



City of Jonesboro

Municipal Center
300 S. Church Street
Jonesboro, AR 72401

Meeting Agenda Metropolitan Area Planning Commission

Tuesday, September 27, 2022

5:30 PM

Municipal Center, 300 S. Church

1. Call to order

2. Roll Call

3. Approval of minutes

[MIN-22:085](#) MINUTES: September 13, 2022 MAPC Minutes

Attachments: [Sept. 13, 2022 MAPC Minutes](#)

4. Miscellaneous Items

5. Preliminary Subdivisions

[PP-22-11](#) PRELIMINARY SUBDIVISION: Edgemont Park Phase II

Mark Morris of Mark Morris Homes is requesting MAPC Preliminary Subdivision Approval for Edgemont Park Phase II for 51 lots on 15 +/- acres for property zoned R-1, Single-Family Medium Density District, located off of Edgemont Drive.

Attachments: [Application](#)
[Edgemont Park Phase II - Staff Report](#)
[Subdivision Plans](#)

6. Final Subdivisions

7. Conditional Use

[CU-22-02](#) CONDITIONAL USE: 3411 & 3413 E. Johnson Ave.

Sharada Madhuri on behalf of Quinn Family Limited is requesting Conditional Use approval to develop property located at 3411 & 3413 E. Johnson Ave. into a fast food restaurant (with drive-through) and a retail space. The property is currently zoned C-4, Neighborhood Commercial District, and requires Conditional Use approval.

Attachments: [Application](#)
[Cert. Mail](#)
[Site Plan](#)
[Staff Summary - 3411 & 3413 E Johnson Ave](#)

8. Rezoning

RZ-22-13 REZONING: Thompson Drive & Southwest Drive

Jeremy Moore is requesting a Rezoning from R-1, Single-Family Medium Density District, to RM-16, Residential Multifamily 16 units per net acre. This Rezoning is for 4.41 +/- acres (2 tracts) located at Thompson Dr. and Southwest Dr.

Attachments: [Application](#)
[Certified Receipt](#)
[Plat](#)
[Valley View Superintendent Letter](#)
[Staff Summary - Southwest Dr & Thompson Dr](#)
[Apartments - Site Plan](#)
[Rezoning Sign](#)

9. Staff Comments

10. Adjournment



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: MIN-22:085

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Minutes

MINUTES: September 13, 2022 MAPC Minutes



City of Jonesboro

Municipal Center
300 S. Church Street
Jonesboro, AR 72401

Meeting Minutes Metropolitan Area Planning Commission

Tuesday, September 13, 2022

5:30 PM

Municipal Center, 300 S. Church

1. Call to order

2. Roll Call

Present 7 - Lonnie Roberts Jr.; Jimmy Cooper; Dennis Zolper; Kevin Bailey; Monroe Pointer; Jeff Steiling and Paul Ford

Absent 2 - Jim Little and Stephanie Nelson

3. Approval of minutes

[MIN-22:078](#) MINUTES: Aug. 23, 2022 MAPC Minutes

Attachments: [Aug. 23, 2022 MAPC Minutes](#)

A motion was made by Dennis Zolper, seconded by Jimmy Cooper, that this matter be Approved . The motion PASSED with the following vote.

Aye: 6 - Jimmy Cooper; Dennis Zolper; Kevin Bailey; Monroe Pointer; Jeff Steiling and Paul Ford

Absent: 2 - Jim Little and Stephanie Nelson

4. Miscellaneous Items

[SP-22-04](#) SITE PLAN REVIEW: Savannah Hills Townhomes Phase V

Michael Boggs of Tralan Engineering is requesting MAPC Approval for a Final Site Plan for Savannah Hills Townhomes Phase V. This phase has a total of 14 units on 5.12 +/- acres and is zoned PD-RM - Multifamily Residential Planned Development. This property is located West of Dena Jo Drive.

Attachments: [Final Site Plan 2022](#)
[Site Plan 2020](#)

Applicant – Michael Boggs: Explained it's 14 triplexes, 42 units total. Explained that they are bringing it back for final site plan approval as required. Once this is submitted and approved to, along with some other things they are working on with CWL, they will be resubmitting it to the city for final site development plans and permits. It will have all of the drainage and traffic information.
Commission: Lonnie Roberts asked the City Planner if they had any staff comments.

Staff – Derrel Smith: Recommended getting approval with the requirements from the City Engineer for current storm water drainage design manual and floodplain regulations, final site plan illustrating the compliance of all parking, signage, landscaping, buffering, etc. It must be approved by staff at the plan review level, and all traffic study revisions must be approved before permitting.

Roberts: Asked if the commission had any questions after staff comments, and then opens the floor for public comments.

Public Comment - Patty Lack, 4108 Forrest Hill Rd: Explained she attended the pre-meeting the day prior with the traffic study revisions. She explained that about a month and a half earlier she had been told on the North side of the property on Russell Dr. and Becca Dr. is a one lane road that is not able to handle the traffic coming from the existing apartments. Said in her meeting with Craig Light and Derrel Smith that the city didn't know what they are going to do with that area as of yet. She is worried with 14 more units, the traffic will get worse. She doesn't know where traffic will be directed. Craig suggested they could block off the entrance. She doesn't know if they can do that because they legally need that exit/entrance. Would like for the city to take the traffic study into consideration for the situation. The city will know what to do with an already bad situation. It happened a couple of years ago, and if more units are added to the property it won't make it any better.

Public Comment – Rob Blackburn, 798 Brownwood: Explains Patty lack is his neighbor. Asked for confirmation that if traffic impact study isn't completed, they can't get a building permit.

Smith: Confirmed.

Blackburn: Said it's a duplicate of what was built five years ago. Asked if cars can be parked in front of the apartment on the street.

Smith: Explained that if it's not a public street, they can park in the street.

Staff – Michael Morris: Confirmed it is not a public street

Blackburn: Said when you take common space into consideration, there is going to be a median that they'll put two picnic tables on, and there will be traffic on both sides of the median that it doesn't fit. Asked if the design guidelines for the multi-family residential development has been looked at.

Smith: Confirmed.

Blackburn: Asked if they're building the same thing as five years ago.

Smith: Explained they haven't seen the building plans yet, but assured him it will follow the guidelines

Blackburn: Asked when they would see the building plans.

Smith: Explained after this meeting, which is the Site Plan Review.

Blackburn: Asked if there will be a final review.

Smith: Confirmed there would be at the staff level.

Blackburn: Asked if it will have to be approved by the MAPC.

Smith: Explained this is the meeting for approval.

Blackburn: Asked if this was the only time it has to be approved.

Smith: Confirmed.

Blackburn: Said there can't be a common play area with streets running beside it. Expressed he doesn't believe the due diligence has been done.

Roberts: Asked if Mr. Bogg's has any comments.

Boggs: Explained that he spoke to a Traffic Engineer to have revisions done to the study. Explained when they should be done by early the following week.

Once the approvals are back from CWL on the water and sewer, they will be able to speak with the owner, and resubmit for final plans.

A motion was made by Dennis Zolper, seconded by Kevin Bailey, that this matter be Approved . The motion PASSED with the following vote.

Aye: 6 - Jimmy Cooper;Dennis Zolper;Kevin Bailey;Monroe Pointer;Jeff Steiling and Paul Ford

Absent: 2 - Jim Little and Stephanie Nelson

[SP-22-05](#)

SITE PLAN: 9540 C.W. Post Road

Jeremy Bevill of Fisher Arnold on behalf of Delta Peanut is requesting Site Plan Approval for a new facility located at 9540 C.W. Post Road, located in I-2, General Industrial District. The proposed development exceeds 75,000 square feet and requires MAPC Site Plan Approval. Total square footage for the development is 112,000.

Attachments: [Application](#)
 [Building Plan](#)
 [Landscaping Plan](#)
 [Site Plan](#)
 [Site Location](#)

Applicant - Jeremy Bevill: Prepared site plans, acknowledges development exceeds 75,000 requesting approval.

Staff – Derrel Smith: Recommended approval with stipulations. Sidewalk for the entire delta peanut must be built with this phase and there will be no temporary C.O. until the sidewalk is complete and there must be a variance for the hard surface drive as well as the curb and gutter around the warehouse.

Commission - Dennis Zolper: Asked if there are other sidewalks that connect to this.

Smith: No, supposed to be a sidewalk across the street from the two other developments when they get the final C.O., but there are just gaps for now

Zolper: Stated he doesn't have a question, just an opinion. There's not going to be a lot of walkers at the industrial park, would it be better to do what is being done downtown which is improve the sidewalks and let them pay for it. Not requesting it, but it seems more logical.

Smith: says they don't meet the criteria to pay for a fee and city council looked into waiving the industrial park from sidewalk requirements but they refused to do so at the time

Ford: Asked if this is where they added the railroad spurs where the other plants have already been built

Bevill: Confirmed it's on the north side of CW Post, the existing was south of CW Post, they are between Barnhill Rd and Quality Way.

A motion was made by Dennis Zolper, seconded by Jimmy Cooper, that this matter be Approved . The motion PASSED with the following vote.

Aye: 6 - Jimmy Cooper;Dennis Zolper;Kevin Bailey;Monroe Pointer;Jeff Steiling and Paul Ford

Absent: 2 - Jim Little and Stephanie Nelson

5. Preliminary Subdivisions

6. Final Subdivisions

[PP-22-12](#)

FINAL SUBDIVISION: Creekwood Addition Phase III

Jeremy Bevill of Fisher Arnold is requesting MAPC Final Subdivision Approval for Creekwood Addition Phase III for 32 lots on 9.95 +/- acres for property zoned R-1, Single-Family Medium Density District, located off of Roleson Lane.

Attachments: [Application](#)
 [Creekwood Add. Phase III - Staff Report](#)
 [Creekwood Final Plat](#)
 [Letter of Opposition](#)

Applicant – Jeremy Bevill: Requested final plat approval. 32 lots have been completed, but we still have to install the last lift of asphalt and sidewalks, but there is a bond that will be in place to cover the infrastructure.

Staff – Derrel Smith: Stated the subdivision has been reviewed, meets all the requirements for the R-1 zoning districts as far as minimum/maximum lot sizes, we recommend approval.

Commission –Dennis Zolper: Asked if the squiggly lines on the plan are the drainage lines.

Bevill: Explained it's the floodplain along Christian creek, the lines is the elevation of the floodplain. The plat also has the included the minimum finished floor required for each lot.

Zolper: Asked if the teepee like line from the development are elevations.

Bevill: Confirmed they are the base elevation for the floodplain depths.

Commission – Paul Ford: Asked when the preliminary subdivision was approved.

Bevill: Stated he was unsure off hand.

Ford: Asked if any changes we made to these plans from the preliminary plans.

Bevill: Doesn't believe there were changes made.

Commission – Monroe Pointer: Asked if the owner had a chance to look at the letter, and if it is something that can be addressed by Jeremy. Said it's a concern from a community member, and has it been addressed.

Smith: Explained they received the letter before they got to the meeting, so he hasn't had the chance.

Staff – Michael Morris: Stated the preliminary meeting was December 8, and the letter was at the meeting.

Roberts: Read the letter of opposition from Mike and Debbie Hottel, 3021 Quail Dr. and confirmed it was received July 13th 2020.

Zolper: Said before the meeting he was contacted by Mr. Hottel, who requested the letter be passed on.

Ford: Asked what engineering was done to address the issues of draining and flooding during the development to date.

Bevill: Explained the drainage in subdivision that meets the drainage manual. They conveyed the storm water appropriately to code, kept the lots out of the floodway portion of the flood plain, and provided a detention facility between Christian Creek and the development.

Pointer: Said the letter isn't addressing behind the development, but more of what is happening to the water that will come off from Wood St., Quail St., and Robin Ln. Explained the question is what has been addressed on what's the drainage that is coming down.

Bevill: Explained the surface drainage comes down to their development, then drains through curved inlets.

Roberts: Asked if the improvements were already in progress.

Bevill: Confirmed the drainage is installed.

A motion was made by **Dennis Zolper**, seconded by **Jimmy Cooper**, that this matter be **Approved** . The motion **PASSED** with the following vote.

Aye: 6 - Jimmy Cooper;Dennis Zolper;Kevin Bailey;Monroe Pointer;Jeff Steiling and Paul Ford

Absent: 2 - Jim Little and Stephanie Nelson

7. Conditional Use

8. Rezoning

9. Staff Comments

10. Adjournment



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: PP-22-11

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Subdivisions

PRELIMINARY SUBDIVISION: Edgemont Park Phase II

Mark Morris of Mark Morris Homes is requesting MAPC Preliminary Subdivision Approval for Edgemont Park Phase II for 51 lots on 15 +/- acres for property zoned R-1, Single-Family Medium Density District, located off of Edgemont Drive.

[Home](#) [Profile](#)

[Monica Pearcy](#) | [Admin](#) | [Logout](#)

Application submitted on: August 25, 2022 by Joshua Hurd

Request Name: Edgemont Park Ph 2 Prelim



SUBDIVISION AND PLATS APPLICATION

CITY OF JONESBORO

300 S Church St Jonesboro, AR 72401

Step 1 - Project Information

COMPLETE

Did you have a pre-application meeting? * Yes No

Project Description *

Single Family Subdivision

Application Type *

Preliminary Plat

Contact Planning Office if unknown.

Proposed Use * Commercial Residential

Subdivision Name / Phase No *

Edgemont Park / Phase 2

Property Address / Location *

Edgemont Drive / Nathan Drive

Property City *

Jonesboro

Property State *

Arkansas

Property Zip Code *

72401

Zoning Classification *

R-1 – SINGLE-FAMILY MEDIUM DENSITY DISTRICT

Select total acreage range *

- < 1 Acre
- > 1 and < 5 Acres
- > 5 and < 20 Acres
- > 20 and < 40 Acres
- > 40 Acres

Total Acres *

15

Total Number of Lots *

51

Have you filled out and signed the Stormwater Pollution Prevention Plan, and submitted it to ADEQ? *

- Yes
- No

Is the property located in a floodplain? *

- Yes
- No

Step 2: Applicant Information

COMPLETE

Select if the Applicant is the currently logged in user.

Applicant First Name *

Mark

Applicant Last Name *

Morris

Applicant Address *

6011 Southwest Drive

Applicant Address Line 2

Applicant City *

Jonesboro

Applicant State *

Arkansas

Applicant Zip Code *

72404

Applicant Phone Number *

(870) 919-7700

Applicant Email Address *

engineering@markmorrishomes.com

Step 3: Owner Information (optional)

Select if the Owner is the same as the Applicant.

Owner First Name

Mark

Owner Last Name

Morris

Owner Address

6011 Southwest Drive

Owner Address Line 2

Owner City

Jonesboro

Owner State

Arkansas

Owner Zip Code

72404

Owner Phone Number

(870) 919-7700

Owner Email Address

engineering@markmorrishomes.com

Step 4: Submittal Requirements (optional)

Preliminary Plat Requirements

The preliminary plat shall give the following information when possible:

1. A key map showing the tract and its relation to the subdivision area. Submission shall include overall vicinity map of nearest adjacent platted subdivisions at scale.
2. The proposed subdivision name and location, the bearings and distances of its boundaries, the name and address of the owner and the name of the designer.
3. The date, north arrow and the graphic scale.
4. The location of existing and platted property lines, streets, railroads, buildings, bridges, culverts, drain pipes, water mains, sewers, public utility easements, wooded areas, marshes and the zoning classification, of the proposed subdivision and of the adjacent area.
5. The proposed utility layouts, sewers, water, electricity, gas, etc., showing feasible connections to the existing or proposed utility systems. When such connections are not feasible, any individual water supply or sewage disposal system must meet the requirements of the state board of health.
6. Contour intervals of two feet or as required by the city planning commission and the city engineer.
7. The names, rights-of-way and surface widths, approximate grades and locations of all proposed streets and alleys. The location and dimensions and use of proposed easements, lots, parks, reservations and other open spaces.
8. The acreage of the land to be divided.
9. A draft or form of any protective covenants proposed by the subdivider.
10. Proposed profile of street grades.
11. Acreage of each lot in the subdivision.

- 12. Within 30 days after submission of the preliminary plat, the city planning commission shall indicate its approval, disapproval or approval with conditions. If disapproved, the reasons for disapproved shall be stated in writing. If approved with conditions, these conditions shall be stated in writing. In its review, the city planning commission shall submit the proposed plat to the city water and light plat for consideration and report and may further submit copies of the plat to the state health department or any other interested city, county, state or federal independent agency for consultation and advice.
- 13. Approval, conditional approval or disapproval of the preliminary plat by the planning commission shall be so noted, both on the preliminary plat and planning commission records.
- 14. Failure of the planning commission to act on the preliminary plat within thirty 30 days will be deemed approval of the preliminary plat.
- 15. The approval of the preliminary plat shall lapse unless a final plat based thereon is submitted within one year of such approval, unless an extension of time is applied for and granted by the planning commission.
- 16. A receipt from the city acknowledging payment of a filing fee. The city shall collect a fee per lot in the amount established by the city. The plat will not be reviewed until the fee has been collected.

Signature

COMPLETE



I hereby declare that I am the owner or the applicant acting on behalf of the owner with their permission to proceed forward with this application. I hereby declare that I have read and understood the above, and the information contained in this application, attached schedules, attached plans and specifications, and other documentation is true to the best of my knowledge.

Applicant: **Joshua Hurd**

Signature date: **2022-08-25 06:37 PM**

Payment Details

[Home](#) | [Profile](#)



Preliminary Subdivision: Edgemont Park Phase II

For consideration by Metropolitan Planning Commission on September 27, 2022.

Applicant/Agent/ Owner: Mark Morris, Mark Morris Construction, LLC

Engineer: Mark Morris

Surveyor: H&S Hime Professional Surveying

Property Location:

Total Acres: 15

Proposed Lots: 51

Zoning:

District: R-1

Required Min. Lot Size: 8,000 sq. ft., *Min. Lot Width:* 60 ft., *Min. Lot Depth:* 100 ft.

Proposed Min. Lot Size: 0.18 acres, 8,000 sq. ft.

Proposed Max. Lot Size: 0.32 acres, 14,126.85 sq. ft.

Special Conditions: N/A

Water/Sanitary Sewerage: Public

Sidewalks: Yes

Public Streets: Edgemont Drive, Edgemont Circle & Nathan Drive.

Compliance with Address Policy: In Progress

Other Departmental Reviews: Pending

Findings:

The subdivision complies with all requirements for Preliminary Subdivision Plan approval, Chapter 113, Subdivisions of the City of Jonesboro, Code of Ordinances.

The preliminary plan complies with the purposes, standards, and criteria for subdivision design and site protection. Setbacks and minimum square footage requirements are properly depicted and satisfied by the applicant as required in the R-1, Residential District.

UNPLATTED

PARCEL 01-144113-00600
DENNIS GREGORY

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.27'	35.36'	N 44°13'59" E	90°00'00"
C2	25.00'	39.27'	35.36'	S 45°46'01" E	90°00'00"
C3	50.00'	54.76'	50.07'	S 22°09'11" E	62°45'18"
C4	50.00'	38.68'	37.73'	S 31°23'11" W	44°19'37"
C5	50.00'	41.58'	40.39'	N 77°22'22" E	47°39'46"
C6	50.00'	35.92'	35.18'	N 58°13'10" W	41°09'26"
C7	50.00'	32.12'	31.57'	S 54°30'17" W	36°48'13"
C8	50.00'	43.19'	41.86'	S 62°20'56" E	49°27'25"
C9	50.00'	38.04'	37.13'	N 35°48'30" W	43°39'43"
C10	50.00'	55.62'	52.80'	N 19°20'16" E	63°44'18"
C11	25.00'	39.27'	35.36'	S 45°46'01" E	90°00'00"
C12	25.00'	39.27'	35.36'	S 44°13'59" W	90°00'00"
C13	25.00'	18.89'	18.26'	S 22°11'01" E	42°50'00"
C14	50.00'	23.07'	22.89'	N 30°23'01" E	28°20'01"
C15	50.00'	42.06'	40.83'	N 06°55'49" E	48°11'39"
C16	50.00'	38.74'	37.78'	N 53°59'44" E	44°23'20"
C17	50.00'	48.78'	46.85'	S 73°52'18" E	59°52'28"
C18	25.00'	11.59'	11.49'	N 61°12'53" W	28°33'44"
C19	25.00'	7.10'	7.08'	S 82°37'53" E	16°16'17"
C20	200.00'	71.89'	71.41'	N 80°28'59" W	20°34'04"
C21	170.00'	61.37'	61.04'	S 80°25'28" E	20°41'05"
C22	230.00'	20.27'	20.26'	N 88°14'32" W	9°02'57"
C23	230.00'	61.95'	61.76'	S 78°00'06" E	15°20'56"
C24	25.00'	39.27'	35.36'	N 44°13'59" E	90°00'00"
C25	25.00'	39.27'	35.36'	N 45°46'01" W	90°00'00"
C26	25.00'	39.27'	35.36'	S 44°13'59" W	90°00'00"

LEGEND

These standard symbols will be found in the drawing.

- FOUND CORNER AS NOTED
- SET 1/2" REBAR W/ CAP
- FD COTTON PICKER SPINDLE
- ▲ HIGHWAY RIGHT OF WAY MARKER
- FOUND REBAR
- △ CALCULATED CORNER
- X — FENCE LINE
- E — ELECTRIC
- SET PK NAIL
- ⊕ POWER POLE

PROPERTY ZONED R-1
BUILDING SETBACKS
25' FRONT AND REAR
7.5' SIDEYARD

R-1

LOT 1
DENNIS GREGORY
SUBDIVISION
MINOR PLAT
PLAT CABINET "B" @ PAGE 113

C/L OLD PARAGOULD ROAD

FD MAG NAIL

N 00°30'36" E 449.81'

FD MAG NAIL
SW CORNER OF SECTION 11,
TOWNSHIP 14 NORTH, RANGE 4
EAST

FD MAG NAIL
NW CORNER OF THE SOUTHWEST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 14
NORTH, RANGE 4 EAST

N 00°30'36" E 449.81'

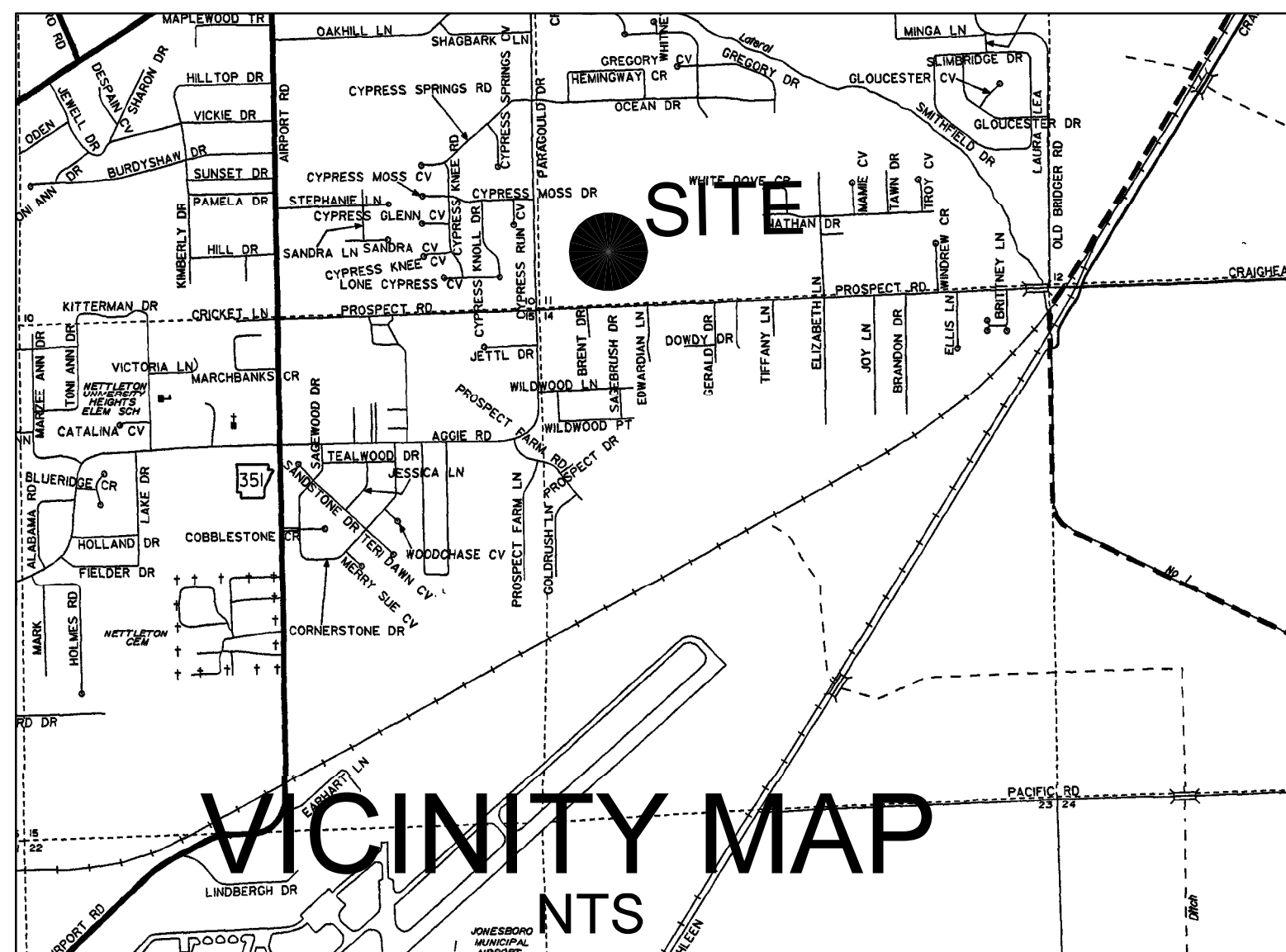
FD MAG NAIL

C/L EDMONT DRIVE

BLOCK "B"

PROSPECT ACRES
PLAT CABINET "B" @ PAGE 71

VICINITY MAP



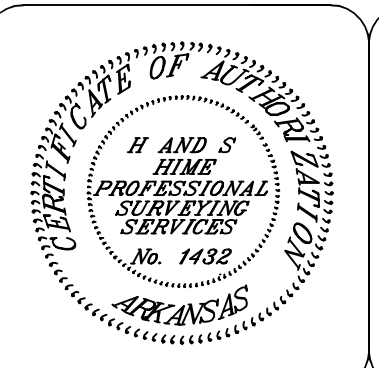
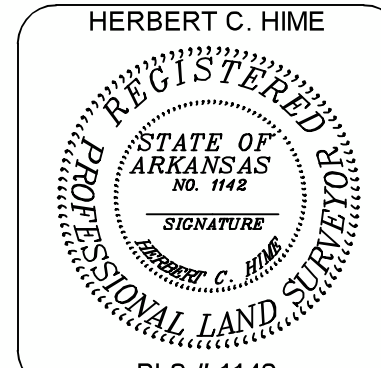
EDGEMONT PARK SUBD.
PHASE I
PLAT "C" @ PAGE 358

DESCRIPTION:
A PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 14 NORTH, RANGE 4 EAST, CRAIGHEAD COUNTY, ARKANSAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
Commencing at the Northwest corner of the Southwest Quarter of the Southwest Quarter of said Section 11; thence South 00°35'22" West 419.48 feet; thence North 89°13'50" East 980.95 feet to the point of beginning proper;
thence continue North 89°13'50" East 60.22 feet; thence North 00°35'43" East 419.19 feet; thence North 89°39'01" East 728.09 feet; thence South 00°51'40" West 397.40 feet; thence South 00°55'36" West 460.91 feet; thence South 89°11'14" West 793.80 feet; thence North 00°45'25" West 168.04 feet; thence North 19°08'18" East 60.00 feet; thence North 00°46'04" West 220.35 feet; having an area of 653505.52 square feet, 15.00 acres more or less and being subject to all public and private roads and easements.

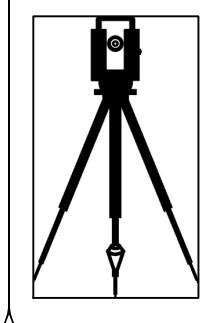
SURVEYOR'S NOTES:
1. BEARINGS ARE STATE PLANE GRID BEARINGS (NAD 83 DATUM) AS PER GPS OBSERVATION ON SITE DURING SURVEY AND ARE TO BE USED TO DEFINE THE GENERAL DIRECTION AND TRUE ANGLE AT THE INTERSECTION OF THE PROPERTY AND LAND LINES.
2. PROPERTY IS SUBJECT TO UTILITY SERVICES AND UNDERGROUND UTILITY LINES NOT LOCATED.

SURVEYOR'S CERTIFICATION:
THIS IS TO CERTIFY I HAVE ON THIS DATE SURVEYED THE ABOVE DESCRIBED PROPERTY IN ACCORDANCE WITH MONUMENTS FOUND THIS PLAT CONFORMS TO THAT SURVEYED.

H&S HIME PROFESSIONAL SURVEYING SERVICES
1817 WOODSPRING ROAD, SUITE "F"
JONESBORO, ARKANSAS 72401



DRAWN BY: H. HIME
DATE: 8/25/2022
REV.



EDGEMONT PARK SUBDIVISION PHASE II JONESBORO, ARKANSAS

CLIENT: MARK MORRIS

H&S HIME PROFESSIONAL SURVEYING SERVICES

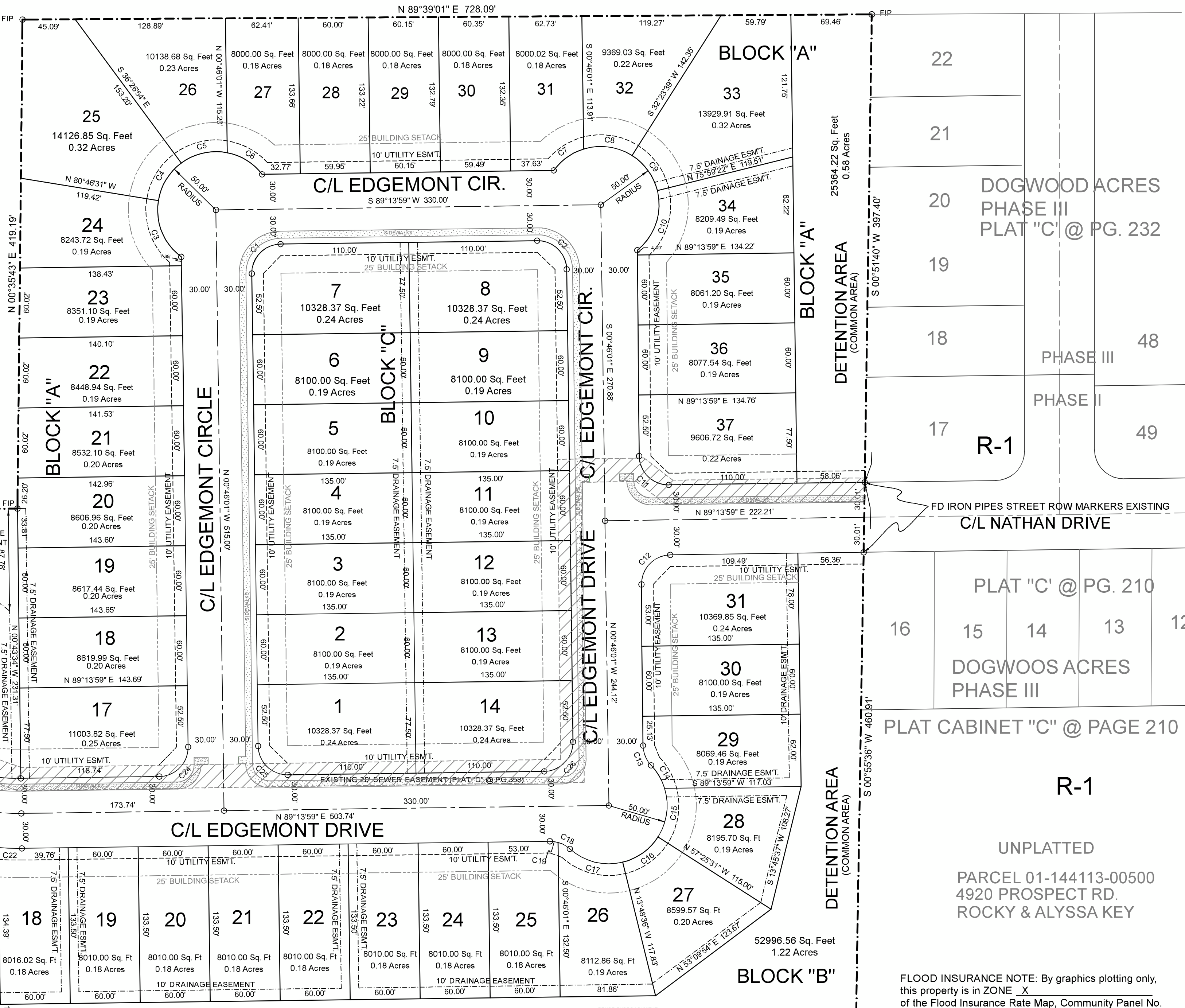
1817 WOODSPRING RD. SUITE "F"
JONESBORO, ARKANSAS 72401

PHONE: 870-972-1288
EMAIL: hshime_butch@yahoo.com

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 05031C0063 effective date of 9/27/1991. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.

