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March 16, 2004

Mr. Aubrey E. Scott  
City of Jonesboro  
515 W. Washington Avenue  
Jonesboro, AR 72401

**RE: The Forum  
Our File 04-0098**

On Thursday, February 19, I met with you and Keith Sanders, head of the building maintenance for the City of Jonesboro, to inspect the brick walls of the Forum Theater. Keith and I started on the roof looking at the parapets and the north wall of the stage area. The single-ply roof system was run up the wall and flashed under a metal cap that has been placed over the wall on the roof parapet and up the north wall of the stage, and flashed into the brick. This protects the parapet on the roof side very well (see photo #3). The north wall of the stage is in good condition and will need no repairs, with the exception of the chimney. The chimney has a considerable amount of loose and missing mortar in the area just above the roofline. This area needs repair or, if the chimney was not in use, you could remove it to below the gutter line and roof over the remaining hole, shingle the new roof area and extend the gutter continuous (see photos #1 and 2).

In the areas where the parapet steps, we were able to move the top but it took considerable force. I believe the parapet will be safe after some repair is done on the street side.

After coming down from the roof, we looked at the interior walls of the theater in the seating area. These walls had a thin plaster finish. The east wall appeared to be damp in a few areas and had a hollow sound when tapped in some areas. There was one small area where the plaster had fallen off and the surrounding area was loose. On the west wall, the plaster seemed sound and I did not find any damp spots.

If the inside of the exterior walls are ever re-done, the wall should probably be furred out to allow for an air space. If there is enough room, a foil-backed insulation should also be added. This will help prevent damage to the wall and prevent mold forming behind the wall.

After the inside, we started on the east wall outside (photos #4, 5 & 6). The upper part of the wall near the parapet was the worst. Photos 4 & 5 were taken high – with photo #6 being about mid-height. This wall needs major tuck-pointing. Most of the brick seems to be in adequate condition, but when the mason gets close he may need to replace a few.

Mr. Aubrey Scott, City of Jonesboro

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On the front or north wall (photos #7 & 8) the brick is a different type and the mortar seems to be different. The only repair needed on this wall will be caulking or tuck-pointing the stone joints, especially on the top where the mortar has cracked and come out.

The south or rear wall seems also to be in good condition and will require little work (see picture #9).

On the west wall, which is protected somewhat by a building across the alley, the wall will need some work at the top near the parapet and at a few other areas down the wall near the rain leaders where water has spilled down the wall.

I believe that the east, west, and south wall should be sealed to help prevent water penetration, which has caused most of the damage. This will also help protect the inside finish and allow repairs to be made to the plaster where needed. You should also try and seal, as best as possible, where the parking asphalt or alley concrete meets the brick because some of the interior building wall is below grade and this will help protect the interior surface.

If this were new brick, I could not recommend sealing, but since this brick is old and porous, I think sealing is necessary.

The north wall seems in good condition and probably can continue without sealing. I have enclosed spec sheets on three products, which might be used, but you probably need to get an opinion from some company that provides this service since there are so many products that claim to do the job.

Proposal "B", as submitted by Tom's Tuckpointing Co., seems reasonable. The south wall will require very little work, but should be sealed and the east and west definitely need work and also should be sealed. I have also enclosed some general information on the brick work for your information.

