building identification. Window signs consisting of lettering only shall be allowed for business identification. Letters can be no higher than six inches.

On a parapet or windowless wall, signage may include representational graphics, symbols or logos not to exceed sixteen (16) square feet in area. This will not be counted as part of the allowable sign footage.

14.32.11.11: Maintenance

14.32.11.11.1 All on-site advertising signs as herein permitted shall be constructed and maintained and illuminated in a safe manner, comply with applicable codes and kept in good repair.

- (A) Signs shall be free from rust, dust, dirt, and other such debris
- (B) Exposed surfaces shall be clean and painted if paint is required.
- (C) Defective parts shall be replaced.
- (D) Anytime a lighted sign has the face remove overnight the power must be disconnected
- (E) Signs shall not be left without a face more than a 3 month period)
- (F) The Zoning Administrator shall have the right to order the repair or removal of any sign that is defective, damaged, or substantially deteriorated.
- (G) See Section 14.32.11.6.1 Abandoned Signs

14.32.11.11.2 Should any sign be or become unsafe or be in danger of falling, the owner, tenant, or lessee shall, upon receipt of written notice from the Zoning Administrator, proceed at once to correct the unsafe condition and/or remove the sign in question.

14.32.11.11.3 Signs shall not be constructed, maintained, and/or illuminated in such a manner as to create or allow the obstruction of vision or drivers, pedestrians, or the general public, or create a fire or safety hazard. Signs shall be subject to the vision clearance regulations of Section 14.36.04 Corner Visibility (Vision Clearance Triangle).

14.32.11.12 Nonconforming Signs

14.32.11.12.1 Determination of Legal Nonconformity

(A) Existing signs that do not conform to the specific provisions of this Article may be eligible for the designation of a "legal nonconforming sign" provided that they are not in violation of either of the following:

(1) The Zoning Administrator determines that such signs are properly maintained and do not in any way endanger the public or constitute a nuisance.

(2) The sign was covered by a valid permit or variance, or complies with all applicable laws on the effective date of this Resolution.

(B) The owner may continue the use of a legal nonconforming sign provided the owner obtains a Certificate of Non-Compliance from the City of Jonesboro Planning Department within 90 days of the effective date of this Resolution.

(C) Portable signs shall not be designated a legal nonconforming sign and shall be removed within 120 days of the effective date of this Resolution. Portable signs altered to be made non-portable shall still be considered to be portable.

14.32.11.12.2 Loss of Legal Nonconforming Status

A legal nonconforming sign loses the legal nonconforming designation if:

(A) The sign is relocated;

(B) The sign is replaced; reasons other than vandalism or an act of God or other causes outside the influence of the owner or user.

(C) The structure or size of the sign is altered in any way except towards compliance with this Article. This provision does not refer to general maintenance, changeable marquees, or face and copy changes.

(D) The sign is part of an establishment that discontinues its operation for a period of 2 years.

14.32.11.12.3 Maintenance and Repair of Nonconforming Signs

The legal nonconforming sign is subject to all requirements of this Resolution regarding safety, maintenance, and repair. However, if the sign suffers damage to an extent greater than 60 percent of the estimated replacement value, unless such damage was caused by vandalism or an act of God or other causes outside the influence of the owner or user.

14.32.11.13: SIGN DEFINITIONS

Abandoned Sign - A sign that no longer identifies or advertises a location, product, or activity conducted on the premises on which the sign is located.

Animated Sign - A sign employing actual motion or the illusion of motion. Animated signs, which are differentiated from *changeable* signs as defined and regulated by this code, include the following types:

- 1) **Environmentally Activated:** Animated signs or devices motivated by wind, thermal changes, or other natural environmental input. Includes spinners, pinwheels, pennant strings, and/or other devices or displays that respond to naturally occurring external motivation.
- 2) **Mechanically Activated:** Animated signs characterized by repetitive motion and/or rotation activated by a mechanical system powered by electric motors or other mechanically induced means.
- 3) **Electrically Activated:** Animated signs producing the illusion of movement by means of electronic, electrical, or electromechanical input and/or illumination capable of simulating movement through employment of the characteristics of one or both of the classifications noted below:

a) **Flashing:** Animated signs or animated portions of signs whose illumination is characterized by a repetitive cycle in which the period of illumination is either the same as or less than the period of non-illumination. For the purposes of this ordinance, flashing will not be defined as occurring if the cyclical period between on-off phases of illumination exceeds four (4) seconds.

b) **Patterned Illusionary Movement:** Animated signs or animated portions of signs whose illumination is characterized by simulated movement through alternate or sequential activation of various illuminated elements for the purpose of producing repetitive light patterns designed to appear in some form of constant motion.