OWNER CERTIFICATION:
WE HEREBY CERTIFY THAT WE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE ADOPT THE PLAN OF THE SUBDIVISION AND DEDICATED PERPETUAL USE OF ALL STREETS AND EASEMENTS AS NOTED.

MARK MORRIS



DOGWOOD ACRES
PHASE III
PLAT "C" @ PG. 232

PHASE III

PHASE II

PLAT "C" @ PG. 210

DOGWOOS ACRES
PHASE III

PLAT CABINET "C" @ PAGE 210

R-1

UNPLATTED
PARCEL 01-144113-00500
4920 PROSPECT RD.
ROCKY & ALYSSA KEY

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 05031C0063 effective date of 9/27/1991. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.

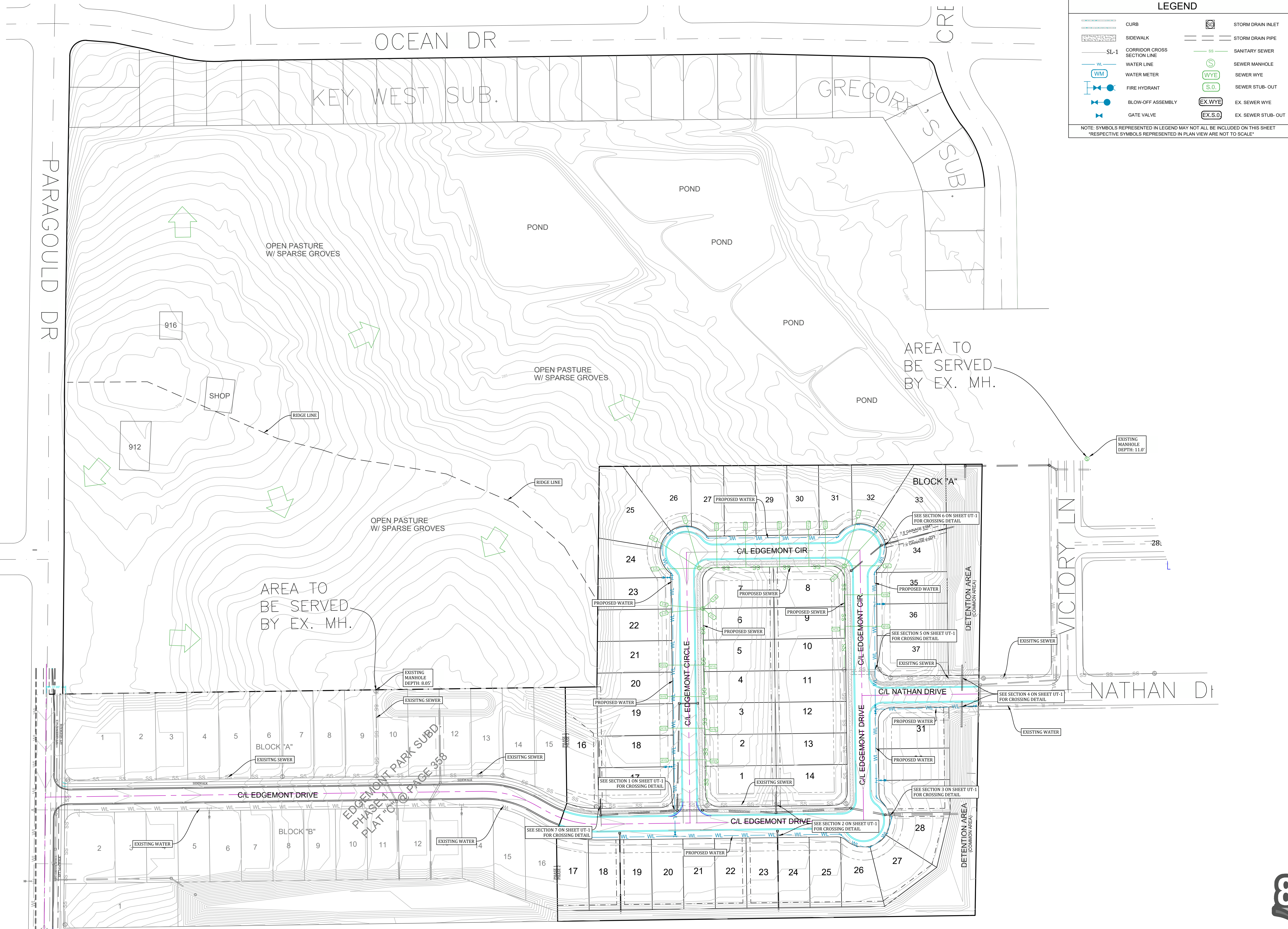
THROGMARTIN SUBD., PHASE VI
PLAT "B" @ PG. 127

MARK MORRIS

H&S HIME PROFESSIONAL SURVEYING SERVICES

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LEGEND

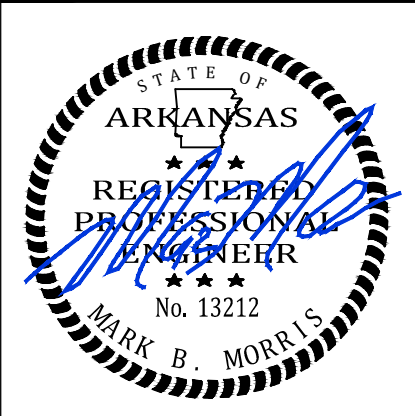
	CURB		STORM DRAIN INLET
	SIDEWALK		STORM DRAIN PIPE
	SL-1 CORRIDOR CROSS SECTION LINE		SANITARY SEWER
	WATER LINE		SEWER MANHOLE
	WATER METER		SEWER WYE
	FIRE HYDRANT		SEWER STUB-OUT
	BLOW-OFF ASSEMBLY		EX. SEWER WYE
	GATE VALVE		EX. SEWER STUB-OUT

NOTE: SYMBOLS REPRESENTED IN LEGEND MAY NOT ALL BE INCLUDED ON THIS SHEET
RESPECTIVE SYMBOLS REPRESENTED IN PLAN VIEW ARE NOT TO SCALE

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MARK MORRIS

EDGEMONT PARK PHASE II
 OVERALL UTILITY



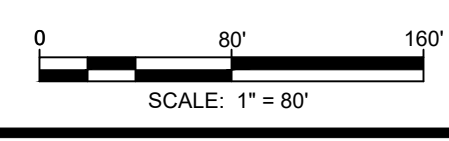
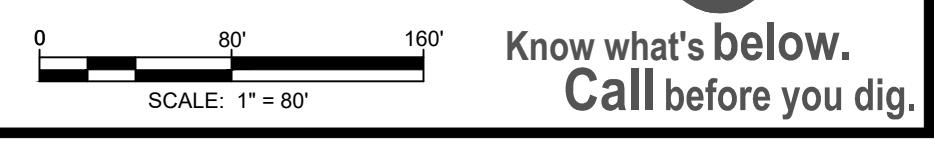
REVISIONS

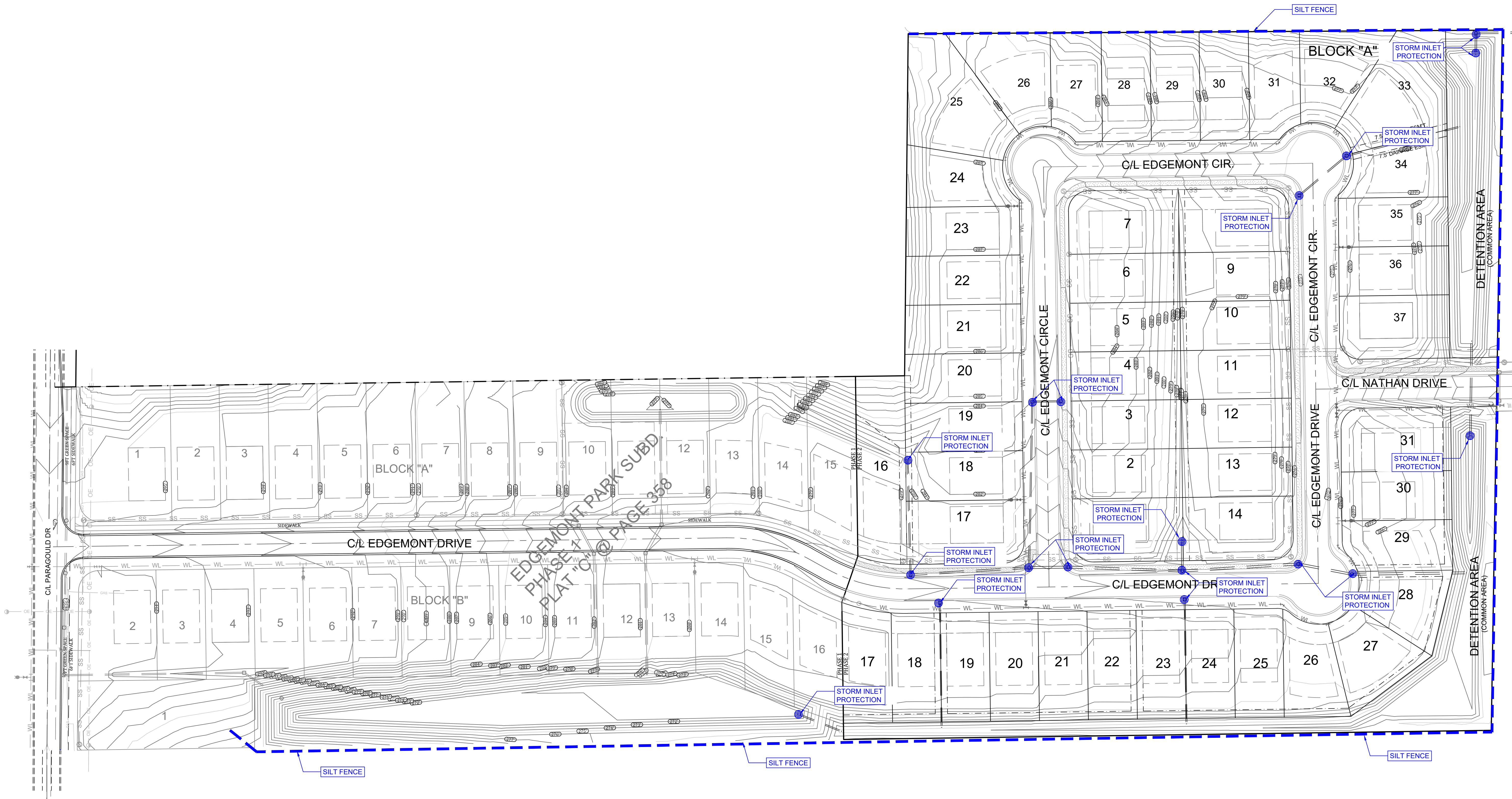
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DRAWING INFO.

DRAWN BY: JMH
 DATE: 9/6/2022
 SCALE: 1"=80'

SHEET NUMBER:
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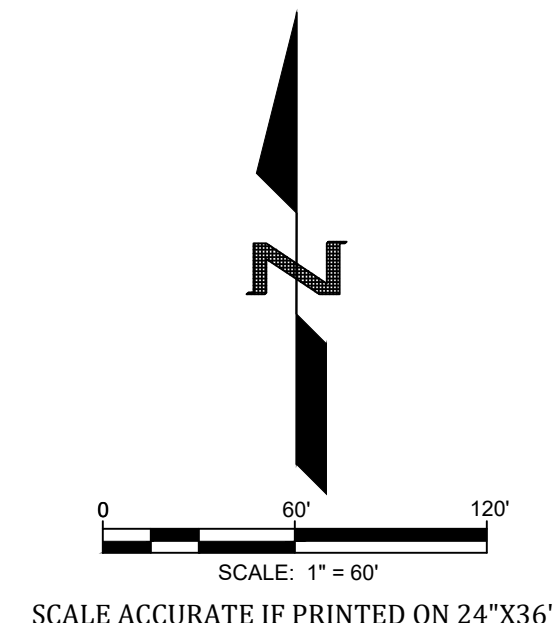


EDGEMONT PARK SUBD
 PHASE 1
 PLAT "C" @ PAGE 358

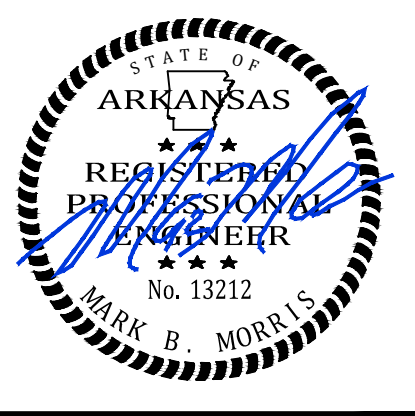
LEGEND

	CURB		STORM DRAIN INLET
	SIDEWALK		STORM DRAIN PIPE
	CORRIDOR CROSS SECTION LINE		SANITARY SEWER
	WATER LINE		SEWER MANHOLE
	WATER METER		SEWER WYE
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PARAGOULD DR SUBDIVISION
 EROSION CONTROL



REVISIONS

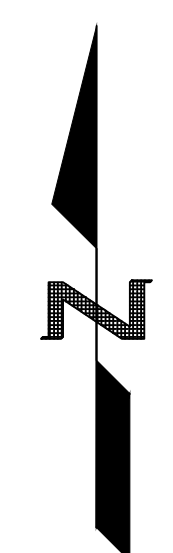
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DRAWING INFO.

DRAWN BY: GMD
 DATE: 6/1/2020
 SCALE: 1"=70'

SHEET NUMBER:
E-1

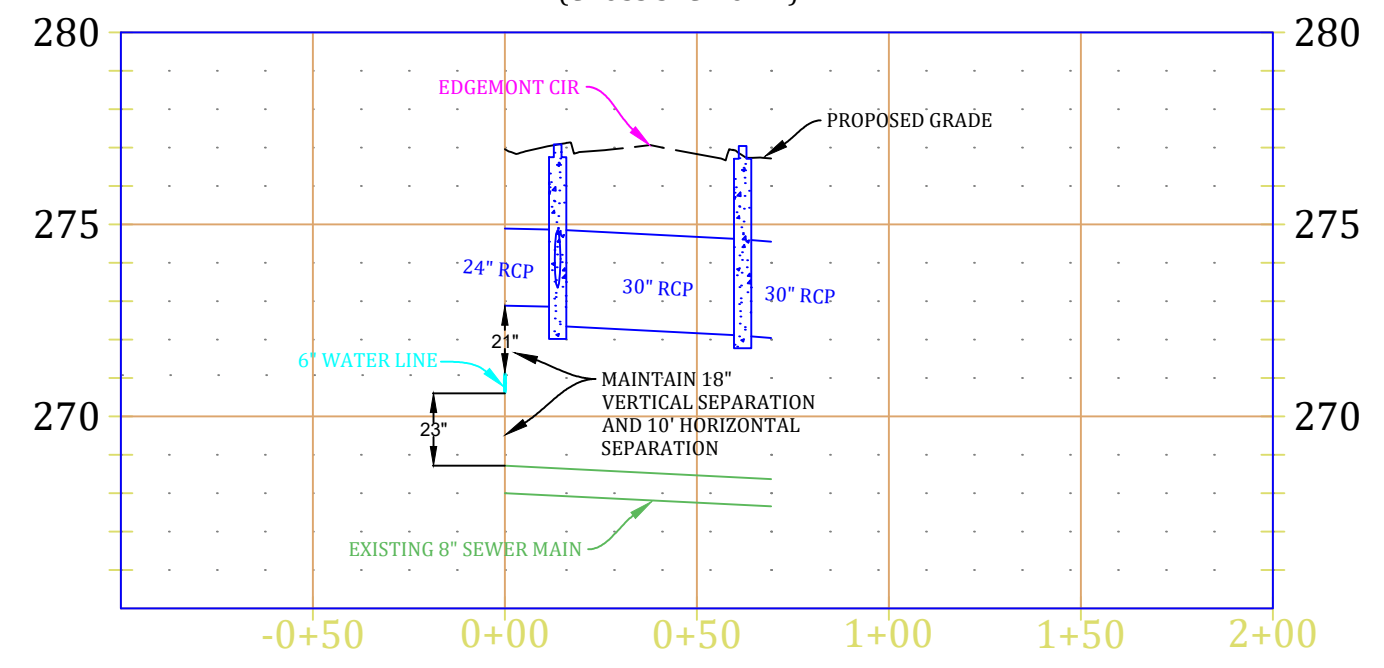
MARK MORRIS
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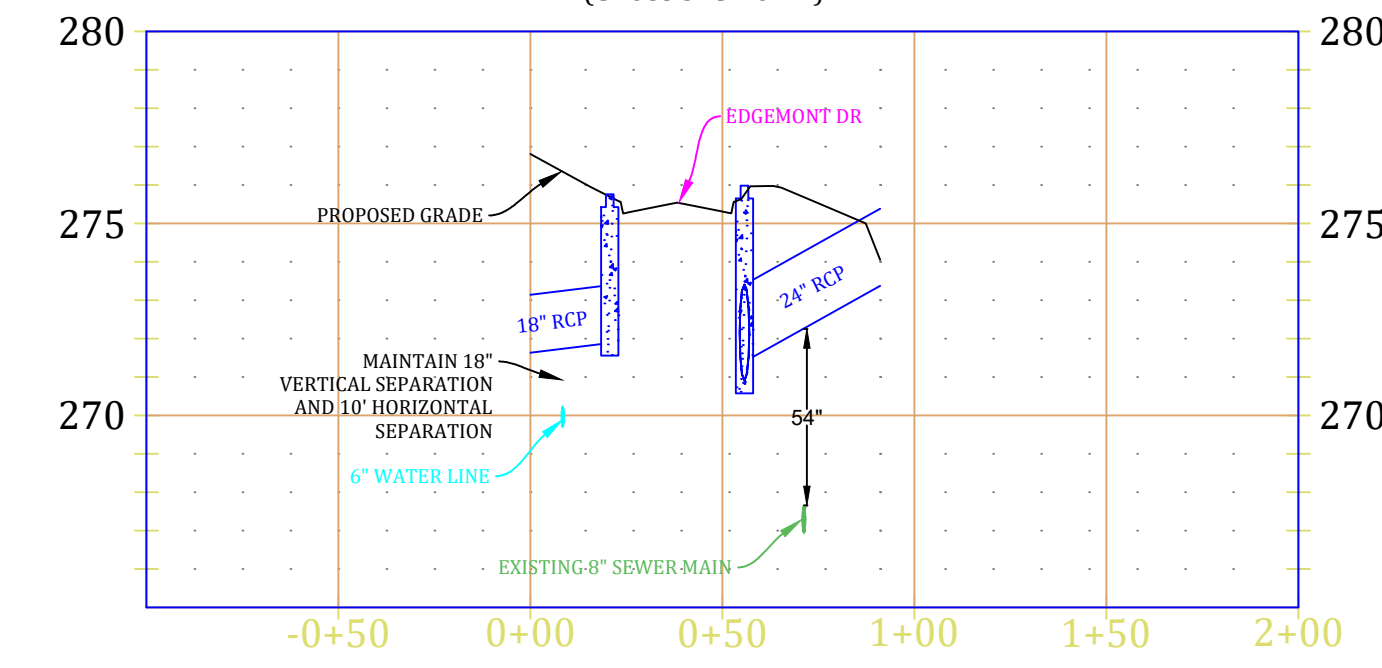
LEGEND			
	CURB		STORM DRAIN INLET
	SIDEWALK		STORM DRAIN PIPE
	CORRIDOR CROSS SECTION LINE		SANITARY SEWER
	WATER LINE		SEWER MANHOLE
	WATER METER		SEWER WYE
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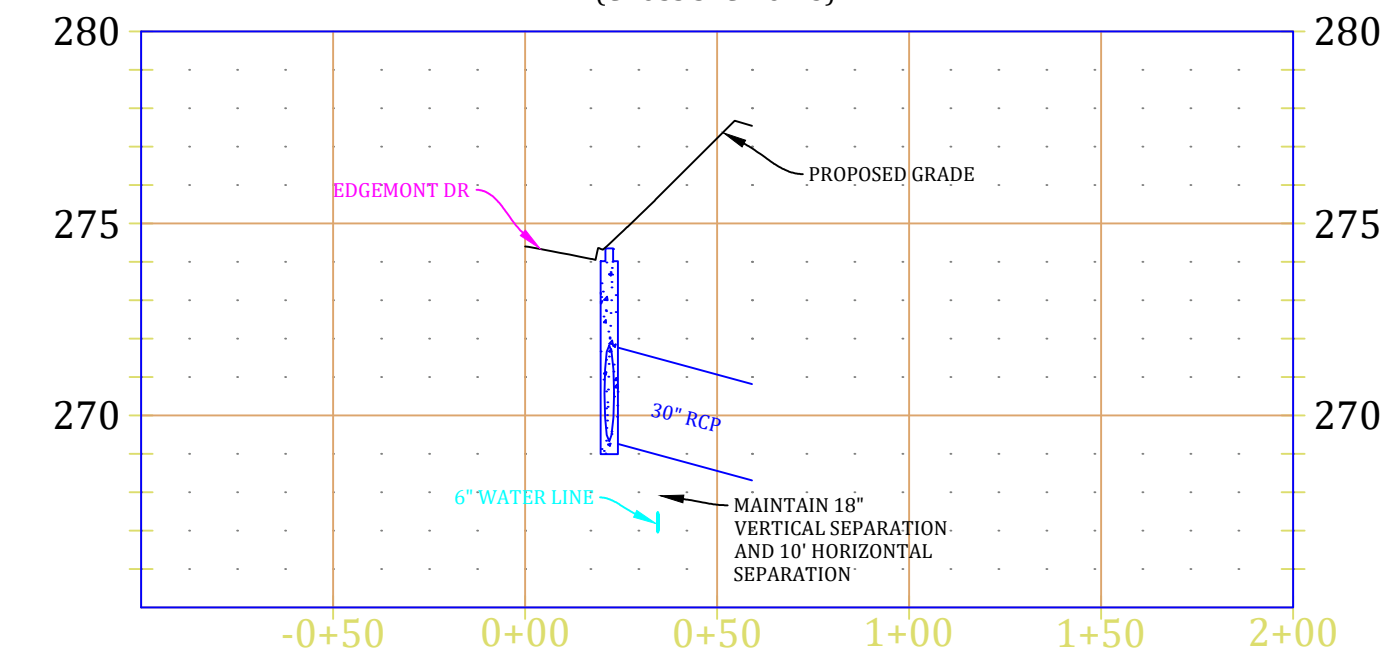
SOUTHWEST INTERSECTION CROSSING
(CROSS SECTION 1)



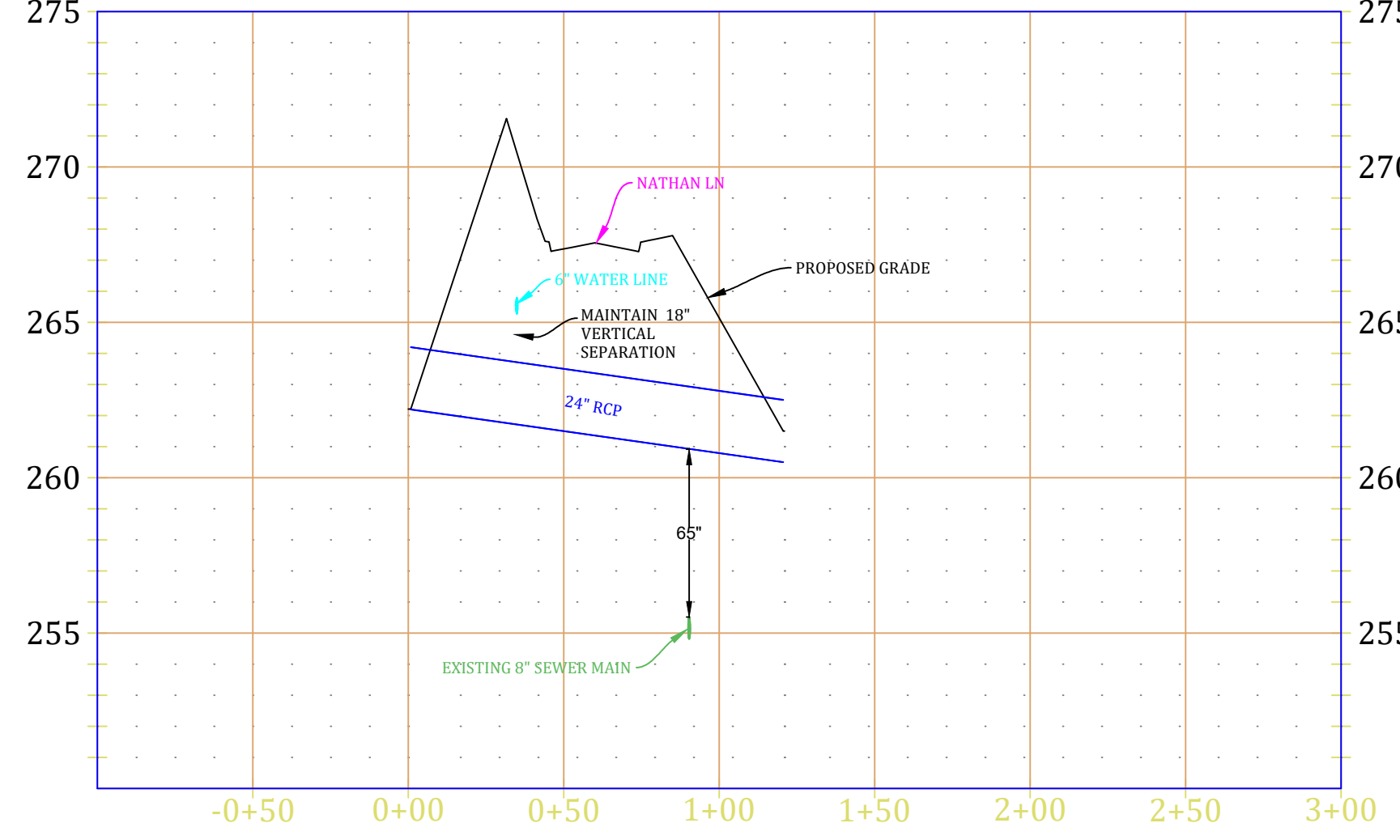
EDGEMONT DRIVE CROSSING
(CROSS SECTION 2)



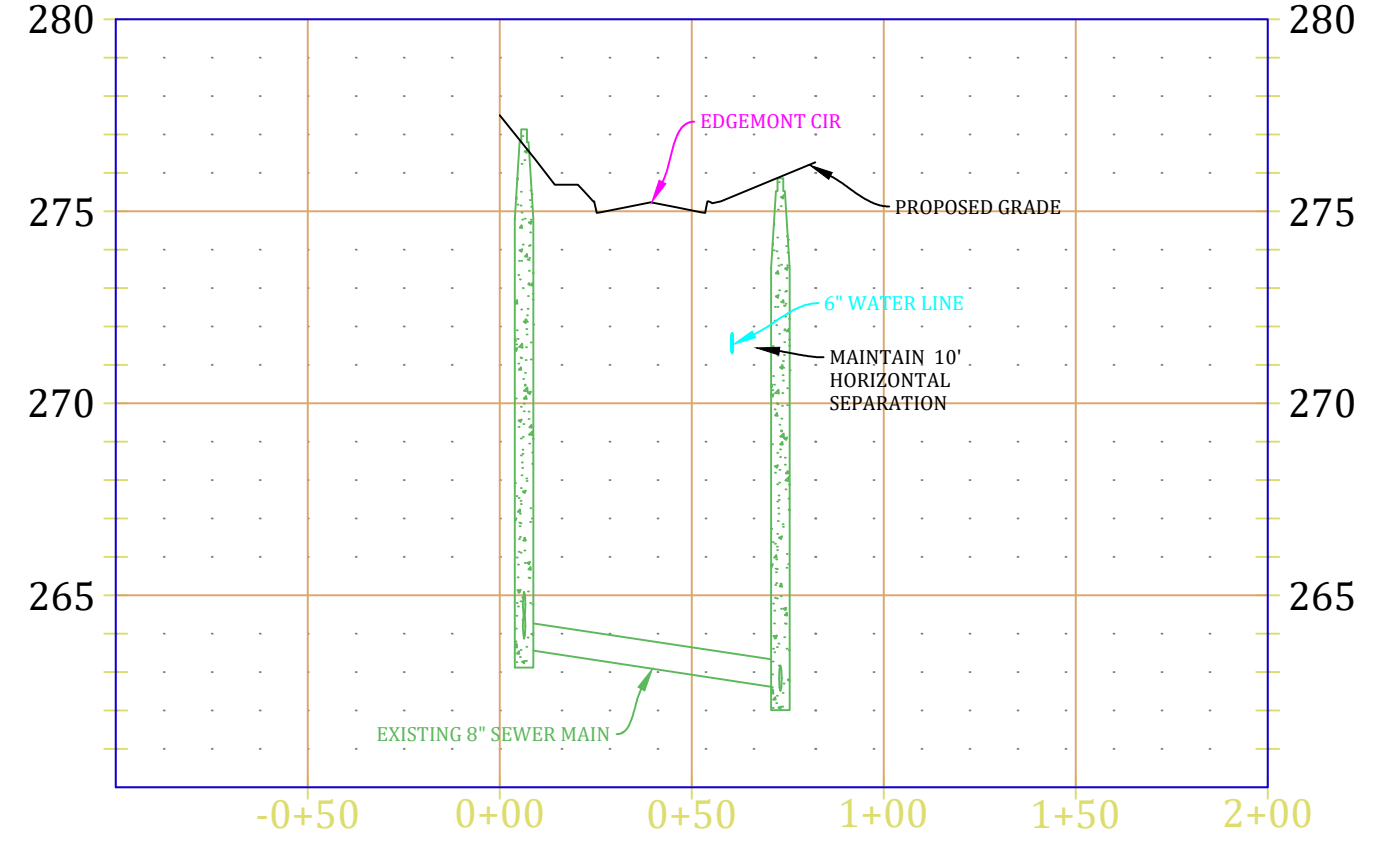
EDGEMONT DRIVE CUL-DE-SAC CROSSING
(CROSS SECTION 3)



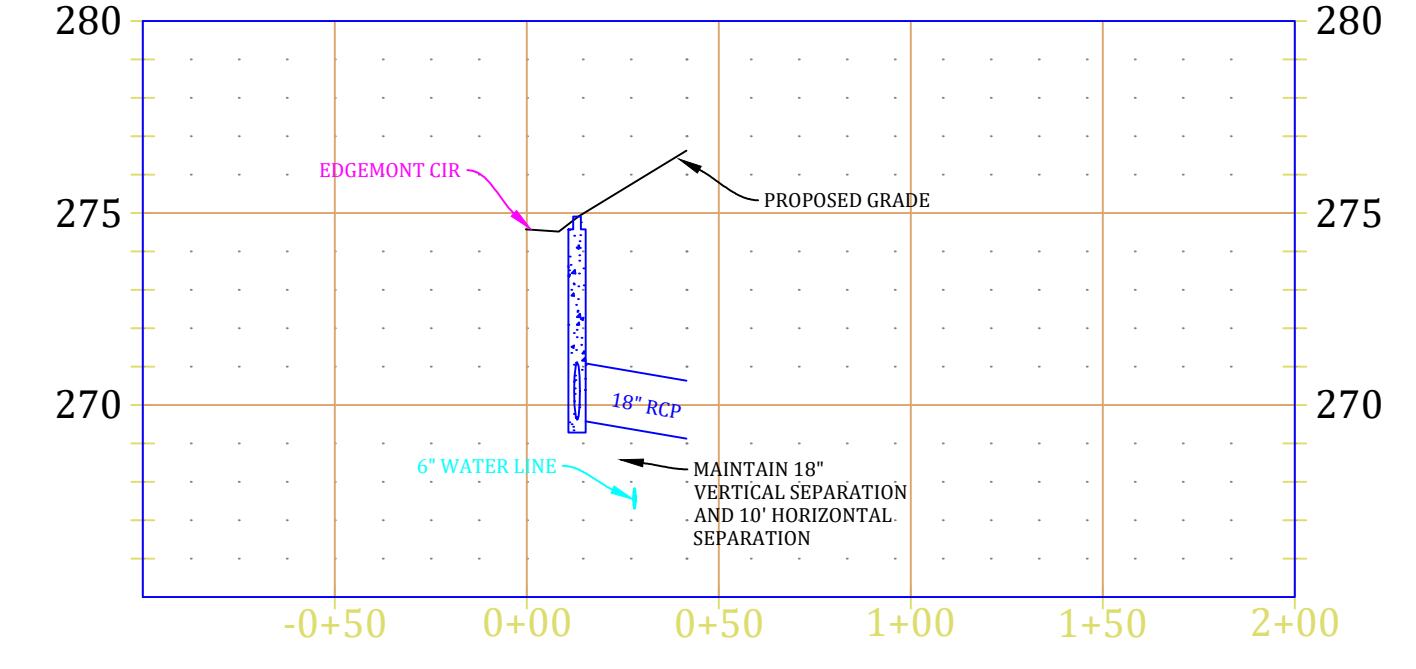
NATHAN DRIVE CROSSING
(CROSS SECTION 4)