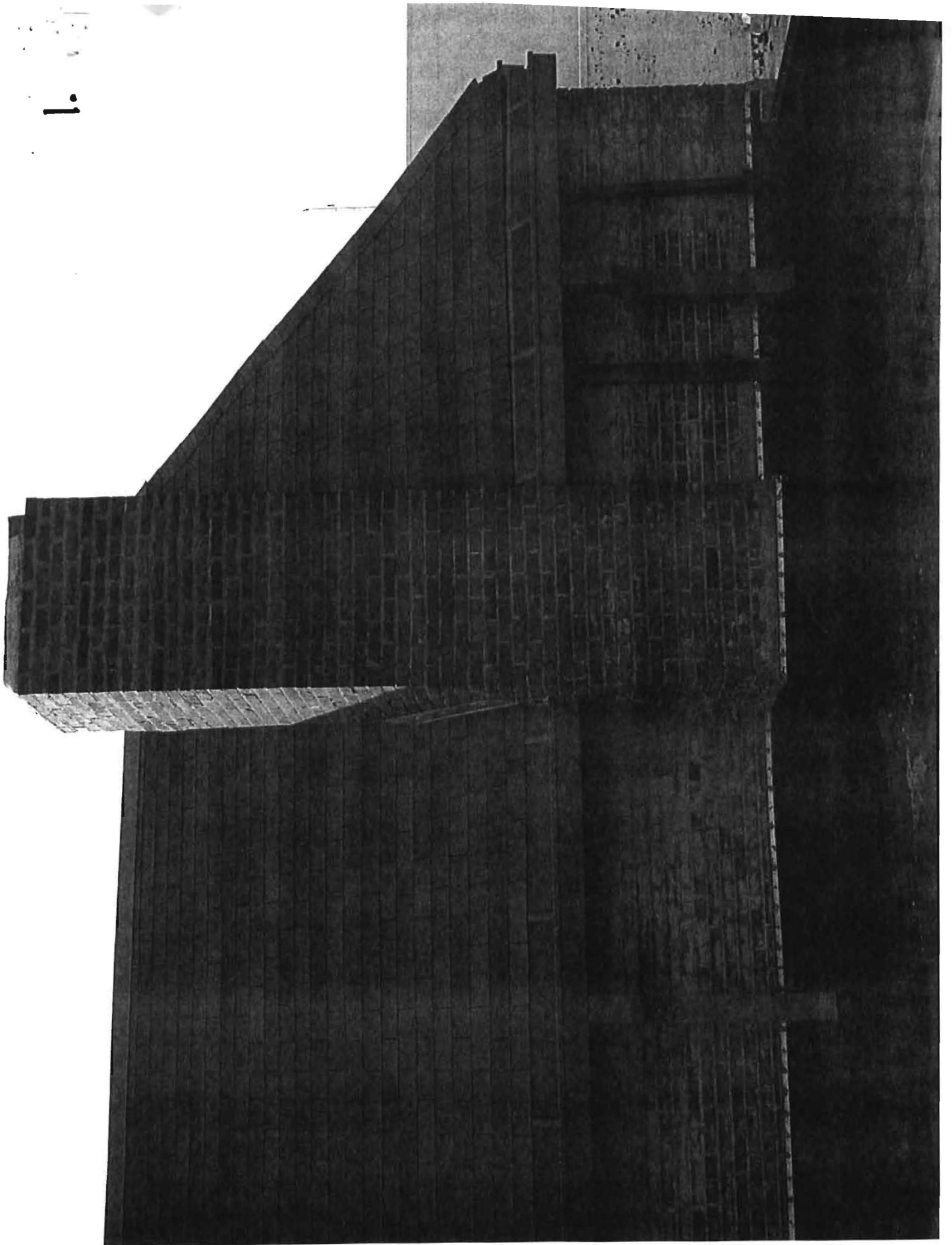
If I can be of further service, please call.