Architectural Projection - Any projection that is not intended for occupancy and that extends beyond the face of an exterior wall of a building but that does not include signs as defined herein. See also: Awning; Back-lit Awning; and Canopy, Attached and Freestanding.

Area of Sign- "Area of Sign" shall mean the total area within the extreme perimeter of the attraction area intended to draw attention to the sign, including all open spaces. *See also Copy Area of Sign.*

Awning - An architectural projection or shelter projecting from and supported by the exterior wall of a building and composed of a covering of rigid or non-rigid materials and/or fabric on a supporting framework that may be either permanent or retractable. h) Awning. Awning shall mean any structure, such as canvas, projecting from the wall of a building over a window or entrance.

Awning Sign - A sign displayed on or attached flat against the surface or surfaces of an awning. See also: Wall or Fascia Sign.

Back-lit Awning - An awning whose covering material exhibits the characteristic of luminosity obtained by means of a source of illumination contained within its framework.

Banner - A flexible substrate on which copy or graphics may be displayed.

Banner Sign - A sign utilizing a banner as its display surface.

Billboard - See: Off-Premise Sign and Commercial Outdoor Advertising Sign.

Building Facade - That portion of any exterior elevation of a building extending vertically from grade to the top of the parapet wall or eaves and horizontally across the entire width of the width of the building elevation.

Canopy (Attached) - A multi-sided overhead structure or architectural projection supported by attachment to a building on one or more sides and either cantilevered from such building or also supported by columns at additional points. The surface(s) and/or soffit of an attached canopy may be illuminated by means of internal or external sources of light. Similar to a Marquee.

Canopy (Freestanding) - A multi-sided overhead structure supported by columns, but not enclosed by walls. The surface(s) and or soffit of a freestanding canopy may be illuminated by means of internal or external sources of light.

Canopy Sign - A sign affixed to the visible surface(s) of an attached or freestanding canopy. May be internally or externally illuminated. Similar the a Marquee Sign.

Changeable Sign - A sign with the capability of content change by means of manual or remote input, includes the following types:

1) Manually Activated - Changeable sign whose message copy or content can be changed manually on a display surface.

2) Electrically Activated - Changeable sign whose message copy or content can be changed by means of remote electrically energized on-off switching combinations of alphabetic or pictographic components arranged on a display surface. Illumination may be integral to the components, such as characterized by lamps or other light-emitting devices; or it may be from an external light source designed to reflect off the changeable component display. See also: Electronic Message Sign or Center.

Commercial Outdoor Advertising Sign - A permanent off-premise sign erected, maintained or used in the outdoor environment for the purpose of providing copy area for commercial or noncommercial messages.

Copy - The graphic content or message of a sign.

Copy Area of Sign - The actual area of the sign copy as applied to any background. Copy area on any individual background may be expressed as the sum of the geometrically computed area(s) encompassing separate individual letters, words, or graphic elements on the background.

Directional Sign - Any sign that is designed and erected for the purpose of providing direction and/or orientation for pedestrian or vehicular traffic.

Double-faced Sign - A sign with two faces, back to back.

Electric Sign - Any sign activated or illuminated by means of electrical energy.

Electronic Message Sign or Center - An electrically activated Changeable Sign whose variable message capability can be electronically programmed.

Exterior Sign - Any sign placed outside a building.

Facade - See Building Facade.

Fascia Sign - See Wall Sign

Flashing Sign - See Animated Sign, Electrically Activated

Freestanding Sign - A sign principally supported by one or more columns, poles, or braces placed in or upon the ground. Refer also to Section xxx herein for visual reference examples.

Frontage (Property) - The length of the property line(s) of any single premise along either a public way or other properties on which it borders. Same as lot frontage. *See also qualified street frontage.*

Frontage (Building) - The length of an exterior building wall or structure of a single premise along either a public way or other properties that it faces.

Ground Sign - "Ground Sign" shall mean a sign not wholly supported on a building or on a structure other than a sign structure. *See Freestanding Sign.*

Hanging Sign- "Hanging Sign" shall mean a sign suspended from a building or structure which is perpendicular or parallel to the façade of the building.

Illuminated Sign - A sign characterized by the use of artificial light, either projecting through its surface(s) [Internally illuminated]; or reflecting off its surface(s) [Externally illuminated].

Interior Sign - Any sign placed within a building, but not including Window Signs as defined by this ordinance. Interior Signs, with the exception of Window Signs as defined, are not regulated by this ordinance.

Mansard - A roof-like facade comparable to an exterior building wall.

Marquee - See Canopy (Attached). Definition is similar.

Marquee Sign - See Canopy Sign. Definition is similar.