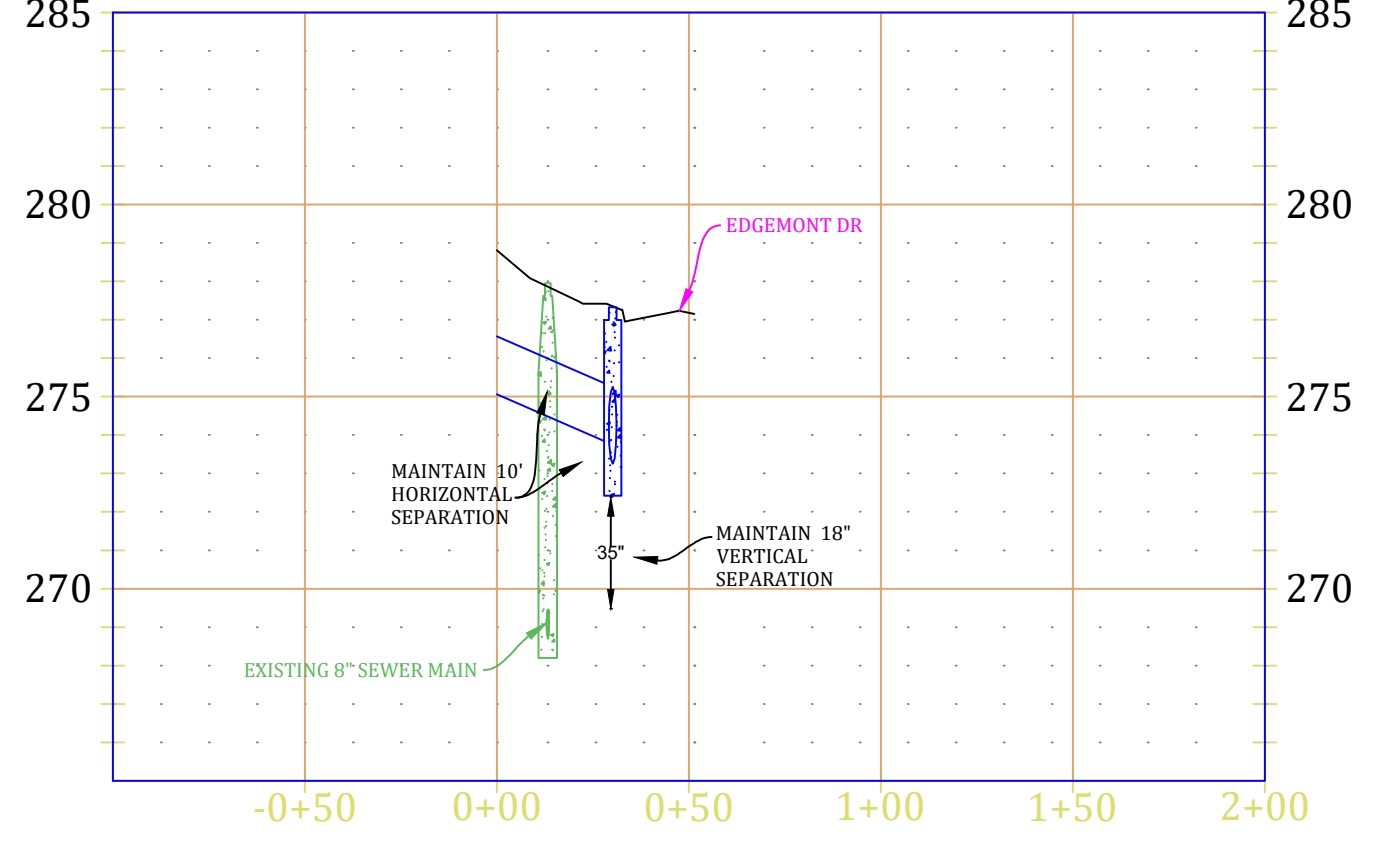
EAST INTERSECTION CROSSING
(CROSS SECTION 5)



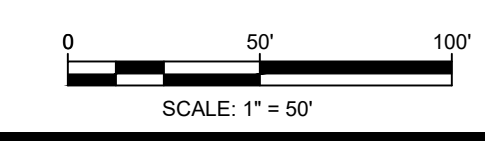
EDGEMONT CIRCLE CUL-DE-SAC CROSSING
(CROSS SECTION 6)



PHASE LINE CROSSING
(CROSS SECTION 7)



VERTICAL SCALE 1:5
HORIZONTAL SCALE 1:50



EDGEMONT PARK PHASE II

UTILITY CROSSINGS



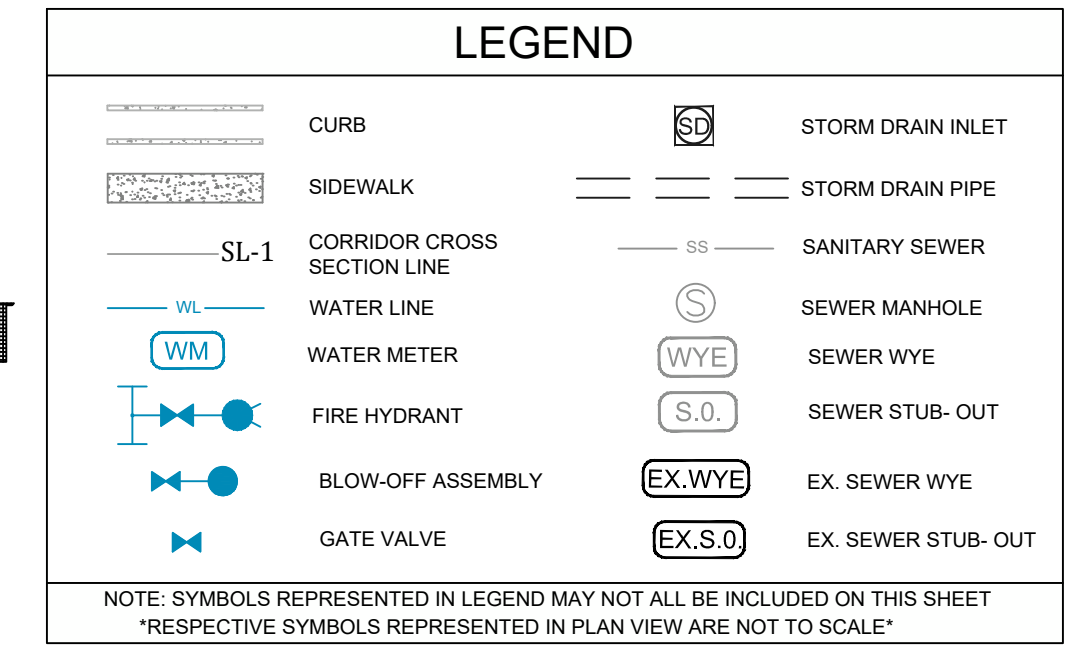
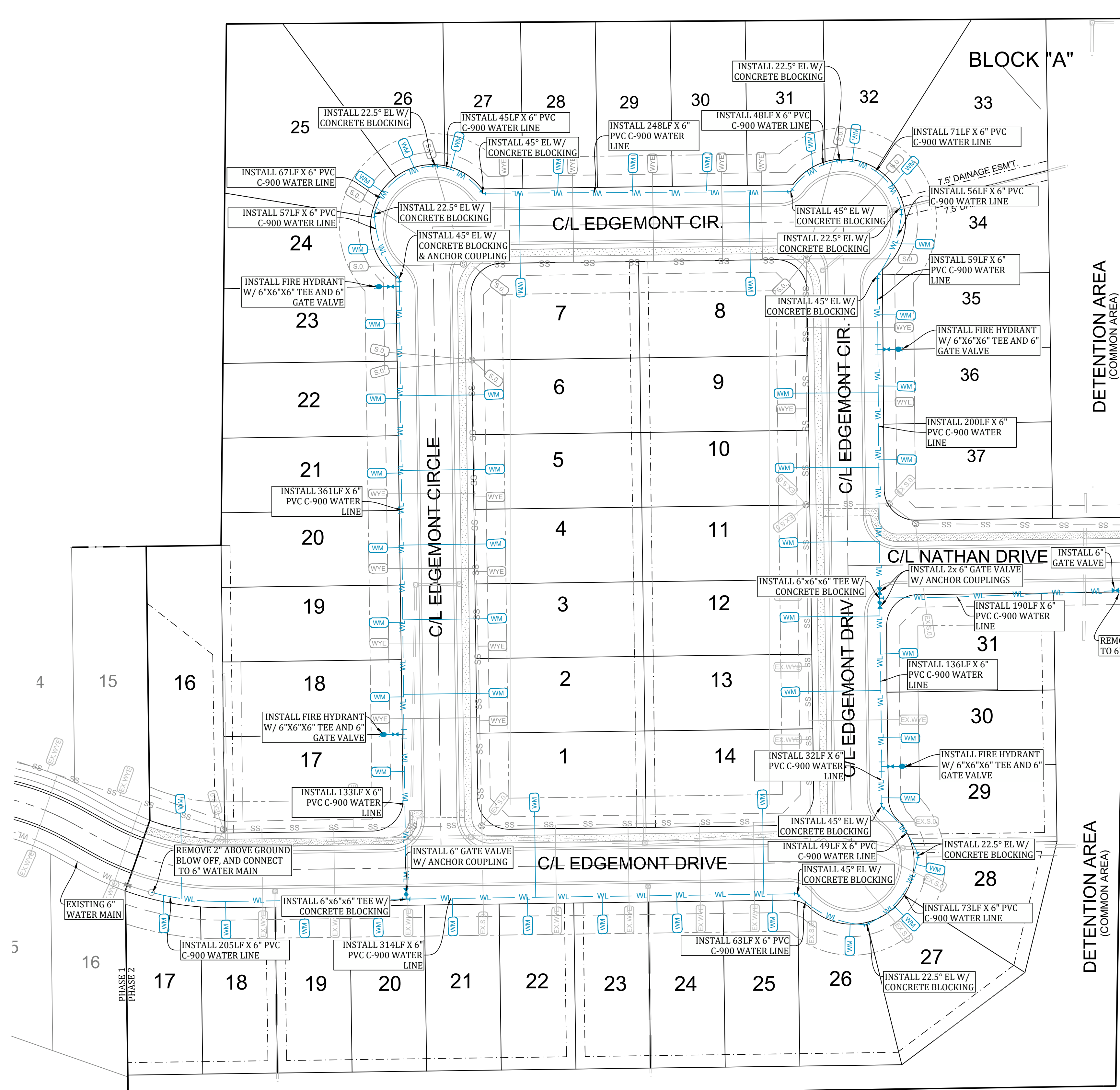
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SCALE:	1"=50'

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TOTAL WATERLINE QUANTITIES:
 2405 LF - 6" C-900 WATERLINE
 36 - 3/4" SHORT SERVICES
 15 - 3/4" LONG SERVICES

PRESSURES:
 STATIC PRESSURE = 81 PSI
 RESIDUAL PRESSURE = 71 PSI

WATER AND ELECTRIC NOTES:

- CONTRACTOR SHALL PROVIDE NECESSARY ELECTRICAL CONDUIT & PERMANENT MARKERS W/ GRAY PVC SCH 40 (2") & PVC SCH 40 (4") & 3/8" RAD ELBOWS FOR RISERS AND A STRING & MOUSE BLOWN IN THE CONDUIT. CONTRACTOR SHALL OBTAIN AN ELECTRICAL PLAN FROM CITY AND INSTALL THE ELECTRICAL CONDUIT AS SPECIFIED BY CWL (CONTRACTOR SHALL OBTAIN CWL SPECIFICATIONS).
- CONTRACTOR SHALL PROVIDE 3/4" METER STOP, TAP, SERVICE LINE & METER BOX AS REQUIRED BY CWL & INSTALL AS REQUIRED BY CWL.
- CONTRACTOR SHALL PROVIDE ENGINEER W/ "AS-BUILT" DIMENSIONS FOR WYES, VALVES, TEES, BENDS, FIRE HYDRANTS & WATER METERS.
- CONTRACTOR SHALL PROVIDE LABOR AND MATERIALS FOR ALL SEWER, WATER, & ELECTRICAL LINE LATERALS & PROVIDE LABOR & MATERIAL TO BACKFILL ALL SEWER, WATER & ELECTRICAL STREET CUTS WITH SANDY MATERIAL (P.I. <15) TO TOP OF EXCAVATION & COMPACT FILL TO 95% COMPACTION & PROVIDE COMPACTION TESTS AT 2' INTERVALS. CONTRACTOR SHALL PROVIDE LABOR AND MATERIAL FOR ALL SEWER & WATER LINE MAINS THAT CROSS A STREET AND BACKFILL THEM WITH SANDY (P.I. <15) TO TOP OF EXCAVATION & COMPACT FILL TO 95% COMPACTION & PROVIDE MATERIAL COMPACTION TESTS AT 2' INTERVALS.
- A 1/2 GA SOLID TRACER WIRE SHALL BE INSTALLED WITH WATER LINE MAIN WHERE THERE SHALL BE A PERMANENT WATER LINE MARKER INSTALLED @ THE BEGINNING, THE END AND 750' INTERVALS IN BETWEEN WHERE THE TRACER WIRE IS INSTALLED. THE TRACER WIRE SHALL BE INSTALLED ABOVE THE WATER LINE AND CONNECTED TO THE PERMANENT MARKERS IN A MANNER THAT WILL ENSURE A CONTINUOUS CONNECTION OF THE TRACER LINE.
- CONTRACTOR SHALL CALL ARK ONE CALL FOR LOCATES PRIOR TO CONSTRUCTION.
- CWL SHALL PROVIDE FIRE HYDRANT, 6" D.I. GATE VALVE, VALVE BOX W/ LID, AND 6" BY LINE SIZE D.I. TEE. CONTRACTOR SHALL PROVIDE LABOR FOR INSTALLATION AND CONCRETE BLOCKING. (SEE DETAIL SHEET)
- CONTRACTOR SHALL NOTIFY ENGINEER TO DETERMINE ELEVATIONS FOR MANHOLE TOPS, WATERLINE ELEVATION WHERE IT CROSSES PROPOSED STORM DRAINS, WATER METER BOX ELEVATIONS, VALVE BOX ELEVATIONS, AND FIRE HYDRANT ELEVATIONS, AND WATER LINE LOCATION AROUND INLETS. WATER LINE SHALL BE INSTALLED AT AN ELEVATION WHERE HYDRANTS ARE LOCATED TO ENSURE HYDRANT WILL BE AT PROPER HEIGHT WHEN FINISHED GRADE HAS BEEN OBTAINED.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH PLANS TO ENSURE THE WATER LINE DEPTH OF INSTALLATION IS BELOW THE PROPOSED STORM DRAIN ELEVATION. CONTRACTOR WILL BE REQUIRED TO COME BACK AND LOWER WATER LINE DEPTH IF IT INTERFERES WITH THE STORM DRAIN INSTALLATION.
- IF CONTRACTOR CAN NOT ENSURE WATER LINE INSTALLATION TO BE BELOW STORM DRAIN, THEN THE CONTRACTOR SHALL POSTPONE WATER LINE INSTALLATION UNTIL STORM DRAIN IS INSTALLED.
- CONTRACTOR SHALL PROVIDE OWNER WITH ONE YEAR WARRANTY FOR MATERIALS AND WORKMANSHIP.
- CONTRACTOR SHALL PROVIDE ENGINEER WITH LIEN RELEASES FOR MATERIALS AND LABOR, BACTERIAL SAMPLE RESULTS, AND MANHOLE AND WATER LINE VALVES WITHIN 30 DAYS OF COMPLETION OF WORK.
- CONTRACTOR SHALL DRESS UP PROJECT AFTER INSTALLATION TO THE CONDITION IT AS PRIOR TO BEGINNING CONSTRUCTION. MOUND BACKFILL OVER TRENCHES 1" TO 2" TO ALLOW FOR SETTLING IN AREAS OUT OF THE STREET.
- CONTRACTOR SHALL REVIEW DETAIL SHEETS TO ENSURE PROPER INSTALLATION OF VALVES, FIRE HYDRANTS, CONCRETE BLOCKING, SERVICE LINES, MANHOLE INVERTS, AND DROP ASSEMBLIES.
- CONTRACTOR SHALL OBTAIN SET OF CWL SPECIFICATIONS AND REVIEW THEM. CWL SPECIFICATIONS ARE TO BE ADHERED TO AND MADE A PART OF THIS SET OF PLANS. CONTRACTOR SHALL USE CWL SPECIFICATIONS TO INCLUDE ITEMS NOT SHOWN OR REFERRED TO IN THIS SET OF PLANS. ALL STREET EXCAVATION MATERIAL SHALL BE DISPOSED OF BY CONTRACTOR ON THE ADJACENT LOTS OR AS DIRECTED BY OWNER.
- ALL STREET EXCAVATION MATERIAL SHALL BE DISPOSED OF BY CONTRACTOR ON THE ADJACENT LOTS OR AS DIRECTED BY OWNER.
- CONTRACTOR SHALL PLACE 8 MIL POLYWRAP OVER DUCTILE IRON FITTINGS PRIOR TO PLACING CONCRETE BLOCKING TO PREVENT CONCRETE FROM ENCASEING BOLTS & NUTS.
- ALL WATER LINES 4" TO 12" DIAMETER SHALL BE AWWA C-900 PRESSURE CLASS 150 DR 18 ALL 2" AND 3" DIAMETER WATER LINES SHALL BE SDR 21 CLASS 200 (ASTM 2241). ALL SEWER LINES SHALL BE ASTM 2241 SDR-26.
- WATER LINE AND SANITARY SEWER LINE SHALL MAINTAIN 18" MINIMUM VERTICAL SEPARATION. WATER LINE AND STORM DRAIN SHALL MAINTAIN 36" MINIMUM HORIZONTAL SEPARATION TO PREVENT FREEZING. MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINE.
- CONSTRUCTION SHALL BEGIN ONLY AFTER APPROVED PLANS FROM THE ARKANSAS DEPARTMENT OF HEALTH ARE SUBMITTED TO CWL, AND ALL NECESSARY FEES ARE PAID IN FULL. CONSTRUCTION BY CONTRACTORS SHALL THEN BEGIN ONLY AFTER THE RIGHT OF WAY HAS BEEN CLEARED, THE ENTIRE SECTION STAKED, ELEVATIONS CAREFULLY CHECKED, AND A PRE-CONSTRUCTION MEETING HAS BEEN HELD. A PRE-CONSTRUCTION MEETING WILL BE HELD W/ CONTRACTOR PRESENT TO VERIFY ALL CONSTRUCTION IS ACCEPTABLE TO CWL PRIOR TO THE INSTALLATION OF ELECTRICAL WIRE.
- DEVELOPER MUST SHOW PROOF OF ADEQUATE INSURANCE COVERAGE (ARKANSAS WORKER'S COMPENSATION, \$1,000,000.00 MINIMUM GENERAL LIABILITY, AND \$1,000,000.00 MINIMUM AUTO LIABILITY) CONTRACTOR MUST HAVE A STATE CONTRACTORS LICENSE. CONTRACTOR MUST HAVE A COMPETENT PERSON AT THE JOB SITE AS DEFINED BY OSHA.
- FINAL CLEAN-UP OF THE SITE SHALL INCLUDE THE REMOVAL AND DISPOSAL OFF-SITE OF ALL CONSTRUCTION DEBRIS, AND SURPLUS MATERIALS.
- DURING CONSTRUCTION, WORK SHALL BE INSPECTED BY THE DEVELOPER'S CONSULTING ENGINEER FOR NECESSARY SAFETY PRACTICES, PROPER MATERIALS, AND WORKMANSHIP. CWL WILL PROVIDE RANDOM INSPECTIONS TO ENSURE THAT THE PLANS APPROVED BY THE ARKANSAS DEPARTMENT OF HEALTH AND CWL ARE FOLLOWED CONCERNING WORKMANSHIP AND MATERIALS.
- IF SEWER AND WATER LINES HAVE NOT BEEN ACCEPTED BY CWL WITHIN 360 DAYS AFTER MANHOLE TESTS, LOW PRESSURE AIR TESTS, HYDROSTATIC TESTS AND BACTERIAL TESTS, ALL TESTS WILL BE REQUIRED TO BE REPEATED AND RE-CERTIFIED.
- INSTALLATION OF DOMESTIC WATER METER TAPS ARE REQUIRED TO BE MADE DURING THE INSTALLATION OF THE NEW WATER MAINS.
- OBSTRUCTING DRAINAGE PIPES SHALL BE REMOVED. IF IN SOUND, UNDAMAGED CONDITION, THEY MAY BE CLEANED AND RE-INSTALLED. IF UNSOUND OR DAMAGED, THEY SHALL BE REPLACED WITH THE SAME TYPE OF MATERIAL. WHEN THE ANGLE BETWEEN CENTER LINES OF A DRAINAGE PIPE AND WATER MAIN WILL PERMIT, THE WATER MAIN MAY BE INSTALLED BY TUNNELING, PROVIDED THE DRAINAGE PIPE IS NOT DAMAGED AND THE WATER MAIN IS LAID PROPERLY. AS AN ALTERNATIVE IN THE CASE OF CORRUGATED METAL PIPE, A SECTION MAY BE CUT FROM THE DRAINAGE PIPE, AND RESTORATION ACCOMPLISHED WITH NEW PIPE AND COUPLING BANDS.
- CWL ENGINEERING DEPT. MUST APPROVE ANY WATER OR SEWER LINES THAT WILL BE INSTALLED CLOSER THAN 5' PARALLEL WITH EDGE OF PAVED STREET SURFACE.
- REPAIRS SHALL BE MADE IN ACCORDANCE WITH AWWA. IF VALVE IS CLOSED BY THE CONTRACTOR WITHOUT CWL'S KNOWLEDGE, THE NEW SECTION MUST BE TESTED FOR WATER QUALITY AND FLUSHED. THE CWL INSPECTOR WILL WITHNESS ALL REPAIRS.
- WATER LINE FITTINGS SHALL BE CLASS 350 DUCTILE IRON OR CAST IRON.
- TRENCH DEPTH WILL BE SUCH AS TO ALLOW A MINIMUM COVER OF 42" OVER WATER MAIN.
- LEAKAGE TESTS SHALL BE MADE PRIOR TO STERILIZATION OPERATIONS. THE TEST PERIOD SHALL BE TWO (2) HOURS. TEST PRESSURE SHALL BE 1.5 TIMES THE CALCULATED WORKING PRESSURE OF THE MAIN, BUT NOT LESS THAN 100 PSI. THE LINE WILL NOT BE ACCEPTED UNLESS OR UNTIL THE TOTAL IS LESS THAN THAT SPECIFIED IN AWWA C-600-93 FOR DUCTILE IRON AND AWWA C-605-94 FOR PVC PIPE.
- ALL WATER LINES SHALL BE STERILIZED IN ACCORDANCE WITH AWWA C-651-94 ANY NEW CONSTRUCTION OR REPAIRED WATER MAINS MUST BE THOROUGHLY CLEANED, FLUSHED, DISINFECTED, AND TESTED FOR BACTERIOLOGICAL QUALITY BEFORE IT CAN BE PLACED IN SERVICE. FOLLOWING A CONTACT PERIOD OF NOT LESS THAN 24 HOURS, THE CHLORINATED WATER SHALL BE FLUSHED FROM THE SYSTEM, AND THE SYSTEM FILLED WITH WATER OF NORMAL CHLORINE CONTENT. SAMPLES OF WATER THEN SHALL BE TAKEN ON TWO CONSECUTIVE DAYS FROM THE LINES AND DELIVERED TO THE CWL - LABORATORY FOR BACTERIAL ANALYSIS. THIS PROCESS SHALL BE CONTINUED UNTIL THE SAMPLES SHOW THE WATER IS SAFE FOR DOMESTIC REQUIREMENTS. FLUSHING DEVICES SHOULD BE SIZED TO PROVIDE FLOWS WHICH WILL GIVE A VELOCITY OF AT LEAST 2.5 FEET PER SECOND IN THE WATER MAIN BEING FLUSHED. NO FLUSHING DEVICE SHALL BE DIRECTLY CONNECTED TO ANY SEWER. IF THE LINE HAS SET FOR A ONE MONTH OR LONGER BEFORE FINAL ACCEPTANCE, IT SHALL BE RESTERILIZED, FLUSHED, AND BACTERIAL TESTED.
- THE DEVELOPER AND ENGINEER ARE RESPONSIBLE FOR METER BOX LOCATIONS. ANY CONFLICTS THAT REQUIRE PLASTIC BOX(S) TO BE CHANGED OUT TO CONCRETE BOX(S) WILL BE AT THE EXPENSE OF THE DEVELOPER AND/OR CONTRACTOR.
- IF UNSAFE PRACTICES ARE DISCOVERED BY CWL DURING INSPECTIONS OF WORKMANSHIP AND MATERIALS, CWL WILL NOTIFY OSHA. THIS PROCEDURE IN NO WAY OBLIGATES CWL FOR THE RESPONSIBILITY OF THE CONTRACTOR'S SAFETY PRACTICES.
- DURING CONSTRUCTION, WORK SHALL BE INSPECTED DAILY BY THE ENGINEER OF RECORD FOR PROPER MATERIALS, WORKMANSHIP, AND INSTALLATION IN ACCORDANCE WITH THE APPROVED ARKANSAS DEPARTMENT OF HEALTH AND CITY WATER AND LIGHT APPROVED PLANS.

OPERATING NOTE:

THE OPERATING ROUTINE SHALL INCLUDE NECESSARY PROTECTIVE MEASURES TO DETECT AND REMOVE OR DESTROY ANY CONTAMINANT OF CONCERN OR REGULATION THAT MIGHT ENTER THE DISTRIBUTION SYSTEM. EVERY PRECAUTION MUST BE TAKEN AGAINST THE POSSIBILITY OF SEWAGE CONTAMINATION OF THE WATER IN THE DISTRIBUTION SYSTEM. WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE, AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACTED EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10' SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINE OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWER SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT OF THE WRITTEN APPROVAL OF THE ARKANSAS DEPARTMENT OF HEALTH. WATER MAINS NECESSARILY CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATERLINE WILL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN A WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST 10' EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18" OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENTS. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE ARKANSAS DEPARTMENT OF HEALTH. A MINIMUM HORIZONTAL DISTANCE OF 3' SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UNDERGROUND UTILITIES OF A NON-SANITARY NATURE (GAS, ELECTRIC, ETC.), EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE ARKANSAS DEPARTMENT OF HEALTH AND HUMAN SERVICES.

TRENCH SETTLEMENT NOTE:

CITY WATER & LIGHT IS NOT RESPONSIBLE FOR ANY SETTLEMENT OVER WATER & SEWER TRENCHES THAT OCCURS BEFORE OR AFTER THE WARRANTY PERIOD.

WATER METER NOTE:

WATER METERS ARE SHOWN PICTORIALLY ONLY. WATER METERS SHALL BE LOCATED AT THE RIGHT OF WAY APPROXIMATELY AT THE CENTER OF THE LOT. THERE SHOULD BE A MINIMUM OF 10 FEET SEPARATION BETWEEN WATER METERS AND SANITARY SEWER SERVICES.

WATER CONNECTION NOTE:

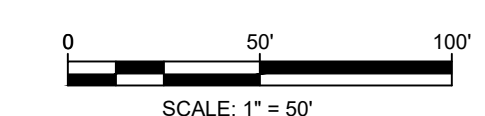
CONTRACTOR SHALL NOT INITIATE TIE IN CONNECTION TO EXISTING WATER MAIN AFTER 3 P.M. DURING NORMAL WORKING DAYS OR ON FRIDAY AFTER 12 P.M., UNLESS APPROVED BY CITY WATER & LIGHT ENGINEERING DEPT. CONTRACTOR SHALL NOTIFY CWL INSPECTOR OF TENTATIVE TIME FRAME FOR CONNECTION 24 HOURS PRIOR TO ACTIVITY.

ALL SEWER WYES SHALL BE A MINIMUM OF 10' FOOT AWAY FROM PROPERTY CORNERS.

ELECTRICAL CONDUIT NOTE:

ALL ELECTRICAL CONDUIT SHALL HAVE A MINIMUM 48" OF COVER BELOW FINISHED GRADE.

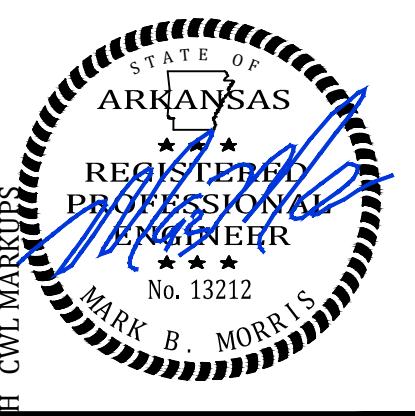
NO TRANSFORMER, JUNCTION BOX, OR PULL BOX TO BE PLACED OVER WATER FITTINGS WITHOUT CITY WATER AND LIGHT APPROVAL.



