



**JONESBORO**  
ARKANSAS

## Zoning Appeals Process

# Application Requesting Variance & Nonconforming Use Change Requests

Owner: Stomsang Enterprises, Inc.

Applicant: Stonebridge Construction, LLC

Address: 322 Julie Rivers, Sugarland, TX

Address: 2211 Hill Park Cv., Jonesboro, AR

Phone: 832-886-7010

Phone: 870-268-9885

Email: naqeeb@enccap.com

Email: rhester@sbconst.com

Signature: 

Signature: 

Description of Requested Variance:

Remove the property from the Overlay District

Circumstances Necessitating Variance Request:

The Overlay map and verbiage in the 2017 Land Use Plan document do not match, the plan shows the property outside the Overlay. Our clients proceeded based on the information that the property was outside the Overlay

General Submittal Information:

- Submit a narrative letter explaining your request along with seven (7) copies of an accurate site plan drawn at a scale that clearly illustrates the requested use, the subject property, and the surrounding properties, streets and easements, etc.
- Provide confirmation receipts to our office that adjoining owners of all properties have been notified.

**Office Use Only**

Case Number: \_\_\_\_\_ Date Submitted: \_\_\_\_\_

BZA Deadline: \_\_\_\_\_ BZA Meeting Date: \_\_\_\_\_



## Zoning Appeals Process

# BZA ADJOINING PROPERTY OWNER NOTIFICATION

The Board of Zoning Adjustment, City of Jonesboro, Arkansas, will hold a public hearing at the City of Jonesboro Municipal Center, 300 S. Church St., Council Chambers, 1st Floor, Jonesboro, Arkansas, on:

**TUESDAY, DECEMBER 16, 2025 AT 1:30 P.M.**

One item on the agenda for this meeting is a request to the Board to approve a variance to the zoning ordinance concerning property that is adjacent to your property. You have the opportunity to attend this meeting to voice your approval or disapproval if you wish. If you have information that you feel should be taken into consideration before a decision is rendered, you are encouraged to submit such information to the Board. If the Board renders a decision you feel is unfair or unjust, you may appeal the decision to Circuit Court.

VARIANCE REQUESTED BY: STONEBRIDGE CONSTRUCTION, LLC

DATE: 11/21/25

SUBJECT PROPERTY ADDRESS: 3225 S. CARAWAY RD, JONESBORO, AR 72401

DESCRIPTION OF VARIANCE REQUESTED:

REMOVE THE PROPERTY FROM THE OVERLAY DISTRICT.

In affixing my signature below, I am acknowledging my understanding of this request for an appeal or variance. I further understand that my signature only indicates my receipt of notification of the request for an appeal or variance and does not imply an approval by me or the proposed variance or appeal, unless so written by me to the Board.

\_\_\_\_\_  
Printed Name of Property Adjacent Owner

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Address

\_\_\_\_\_  
Phone

*If you would like to obtain additional information, or voice an opinion regarding this request, you may do so by contacting the Planning Department, at 300 S. Church St., or by calling 870-932-0406, between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday.*



7011 2000 0001 2217 6736

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 Total Postage & Fees \$10.18



Sent To: Salt Group Holdings LLC  
 Street, Apt. No., or PO Box No.: 1203 Nettleton Cir  
 City, State, ZIP+4: Jonesboro AR 72401  
 PS Form 3800, August 2006 See Reverse for Instructions

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Jonesboro, AR 72404

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 Total Postage & Fees \$10.18



Sent To: Chad Holifield + Stephanie Lynn  
 Street, Apt. No., or PO Box No.: 3912 Tonsard Oaks Dr  
 City, State, ZIP+4: Jonesboro AR 72404  
 PS Form 3800, August 2006 See Reverse for Instructions

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Sent To: JPS of Jonesboro  
 Street, Apt. No., or PO Box No.: PO Box 1697  
 City, State, ZIP+4: Jonesboro AR 72403  
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Blytheville, AR 72315

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 Certified Fee \$4.40  
 Return Receipt Fee (Endorsement Required) \$0.00  
 Restricted Delivery Fee (Endorsement Required) \$0.00  
 Total Postage & Fees \$10.18



Sent To: Andrew Maria Investments  
 Street, Apt. No., or PO Box No.: 125 Wingate St  
 City, State, ZIP+4: Blytheville AR 72315  
 PS Form 3800, August 2006 See Reverse for Instructions



# GENERAL LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT QUANTITIES.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CALCULATION OF ALL GRASS AND MULCH AREAS. VERIFY LOCATIONS WITH OWNER.
- ADJUSTMENTS IN ACTUAL LOCATION OF PLANT MATERIAL MAY BE NECESSARY DUE TO EXISTING FIELD ITEMS (AIR CONDITIONERS, TRANSFORMERS, ETC.).
- FULL BED PREPARATION TYPICAL. REFERENCE PLANTING DETAILS.
- LANDSCAPE CONTRACTOR TO PROVIDE A UNIT COST (INCLUDING INSTALLATION) FOR ALL ITEMS.
- WHEN THE SAME SPECIES OF TREES ARE PAIRED OR GROUPED IN 3 OR MORE, THEY SHOULD BE MATCHED IN SIZE, SHAPE, GROWTH CHARACTERISTICS, ETC.
- PLANT MATERIAL AVAILABILITY SHALL BE CONFIRMED BY LANDSCAPE CONTRACTOR PRIOR TO BIDDING. SHOULD SPECIFIED MATERIAL NOT BE AVAILABLE, THE OWNER AND ENGINEER SHALL BE NOTIFIED PRIOR TO BID DATE.
- VERIFY LOCATION OF ALL UTILITY LINES PRIOR TO INSTALLATION. FIELD ADJUST FOR GENERAL INTENT IF CONFLICT EXISTS.
- THE LANDSCAPE CONTRACTOR SHALL NOT ELIMINATE, SUBSTITUTE, AND/OR DOWNSIZE PLANT MATERIAL WITHOUT PRIOR APPROVAL OF THE OWNER AND ENGINEER. MINIMUM STANDARDS AND REQUIREMENTS OF THE CITY OF SEARCY MUST BE MAINTAINED.