Multiple-Faced Sign - A sign containing three (3) or more faces.

Median Monument Sign- Signs erected within the median of a street intersection leg within the public right of way but separating the ingress and egress of a subdivision or development.

Mobile sign- means a sign mounted on trailer or frame, lighted or unlighted, which is not permanently attached to a structure or the ground.

Monument Sign - "Monument Sign" shall mean an independent structure supported from grade to the bottom of the sign with the appearance of having a solid base. See also ground sign.

Off-Premise Sign - A sign whose erected, maintained or used in the outdoor environment for the purpose of the display of messages appurtenant to the use of, products sold off the subject premises on which it is displayed. See Outdoor Advertising Signs and Commercial Outdoor Advertising Sign.

On-Premise Sign - A sign whose erected, maintained or used in the outdoor environment for the purpose of the display of messages appurtenant to the use of, products sold on, or the sale or lease of, the property on which it is displayed.

Outdoor Advertising Signs - A permanent sign erected, maintained or used in the outdoor environment for the purpose of the display of commercial or noncommercial messages not appurtenant to the use of, products sold on, or the sale or lease of, the property on which it is displayed.

Parapet - The extension of a building facade above the line of the structural roof.

Pole Sign - See Freestanding Sign.

Political Sign - A temporary sign intended to advance a political statement, cause, or candidate for office.

Portable Sign - Any sign not permanently attached to the ground or to a building or building surface.

Projecting Sign - A sign other than a Wall Sign that is attached to or projects more than eighteen (18) inches from a building face or wall or from a structure whose primary purpose is other than the support of a sign.

Qualified Street Frontage- "Qualified Street Frontage" shall mean the width of storefront of a commercial or industrial development fronting on a major or secondary thoroughfare. In cases of corner or through lots, only one (1) street frontage may be used as qualified street frontage for purposes of calculating permitted sign area. *See also Frontage.*

Real Estate Sign - A temporary sign advertising the sale, lease, or rental of the property or premises upon which it is located.

Revolving Sign - A sign that revolves three hundred and sixty degrees (360) about an axis. See also: Animated Sign, Mechanically Activated.

Roof Line - The uppermost line of the roof of a building or, in the case of an extended facade or parapet, the uppermost point of said facade or parapet.

Roof Sign - A sign mounted on the main roof portion of a building or on the uppermost edge of a parapet wall of a building and which is wholly or partially supported by such building. Signs mounted on mansard facades, pent eaves, and architectural projections such as canopies or marquees shall not be considered to be roof signs. Refer also to Section 14.32.11.9 herein for visual reference example of roof sign, and comparison of differences between roof and fascia signs.

Sign - Any device visible from a public place whose essential purpose and design is to convey either commercial or noncommercial messages by means of graphic presentation of alphabetic or pictorial symbols or representations. Noncommercial flags or any other flags displayed from flagpoles or staffs will not be considered to be signs.

Sign Structure - Any structure designed for the support of a sign.

Temporary Sign - A sign intended to display either commercial or noncommercial messages of a transitory or temporary nature. Portable signs or any sign not permanently embedded in the ground, or not permanently affixed to a building or sign structure that is permanently embedded in the ground, are considered temporary signs. "Temporary Sign" shall mean a banner type sign constructed of a sturdy material, such as canvas, so as to prevent rapid deterioration. Such sign is intended to be displayed for a short period of time only.

Total wall surface area- Sum of the area calculation for a wall surface on a building frontage in a single plane.

Under Canopy Sign or Under Marquee Sign - A sign attached to the underside of a canopy or marquee.

V Sign - A sign containing two faces of equal size, positioned at an interior angle subtending less than one hundred seventy-nine degrees (179°) at the point of juncture of the individual faces.

Wall or Fascia Sign - A sign that is in any manner affixed to any exterior wall of a building or structure and that projects not more than eighteen (18) inches from the building or structure wall. Also includes signs affixed to architectural projections that project from a building provided the copy area of such signs remains on a parallel plane to the face of the building facade or to the face or faces of the architectural projection to which it is affixed. Refer also to section xxx herein for visual reference examples, and comparison examples of differences between wall or fascia signs and roof signs.

City of Jonesboro
On-Premise/Off-Premise Sign Code

6/5/2007

Window Sign - A sign affixed to the surface of a window with its message intended to be visible to exterior environment.

PASSED AND APPROVED this _____ day of _____, 2007.