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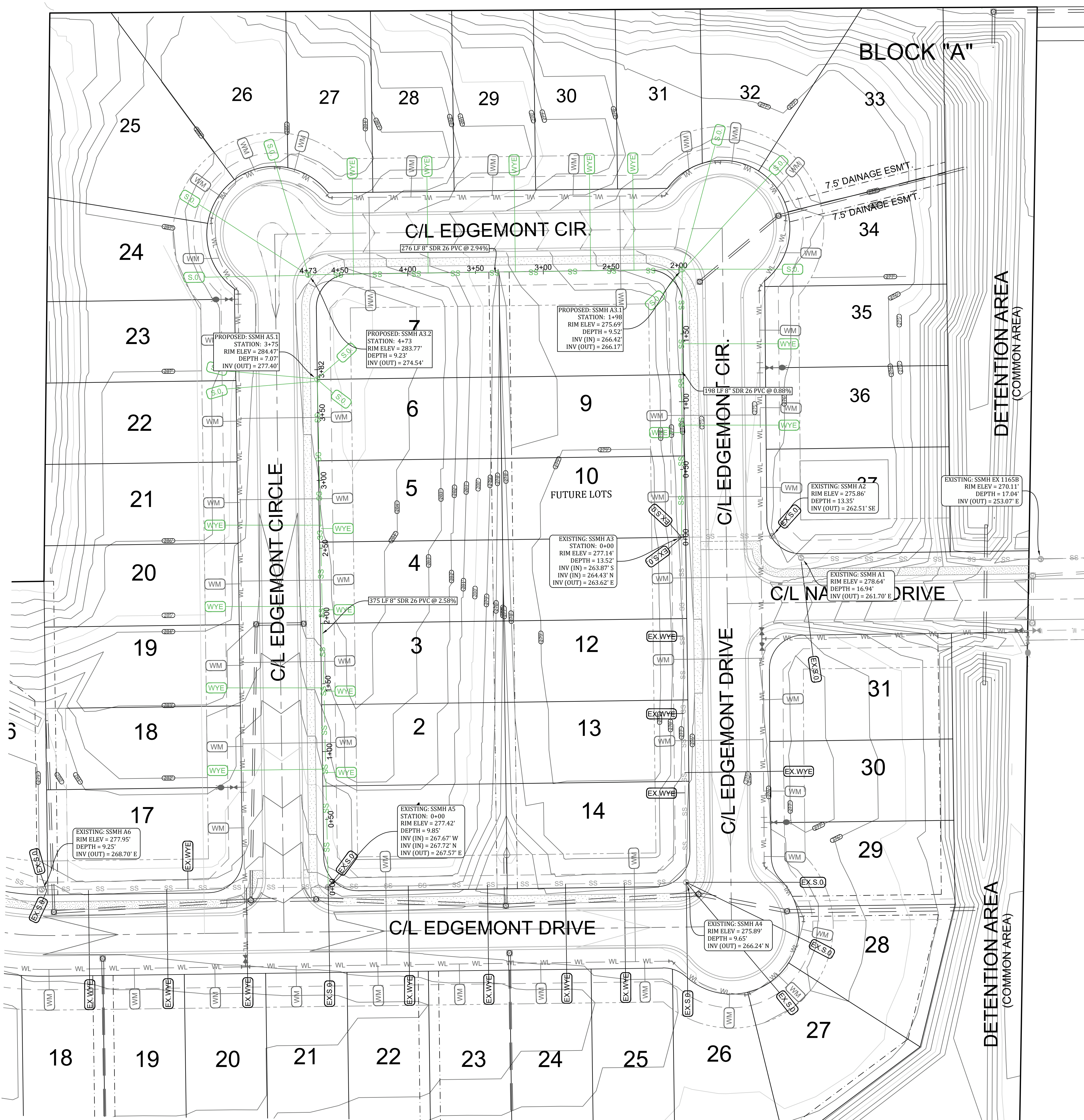
EDGEMONT PARK PHASE II
 WATER PLAN



REVISIONS		
DATE	BY	DESCRIPTION

DRAWING INFO.
 DRAWN BY: JMH
 DATE: 9/6/2022
 SCALE: 1"=50'

SHEET NUMBER:
 WT-1



LEGEND

	CURB		STORM DRAIN INLET
	SIDEWALK		STORM DRAIN PIPE
	CORRIDOR CROSS SECTION LINE		SANITARY SEWER
	WATER LINE		SEWER MANHOLE
	WATER METER		SEWER WYE
	FIRE HYDRANT		SEWER STUB-OUT
	GATE VALVE		EX. SEWER WYE
	BLOW-OFF ASSEMBLY		EX. SEWER STUB-OUT
	BLOW-OFF ASSEMBLY		EX. SEWER STUB-OUT

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TOTAL SEWERLINE QUANTITIES:
 849 LF - 8" SDR 26 PVC
 5- SHORT LATERALS
 11- LONG LATERALS
 3- SHORT STUB-OUTS
 8- LONG STUB-OUT

SANITARY SEWER NOTES:

- CONTRACTOR SHALL PROVIDE WYES OR STUBOUTS FOR EACH LOT. THEY SHALL BE PLACED ON THE LOW ELEVATION SIDE OF LOT OR IN THE CENTER OF THE LOT IF THE ELEVATION IS FLAT.
- CONTRACTOR SHALL PROVIDE ENGINEER W/ "AS-BUILT" DIMENSIONS FOR WYE'S, VALVES, TEES, BENDS, FIRE HYDRANTS, & WATER METERS.
- CONTRACTOR SHALL PROVIDE LABOR AND MATERIALS FOR ALL SEWER, WATER, & ELECTRICAL LINE LATERALS & PROVIDE LABOR & MATERIAL TO BACKFILL ALL SEWER, WATER & ELECTRICAL STREET CUTS WITH SANDY MATERIAL (P.I. <15) TO TOP OF EXCAVATION & COMPACT FILL TO 95% COMPACTION & PROVIDE COMPACTION TESTS AT 2' INTERVALS. CONTRACTOR SHALL PROVIDE LABOR AND MATERIAL FOR ALL SEWER & WATER LINE MAINS THAT CROSS A STREET AND BACKFILL THEM WITH SANDY (P.I. <15) TO TOP OF EXCAVATION & COMPACT FILL TO 95% COMPACTION & PROVIDE MATERIAL COMPACTION TESTS AT 2' INTERVALS.
- CONTRACTOR SHALL CALL ARK ONE CALL FOR LOCATES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY ENGINEER TO DETERMINE ELEVATIONS FOR MANHOLE WHERE IT CROSSES PROPOSED STORM DRAINS, WATER METER BOX ELEVATIONS, VALVE BOX ELEVATIONS, AND FIRE HYDRANT ELEVATIONS, AND WATER LINE LOCATION AROUND INLETS. WATER LINE SHALL BE INSTALLED AT AN ELEVATION WHERE HYDRANTS ARE LOCATED TO ENSURE HYDRANT WILL BE AT PROPER HEIGHT WHEN FINISHED GRADE HAS BEEN OBTAINED.
- CONTRACTOR SHALL PROVIDE OWNER WITH ONE YEAR WARRANTY FOR MATERIALS AND WORKMANSHIP.
- CONTRACTOR SHALL PROVIDE ENGINEER WITH LIEN RELEASES FOR MATERIALS AND LABOR, BACTERIAL SAMPLE RESULTS; AND MODEL & YEAR OF WATER LINE VALVES WITHIN 30 DAYS OF COMPLETION OF WORK.
- CONTRACTOR SHALL DRESS UP PROJECT AFTER INSTALLATION TO THE CONDITION IT AS PRIOR TO BEGINNING CONSTRUCTION. MOUND BACKFILL OVER TRENCHES 1' TO 2' TO ALLOW FOR SETTLING IN AREAS OUT OF THE STREET.
- ALL STREET EXCAVATION MATERIAL SHALL BE DISPOSED OF BY CONTRACTOR ON THE ADJACENT LOTS OR AS DIRECTED BY OWNER.
- CONTRACTOR SHALL REVIEW DETAIL SHEETS TO ENSURE PROPER INSTALLATION OF VALVES, FIRE HYDRANTS, CONCRETE BLOCKING, SERVICE LINES, MANHOLE INVERTS, AND DROP ASSEMBLIES.
- ALL SEWER LINES SHALL BE ASTM 2241 SDR-26.
- WATER LINE AND SANITARY SEWER LINE SHALL MAINTAIN 18" MINIMUM SEPARATION. WATER LINE AND STORM DRAIN SHALL MAINTAIN 36" MINIMUM SEPARATION TO PREVENT FREEZING. MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18" OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENTS.
- CONSTRUCTION SHALL BEGIN ONLY AFTER APPROVED PLANS FROM THE ARKANSAS DEPARTMENT OF HEALTH ARE SUBMITTED TO CWL, AND ALL NECESSARY FEES ARE PAID IN FULL. CONSTRUCTION BY CONTRACTORS SHALL THEN BEGIN ONLY AFTER THE RIGHT OF WAY HAS BEEN CLEARED, THE ENTIRE SECTION STAKED, THE ELEVATIONS CAREFULLY CHECKED, AND A PRE-CONSTRUCTION MEETING HAS BEEN HELD. A POST CONSTRUCTION MEETING WILL BE HELD W/ CONTRACTOR PRESENT TO VERIFY ALL CONSTRUCTION IS ACCEPTABLE TO CWL PRIOR TO THE INSTALLATION OF ELECTRICAL WIRE.
- DEVELOPER MUST SHOW PROOF OF ADEQUATE INSURANCE COVERAGE. (ARKANSAS WORKER'S COMPENSATION, \$1,000,000.00 MINIMUM GENERAL LIABILITY, AND \$1,000,000.00 MINIMUM AUTO LIABILITY.) CONTRACTOR MUST HAVE A STATE CONTRACTORS LICENSE. CONTRACTOR MUST HAVE A COMPETENT PERSON AT THE JOB SITE AS DEFINED BY OSHA.
- DURING CONSTRUCTION, WORK SHALL BE INSPECTED BY THE DEVELOPER'S CONSULTING ENGINEER FOR NECESSARY SAFETY PRACTICES, PROPER MATERIALS, AND WORKMANSHIP. CWL WILL PROVIDE RANDOM INSPECTIONS TO ENSURE THAT THE PLANS APPROVED BY THE ARKANSAS DEPARTMENT OF HEALTH AND CWL ARE FOLLOWED CONCERNING WORKMANSHIP AND MATERIALS.
- IF SEWER AND WATER LINES HAVE NOT BEEN ACCEPTED BY CWL WITHIN 360 DAYS AFTER MANDREL TESTS, LOW PRESSURE AIR TESTS, HYDROSTATIC TESTS AND BACTERIAL TESTS, ALL TESTS WILL BE REQUIRED TO BE REPEATED AND RE-CERTIFIED.
- CWL ENGINEERING DEPT. MUST APPROVE ANY WATER OR SEWER LINES THAT WILL BE INSTALLED CLOSER THAN 5' PARALLEL WITH EDGE OF PAVED STREET SURFACE.
- REPAIRS SHALL BE MADE IN ACCORDANCE WITH AWWA.
- ALL SEWER WYES & STUBOUTS SHALL BE EXTENDED ACROSS STREETS TO THE APPROPRIATE LOT LINES. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL LOTS HAVE A SEWER SERVICE.

TRENCH SETTLEMENT NOTE:
 CITY WATER & LIGHT IS NOT RESPONSIBLE FOR ANY SETTLEMENT OVER WATER & SEWER TRENCHES THAT OCCURS BEFORE OR AFTER THE WARRANTY PERIOD.

ALL SEWER WYES SHALL BE A MINIMUM OF 10' FOOT AWAY FROM PROPERTY CORNERS.

NOTE: IF UNSAFE PRACTICES ARE DISCOVERED BY CWL DURING OUR INSPECTIONS OF WORKMANSHIP AND MATERIALS, CWL WILL NOTIFY THE OSHA. THIS NO WAY OBLIGATES CWL FOR THE RESPONSIBILITY OF THE CONTRACTORS SAFETY PRACTICES.

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MARK MORRIS

EDGEMONT PARK PHASE II
 SEWER PLAN

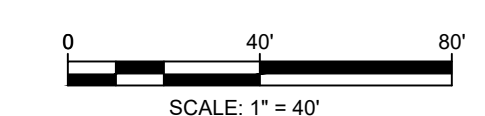


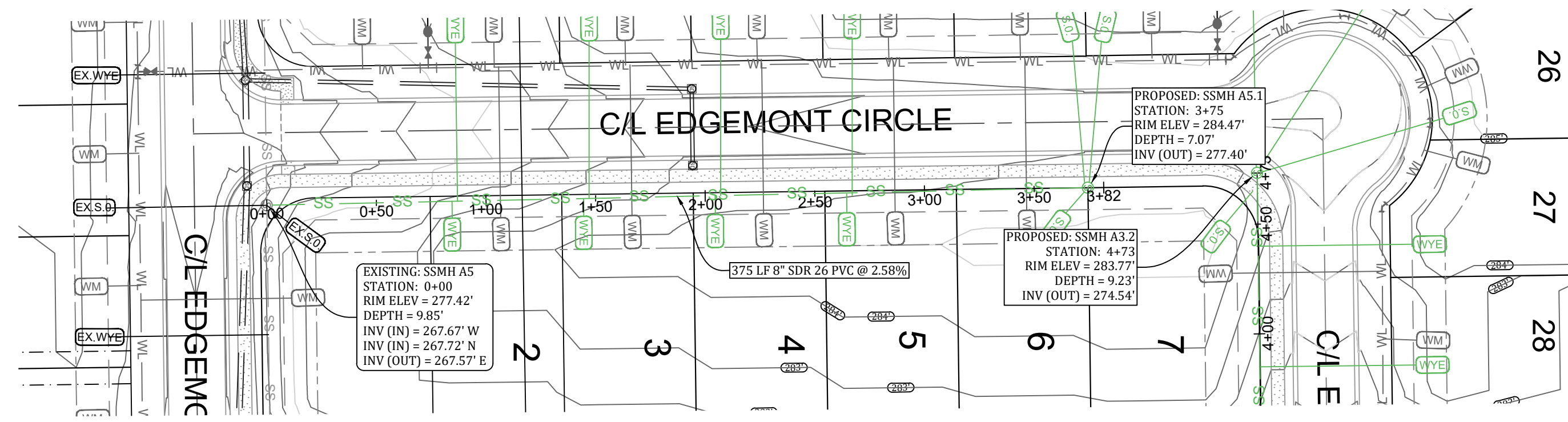
REVISIONS

DATE	BY	DESCRIPTION

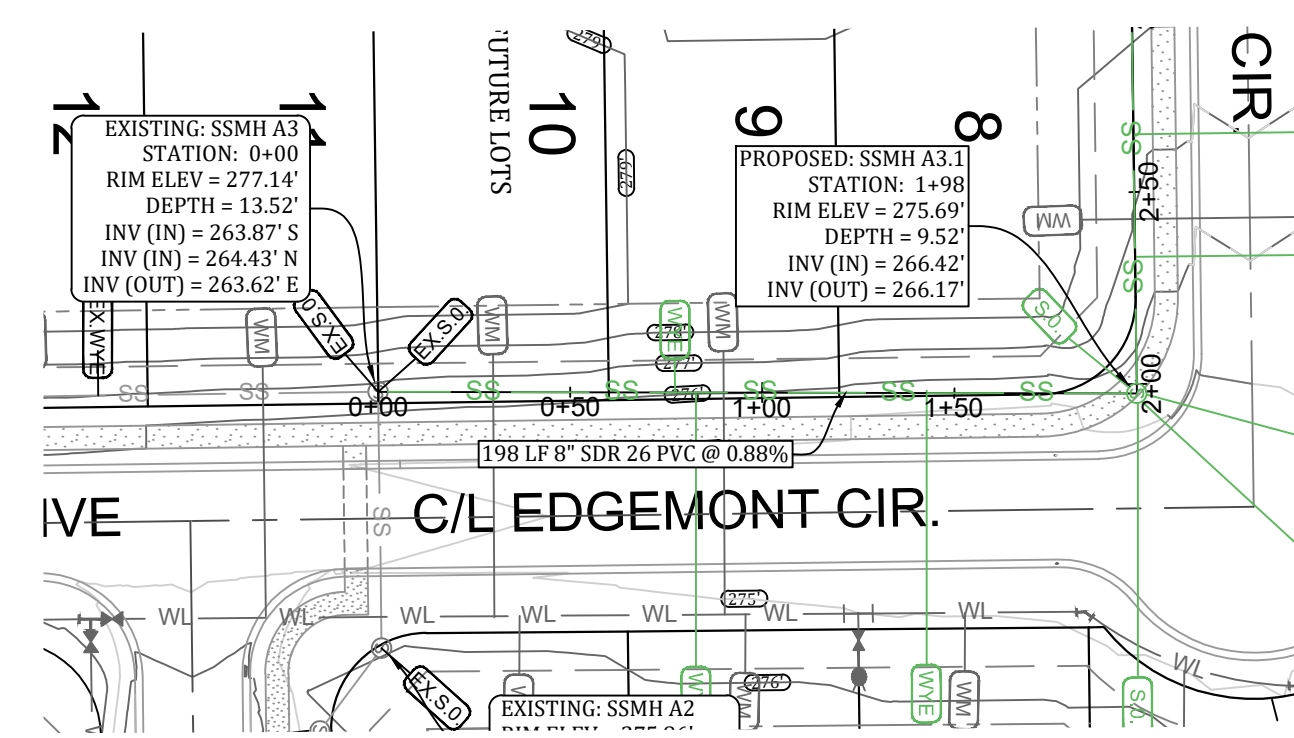
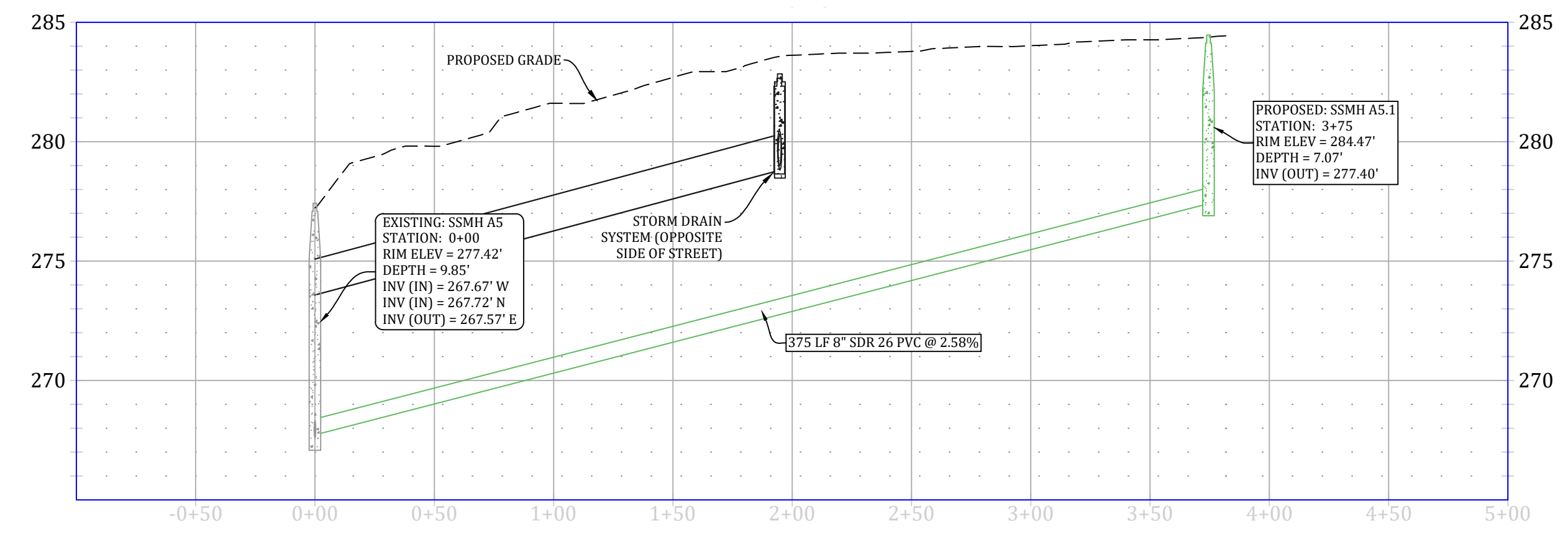
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 SCALE: 1"=40'

SHEET NUMBER:
SW-1

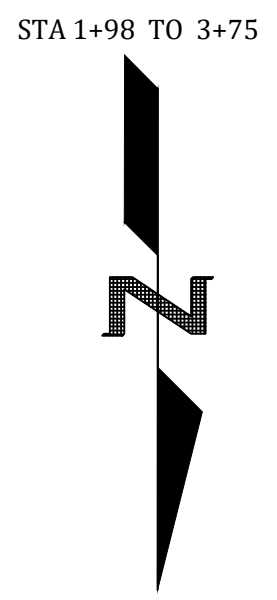
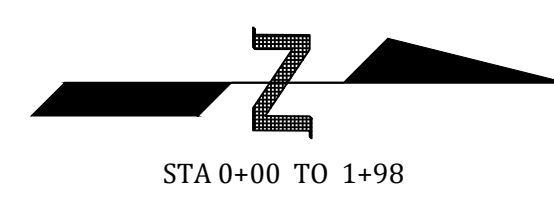
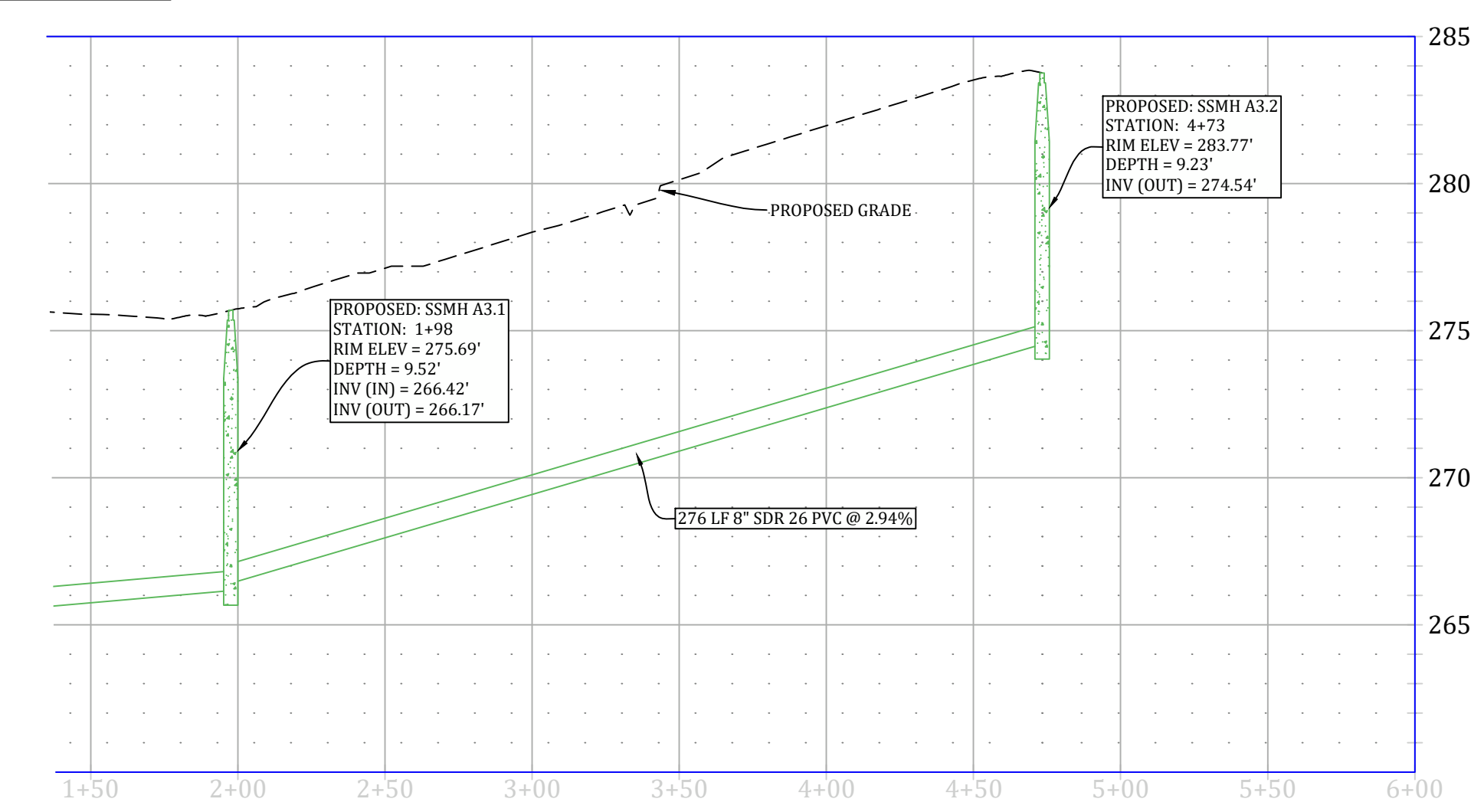
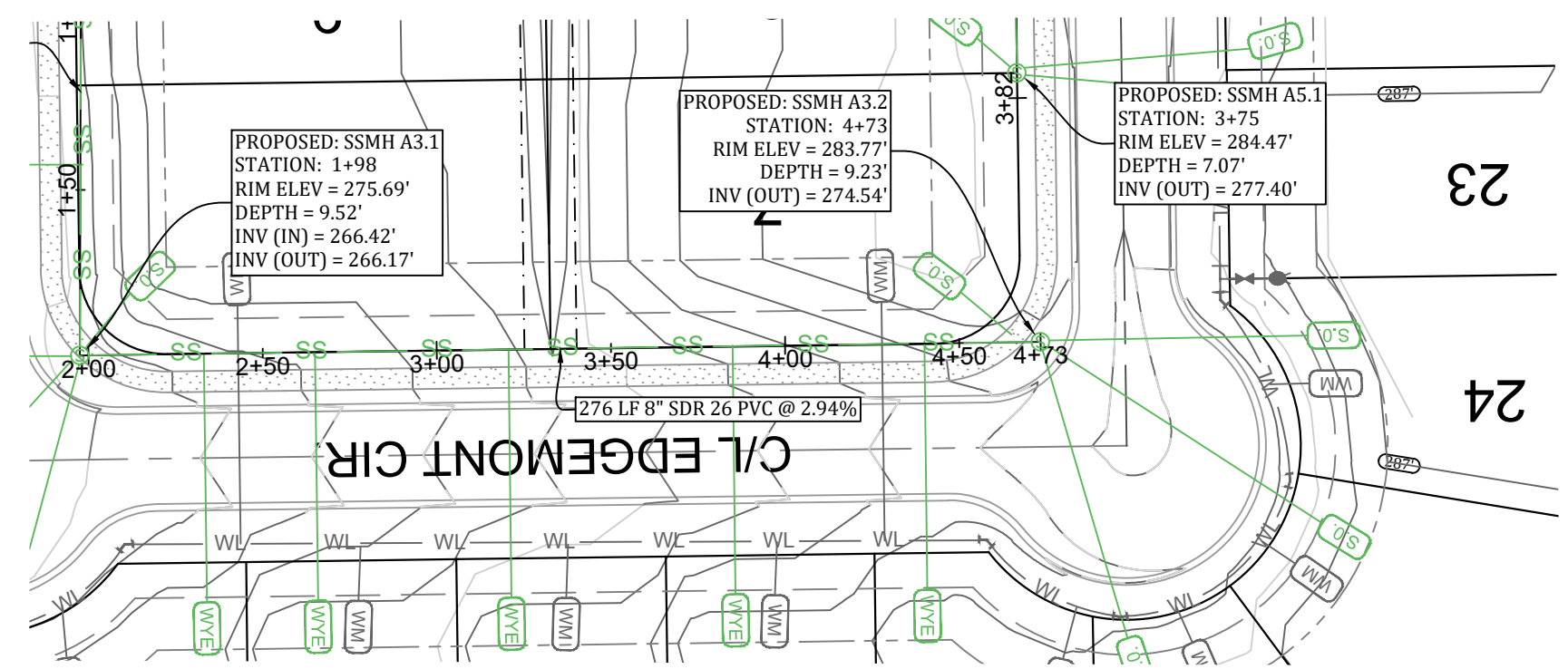
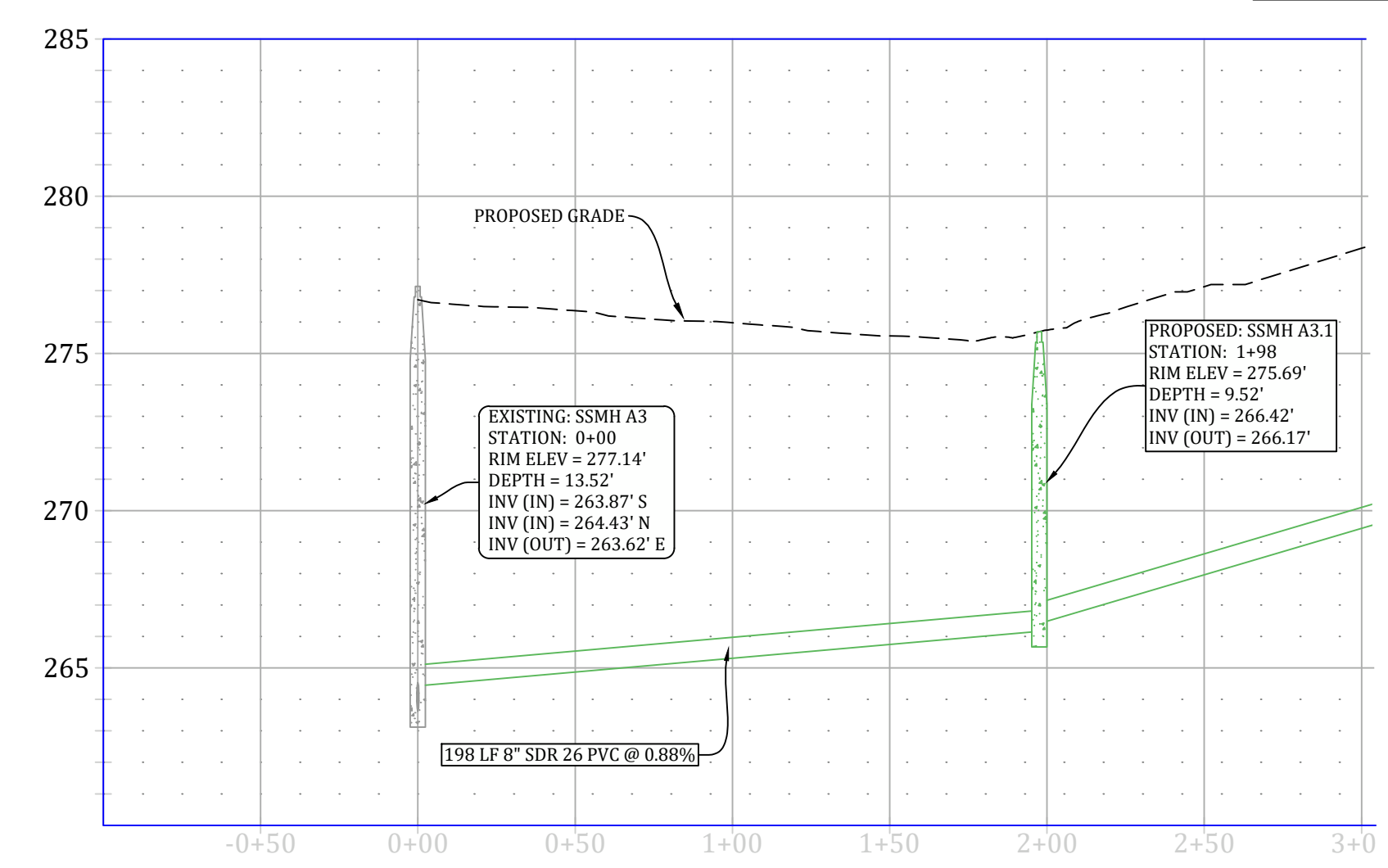




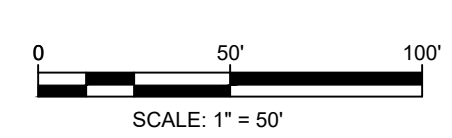
SEWER A5 PROFILE



SEWER A3 PROFILE



VERTICAL SCALE 1:5
HORIZONTAL SCALE 1:50



EDGEMONT PARK PHASE II
SEWER PLAN & PROFILE



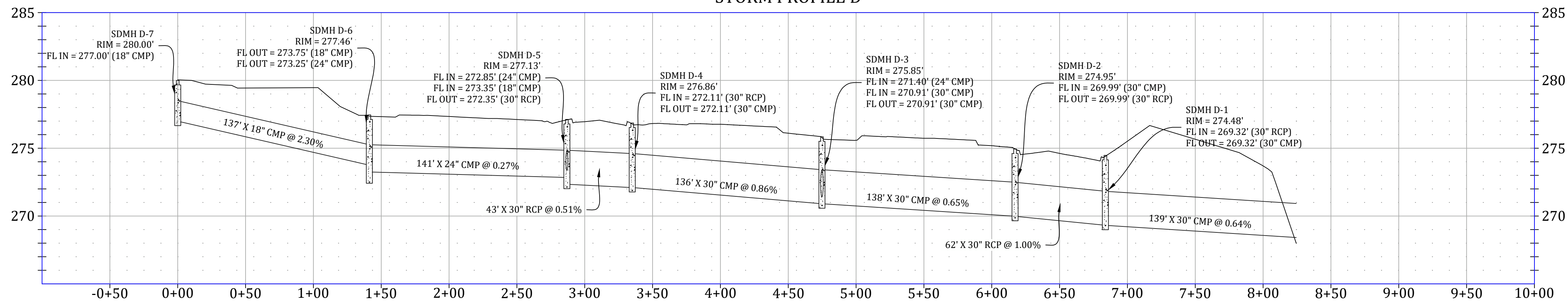
REVISIONS		
DATE	BY	DESCRIPTION

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DRAWN BY:	JMH
DATE:	9/6/2022
SCALE:	1"=50'