Sincerely,

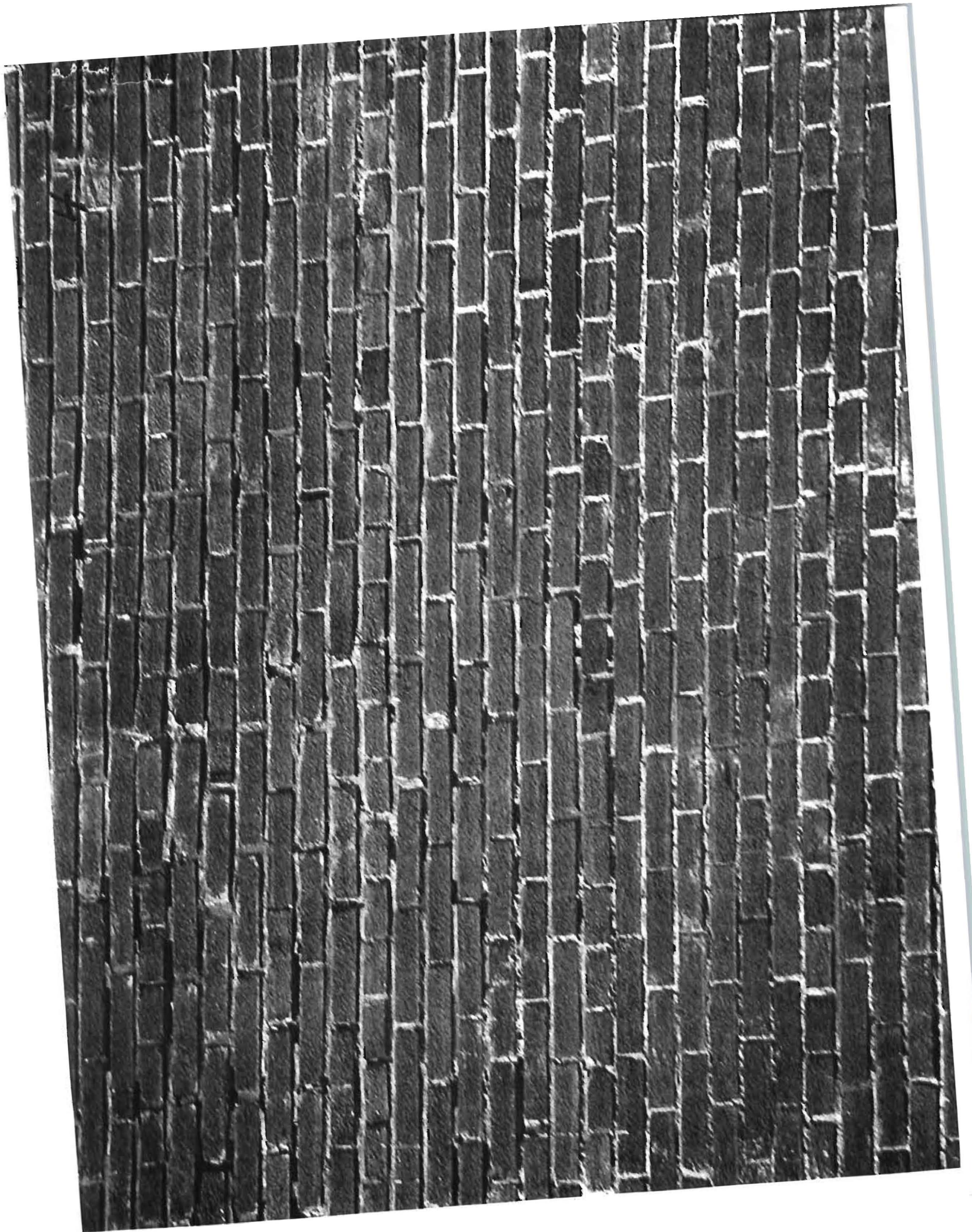
A handwritten signature in cursive script that reads "William T. Gavin". The signature is written in dark ink and is positioned above the printed name.

William T. Gavin, P.E.