Doug Formon, Mayor

Donna K. Jackson, CMC, City Clerk

OFF-PREMISE OUTDOOR ADVERTISING SIGN ORDINANCE

AN ORDINANCE AMENDING TITLE 14, THE ZONING ORDINANCE OF THE CITY OF JONESBORO, ARKANSAS, ESTABLISHING STANDARDS FOR THE LOCATION, DEVELOPMENT, CONSTRUCTION, AND MAINTENANCE OF OFF-PREMISE OUTDOOR ADVERTISING SIGNS.

WHEREAS, The City of Jonesboro desires to encourage the orderly development of Off-Premise Outdoor Advertising Signs (Billboards) for the benefit of its citizens; and,

WHEREAS, as a matter of public policy the City wishes to control and regulate the proliferation of Off-Premise Outdoor Advertising Signs; and,

WHEREAS, the control and regulation of Off-Premise Outdoor Advertising Signs is considered necessary to protect the health, safety, and general welfare of the citizens of Jonesboro.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS:

That the Zoning Ordinance (Title 14 of the Jonesboro Municipal Code) be amended to add the provisions set forth below to Section 14.32.11.

Section 14.32.11 Off-Premise Outdoor Advertising Sign Standards

(a). Purpose

This Ordinance establishes the regulations for the continuing use of Off-Premise Outdoor Advertising Signs or billboards (herein after referred to as "*Off-Premise Sign*") in order to encourage an attractive environment, to promote the development of businesses and organizations, to inform and direct the general public, to protect and enhance the physical appearance of the community, to ensure public safety along streets and highways.

The purpose of regulating Off-Premise Signs (billboards) is to:

- (1). Assure compatibility of billboards with surrounding land use;
- (2). Enhance the economy of Jonesboro;
- (3). Protect the public interest in streets and highways;
- (4). Promote and maintain the safety and general welfare of citizens and their property in the vicinity of outdoor advertising structures;
- (5). Allow property owners the opportunity to sell or lease their properties for outdoor advertising uses and maximize the value of their property; and,

- (6). Provide and protect tax revenues by promoting the reasonable, orderly and effective display of outdoor advertising.

(b). DEFINITIONS

- (1). *Back-to-Back Sign*: an Off-Premise Sign consisting of two sign facings oriented in opposite directions with not more than two faces per sign facing.
- (2). *Directional Sign*: a sign erected for the convenience of the public, such as for directing traffic movement, parking, or identifying restrooms, public telephones, walkways and other similar features or facilities, and bearing no advertising message.
- (3). *Double Faced Sign*: an Off-Premise Sign with two adjacent faces oriented in the same direction and not more than 10 feet apart at the nearest point between the two faces.
- (4). *Facing*: that portion of an Off-Premise Sign upon which advertising is affixed or painted and visible in one direction at one time
- (5). *Freestanding Sign*: an Off-Premise Sign erected on a freestanding framework supported and affixed by one or more uprights or braces in or upon the ground.
- (6). *Multiple-faced Sign*: an Off-Premise Sign comprised of sections which rotate to display a series of advertisements, each advertisement being displayed continuously for a short period of time without movement.
- (7). *Official Sign*: a sign erected by a governmental agency or its designee, setting forth information pursuant to law.
- (8). *Off-Premise Outdoor Advertising Sign*: a sign, including the supporting sign structure, which is visible from a street or highway and advertises goods or services not usually located on the premises and/or property upon which the sign is located; also called a "billboard." This definition includes a Junior Outdoor Advertising Sign, which is differentiated by its 6-foot by 12-foot sign faces. The following shall not be considered an off-premise sign for the purposes of this Ordinance.
 - a. Directional or Official Signs authorized by law.
 - b. Real Estate Signs
 - c. On-Premise Signs
- (9). *On-Premise Sign*: a sign which advertises the primary goods or services sold or taking place upon the premises or parcel of land on which the sign is located.

- (10). *Real Estate Sign*: a sign, which advertises the sale or lease of the property upon which, the sign is located.
- (11). *Roof Mounted Sign*: an Off-Premise Sign attached to the roof of a building.
- (12). *"V" Type Sign*: an Off-Premise Sign structure which consists of multiple sign facings placed at angles to each other, oriented in different directions and not exceeding 10 feet apart at the nearest point to each other.
- (13). *Wall Sign*: an Off-Premise Outdoor Sign attached to or painted on the wall of a building or structure.

(c). Permitted Locations

Off-Premise Outdoor Advertising Signs shall be permitted by *right* in the following zone districts except where the property on which the sign is to be located adjoins a residentially zoned property then it shall become a *conditional use*.

- (1). C-3, General Commercial District;
- (2). I-1, Limited Industrial District; and,
- (3). I-2, General Industrial District.