SHEET NUMBER:
SW-2

MARK MORRIS
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STORM PROFILE D

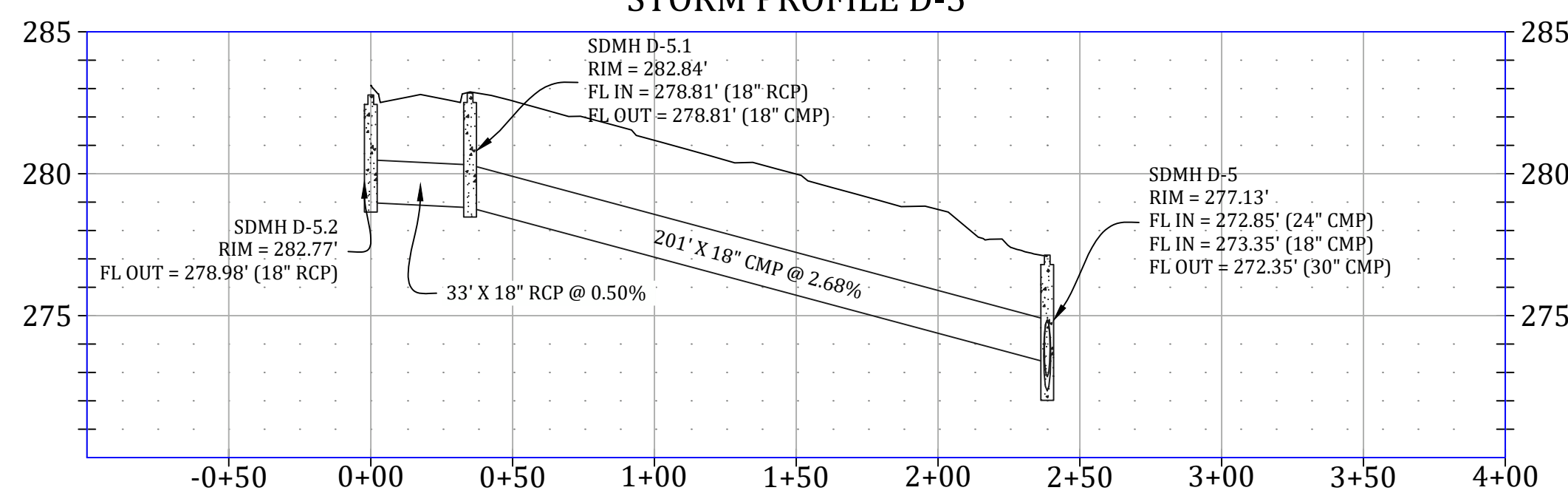


LEGEND

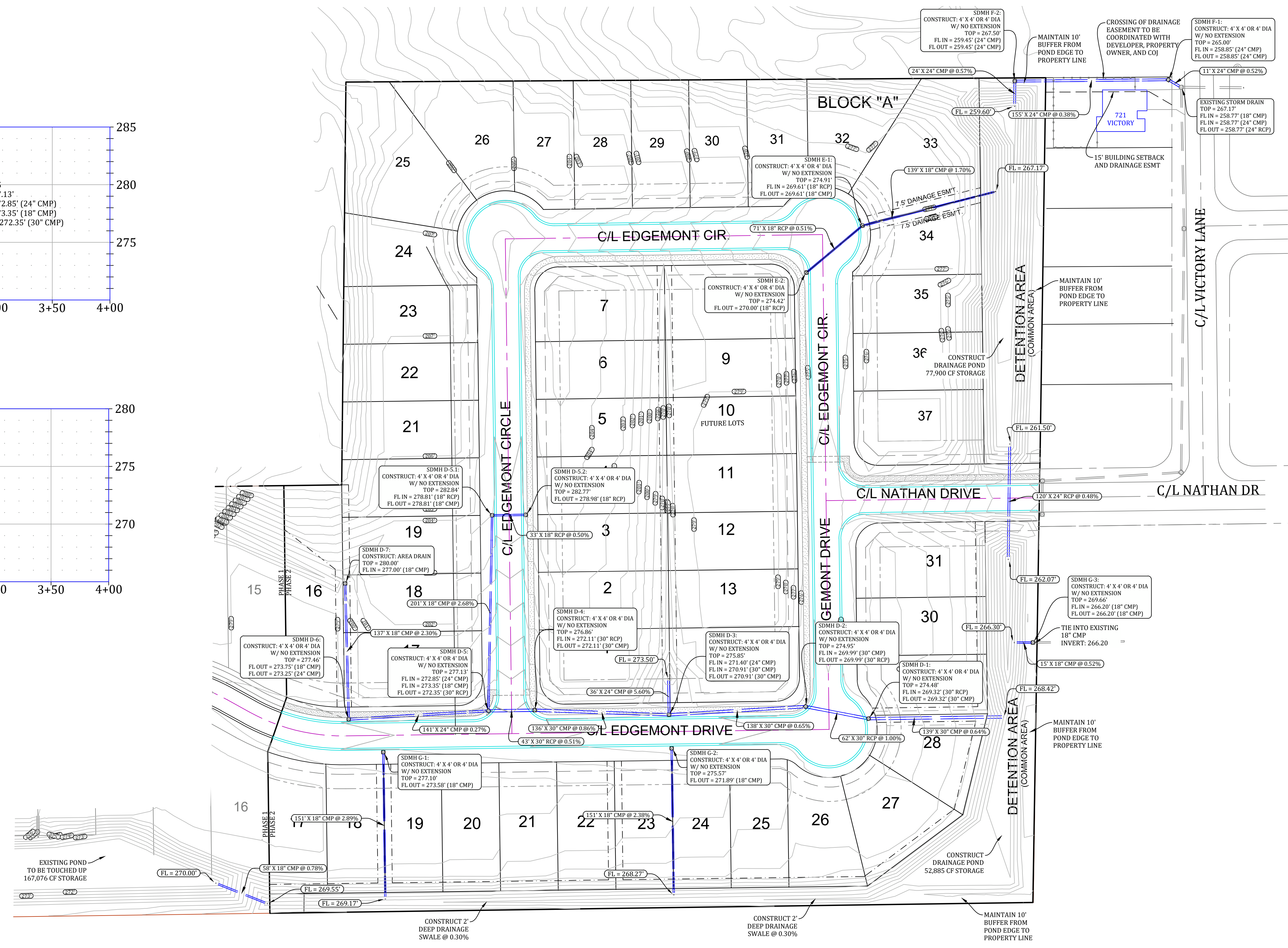
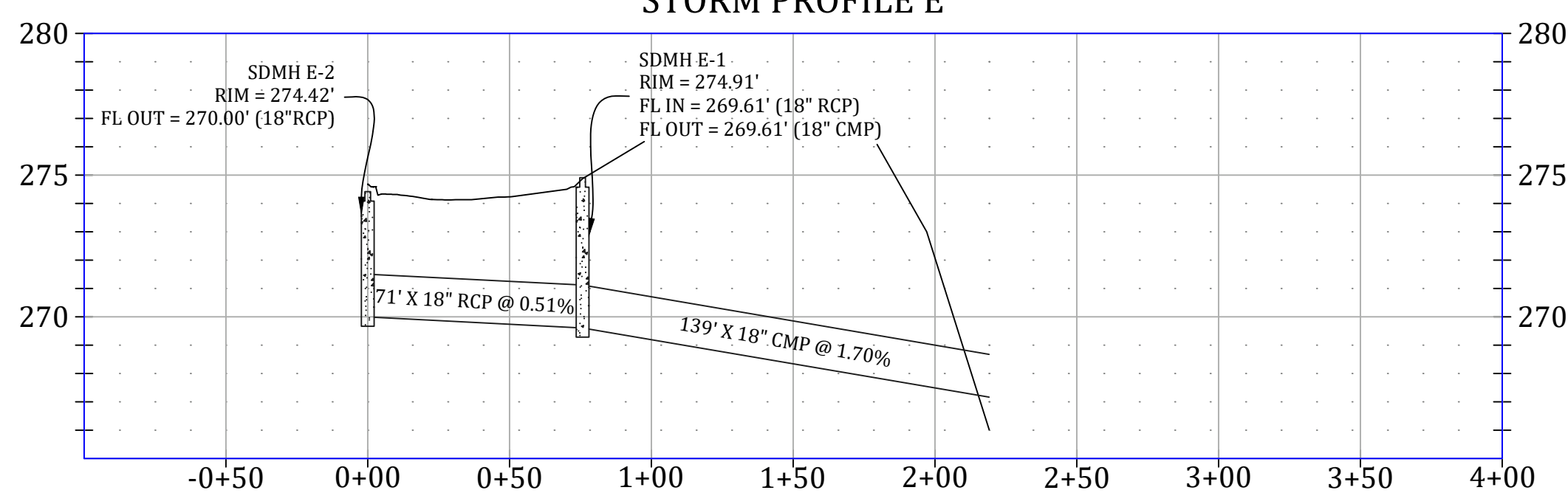
	CURB		STORM DRAIN INLET
	SIDEWALK		STORM DRAIN PIPE
	CORRIDOR CROSS SECTION LINE		SANITARY SEWER
	WATER LINE		SEWER MANHOLE
	WATER METER		SEWER WYE
	FIRE HYDRANT		SEWER STUB-OUT
	BLOW-OFF ASSEMBLY		EX. SEWER WYE
	GATE VALVE		EX. SEWER STUB-OUT

NOTE: SYMBOLS REPRESENTED IN LEGEND MAY NOT ALL BE INCLUDED ON THIS SHEET
RESPECTIVE SYMBOLS REPRESENTED IN PLAN VIEW ARE NOT TO SCALE.

STORM PROFILE D-5



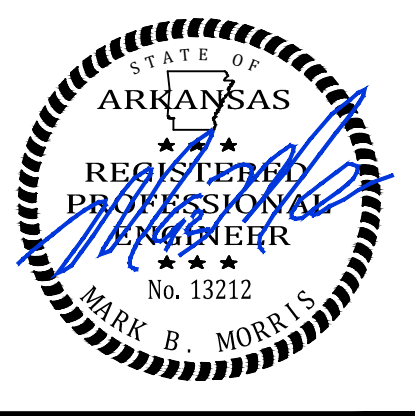
STORM PROFILE E



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MARK MORRIS

EDGEMONT PARK PHASE II
GRADING & DRAINAGE

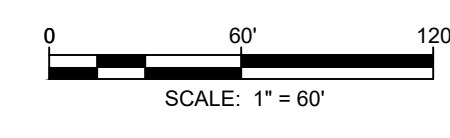


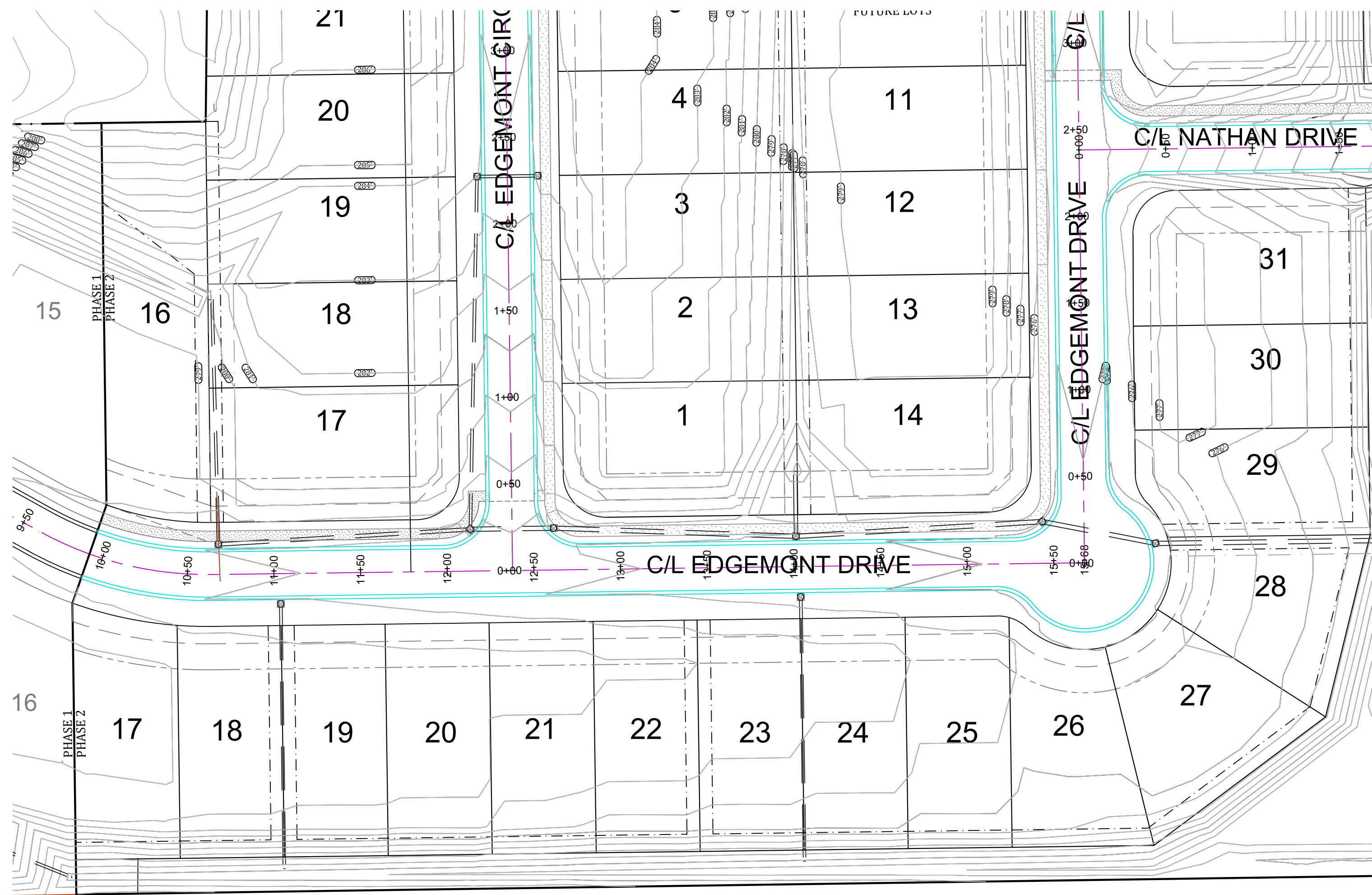
REVISIONS

DATE	BY	DESCRIPTION

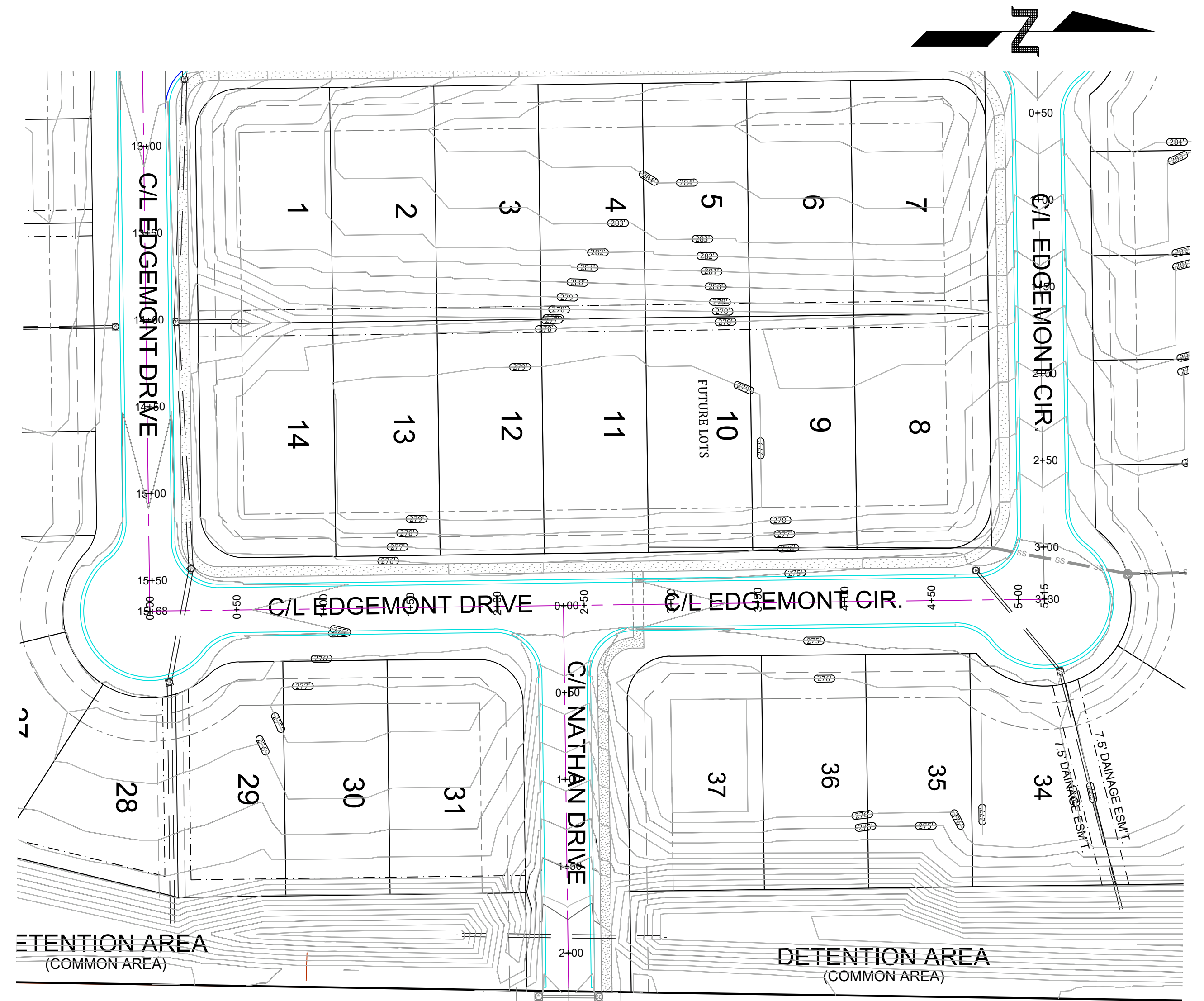
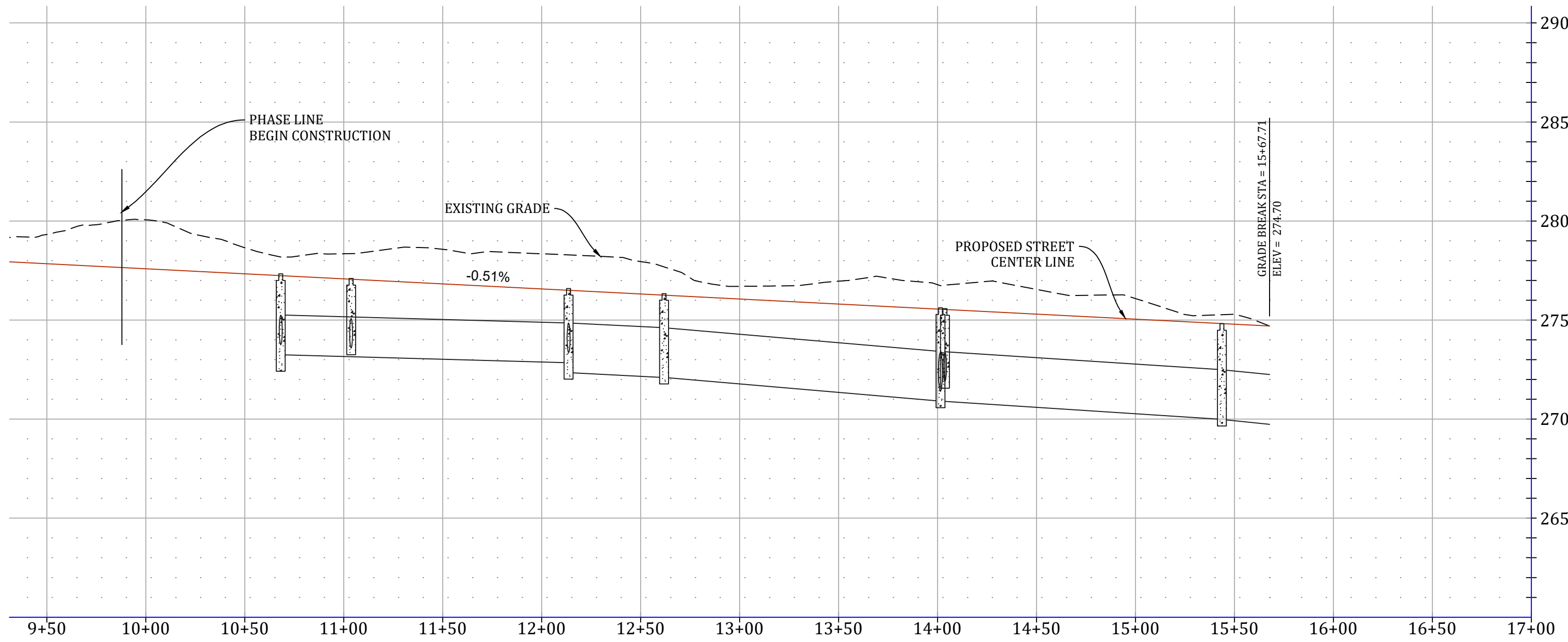
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SCALE: 1"=60'

SHEET NUMBER:
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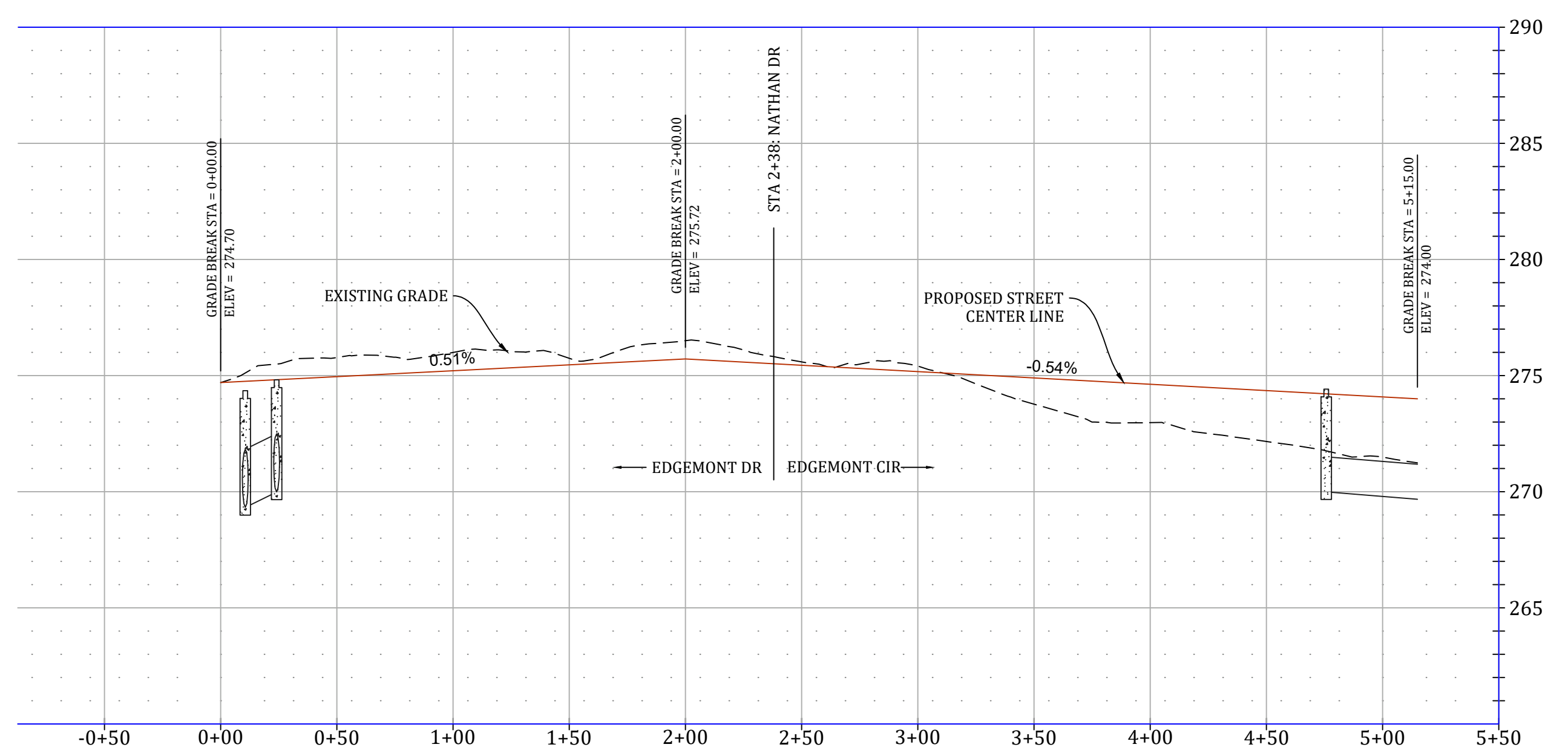




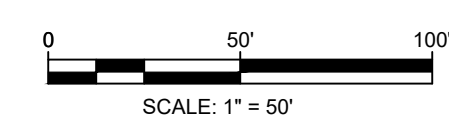
EDGEMONT DRIVE PROFILE



EDGEMONT DRIVE/EDGEMONT CIRCLE PROFILE



VERTICAL SCALE 1:5
HORIZONTAL SCALE 1:50



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EDGEMONT PARK PHASE II

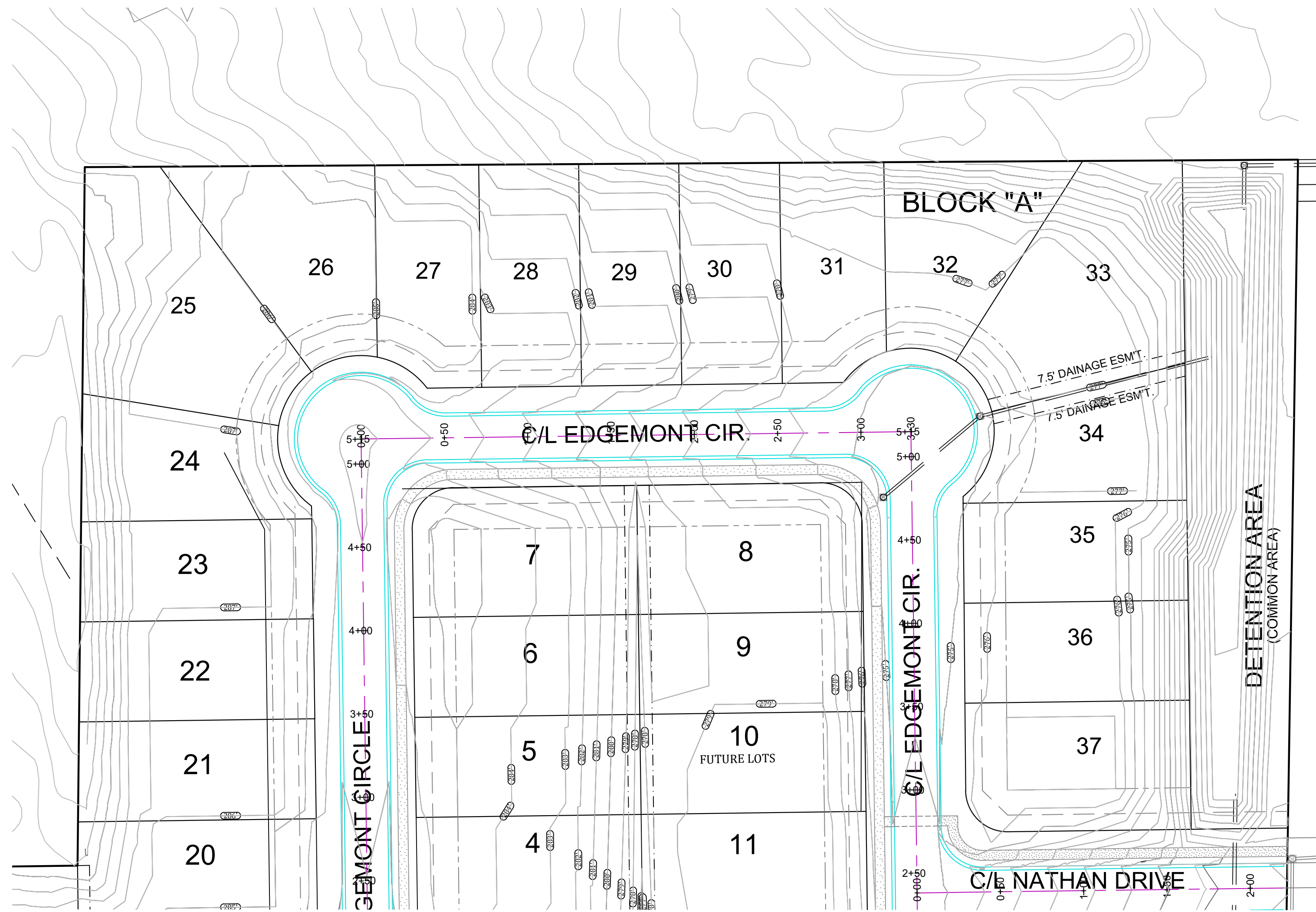
STREET PLAN & PROFILE



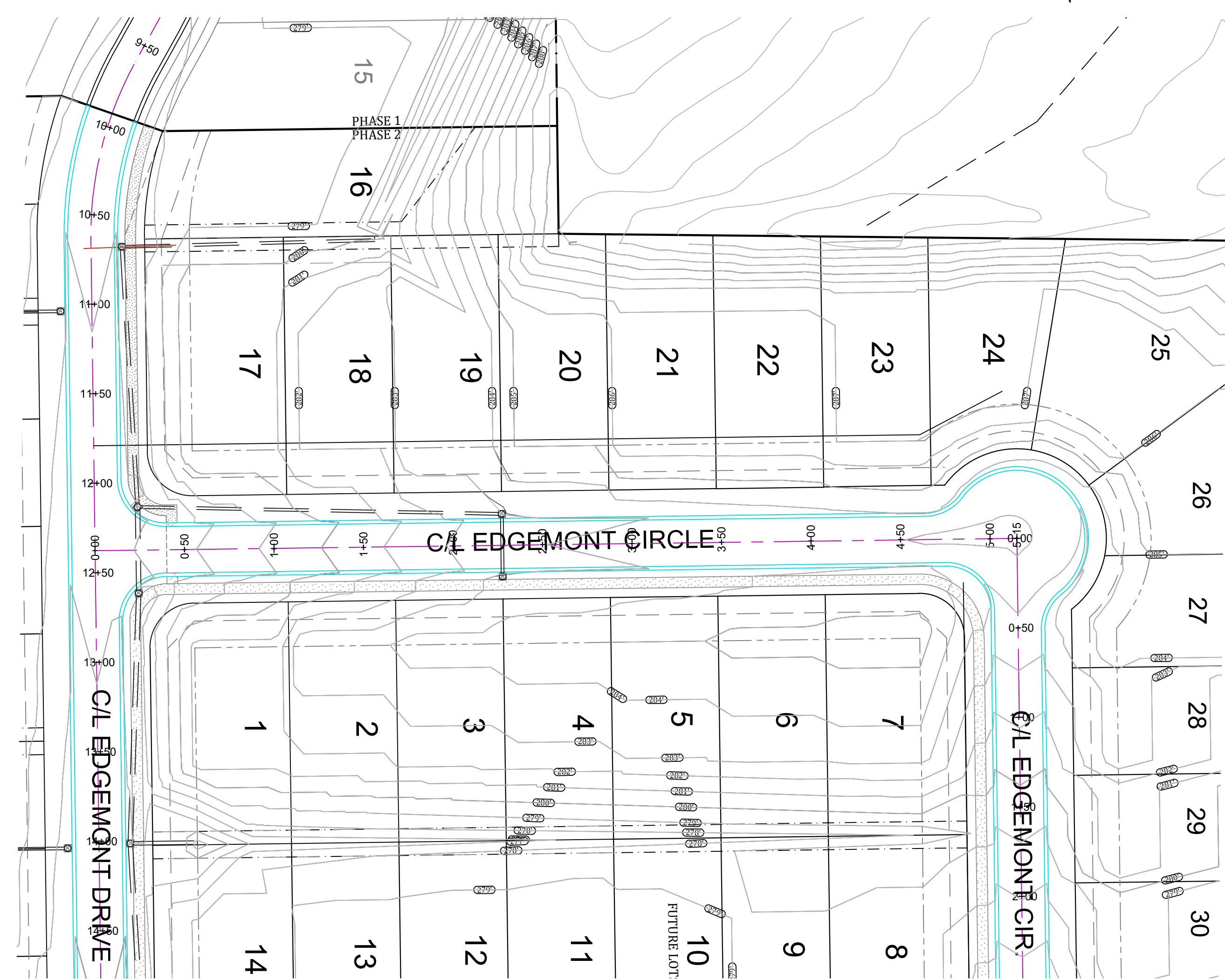
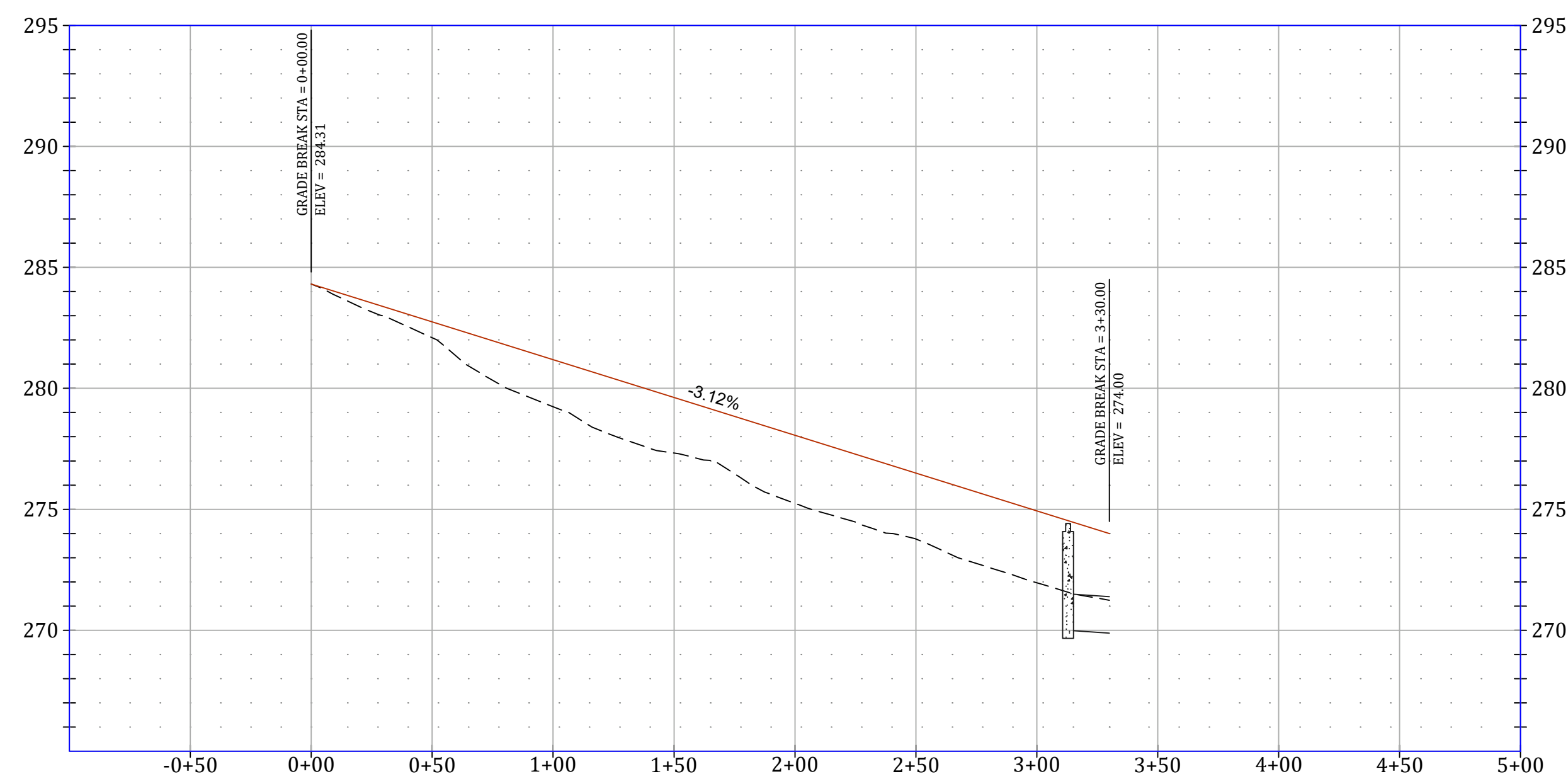
REVISIONS		
DATE	BY	DESCRIPTION