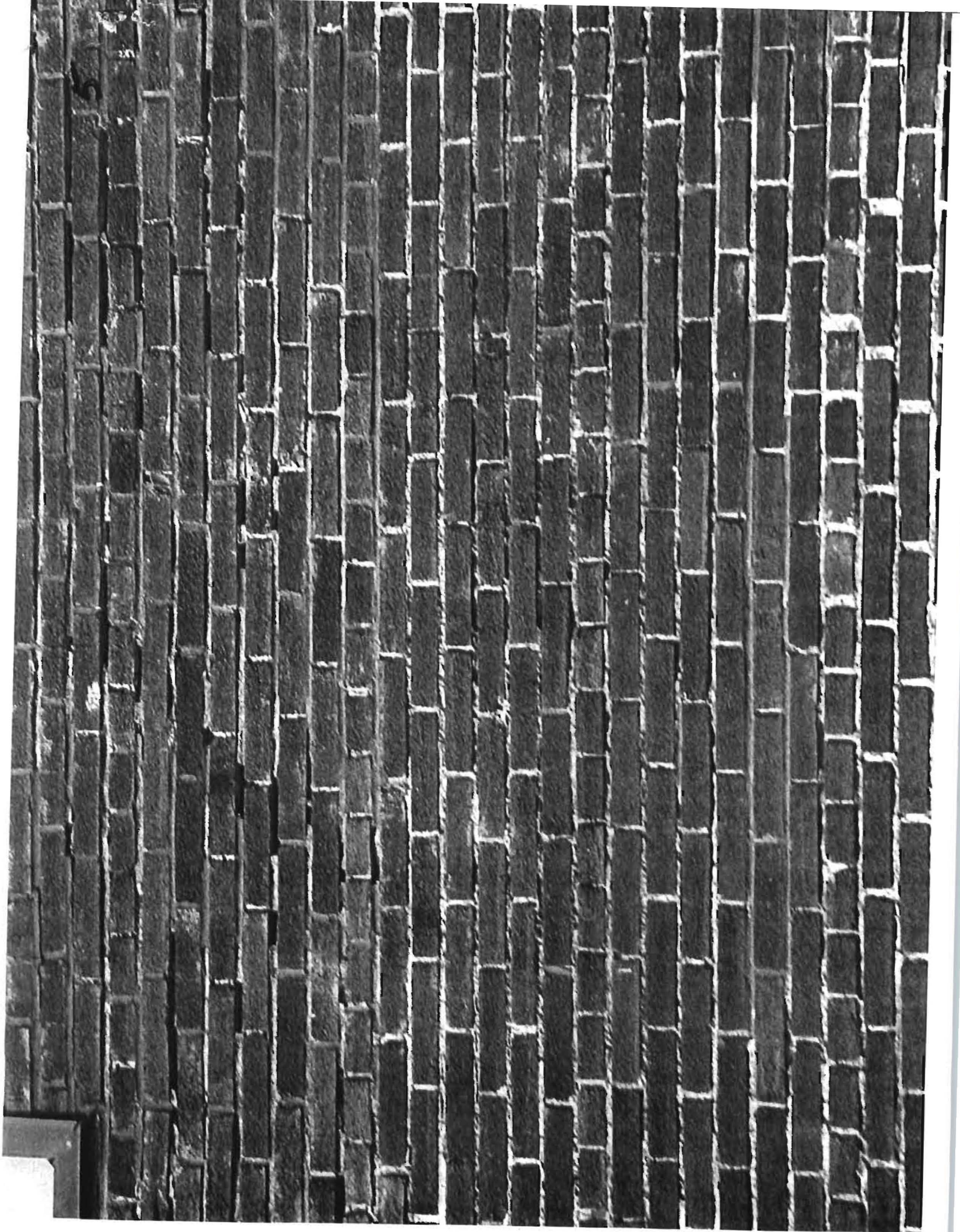
Enclosures:











## TOM'S TUCKPOINTING CO.

P.O. Box 401  
 CORNING, ARKANSAS 72422  
 (870) 857-3612  
 FAX (870) 857-3551

PROPOSAL SUBMITTED TO City of Jonesboro		PHONE 932-1052	DATE 03-26-04
STREET 515 West. Washington		JOB NAME Forum Building - Masonry Repairs and Waterproofing	
CITY, STATE and ZIP CODE Jonesboro, AR 72401		JOB LOCATION 115 Monroe, Jonesboro, AR	
ARCHITECT	DATE OF PLANS		JOB PHONE

We hereby submit specifications and estimates for:

- (South, East and West Walls) Visually inspect all exterior masonry joints. Those joints found to be missing or defective shall be cut out to sound backing and tuckpointed to match existing joints. (especially upper part of side walls)  
Replace damaged bricks.
- Follow with one (1) flood coat of clear, siloxane type water repellent to East, West and South walls.
- Clean and repair precast concrete ledges, sills and trim on front wall.

**FILED**  
 DATE 5/19/04  
 DONNA K. JACKSON  
 CITY CLERK

**We Propose** hereby to furnish material and labor — complete in accordance with above specifications, for the sum of: Nineteen Thousand and no/100 ----- dollars (\$ 19,000.00 ).

Payment to be made as follows:  
 Payable upon completion of work.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature

*Thomas D. Wilson*

Note: This proposal may be withdrawn by us if not accepted within 30 days.

**Acceptance of Proposal** — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: 5/18/04