Off-Premise Outdoor Advertising Signs shall be permitted as a *conditional use* in the following zone districts:

- (1). C-1, Downtown Core Commercial District;
- (2). C-2, Downtown Fringe Commercial District;
- (3). C-4, Neighborhood Commercial District; and,
- (4). C-5, Neighborhood Office District.

Off-Premise Signs shall not be located in the residential portion of any area designated as a "Scenic Roadside" or "Scenic By-way."

(d). Nonconforming Signs

Any Off-Premise Sign in existence on the effective date of this ordinance, which does not meet the requirements of this Ordinance, may be maintained as a matter of right as legal nonconforming signs, provided that:

- (1). Such signs are properly maintained and do not endanger the public; and,
- (2). The signs were installed in conformance with a valid permit or complied with all applicable laws on the effective date of this Ordinance.

- (1). Sign structures annexed to the ground may be reestablished after damage or destruction provided the replacement sign does not exceed the size of the sign it is replacing and meets all structural standards of this ordinance.

(e). General Provisions

- (1). No Off-Premise Sign shall be constructed which resembles any official marker erected by a governmental entity, or which by reason of position, shape, or color would conflict with the proper functioning of any official traffic control device.
- (2). Off-Premise Signs shall be constructed in accordance with local and state building and electrical codes. Structural engineering plans, sealed by a structural engineer licensed in Arkansas, shall accompany applications for a sign permit and shall be subject to wind load requirements set forth in the International Building Code.
- (3). Off-Premise Signs shall be regularly maintained in good appearance and safe

Legal nonconforming signs:

- (1). May be replaced by a new sign provided it does not exceed the size of the sign it is replacing and meets all structural standards of this ordinance;
- (2). The sign facing may be structurally altered in order to maintain the appearance of a sign, prolong its life, or to change advertising content; and,
- (3). Sign structures affixed to the ground may be reestablished after damage or destruction provided the replacement sign does not exceed the size of the sign it is replacing and meets all structural standards of this ordinance.

(e). General Provisions

- (1). No Off-Premise Sign shall be constructed which resembles any official marker erected by a governmental entity, or which by reason of position, shape, or color would conflict with the proper functioning of any official traffic control device.
- (2). Off-Premise Signs shall be constructed in accordance with local and state building and electrical codes. Structural engineering plans, sealed by a structural engineer licensed in Arkansas, shall accompany applications for a sign permit and shall be subject to wind load requirements set forth in the International Building Code.
- (3). Off-Premise Signs shall be regularly maintained in good appearance and safe structural condition.
- (4). No Off-Premise Sign shall be constructed on a property without the written consent of the property owner of record at the time of the sign's placement.
- (5). The general area in the vicinity of any freestanding sign on developed or undeveloped property shall be kept free and clear of sign materials, debris, trash and refuse.

(f). Size of Signs

- (1). Signs may be back-to-back, double-faced, V-type, and multiple-faced with not more than two faces to each facing side. Such a structure shall be considered as one Off-Premise Sign.
- (2). The maximum sign area for each facing side shall not exceed 1,200 square feet. *with any one sign face not exceeding 672 square feet.* These maximum areas exclude the base or apron; trim supports, other structural elements of the sign, and temporary embellishments. Temporary embellishments shall not exceed 20 percent of the maximum sign area allowed.
- (3). Rotating sign faces with variable messages will be measured while in a stationary position with one message visible.

(g). Height of an Off-Premise Sign

- (1). A full-size Off-Premise Sign shall maintain a minimum clearance of ten feet

measured from the natural ground level at the base of the sign to the bottom of the framing around the sign face.

- (2). The base of a Junior Off-Premise sign may be placed at natural ground level or may be elevated to a maximum of eight feet measured from ground level to the bottom of the framing around the sign face.
- (3). An Off-Premise Sign shall have a maximum height not to exceed 50 feet measured from the grade level of the roadway to which the sign is oriented to the top of the framing along the sign face.
- (4). The natural ground level at the base of the sign shall not be altered so as to increase the height of the sign.

(h). Spacing for Off-Premise Signs

- (1). No Off-Premise Sign shall be established within 1,000 feet of any other Off-Premise Sign, measured along the same side of the street or highway to which the sign is oriented.
- (2). The spacing between signs does not apply to sign structures separated by buildings or other obstructions in such a manner that only one sign located within the spacing distances is visible from the street at any one time.
- (3). Spacing from Directional and Official Signs, On-premise signs, or any other sign which does not constitute an Off-Premise Sign shall not be counted nor shall measurements be made from such signs for the purpose of determining compliance with these spacing requirements.
- (4). The minimum distance between Off-Premise Signs shall be measured along the nearest edge of the pavement between points directly opposite the center of the signs along each side of the street or highway and shall apply to sign structures located on the same side of the same street or highway.