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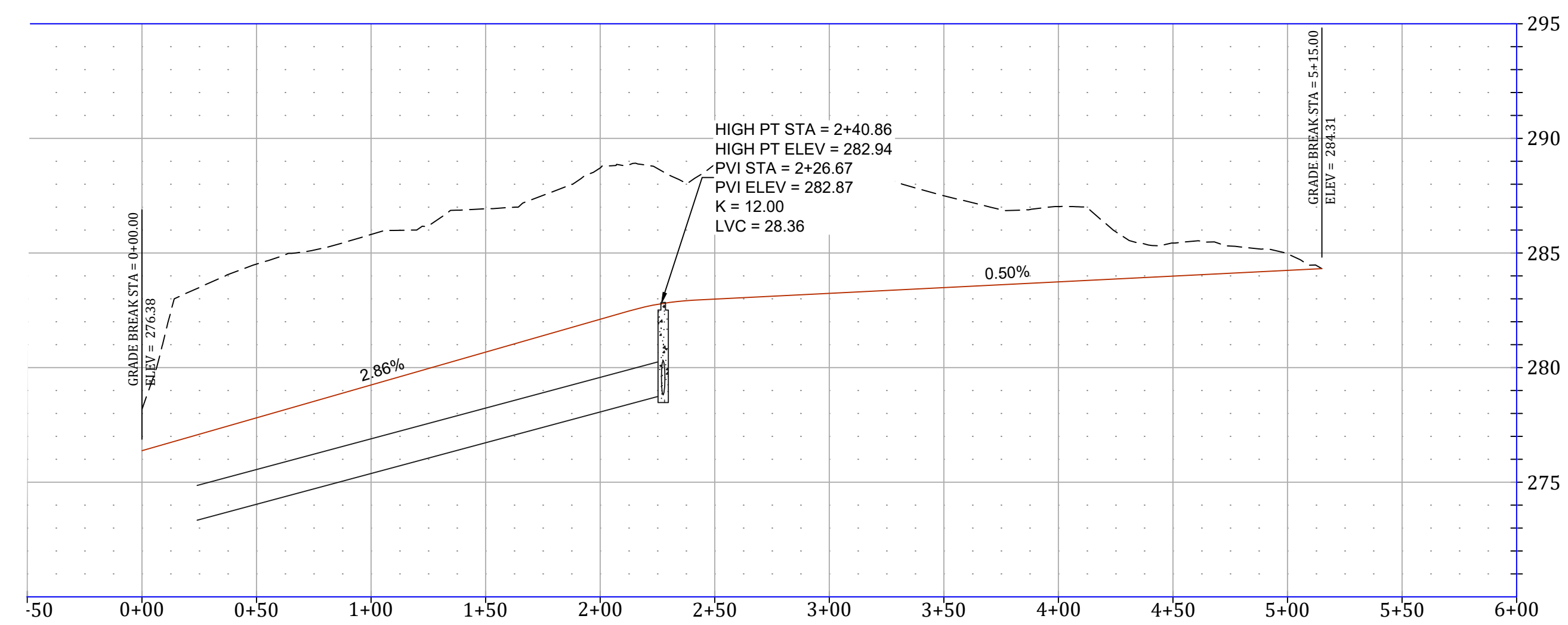
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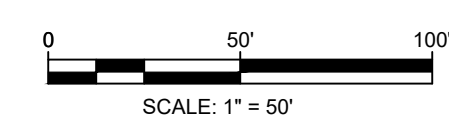
EDGEMONT CIRCLE PROFILE



EDGEMONT CIRCLE PROFILE



VERTICAL SCALE 1:5
HORIZONTAL SCALE 1:50



EDGEMONT PARK PHASE II
STREET PLAN & PROFILE



REVISIONS		
DATE	BY	DESCRIPTION

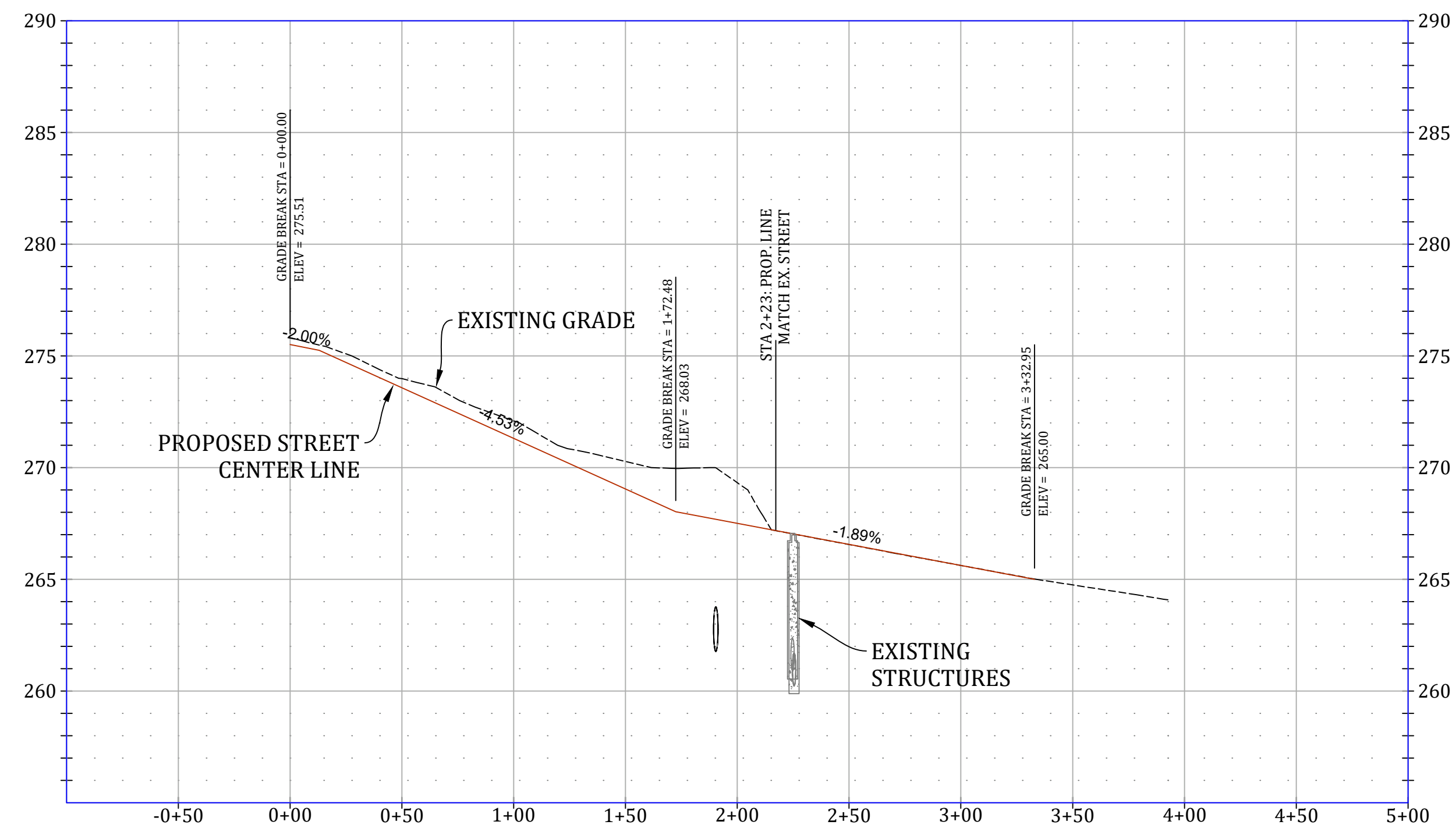
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DATE:	9/6/2022
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SHEET NUMBER:
ST-2

MARK MORRIS
MARK MORRIS P.E.
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NATHAN DRIVE PROFILE



VERTICAL SCALE 1:5
HORIZONTAL SCALE 1:50



EDGEMONT PARK PHASE II

STREET PLAN & PROFILE



REVISIONS

DATE	BY	DESCRIPTION

DRAWING INFO.

DRAWN BY:	JMH
DATE:	9/6/2022
SCALE:	1"=50'

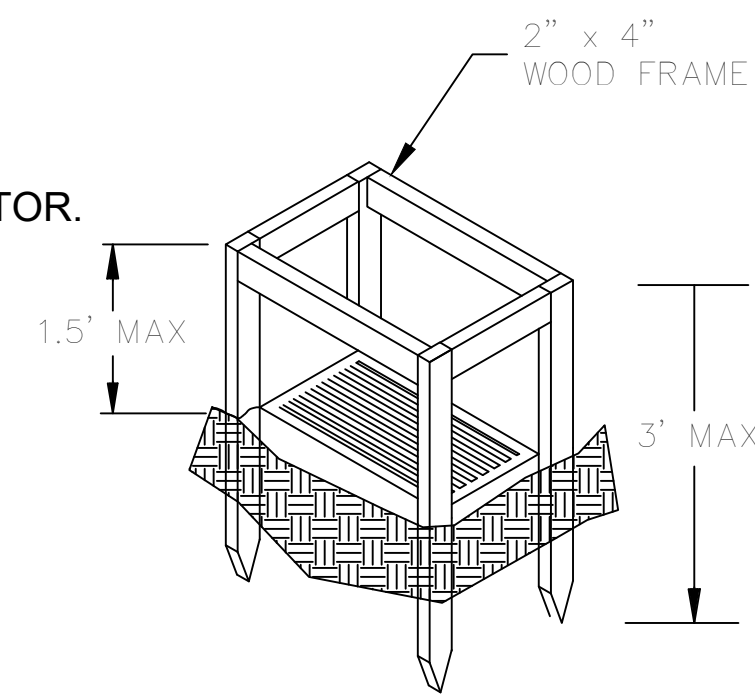
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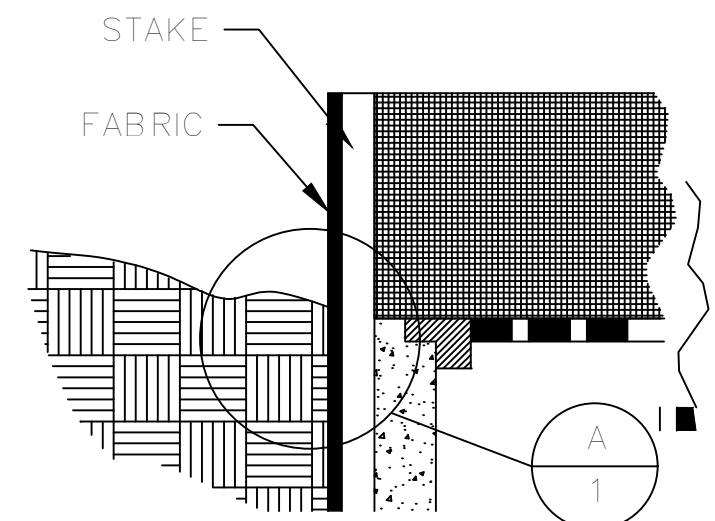
MARK MORRIS P.E.
3221 SHELBY DRIVE
JONESBORO, AR 72404
PH: 4-870-919-7700
MARK.B.MORRIS@YAHOO.COM

MARK MORRIS

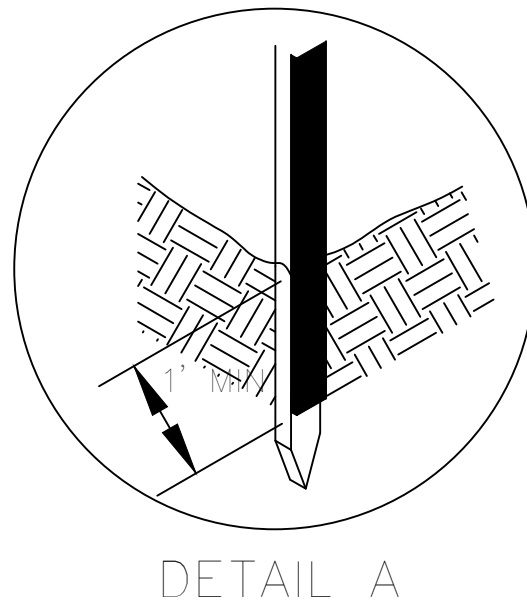
ALTERNATE INSTALLATION:
FIBER ROLLS (WATTLES) MAY BE
SUBSTITUTED TO PREVENT SITE
FLOODING FROM OCCURRING.
AS DEEMED NECESSARY BY CONTRACTOR.



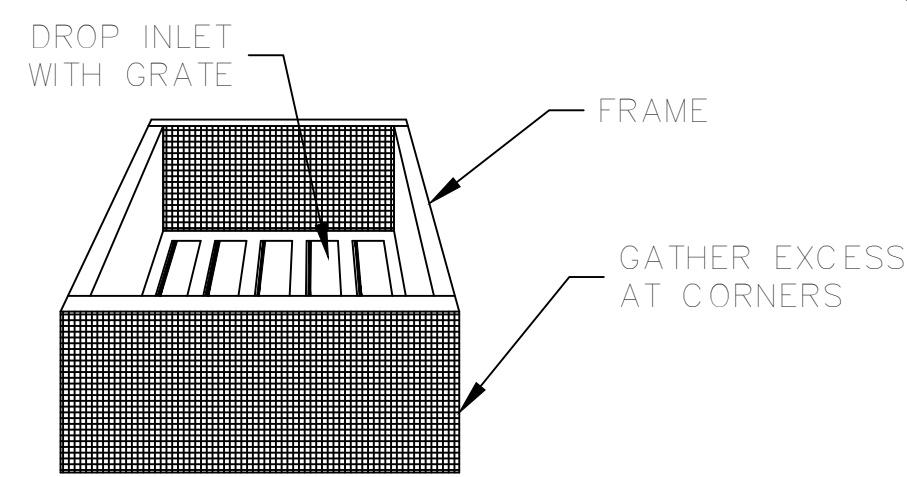
PERSPECTIVE VIEW



ELEVATION OF STAKE AND
FABRIC ORIENTATION



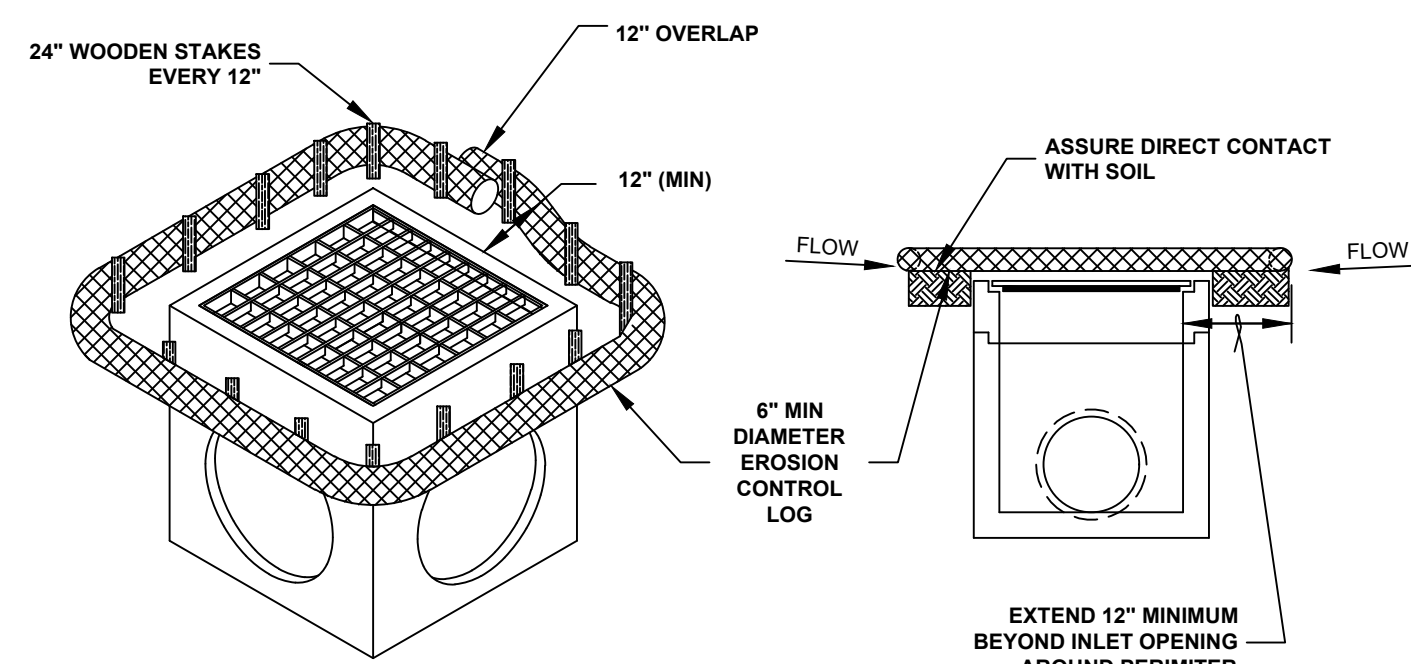
DETAIL A



PERSPECTIVE VIEW

FILTER FABRIC INLET PROTECTION

NOT TO SCALE



ISOMETRIC

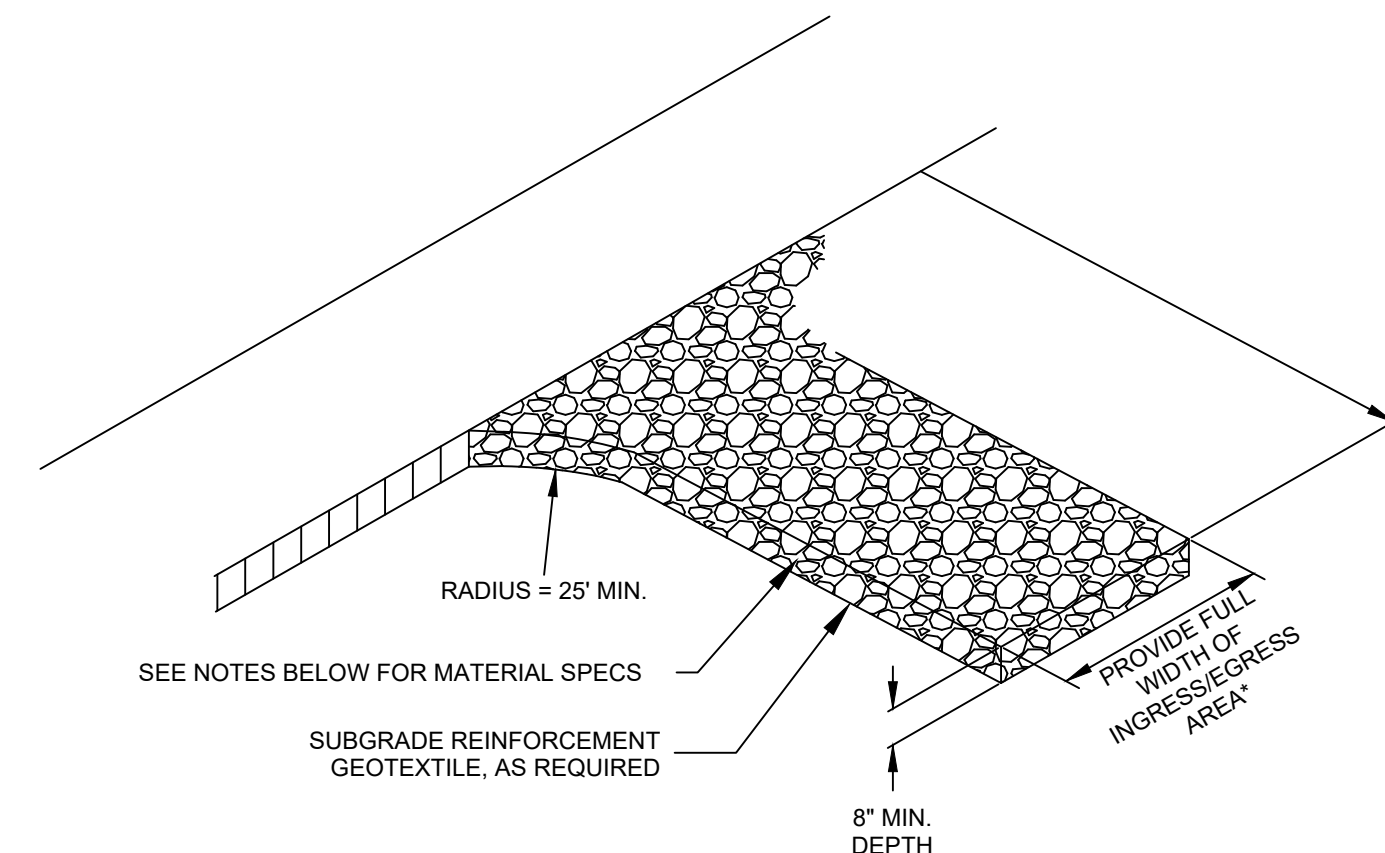
CROSS SECTION

NOTES:

1. EROSION CONTROL LOG CONTAINMENT MESH SHALL BE 100% BIODEGRADABLE, PHOTODEGRADABLE OR RECYCLABLE; AND FILL MATERIAL SHALL CONSIST OF MULCH, ASPEN EXCELSIOR FIBERS, CHIPPED SITE VEGETATION, COCONUT FIBERS, 100% RECYCLABLE FIBERS, OR ANY OTHER ACCEPTABLE MATERIAL EXCLUDING STRAW AND HAY.
2. DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR AND SILT ACCUMULATION MUST BE REMOVED WHEN DEPTH REACHES 50% CAPACITY.
3. CONTRACTOR SHALL MONITOR THE PERFORMANCE OF INLET PROTECTION DURING EACH RAINFALL EVENT AND IMMEDIATELY CLEAN THE INLET PROTECTION IF EXCESSIVE PONDING OCCURS.
4. INLET PROTECTIONS SHALL BE REMOVED AS SOON AS THE SOURCE OF SEDIMENT IS STABILIZED.

FIBER ROLL (WATTLE) INLET PROTECTION

NOT TO SCALE



TYPICAL FIBER ROLL INSTALLATION

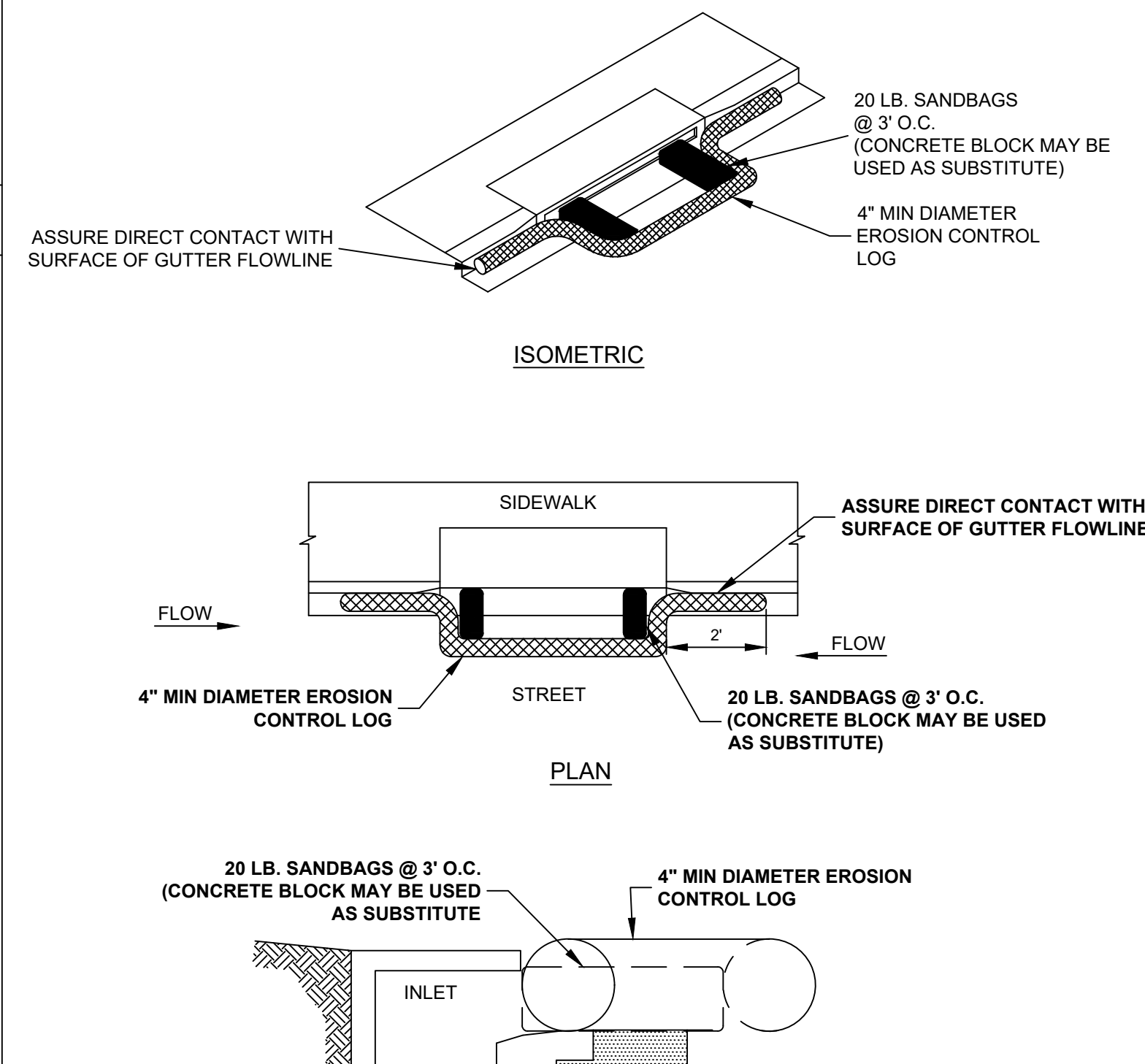
*20' MIN. FOR SINGLE FAMILY AND DUPLEX RESIDENTIAL

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. WHERE RUNOFF CONTAINING SEDIMENT-LADEN WATER IS LEAVING THE SITE VIA THE CONSTRUCTION ENTRANCE, OTHER MEASURES SHALL BE IMPLEMENTED TO DIVERT RUNOFF THROUGH AN APPROVED FILTERING SYSTEM.
5. DIMENSIONS:
SINGLE FAMILY AND DUPLEX
20' LONG BY 20' WIDE, 8" DEEP OF 3/4" MINUS CLEAN ROCK.
COMMERCIAL
50' LONG BY 20' WIDE, 3-6" DEEP CLEAN ROCK. GOVERNING AUTHORITY MAY REQUIRE GEOTEXTILE FABRIC TO PREVENT SUB-SOIL PUMPING.

