

SON-TINA
C-3

JONESBORO ROOFING
C-3

C-3
LACY

BEARINGS ARE SPC
GRID AS PER AHTD
PLANS JOB 00059

FARMER
ENTERPRISES
C-3

R-1

HAL FEILD

R-1

173840.55 SQ. FT.
3.99 ACRES

R-1

C-3

HIGHWAY No. 63

C-3

LACY

C-3

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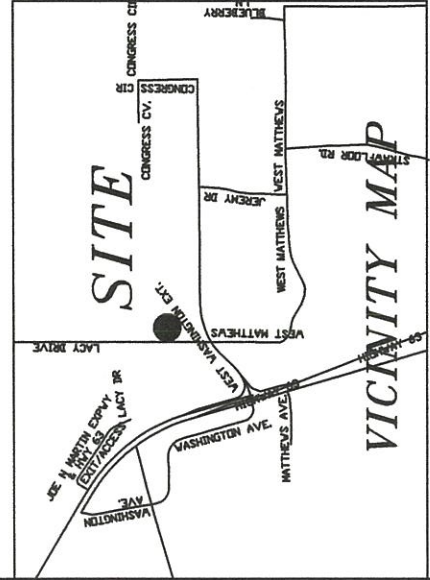
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SECTION 14
SECTION 23

15 14
22 23



LINE	BEARING	DISTANCE
L1	N 00°30'09" E	331.10'
L2	N 89°14'39" E	376.69'
L3	S 00°26'23" W	471.13'
L4	S 58°10'24" W	74.22'
L5	S 86°47'59" W	130.47'
L6	N 41°57'35" W	194.52'
L7	N 54°58'35" W	64.18'

DESCRIPTION:
A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16, 16.01 OF THE JONESBORO SUBDIVISION REGULATION AND PARTICULARLY DESCRIBED AS FOLLOWS:
Commencing at the Southwest Corner of said Section 14; thence North 00°30'09" East, 330.12 feet to the point of beginning proper; thence continue North 00°30'09" East, 331.10 feet; thence North 89°14'39" East, 376.69 feet; thence South 00°26'23" West, 471.13 feet; thence South 58°10'24" West, 74.22 feet; thence South 86°47'59" West, 130.47 feet; thence North 41°57'35" West, 194.52 feet; thence North 54°58'35" West, 64.18 feet; to the point of beginning proper, having an area of 173840.55 square feet, 3.99 acres more or less and being subject to all public and private roads and easements shown on the plat and being subject to the provisions of the Jonesboro Subdivision Regulation (R00059) as shown by plat, booklet "C" at page 153 in the office of Circuit Court Clerk and Ex-Officio Recorder Craighead County, Arkansas.



Henry Feild

SURVEYOR'S CERTIFICATION
THIS IS TO CERTIFY I HAVE ON THIS DATE SURVEYED THE ABOVE DESCRIBED PROPERTY IN ACCORDANCE WITH MONUMENTS FOUND AND THIS PLAT CONFORMS TO THAT SURVEYED.
H&S HIME PROFESSIONAL SURVEYING SERVICES
PMB #283, 2704 SO. CULBERHOUSE STE "L",
JONESBORO, ARKANSAS

OWNER CERTIFICATION:
WE HEREBY CERTIFY THAT WE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE ADOPT THE PLAN OF THE SUBDIVISION AND DEDICATED PERPETUAL USE OF ALL STREETS AND EASEMENTS AS NOTED AND WE FURTHER CERTIFY THAT WE HAVE READ AND ACKNOWLEDGED THE FOLLOWING STATEMENT:

THE SUBDIVIDER OR DEVELOPER MUST, BEFORE THE SALE OF ANY LOT OR LOTS, EITHER COMPLETE THE IMPLEMENTS DESIGNED IN SECTION 16.16.01 OF THE JONESBORO SUBDIVISION REGULATION AND RECORD THE SAME OR FURNISH THE METROPOLITAN AREA PLANNING COMMISSION EVIDENCE THAT AN APPROPRIATELY FUNDED ESCROW AGREEMENT IN THE AMOUNT OF CONTRACT COST OF STREET IMPROVEMENTS REQUIRED BY SECTION 16.16.01 THAT ARE NOT COMPLETED AT THE DATE OF SALE OF THE LOT OR LOTS FROM CLOSEST ADJACENT STREET TO AND INCLUDING ALL FRONT FEET OF SAID LOT OR LOTS.

H&S Hime Professional Surveying Services
PMB #283
2704 SO. CULBERHOUSE STE "L"
JONESBORO, ARKANSAS 72401

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FAX: 870 972 1011
E-MAIL: hshime_butch@yahoo.com

REZONING PLAT

drawn by:
HH

date:
3-17-2008

scale:
1"=200'

client:
HENRY FEILD IV

RZ-08-05