(i). Setback Requirements

Required setbacks shall be measured from the applicable line of the property on which it is located to the signpost that is closest to said property line.

- (1) *Street Setback:* five feet from the street right-of-way line.
- (2) *Side Setback:* five feet from the side property line
- (3) *Rear Setback:* An Off-Premise Sign shall be set back a minimum of 25 feet from the rear line of the property on which it is located.
- (4). In no case shall any portion of an Off-Premise Sign overhang or be placed in the public right-of-way.

- (5). In no case shall any portion of an Off-Premise Sign overhang an adjoining private property.

(j). Lighting

- (1). Off-Premise Signs that contain, include, or are illuminated by flashing, intermittent or moving lights are prohibited.
- (2). Reflective surfaces or devices on sign faces are permitted provided such signs do not interfere with traffic safety.
- (3). Illuminated electronic variable message signs giving public information such as, but not limited to, time, date, temperature, weather, or other similar information are permitted.
- (4). Illuminated electronic variable message signs giving commercial information are permitted, provided such signs do not interfere with traffic safety and do not resemble or simulate traffic control or safety devices or signs.
- (5). All Off-Premise Signs including Legal Non-Conforming Signs shall be effectively shielded to prevent beams or rays from being directed toward any portion of street travel-ways and must not be of such intensity or brilliance to cause glare or impair the vision of the driver of any motor vehicle.
- (6). All Off-Premise Signs including Legal Non-Conforming Signs shall be effectively shielded to prevent light beams or rays from being directed toward any residential properties.
- (7). No Off-Premise Sign including Legal Non-Conforming Signs shall be so illuminated that it interferes with the effectiveness of or obscures an official traffic sign, device or signal.

(k). Sign Permit

No Off-Premise Outdoor Advertising Sign shall be erected without securing a permit from the City of Jonesboro and payment of a one-time permit fee of \$250. An application for an Off-Premise Sign shall be accompanied by a site survey and plan at a minimum scale of 1 inch = 50 feet, prepared by a registered surveyor or engineer licensed in Arkansas, showing the following information:

- (1). Name, address and telephone number of the property owner of record;
- (2). Ownership certificate signed by the property owner of record;
- (3). Name, address, and telephone of the owner of the proposed sign;
- (4). Name, address, and telephone number of the contractor proposed to install the proposed sign;
- (5). Existing property boundaries and any structures and other physical features of the

site;

- (6). Location of existing streets and depicting the full right-of-way of said streets;
- (7). Location of structures and physical features on properties abutting the site of the proposed sign;
- (8). Location of any nearby Off-Premise Outdoor Advertising signs;
- (9). Zone district designation in which the proposed site is located.
- (10). Setback lines;
- (11). Elevation views of the proposed sign showing all faces, height and width dimensions, and dimension from ground level to the bottom of the sign faces;
- (12). Construction details of the proposed sign showing all structural components, electrical facilities, and lighting; and,
- (13). Certified statement from a professional structural engineer licensed in Arkansas that the sign meets all requirements of the International Building Code including wind load provisions.
- (14). Following issuance of a sign permit and completion of installation, the structural engineer shall verify, in writing, to the City Planner that the sign has been installed in accordance with the approved plan and permit.

(l). Correction of Deficiencies or Removal of Off-Premise Signs

- (1). Any Off-Premise Sign that has been abandoned or that has been inspected and determined to be structurally unsafe and therefore a danger to public safety shall be renovated or removed by the owner of the sign within 60 days from receipt of a "Notice to Correct or Remove" issued by the Department of Planning, Inspection and Code Enforcement. If the deficiencies in the sign or the sign are not removed within this 60-day period, the City may have the sign removed and charge the sign owner with the cost of removal plus a \$100 administrative service fee.
- (2). An Off-Premises Sign installed after the effective date of this Section of the Zoning Ordinance without a sign permit and/or not conforming to this Section, shall be removed by the owner. The sign owner shall not be entitled to compensation for the Sign removal and shall reimburse the City for any cost incurred in connection with the removal.

(m). Protection of First Amendment Rights

Any Off-Premise Sign may contain any otherwise lawful, noncommercial message, including any political message, as well as advertising copy that directs attention to a business operated for profit or to a commodity or service for sale, and that complies with all other requirements of this Ordinance.

(n). Civil Penalty

The penalty for violating any provision of the Zoning Ordinance is set out in Section 14.44.04 of the Ordinance.

(o). Conflict

If any part of this Section is found to be in conflict with any other Section of the Zoning Ordinance or with any other Ordinance, the most restrictive or highest standard shall prevail. If any part of this Section is explicitly prohibited by Federal law or state statute that part shall not be enforced.