CONSTRUCTION ENTRANCE

NOT TO SCALE



ISOMETRIC

PLAN

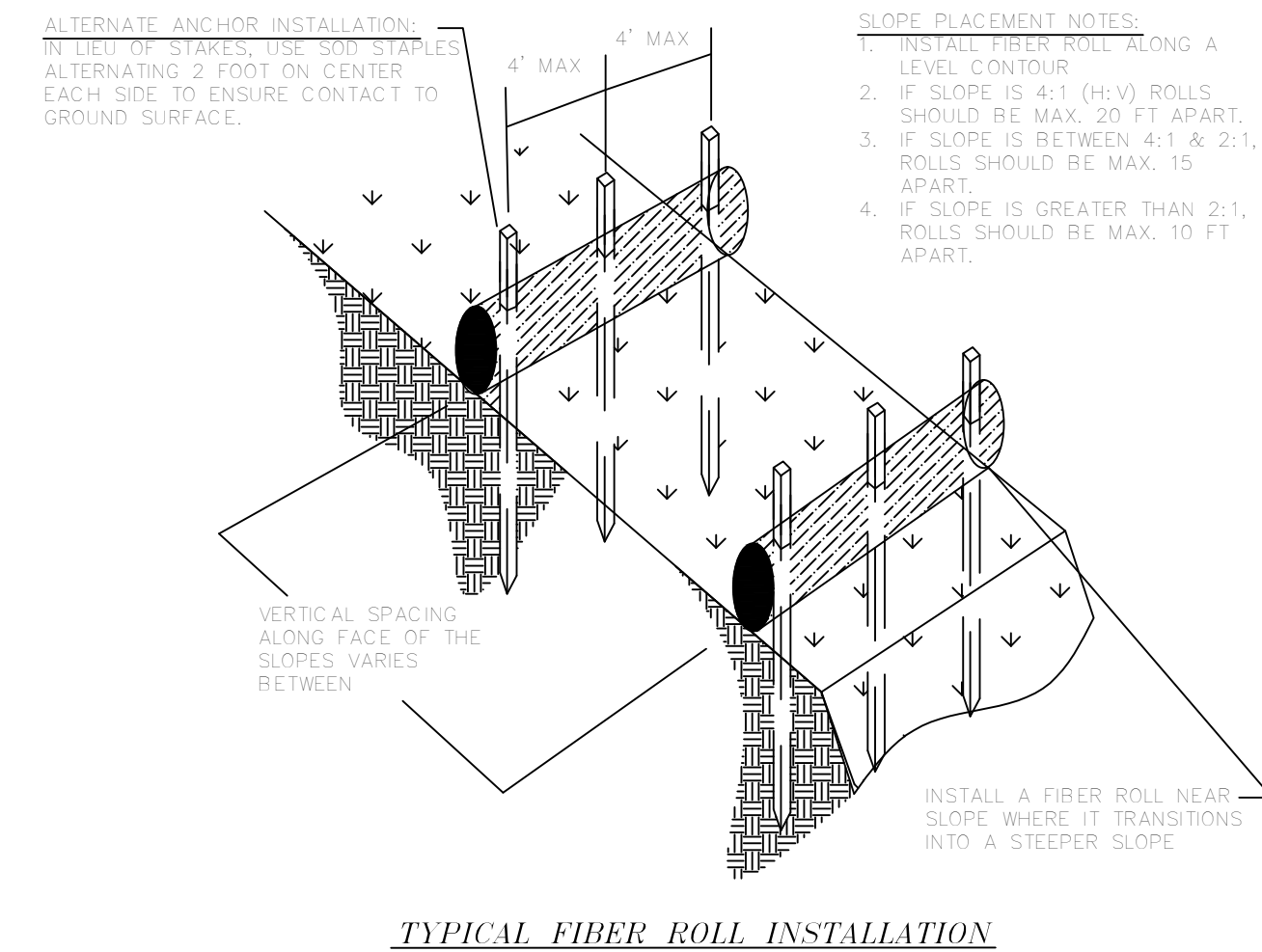
CROSS SECTION

NOTES:

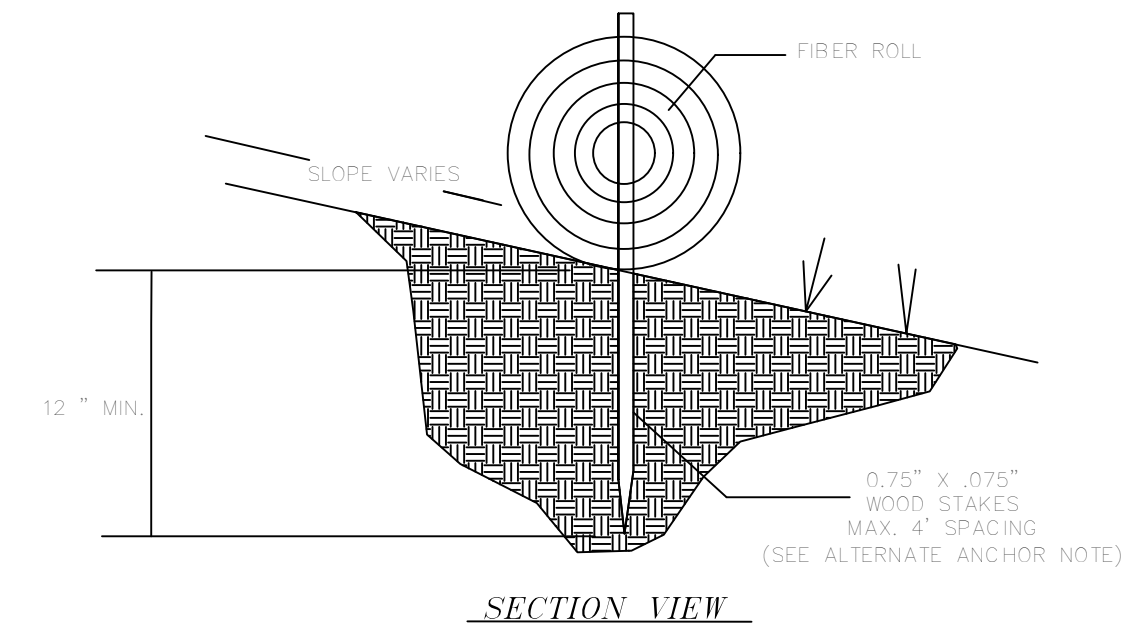
1. EROSION CONTROL LOG CONTAINMENT MESH SHALL BE 100% BIODEGRADABLE, PHOTODEGRADABLE OR RECYCLABLE; AND FILL MATERIAL SHALL CONSIST OF MULCH, ASPEN EXCELSIOR FIBERS, CHIPPED SITE VEGETATION, COCONUT FIBERS, 100% RECYCLABLE FIBERS, OR ANY OTHER ACCEPTABLE MATERIAL EXCLUDING STRAW AND HAY.
2. DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR AND SILT ACCUMULATION MUST BE REMOVED WHEN DEPTH REACHES 50% CAPACITY.
3. CONTRACTOR SHALL MONITOR THE PERFORMANCE OF INLET PROTECTION DURING EACH RAINFALL EVENT AND IMMEDIATELY REMOVE THE INLET PROTECTIONS IF THE STORM WATER BEGINS TO OVERTOP THE CURB.
4. INLET PROTECTIONS SHALL BE REMOVED AS SOON AS THE SOURCE OF SEDIMENT IS STABILIZED.

FIBER ROLL (WATTLE) CURB INLET PROTECTION

NOT TO SCALE



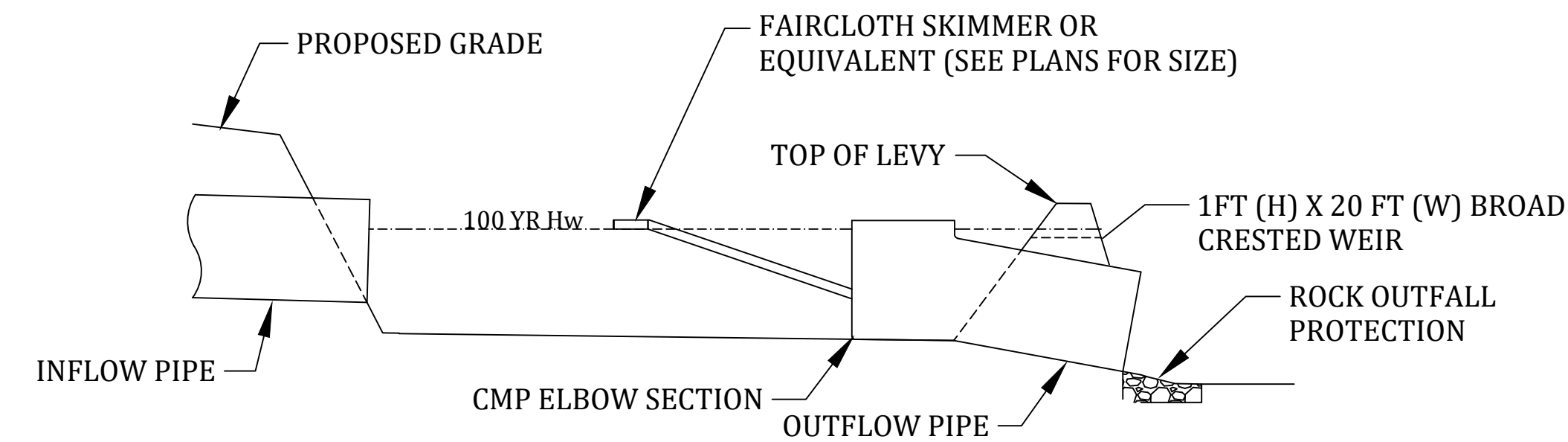
TYPICAL FIBER ROLL INSTALLATION



SECTION VIEW

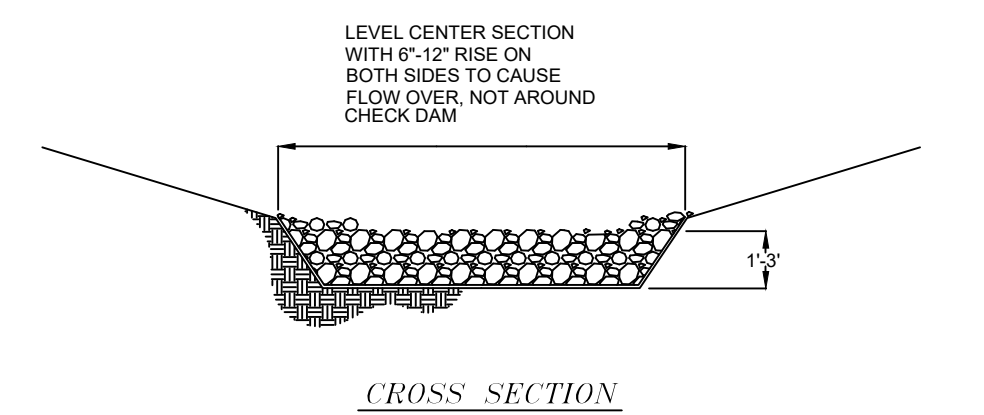
FIBER ROLLS AND WATTLES

NOT TO SCALE

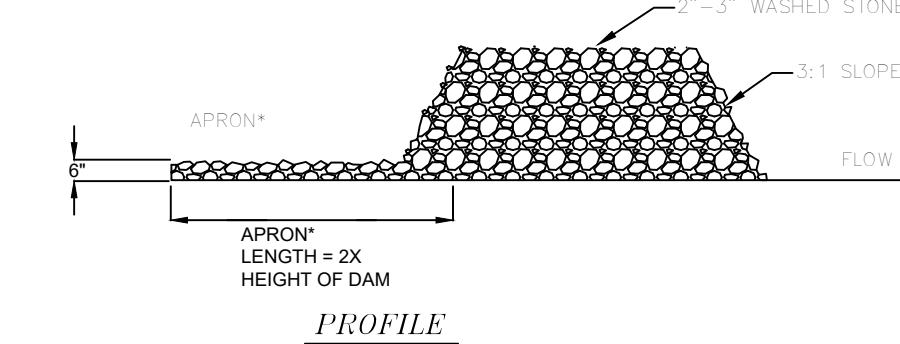


SEDIMENT BASIN w/ FAIRCLOTH SKIMMER

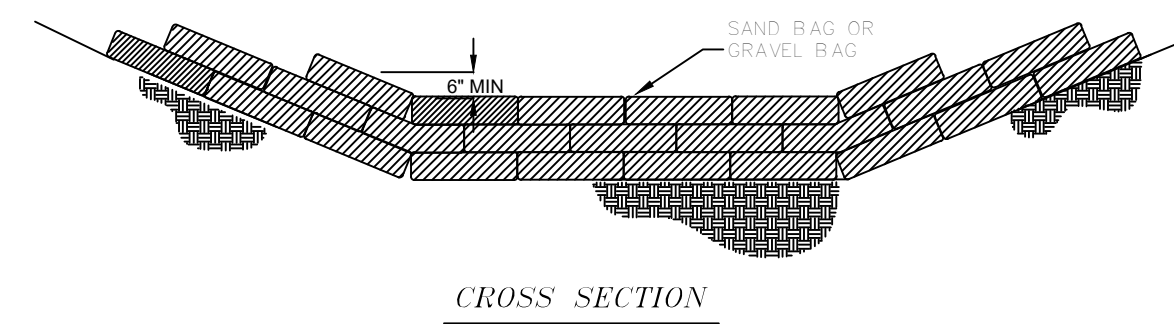
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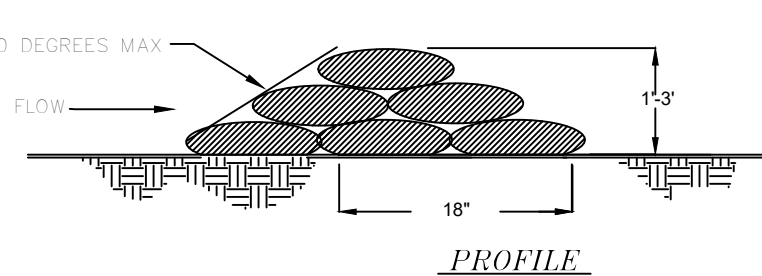
CROSS SECTION



PROFILE



CROSS SECTION



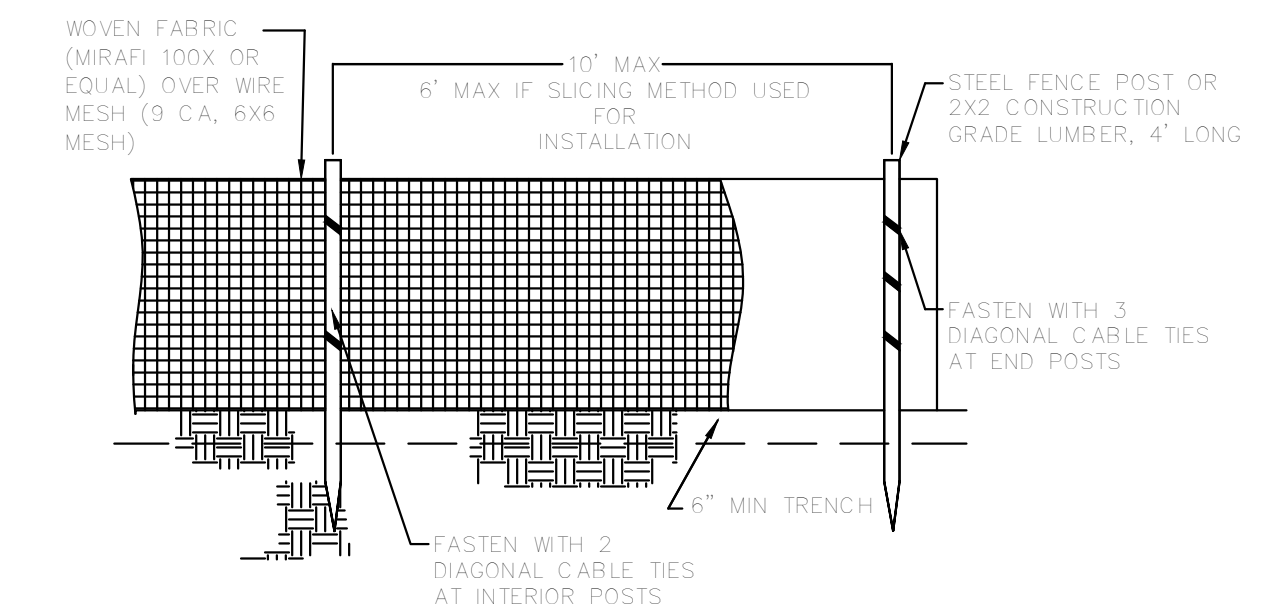
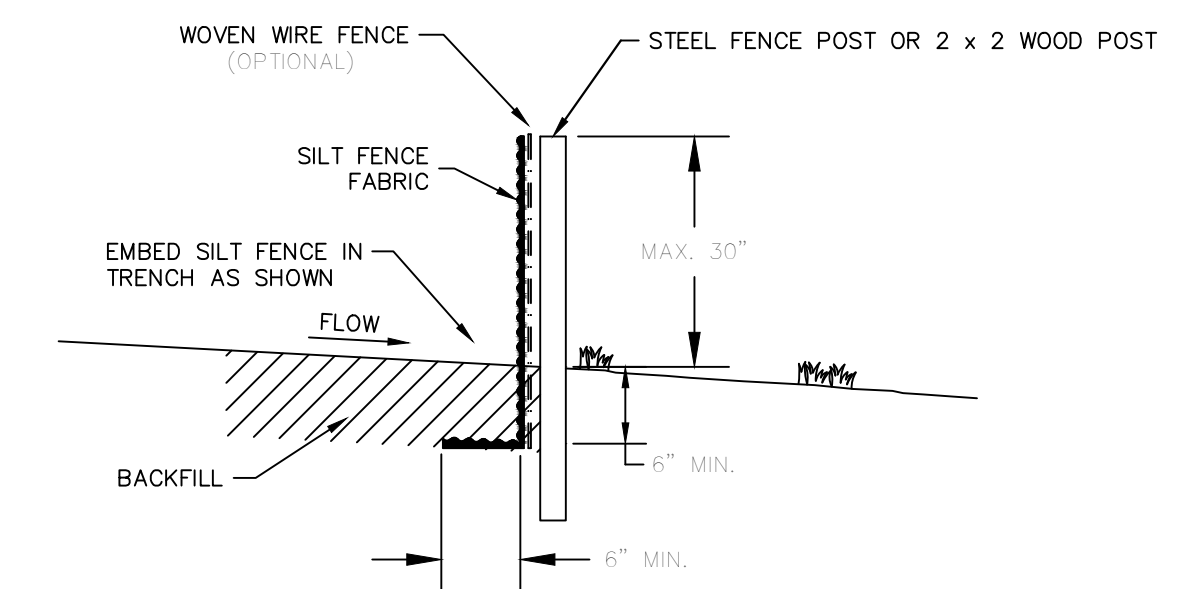
PROFILE

NOTES:

1. NUMBER OF BAGS AND ARRANGEMENT MAY VARY WITH ON SITE CONDITIONS

DITCH CHECKS (STONE & SAND BAG)

NOT TO SCALE



NOTES:

1. PLACE SILT FENCE AT DOWNSLOPE LIMIT OF AREA TO BE GRADED.
2. SILT FENCE SHALL BE PLACED ALONG A LEVEL CONTOUR.
3. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POSTS.
5. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES 50% CAPACITY.
8. AT EACH END OF SILT FENCE, TURN FENCE UPSLOPE AND EXTEND UNTIL GROUND SURFACE RISES 18 INCHES.

SILT FENCE

NOT TO SCALE

EDGEMONT PARK PHASE II

EROSION CONTROL DETAILS

MARK MORRIS P.E.
6011 SOUTHWEST DRIVE
JONESBORO, AR 72404
PH: 1-870-919-7700
MARK@MARKMORRISHOMES.COM



REVISIONS		
DATE	BY	DESCRIPTION

DRAWING INFO.

DRAWN BY:	GMD
DATE:	
SCALE:	1"=7'

SHEET NUMBER:
DT-1



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: CU-22-02

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Conditional Use

CONDITIONAL USE: 3411 & 3413 E. Johnson Ave.

Sharada Madhuri on behalf of Quinn Family Limited is requesting Conditional Use approval to develop property located at 3411 & 3413 E. Johnson Ave. into a fast food restaurant (with drive-through) and a retail space. The property is currently zoned C-4, Neighborhood Commercial District, and requires Conditional Use approval.



CITY OF JONESBORO
CONDITIONAL USE APPLICATION

Case Number CV 22-02 MAPC Deadline 8/31/2022
Date Submitted 8/31/2022 MAPC Meeting Date 9/27/2022

OWNER/APPLICANT INFORMATION

Property Owner Quinn Family Limited Applicant SHARADA MADHURI
Address 4550 Mt. CARMEL Rd Address 42 CR 7012 BROOKLAND
Phone _____ Phone 267-875-8596
Signature _____ Signature A. Sharada-madhuri

PARCEL INFORMATION

Address/Location 3411 and 3413 East JOHNSON AVE. JONESBORO, AR 72401
Current Zoning C-4 Existing Land Use VACANT
Adjacent Zoning North C-3 East R-1 South R-1 West C-3

REQUESTED CONDITIONAL USE

Describe the proposed use, explain why it is appropriate for this location, and describe any precautions to be taken to minimize adverse impacts on neighboring properties.

Property is Zoned C-4. Applicant would like to develop into retail and restaurant - fast food. Conditional Use Permit is required with drive-thru

GENERAL SUBMITTAL INFORMATION

- Submit a narrative letter explaining your request along with ten (10) copies of an accurate site plan drawn at a scale that clearly illustrates the requested use, the subject property, and surrounding properties, streets and easements, etc.
- Provide confirmation receipts to our office that adjoining owners of all properties within 200' of subject property have been notified.
- Pay fee according to fee schedule.



**CITY OF JONESBORO
CONDITIONAL USE APPLICATION**

Case Number CV 22-02 MAPC Deadline 8/31/2022
Date Submitted 8/31/2022 MAPC Meeting Date 9/27/2022

OWNER/APPLICANT INFORMATION

Property Owner Quinn Family Limited Applicant SHARADA MADHURI
Address 4506 Mt. CARMEL RD Address 42 CE 7012 BROOKLAND
Phone _____ Phone _____
Signature _____ Signature _____

PARCEL INFORMATION

Address/Location 3411 AND 3413 EAST JOHNSON AVE. JONESBORO, AR 72401
Current Zoning C-4 Existing Land Use VACANT
Adjacent Zoning North C-3 East R-1 South R-1 West C-3

REQUESTED CONDITIONAL USE

Describe the proposed use, explain why it is appropriate for this location, and describe any precautions to be taken to minimize adverse impacts on neighboring properties.

Property is Zoned C-4. Applicant would like to develop into retail and restaurant- fast food. Conditional Use Permit is Required

GENERAL SUBMITTAL INFORMATION

- Submit a narrative letter explaining your request along with ten (10) copies of an accurate site plan drawn at a scale that clearly illustrates the requested use, the subject property, and surrounding properties, streets and easements, etc.
- Provide confirmation receipts to our office that adjoining owners of all properties within 200' of subject property have been notified.
- Pay fee according to fee schedule.

7021 0950 0001 9208 7474

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee \$4.00
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
Total Postage and Fees \$7.85

Postmark Here
 09/13/2022

Sent To
 Street and Apt. # THE VINEYARD DEVELOPMENT GROUP LLC
 PO BOX 17250
 City, State, ZIP+4 JONESBORO AR 72403

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 0950 0001 9208 7498

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee \$4.00
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
Total Postage and Fees \$7.85

Postmark Here
 09/13/2022

Sent To
 Street and Apt. # STADLER LINDA ETAL
 5300 PACIFIC RD
 City, State, ZIP+4 JONESBORO AR 72401

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 2450 0001 3519 4993

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OFFICIAL USE

Certified Mail Fee \$4.00
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
Total Postage and Fees \$7.85

Postmark Here
 09/13/2022

Sent To
 Street and Apt. # MCINTOSH SHANE AND MAGAN
 3514 ODEN ST
 City, State, ZIP+4 JONESBORO AR 72405-8622

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 0950 0001 9208 7481

U.S. Postal Service™
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OFFICIAL USE

Certified Mail Fee \$4.00
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
Total Postage and Fees \$7.85

Postmark Here
 09/13/2022

Sent To
 Street and Apt. # CENTENNIAL BANK
 PO BOX 7514
 City, State, ZIP+4 JONESBORO AR 72403-7514

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 0950 0001 9208 7504

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee \$4.00
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
Total Postage and Fees \$7.85

Postmark Here
 09/13/2022

Sent To
 Street and Apt. # WHEATON RANDAL H & SONIA
 1211 DESPAIN CV
 City, State, ZIP+4 JONESBORO AR 72405-8603

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 2450 0001 3519 5006

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OFFICIAL USE

Certified Mail Fee \$4.00
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
Total Postage and Fees \$7.85

Postmark Here
 09/13/2022

Sent To
 Street and Apt. # FOCUS BANK
 406 SOUTHWEST DR
 City, State, ZIP+4 JONESBORO AR 72401

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 2450 0001 351A 4986

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CERTIFIED MAIL® RECEIPT
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Jonesboro AR 72401
OFFICIAL USE

Certified Mail Fee	\$4.00
\$	47.25
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$3.75
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	
\$	\$0.60
Total Postage and Fees	
\$	\$7.85

0408
18
Postmark Here
09/13/2022

Sent To
Street and Apt. No. RODGERS ELRENA
1200 JEWELL
City, State, ZIP+4 JONESBORO AR 72401

7020 2450 0002 0249 4989

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For delivery information, visit our website at www.usps.com®.

Jonesboro AR 72401
OFFICIAL USE

Certified Mail Fee	\$4.00
\$	97.25
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$3.75
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	
\$	\$0.60
Total Postage and Fees	
\$	\$7.85

0408
18
Postmark Here
09/13/2022

Sent To
Street and Apt. No. MERRITT ALTON DEWAYNE
1201 DESPAIN CV
City, State, ZIP+4 JONESBORO AR 72405

*City of Jonesboro Metropolitan Area Planning Commission
Staff Report – CU 22-02, 3411 & 3413 E Johnson Ave
300 S. Church Street/Municipal Center
For Consideration by Planning Commission on September 27, 2022*

REQUEST: Applicant proposes a Conditional Use to allow for a retail space and fast food establishment with drive through in a C-4 Neighborhood Commercial District.

APPLICANT OWNER: Sharada Madhuri, 42 CR 7612 Brookland
Quinn Family Limited, 4506 Mt. Carmel Rd

LOCATION: 3411 & 3413 E. Johnson Ave.

SITE DESCRIPTION: Tract Size: 1.35 +/- Acres
Frontage: Approx. 250' along E. Johnson Ave.
Topography: Flat Lot.
Existing Development: Vacant

SURROUNDING CONDITIONS:	<u>ZONE</u>	<u>LAND USE</u>
North:	C-3	Commercial
South:	R-1	Residential
East:	R-1/C-4	Residential/Commercial
West:	C-3	Commercial

HISTORY: Residential Use

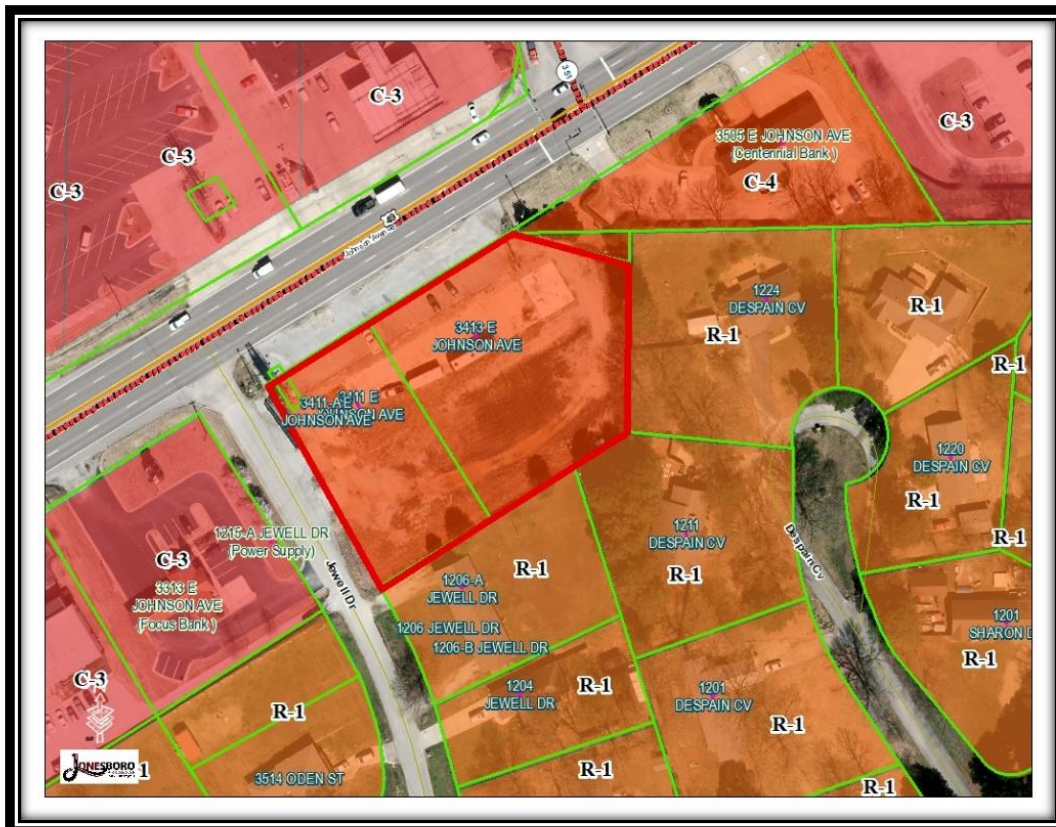
Zoning Code Analysis:

In carrying out the purpose of this section, the following development standards and design specifics shall be subject to review and approval. The appropriateness of these standards shall be determined for each specific **conditional use** location.

- (1) The proposed use is within the provision of conditional uses as set out in this chapter.
- (2) The proposed use conforms to all applicable provisions herein set out for the district in which it is to be located.
- (3) The proposed use is so designated, located and proposed to be operated that the public health, safety and welfare will be protected.
- (4) The proposed land use is compatible with and will not adversely affect other property in the area where it is proposed to be located.
- (5) The size and shape of the site, including the size, shape and arrangement of proposed structures, as well as signage related thereto, is in keeping with the intent of this chapter.
- (6) The proposed ingress and egress, internal circulation system, location and amount of off-street parking, loading and pedestrian-ways are sufficiently adequate, and not inconsistent with requirements of this chapter.
- (7) The proposed landscaping and screening of the proposed use are in accordance with provisions of this chapter.
- (8) Safeguards proposed to limit noxious or offensive emissions, including lighting, noise, glare, dust and odor, are addressed. (Zoning Ord., § 14.24.02)



Aerial View



Zoning Map

Applicant’s Proposal:

The applicant would like to open a retail space and a fast food restaurant with a drive through at the subject location. The proposed use must be approved under the Conditional Use process under the functions of the MAPC.

Restaurant, fast-food, means an establishment where the principal business is the sale of food and nonalcoholic beverages in a ready-to-consume state and where the design or principal method of operation is that of a fast-food or drive-in-style restaurant offering quick food service, where orders are generally not taken at the customers table, where food is generally served in disposable wrapping or containers and where food and beverages may be served directly to the customer in an automobile.

Retail/service means the sale or rental of commonly used goods and merchandise for personal or household use or the provision of services to consumers, excluding those retail and service uses classified more specifically herein. Typical uses include grocery stores, department stores, furniture stores, clothing stores and establishments providing the following products or services: household electronic equipment, sporting goods, bicycles, office supplies, home furnishings, electronics repair, shoe repair, household appliances, wallpaper, carpeting and floor covering, art supplies, kitchen utensils, jewelry, drugs, laundromat, dry cleaners, cosmetics, books, antiques, or automotive parts and accessories.

Conclusion:

The Planning Staff has reviewed the request and feel that all issues regarding impacts on the surrounding area have been considered. Staff recommends approval to Planning Commission for retail space and fast food restaurant located within the C-4 Neighborhood Commercial District with the following stipulations:

1. That upon issuance of the Conditional Use Approval, all other permits and licenses required locally and statewide be applied for and obtained by the applicant.
2. This lot is included in the Overlay District and will be required to follow all Overlay Distrust guidelines.

Respectfully Submitted for Commission Consideration,
The Planning Department

Sample Motion:

I move that we place Case: CU-22-02 on the floor for consideration of recommended approval by the MAPC with the noted conditions, and we, the MAPC find that the proposed conditional use will be compatible and suitable within the zoning, uses, and character of the surrounding area, subject to the Final Permit review and approval by the Planning, Engineering and Inspection Departments in the future.



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: RZ-22-13

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Metropolitan Area Planning Commission

File Type: Rezoning

REZONING: Thompson Drive & Southwest Drive

Jeremy Moore is requesting a Rezoning from R-1, Single-Family Medium Density District, to RM-16, Residential Multifamily 16 units per net acre. This Rezoning is for 4.41 +/- acres (2 tracts) located at Thompson Dr. and Southwest Dr.



Application for a Zoning Ordinance Map Amendment

METROPOLITAN AREA
PLANNING COMMISSION
Jonesboro, Arkansas

Meeting Date: 9/27/22 Date Received: _____
Meeting Deadline: _____ Case Number: RZ 22-13

LOCATION:

Site Address: Thompson Drive (to be replatted w/ 5102 Southwest Dr.)

Side of Street: _____ between Southwest Drive and Valley View Drive

Quarter: _____ Section: 02 Township: 13 Range: 03

Attach a survey plat and legal description of the property proposed for rezoning. A Registered Land Surveyor must prepare this plat.

SITE INFORMATION:

Existing Zoning: R1 Proposed Zoning: RM16

Size of site (square feet and acres): 192,000 / 4.41 Street frontage (feet): 130

Existing Use of the Site: woods / vacant land

Character and adequacy of adjoining streets: woods / vacant land / residential housing

Does public water serve the site? yes

If not, how would water service be provided? _____

Does public sanitary sewer serve the site? yes

If not, how would sewer service be provided? _____

Use of adjoining properties:

North vacant lot

South woods

East W school

West vacant lot

Physical characteristics of the site: The site consists of vacant land / trees

Characteristics of the neighborhood:

The adjoining property is zoned RM16 w/ the remaining property nearby being vacant land / field and woods. A natural barrier from a gas line easement sits between it and W schools.

Applications will not be considered complete until all items have been supplied. Incomplete applications will not be placed on the Metropolitan Area Planning Commission agenda and will be returned to the applicant. The deadline for submittal of an application is on the public meeting schedule. The Planning staff must determine that the application is complete and adequate before it will be placed on the MAPC agenda.

REZONING INFORMATION:

The applicant is responsible for explaining and justifying the proposed rezoning. *Please prepare an attachment to this application answering each of the following questions in detail:*

- (1). How was the property zoned when the current owner purchased it?
- (2). What is the purpose of the proposed rezoning? Why is the rezoning necessary?
- (3). If rezoned, how would the property be developed and used?
- (4). What would be the density or intensity of development (e.g. number of residential units; square footage of commercial, institutional, or industrial buildings)?
- (5). Is the proposed rezoning consistent with the *Jonesboro Comprehensive Plan* and the *Future Land Use Plan*?
- (6). How would the proposed rezoning be the public interest and benefit the community?
- (7). How would the proposed rezoning be compatible with the zoning, uses, and character of the surrounding area?
- (8). Are there substantial reasons why the property cannot be used in accordance with existing zoning?
- (9). How would the proposed rezoning affect nearby property including impact on property value, traffic, drainage, visual appearance, odor, noise, light, vibration, hours of use or operation and any restriction to the normal and customary use of the affected property.
- (10). How long has the property remained vacant?
- (11). What impact would the proposed rezoning and resulting development have on utilities, streets, drainage, parks, open space, fire, police, and emergency medical services?
- (12). If the rezoning is approved, when would development or redevelopment begin?
- (13). How do neighbors feel about the proposed rezoning? Please attach minutes of the neighborhood meeting held to discuss the proposed rezoning or notes from individual discussions. *If the proposal has not been discussed with neighbors, please attach a statement explaining the reason. Failure to consult with neighbors may result in delay in hearing the application.*
- (14). If this application is for a Limited Use Overlay (LUO), the applicant must specify all uses desired to be permitted.

OWNERSHIP INFORMATION:

All parties to this application understand that the burden of proof in justifying and demonstrating the need for the proposed rezoning rests with the applicant named below.

Owner of Record:

I certify that I am the owner of the property that is the subject of this rezoning application and that I represent all owners, including spouses, of the property to be rezoned. I further certify that all information in this application is true and correct to the best of my knowledge.

Name: Jeremy Moore
 Address: 2013 Jamestown Drive
 City, State: Jonesboro, AR ZIP 72404
 Telephone: 870-919-3369
 Facsimile: _____
 Signature: [Signature]

Applicant:

If you are not the Owner of Record, please describe your relationship to the rezoning proposal:

Name: _____
 Address: _____
 City, State: _____ ZIP _____
 Telephone: _____
 Facsimile: _____
 Signature: _____

Deed: *Please attach a copy of the deed for the subject property.*

Applications will not be considered complete until all items have been supplied. Incomplete applications will not be placed on the Metropolitan Area Planning Commission agenda and will be returned to the applicant. The deadline for submittal of an application is on the public meeting schedule. The Planning staff must determine that the application is complete and adequate before it will be placed on the MAPC agenda.

REZONING INFORMATION:

- 1) The property was R1 when purchased
- 2) The purpose of rezoning is to match the RM16 designation of the adjoining property in order to expand the development.
- 3) The property would be developed and used as a gated, retirement style community consisting of townhomes/brownstones/apartments as well as a community center, manager's office, swimming pool, dog park, community garden and walking trail.
- 4) The density/intensity of the development would be RM16 to match the adjoining property but would be limited to
- 5) Yes
- 6) There is a lack of senior housing in Jonesboro and this would fit that need
- 7) The rezoning would match the adjoining property which would then be platted into one lot
- 8) Yes. It doesn't fit the scope of work as it currently sits
- 9) There would be no negative impact to the surrounding property owners. Trees and buffers would be left to lower noise and light level. Ingress/Egress off of Southwest Drive and Thompson would help eliminate traffic concerns. The planned senior living development would also lower the hours of use, noise, vibrations and odor. An onsite property manager will also be present to address any issues and to maintain a clean visual appearance.
- 10) N/A. Since dinosaurs roamed the ridge
- 11) There would be no significant impact on utilities, streets, drainage, parks open space or first responders.
- 12) January 2023
- 13) The only adjoining neighbor is the owner who sold us this piece of property. He is behind us 100% and feels like it will make a great addition to the area.
- 14) N/A

PAK MAIL 0487
361 Southwest Dr
JONESBORO, AR 72401
870-931-5151 Store: 487

Shipment

USPS First Class Mail

Ship To:

OLLIE HALL

5110 SOUTHWEST DR

JONESBORO, AR 72404-8982

Package ID: 395592 12.90

Tracking #: 9414711108036456839596

Actual Wt: 0.05 lbs

Rating Wt: 0.06 lbs

Certified [\$6.70]

Return Receipt [\$5.45]

9590940275072098571559

Shipment

USPS First Class Mail

Ship To:

CLAUD SMITH

5002 SOUTHWEST DR

JONESBORO, AR 72404-8935

Package ID: 395594 12.90

Tracking #: 9414711108036456833174

Actual Wt: 0.05 lbs

Rating Wt: 0.06 lbs

Certified [\$6.70]

Return Receipt [\$5.45]

9590940275072098571573

~~**VOID**Shipment~~

~~USPS First Class Mail~~

~~Ship To:~~

~~GLE PROPERTIES~~

DAVIDS

3000 BROWNS LN
JONESBORO, AR 72401-7224

Package 0.00
Actual Wt: 0.05 lbs
Rating Wt: 0.06 lbs

Shipment
USPS First Class Mail

Ship To:
GLE PROPERTIES
3000 BROWNS LN
JONESBORO, AR 72401-7224

Package ID: 395596 12.90
Tracking #: 9414711108036456834072
Actual Wt: 0.05 lbs
Rating Wt: 0.06 lbs
Certified [\$6.70]
Return Receipt [\$5.45]
9590940275072098571566

SUBTOTAL 38.70
TAX 0.00
TOTAL 38.70
TEND Cash 40.00
CHANGE 1.30

Total shipments: 4
JAMES BEST
#159055 09/06/2022 02:58 PM
Workstation: 25 - Aux 2

Signature _____

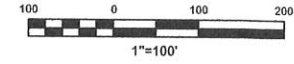
Thank you for your business.

TRACK YOUR PACKAGE AT:
WESHIPJONESBORO.COM

**A PART OF THE WEST ONE-HALF OF THE SE 1/4 OF
SECTION 2, TOWNSHIP 13 NORTH RANGE 3 EAST
JONESBORO, CRAIGHEAD COUNTY, ARKANSAS**

PREPARED FOR: PRESTIGE STATEWIDE LLC

BASIS OF BEARINGS:
ARKANSAS STATE PLANE COORDINATE
SYSTEM NORTH ZONE (301)
LAT. 35°46'55.69935", LONG. -90°44'24.78516"
COMB. SCALE FACTOR: 1.0005812416077
CONVERGENCE ANGLE: N 00°43'59" W



A PART OF THE WEST ONE-HALF OF THE SE 1/4 OF
SECTION 2, TOWNSHIP 13 NORTH RANGE 3 EAST
JONESBORO, CRAIGHEAD COUNTY, ARKANSAS
PREPARED FOR: PRESTIGE STATEWIDE LLC



DANIELS LAND SURVEYING, PLLC
ARKANSAS COA 3067



MICHAEL A. DANIELS
ARKANSAS PROFESSIONAL
SURVEYOR 1563

PLAT OF SURVEY

REVISIONS		
#	DATE	NOTES

FIELD BOOK	XXX	SHEET	1 OF 1
DRAWN BY	MAD	CHECKED BY	
DATE	08/19/2022	SCALE	1"=100'
PROJECT NO.	003-013	FILE NO.	T13R03S02

STATE SURVEYOR CODE
500-XXN-XXE-0-XX-XXX-XX-1563

© 2022 DANIELS LAND SURVEYING, PLLC

SURVEYOR'S NOTES:

- Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than those shown on this plat; restrictive covenants; subdivision restrictions; zoning or other land use regulations, and any other facts which an accurate and current title search may disclose.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts which an accurate and current title search may disclose.
- Plat represents a boundary survey of a parcel described in XXXX County Deed Records at Book XXX, Page XXX.
- Survey is valid only if print has original seal and signature of surveyor present.
- Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners.
- The locations of underground utilities as shown hereon are based on above ground and visible structures. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures.
- This survey meets current "Arkansas Minimum Standards for Property Surveys and Plats." Field work for this survey was completed on XXX/XXX/XXXX.
- Every document of record reviewed and considered as a part of this survey is noted hereon. No abstract of title, nor title commitment, nor results of title searches were furnished to the surveyor. There may exist other documents of record which would affect this parcel.
- All buildings, surface and subsurface improvements on and adjacent to the site are not necessarily shown.
- The location and/or existence of utility service lines to the property surveyed are unknown and are not shown.
- No attempt has been made as a part of this boundary survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies or other surveys.

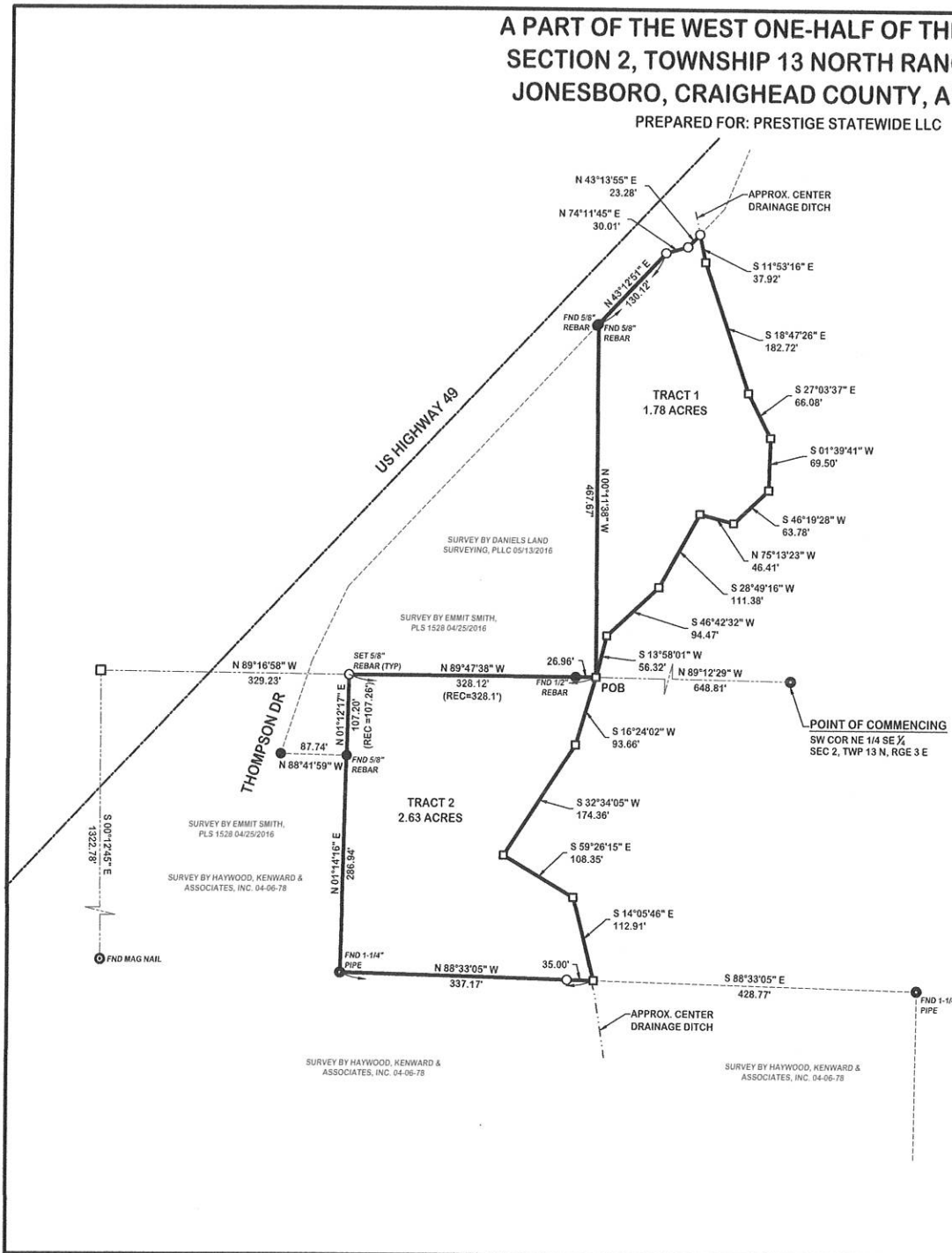
SURVEY DESCRIPTION

TRACT 1: A part of the Northwest Quarter of the Southeast Quarter of Section 2, Township 13 North, Range 3 East, Craighead County, Arkansas and being more particularly described as follows:

COMMENCING at a Southwest corner of the Northeast Quarter of the Southeast Quarter of said Section 2; Thence North 89 Degrees 12 minutes 29 seconds West, a distance of 648.81 feet to the POINT OF BEGINNING; Thence North 00 Degrees 11 minutes 38 seconds West, a distance of 467.67 feet to the Eastern right of way of US Highway 412; Thence along said right of way the following courses and distances: North 43 Degrees 12 minutes 51 seconds East, a distance of 130.12 feet; North 74 Degrees 11 minutes 45 seconds East, a distance of 30.01 feet; North 43 Degrees 13 minutes 55 seconds East, a distance of 23.28 feet to a point in the approximate centerline of a ditch; Thence leaving said right of way and with the meanders of said approximate centerline, the following courses and distances: South 11 Degrees 59 minutes 16 seconds East, a distance of 37.92 feet; South 18 Degrees 47 minutes 26 seconds East, a distance of 182.72 feet; South 27 Degrees 03 minutes 37 seconds East, a distance of 66.08 feet; South 01 Degrees 39 minutes 41 seconds West, a distance of 69.50 feet; South 46 Degrees 19 minutes 28 seconds West, a distance of 63.78 feet; North 75 Degrees 13 minutes 23 seconds West, a distance of 46.41 feet; South 28 Degrees 49 minutes 16 seconds West, a distance of 111.38 feet; South 46 Degrees 42 minutes 32 seconds West, a distance of 94.47 feet; South 13 Degrees 58 minutes 01 seconds West, a distance of 56.32 feet to the POINT OF BEGINNING, containing 1.78 acres more or less and being subject to all rights of way and easements of record.

TRACT 2: A part of the Southwest Quarter of the Southeast Quarter of Section 2, Township 13 North, Range 3 East, Craighead County, Arkansas and being more particularly described as follows:

COMMENCING at a Southwest corner of the Northeast Quarter of the Southeast Quarter of said Section 2; Thence North 89 Degrees 12 minutes 29 seconds West, a distance of 648.81 feet to the POINT OF BEGINNING, said point in the approximate centerline of a ditch; Thence with the meanders of said approximate centerline the following courses and distances: South 16 Degrees 24 minutes 02 seconds West, a distance of 93.66 feet; South 32 Degrees 34 minutes 05 seconds West, a distance of 174.36 feet; South 59 Degrees 26 minutes 15 seconds East, a distance of 108.35 feet; South 14 Degrees 05 minutes 46 seconds East, a distance of 112.91 feet; Thence North 88 Degrees 33 minutes 05 seconds West, leaving said approximate centerline, a distance of 337.17 feet; Thence North 01 Degrees 14 minutes 6 seconds East, a distance of 286.94 feet; Thence North 01 Degrees 12 minutes 17 seconds East, a distance of 107.20 feet; Thence South 89 Degrees 47 minutes 38 seconds East, a distance of 328.12 feet to the POINT OF BEGINNING, containing 2.63 acres more or less and being subject to all rights of way and easements of record.



Valley View School District
Office of the Superintendent
2131 Valley View Drive
Jonesboro, Ar. 72404

September 6, 2022

To Commission Members and Other Officials:

Mr. Jeremy Moore spoke with me in my capacity as superintendent of Valley View School District prior to the initial rezoning request of approximately 2.5 acres where Thompson Drive and Southwest Drive meet. As I understand the current status, the initial rezoning request was approved by the MAPC on August 9, 2022 and is on the agenda for the City Council meeting on September 6, 2022. I was contacted by Mr. Moore on August 31, 2022 to inform me that he and his business partner have bought an additional 4.5 acres adjoining the original 2.5-acre parcel. Mr. Moore informed me that a rezoning request is now being submitted for this additional 4.5-acre parcel to match the requested RM-16 zoning of the original 2.5-acre parcel.

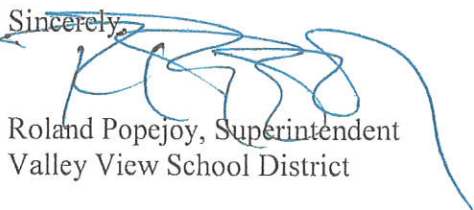
Based on the information provided by Mr. Moore, the additional 4.5 acres bounded by an existing ditch was purchased to enable the planned variety of townhomes, brownstones, and apartments to be spread out and still have room for a community center/manager's office, swimming pool, community garden, dog park, and walking trail in order to meet the different needs and desires of future residents. The additional space in the development will also allow the developers to include enclosed garages, carports, safe rooms, and handicap accessibility in units to align with requested amenities and the primary focus of the up-scale, gated residential development serving residents 55+ years of age.

This parcel of land is bounded by Valley View School district property to the south. Traffic on school days is always a concern that we must consider since Thompson Drive is an entrance and exit for parents at drop-off and pick-up times, and the larger acreage with more residents and traffic is something that must be accounted for in the plans for the development. Based on the initial application, Mr. Moore intends to have both ingress and egress from Southwest Drive as well as Thompson Drive, which we feel is paramount to address such traffic concerns. Drainage was also noted as a concern by our school board members at the July 14 board meeting, and Mr. Moore assured me that these such concerns would be addressed by the project engineer and architect. In my initial conversations with Mr. Moore, he stated that the existing tree buffer would be retained, and it is our district's hope that a tree buffer will continue to be in the revised plan with the expanded size of the development.

The Valley View School Board's next scheduled board meeting is tonight, September 6, 2022, and I plan to discuss the latest requested rezoning with board members. I am writing this letter to meet the established deadline for submission and will contact Mr. Moore with any additional concerns shared by the board when presented with this revised plan.

If you require additional information, please feel free to contact me at 870-935-6200.

Sincerely,



Roland Popejoy, Superintendent
Valley View School District



City of Jonesboro City Council
Staff Report RZ 22-13 Southwest Dr. & Thompson Dr.
Municipal Center - 300 S. Church St.
For Consideration by the MAPC September 27, 2022

- REQUEST:** To consider a rezoning of two tracts of land containing 4.41 +/- acres.
- PURPOSE:** A request to consider recommendation to Council for a rezoning from “R-1” Single-Family Medium Density District to “RM-16” Residential Multifamily; 16 units per net acre.
- OWNER** Jeremy Moore, 2013 Jamestown Drive, Jonesboro, AR 72404
- LOCATION:** **Thompson Drive and Southwest Drive, Jonesboro, AR 72401**
- SITE DESCRIPTION:** **Tract 1 Size:** Approx. 1.78 Acres
Tract 2 Size: Approx. 2.63 Acres
Street Frontage: 130.12 ft.
Topography: Flat
Existing Development: Vacant/Woods

SURROUNDING CONDITIONS:

ZONE	LAND USE
North	RM-16 Residential Multifamily
South	R-1 Single-Family Medium Density District
East	R-1 Single-Family Medium Density District
West	R-1 Single-Family Medium Density District

HISTORY: Land has been a vacant lot for 5+ years.

ZONING ANALYSIS:

City Planning Staff has reviewed the proposed Zone Change and offers the following findings:

COMPREHENSIVE PLAN LAND USE MAP:

The Current/Future Land Use Map recommends this location as High Intensity Growth Sector. A wider mix of land uses is appropriate in the **High Intensity Growth Sector**. From Multi-Family to fast food to Class A office space to outdoor display/highway oriented businesses like automotive dealerships, because they will be located in areas where sewer service is readily available and transportation facilities are equipped to handle the traffic. The proposed rezoning is consistent with the adopted Land Use Plan for the proposed zoning.

HIGH INTENSITY GROWTH SECTORS - RECOMMENDED USE TYPES INCLUDE:

- *Regional Shopping Centers*
- *Automotive Dealerships*
- *Outdoor Display Retail*
- *Fast Food Restaurants*
- *Multi-Family*
- *Service Stations*
- *Commercial and Office*
- *Call Centers*
- *Research and Development*
- *Medical*
- *Banks*
- *Big Box Commercial*
- *Hotel*

DENSITY: *Multi-Family 8 – 14 Dwelling Units Per Acre*

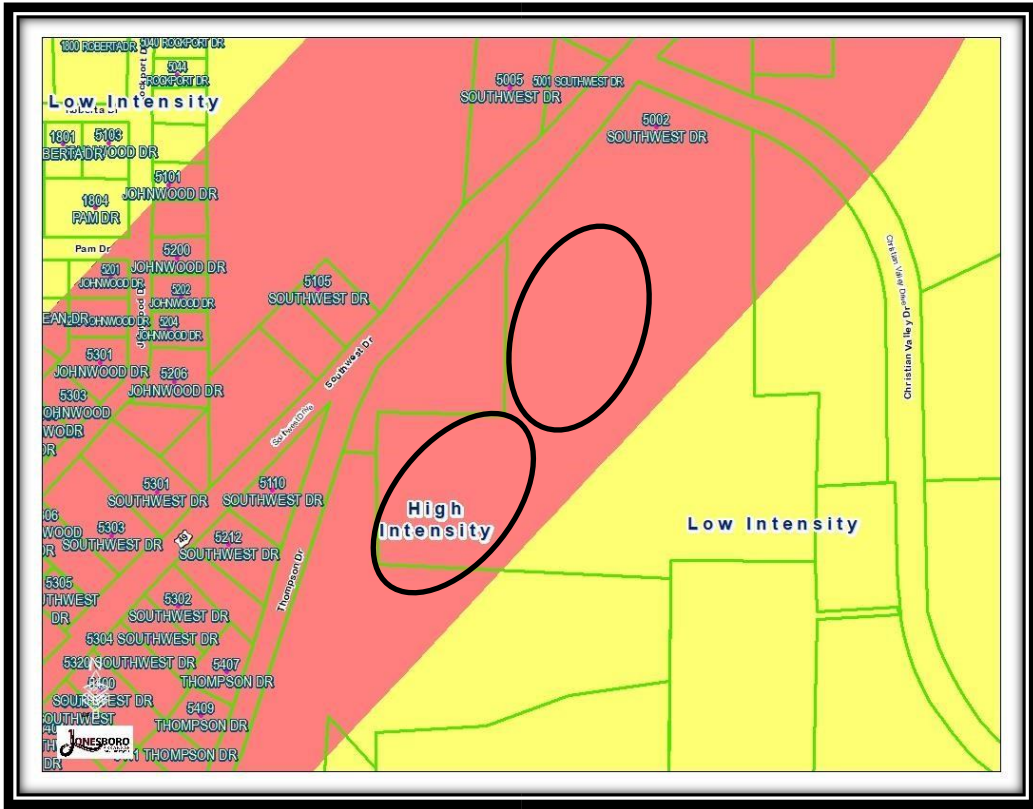
Multi-Family should only be allowed on collector and above streets that have been improved or scheduled to be improved in the next construction cycle of city projects unless the developer is willing to build the roads to Master Street Plan standards that serve the development.

HEIGHT: *150 Feet*

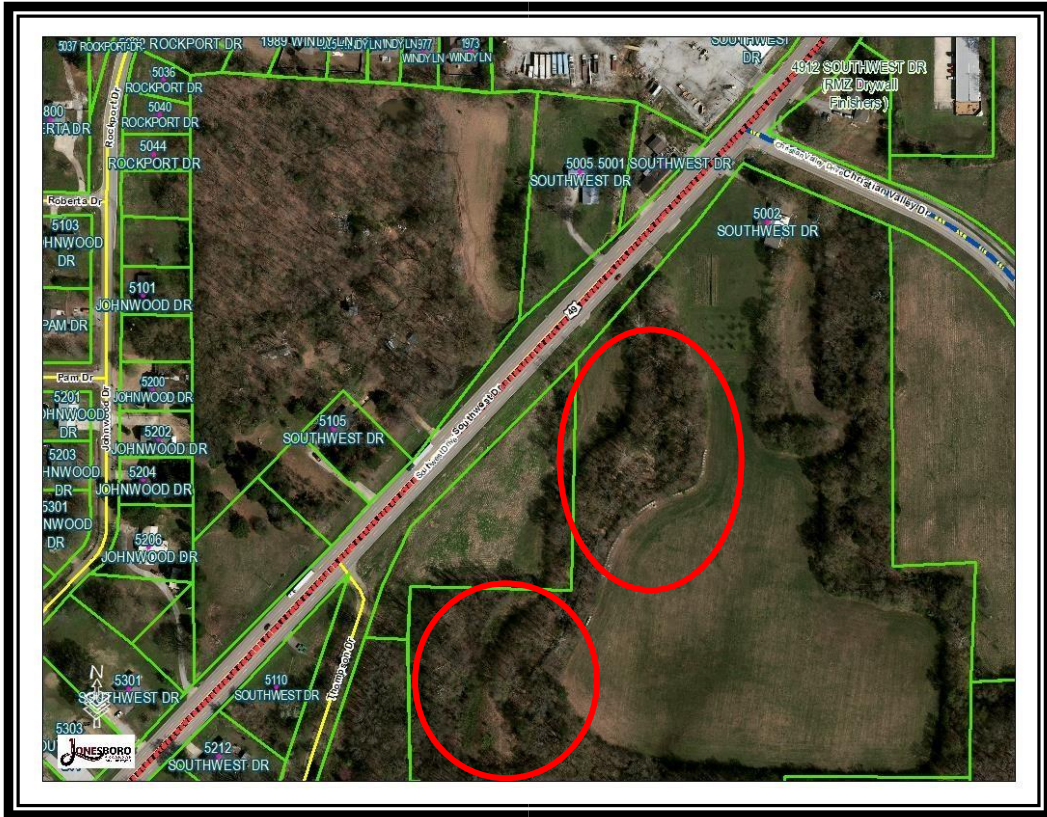
TRAFFIC: *This will be located along arterial streets with high traffic volume.*

EXAMPLES:





Land Use Plan



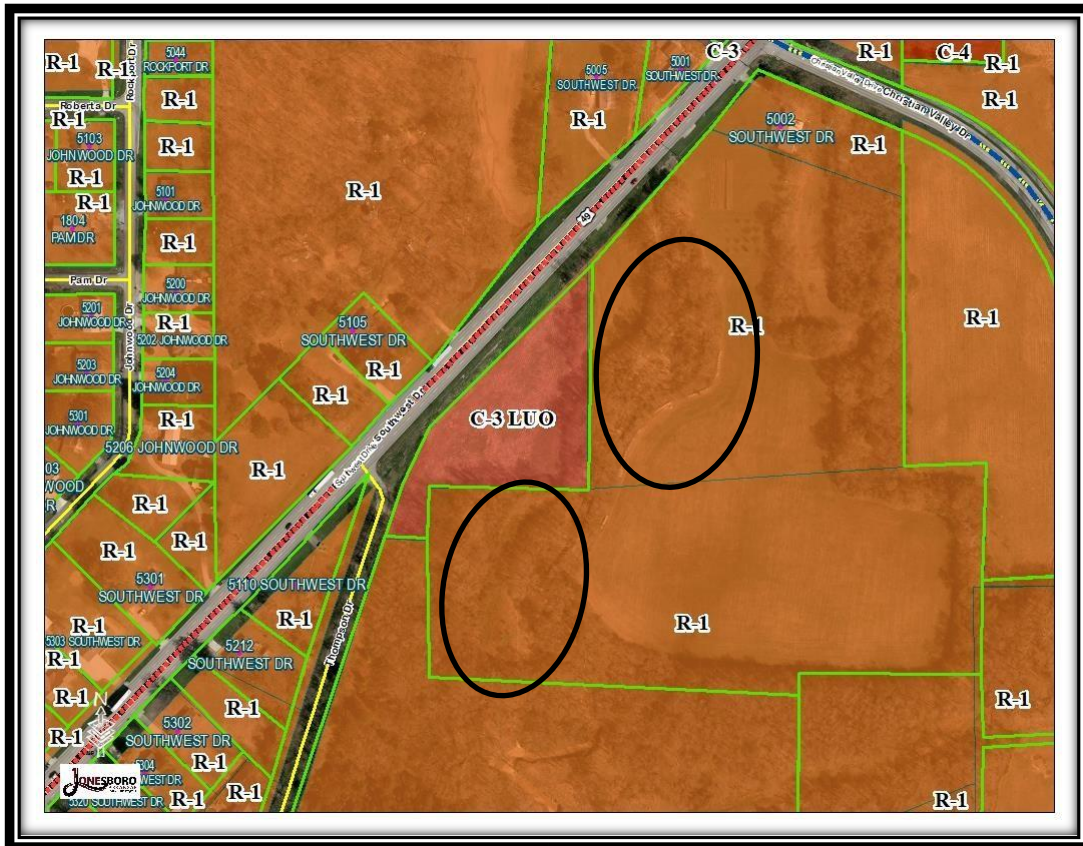
Master Street Plan

Master Street Plan/Transportation

The subject property will be served by Southwest Drive or Thompson Drive.

Southwest Drive is classified as a **Principal Arterial** on the Master Street Plan. The Principal Arterial's function is to provide both long distance connections through the urban area and to major traffic generators within the community. Roadways are designated principal arterials to imply the need to focus more on moving traffic rather than providing direct access to adjacent land. Traffic management techniques used to maintain a high level of traffic capacity on these roadways include the use of medians, restricting curb cuts per some spacing policy, and limiting the use of traffic signals to the intersection with other significant roadways.







Thompson Drive is classified as a **Local Street** on the Master Street Plan. Local Streets serve the lowest traffic volumes. Low traffic volumes combined with slow travel speeds help to create a good residential setting. New developments should be reviewed to avoid creating cut-through streets that become commuter routes that generally lower quality of life for residents. The Local Street function is to provide access to adjacent property. The movement of traffic is a secondary purpose. The use of a Local Street in a residential area by heavy trucks and buses should be minimized.



Zoning Map

Approval Criteria- Chapter 117 - Amendments:

The criteria for approval of a rezoning are set out below. Not all of the criteria must be given equal consideration by the MAPC or City Council in reaching a decision. The criteria to be considered shall include, but not be limited to the following list on the next page.

Criteria	Explanations and Findings	Comply Y/N
(a) Consistency of the proposal with the Comprehensive Plan/Land Use Map	The proposed district rezoning is consistent with the Adopted Land Use Plan, which was categorized as a High Intensity Growth Sector.	
(b) Consistency of the proposal with the purpose of Chapter 117-Zoning.	The proposal will achieve consistency with the purpose of Chapter 117, with compliance of all District standards.	
(c) Compatibility of the proposal with the zoning, uses and character of the surrounding area.	Compatibility is achieved with this rezoning considering the site is surrounded by Residential Zoning.	
(d) Suitability of the subject property for the uses to which it has been restricted without the proposed zoning map amendment;	The property could not be developed as multifamily under its current zoning, rezoning provides for more consistent facilities and would be an efficient method for developing the property.	
(e) Extent to which approval of the proposed rezoning will detrimentally affect nearby property including, but not limited to, any impact on property value, traffic, drainage, visual, odor, noise, light, vibration, hours of use/operation and any restriction to the normal and customary use of the affected property;	No detrimental or adverse impacts are predicted, if proper planning is implemented. Residential surrounds this property.	
(f) Impact of the proposed development on community facilities and services, including those related to utilities, streets, drainage, parks, open space, fire, police, and emergency medical services	Minimal impact if rezoned due to the fact that residential currently exist in this area.	

Staff Findings:

Applicant’s Purpose

The proposed area is currently classified as “R-1” Single-Family Medium Density District. The applicant wants to rezone the property to “RM-16” Residential Multifamily; 16 units per net acre. The owner anticipates to use this site as a 55+ multi-family development if rezoned successfully.

Rezoning this property is consistent with the *Jonesboro Comprehensive Plan* and the *Future Land Use Plan*.

Chapter 117 of the City Code of Ordinances/Zoning defines RM-16 Residential District as follows:

RM-16—Residential multifamily classification; 16 units per net acre, includes all forms of units, duplexes, triplexes, quads, and higher.

Departmental/Agency Reviews:

The following departments and agencies were contacted for review and comments. Note that this table will be updated at the hearing due to reporting information that will be updated in the coming days:

Department/Agency	Reports/ Comments	Status
Engineering	No issues were reported	
Streets/Sanitation	No issues were reported	
Police	No issues were reported	
Fire Department	No issues were reported	
MPO	No issues were reported	
Jets	No issues were reported	
Utility Companies	No issues were reported	CWL
Code Enforcement	No issues were reported	

Conclusion:

The Planning Department Staff finds that the requested Zone Change submitted for subject parcel, should be evaluated based on the above observations and criteria of Case RZ 22-13 a request to rezone property “R-1” Single-Family Medium Density District to “RM-16” Residential Multifamily; the following conditions are recommended:

1. That the proposed site shall satisfy all requirements of the City Engineer, all requirements of the current Stormwater Drainage Design Manual and Flood Plain Regulations regarding any new construction.
2. Any change of use shall be subject to Planning Department approval in the future.
3. A final site plan illustrating compliance with site requirements for parking, signage, landscaping, fencing, buffering, outdoor storage, dumpster enclosure, sidewalks, and all other ordinance requirements shall be submitted to the Planning Department prior to any redevelopment of this property.
4. The site shall comply with all Overlay District guidelines.

Respectfully Submitted for City Council Consideration,
The Planning and Zoning Department

Sample Motion:

I move that we place Case: RZ 22-13 on the floor for consideration of recommendation by MAPC to the City Council with the noted conditions, and we, the MAPC find that to rezone property from “R-1” Single-Family Medium Density District to “RM-16” Residential Multifamily will be compatible and suitable with the zoning, uses, and character of the surrounding area.



**REZONING REQUEST
PUBLIC HEARINGS
CITY OF JONESBORO
PLEASE FOLLOW THE ARROW
TO THE LOCATION OF
THE PROPERTY**