(p). Effective Date

This addendum to the Zoning Ordinance shall be effective on _____.

PASSED AND APPROVED this 1st day of December, 2003.

Hubert Brodell, Mayor

Donna K. Jackson, CMC, City Clerk

OFF-PREMISE OUTDOOR ADVERTISING SIGN ORDINANCE

AN ORDINANCE AMENDING TITLE 14, THE ZONING ORDINANCE OF THE CITY OF JONESBORO, ARKANSAS, ESTABLISHING STANDARDS FOR THE LOCATION, DEVELOPMENT, CONSTRUCTION, AND MAINTENANCE OF OFF-PREMISE OUTDOOR ADVERTISING SIGNS.

WHEREAS, The City of Jonesboro desires to encourage the orderly development of Off-Premise Outdoor Advertising Signs (Billboards) for the benefit of its citizens; and,

WHEREAS, as a matter of public policy the City wishes to control and regulate the proliferation of Off-Premise Outdoor Advertising Signs; and,

WHEREAS, the control and regulation of Off-Premise Outdoor Advertising Signs is considered necessary to protect the health, safety, and general welfare of the citizens of Jonesboro.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS:

That the Zoning Ordinance (Title 14 of the Jonesboro Municipal Code) be amended to add the provisions set forth below to Section 14.32.11.

Section 14.32.11 Off-Premise Outdoor Advertising Sign Standards

(a). **Purpose**

This Ordinance establishes the regulations for the continuing use of Off-Premise Outdoor Advertising Signs or billboards (herein after referred to as "*Off-Premise Sign*") in order to encourage an attractive environment, to promote the development of businesses and organizations, to inform and direct the general public, to protect and enhance the physical appearance of the community, to ensure public safety along streets and highways.

The purpose of regulating Off-Premise Signs (billboards) is to:

- (1). Assure compatibility of billboards with surrounding land use;
- (2). Enhance the economy of Jonesboro;
- (3). Protect the public interest in streets and highways;
- (4). Promote and maintain the safety and general welfare of citizens and their property in the vicinity of outdoor advertising structures;
- (5). Allow property owners the opportunity to sell or lease their properties for outdoor advertising uses and maximize the value of their property; and,

- (6). Provide and protect tax revenues by promoting the reasonable, orderly and effective display of outdoor advertising.

(b). DEFINITIONS

- (1). *Back-to-Back Sign*: an Off-Premise Sign consisting of two sign facings oriented in opposite directions with not more than two faces per sign facing.
- (2). *Directional Sign*: a sign erected for the convenience of the public, such as for directing traffic movement, parking, or identifying restrooms, public telephones, walkways and other similar features or facilities, and bearing no advertising message.
- (3). *Double Faced Sign*: an Off-Premise Sign with two adjacent faces oriented in the same direction and not more than 10 feet apart at the nearest point between the two faces.
- (4). *Facing*: that portion of an Off-Premise Sign upon which advertising is affixed or painted and visible in one direction at one time
- (5). *Freestanding Sign*: an Off-Premise Sign erected on a freestanding framework supported and affixed by one or more uprights or braces in or upon the ground.
- (6). *Multiple-faced Sign*: an Off-Premise Sign comprised of sections which rotate to display a series of advertisements, each advertisement being displayed continuously for a short period of time without movement.
- (7). *Official Sign*: a sign erected by a governmental agency or its designee, setting forth information pursuant to law.
- (8). *Off-Premise Outdoor Advertising Sign*: a sign, including the supporting sign structure, which is visible from a street or highway and advertises goods or services not usually located on the premises and/or property upon which the sign is located; also called a "billboard." This definition includes a Junior Outdoor Advertising Sign, which is differentiated by its 6-foot by 12-foot sign faces. The following shall not be considered an off-premise sign for the purposes of this Ordinance.
 - a. Directional or Official Signs authorized by law.
 - b. Real Estate Signs
 - c. On-Premise Signs
- (9). *On-Premise Sign*: a sign which advertises the primary goods or services sold or taking place upon the premises or parcel of land on which the sign is located.

- (10). *Real Estate Sign*: a sign, which advertises the sale or lease of the property upon which, the sign is located.
- (11). *Roof Mounted Sign*: an Off-Premise Sign attached to the roof of a building.
- (12). *"V" Type Sign*: an Off-Premise Sign structure which consists of multiple sign facings placed at angles to each other, oriented in different directions and not exceeding 10 feet apart at the nearest point to each other.
- (13). *Wall Sign*: an Off-Premise Outdoor Sign attached to or painted on the wall of a building or structure.

(c). Permitted Locations

Off-Premise Outdoor Advertising Signs shall be permitted by *right* in the following zone districts except where the property on which the sign is to be located adjoins a residentially zoned property then it shall become a *conditional use*.

- (1). C-3, General Commercial District;
- (2). I-1, Limited Industrial District; and,
- (3). I-2, General Industrial District.

Off-Premise Outdoor Advertising Signs shall be permitted as a *conditional use* in the following zone districts:

- (1). C-1, Downtown Core Commercial District;
- (2). C-2, Downtown Fringe Commercial District;
- (3). C-4, Neighborhood Commercial District; and,
- (4). C-5, Neighborhood Office District.

Off-Premise Signs shall not be located in the residential portion of any area designated as a "Scenic Roadside" or "Scenic By-way."

(d). Nonconforming Signs

Any Off-Premise Sign in existence on the effective date of this ordinance, which does not meet the requirements of this Ordinance, may be maintained as a matter of right as legal nonconforming signs, provided that:

- (1). Such signs are properly maintained and do not endanger the public; and,
- (2). The signs were installed in conformance with a valid permit or complied with all applicable laws on the effective date of this Ordinance.

Legal nonconforming signs:

- (1). May be replaced by a new sign provided it does not exceed the size of the sign it is replacing and meets all structural standards of this ordinance;
- (2). The sign facing may be structurally altered in order to maintain the appearance of a sign, prolong its life, or to change advertising content; and,
- (3). Sign structures affixed to the ground may be reestablished after damage or destruction provided the replacement sign does not exceed the size of the sign it is replacing and meets all structural standards of this ordinance.

(e). General Provisions

- (1). No Off-Premise Sign shall be constructed which resembles any official marker erected by a governmental entity, or which by reason of position, shape, or color would conflict with the proper functioning of any official traffic control device.
- (2). Off-Premise Signs shall be constructed in accordance with local and state building and electrical codes. Structural engineering plans, sealed by a structural engineer licensed in Arkansas, shall accompany applications for a sign permit and shall be subject to wind load requirements set forth in the International Building Code.
- (3). Off-Premise Signs shall be regularly maintained in good appearance and safe structural condition.
- (4). No Off-Premise Sign shall be constructed on a property without the written consent of the property owner of record at the time of the sign's placement.
- (5). The general area in the vicinity of any freestanding sign on developed or undeveloped property shall be kept free and clear of sign materials, debris, trash and refuse.

(f). Size of Signs

- (1). Signs may be back-to-back, double-faced, V-type, and multiple-faced with not more than two faces to each facing side. Such a structure shall be considered as one Off-Premise Sign.
- (2). The maximum sign area for each facing side shall not exceed **1,200** square feet. *with any one sign face not exceeding 672 square feet.* These maximum areas exclude the base or apron; trim supports, other structural elements of the sign, and temporary embellishments. Temporary embellishments shall not exceed 20 percent of the maximum sign area allowed.
- (3). Rotating sign faces with variable messages will be measured while in a stationary position with one message visible.

(g). Height of an Off-Premise Sign

- (1). A full-size Off-Premise Sign shall maintain a minimum clearance of ten feet

measured from the natural ground level at the base of the sign to the bottom of the framing around the sign face.

- (2). The base of a Junior Off-Premise sign may be placed at natural ground level or may be elevated to a maximum of eight feet measured from ground level to the bottom of the framing around the sign face.
- (3). An Off-Premise Sign shall have a maximum height not to exceed 50 feet measured from the grade level of the roadway to which the sign is oriented to the top of the framing along the sign face.
- (4). The natural ground level at the base of the sign shall not be altered so as to increase the height of the sign.

(h). Spacing for Off-Premise Signs

- (1). No Off-Premise Sign shall be established within 1,000 feet of any other Off-Premise Sign, measured along the same side of the street or highway to which the sign is oriented.
- (2). The spacing between signs does not apply to sign structures separated by buildings or other obstructions in such a manner that only one sign located within the spacing distances is visible from the street at any one time.
- (3). Spacing from Directional and Official Signs, On-premise signs, or any other sign which does not constitute an Off-Premise Sign shall not be counted nor shall measurements be made from such signs for the purpose of determining compliance with these spacing requirements.
- (4). The minimum distance between Off-Premise Signs shall be measured along the nearest edge of the pavement between points directly opposite the center of the signs along each side of the street or highway and shall apply to sign structures located on the same side of the same street or highway.

(i). Setback Requirements

Required setbacks shall be measured from the applicable line of the property on which it is located to the signpost that is closest to said property line.

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Hubert Brodell, Mayor

Donna K. Jackson, CMC, City Clerk