- PLANTING BEDS SHALL RECEIVE 3 INCHES OF HARDWOOD MULCH TYPICAL.
- ALL PLANT MATERIALS SHALL BE MAINTAINED BY OWNER IN A HEALTHY AND GROWING CONDITION, AND BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED (SEE WARRANTY INFORMATION).
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING.
- ALL LANDSCAPE AREAS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED SO AS NOT TO OBSTRUCT VIEW OF MOTORISTS BETWEEN THE STREET AND THE ACCESS DRIVES. VISIBILITY TRIANGLES SHALL ALWAYS REMAIN UNOBSTRUCTED.
- ALL PERMEABLE SURFACES NOT OCCUPIED BY TREES, SHRUBS, PLANTING BEDS, EXISTING GRASS, SIGNS, AND OTHER PERMITTED ITEMS OR FIXTURES SHALL BE LAWN AREAS. THESE LAWN AREAS, UNLESS SPECIFIED OTHERWISE, SHALL BE BERMUDA SOO.
- PLANT MATERIAL SHALL BE HEALTHY AND VIGOROUS, FULL BRANCHED ON ALL SIDES, WELL SHAPED SYMMETRICAL AND SHALL BE FREE OF DEFECTS, DECAY, SUN-SCALD INJURIES, ABRASIONS OF THE BARK AND LIMBS, DISEASE, INSECT EGGS AND LARVA.
- THE OWNER OR ENGINEER HAS THE RIGHT TO INSPECT ALL MATERIALS PRIOR TO AND AFTER DELIVERY TO THE SITE AS WELL AS AFTER INSTALLATION AND SHALL RESERVE THE RIGHT TO ACCEPT OR REJECT SAID MATERIALS AT ANY TIME.
- CONTRACTOR TO INSTALL AN UNDERGROUND POP-UP TYPE IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL WATER ALL LANDSCAPE PLANTING AND LAWN AREAS.

ADJUSTMENTS TO THE SYSTEM SHALL LIMIT OVERSPRAY ONTO ADJACENT ROADWAYS AND CONSERVE WATER TO THE GREATEST EXTENT POSSIBLE. IRRIGATION CONTRACTOR TO COORDINATE WITH CIVIL ENGINEER AND SITE CONTRACTOR FOR LOCATION OF SLEEVING FOR IRRIGATION SYSTEM.

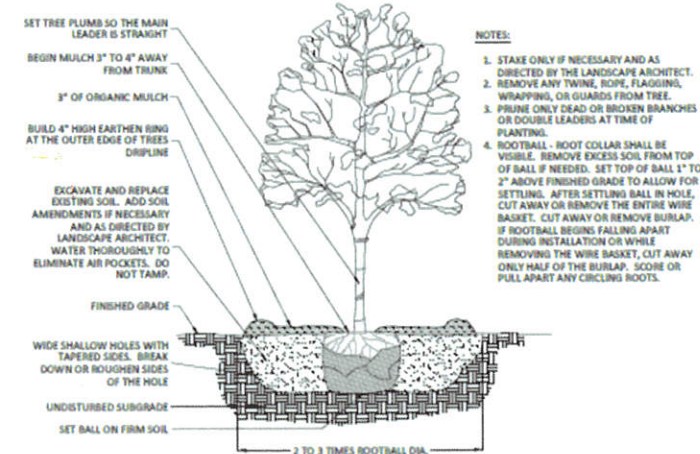
18. TOPSOIL SHALL BE FERTILE NATURAL SURFACE SOIL, UNIFORM IN COMPOSITION, SIMILAR TO SITE TOPSOIL IF APPROVED, FREE OF STONES LUMPS WEEDS, AND ROOTS. MINIMUM 20 PERCENT ORGANIC MATTER, 50 TO 50 PERCENT SAND, 15-20 PERCENT CLAY.

19. THERE SHALL BE A 3 INCH MINIMUM LAYER OF GOOD TOPSOIL IN ALL GRASS AREAS. GRADE AREAS AROUND SIDEWALKS AND CURBS 1 INCH BELOW TOP OF CONCRETE TO ALLOW FOR SOO THICKNESS.

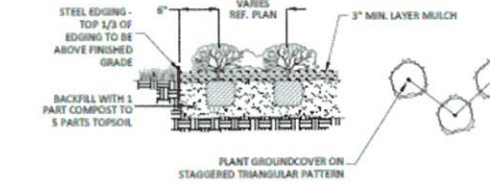
20. TOPSOIL IN PLANTING BEDS TO BE MOUNDING AND GRADED IN A WAY TO ALLOW POSITIVE DRAINAGE AWAY FROM BUILDING AND TO DETER ANY PONDING.

## WARRANTY:

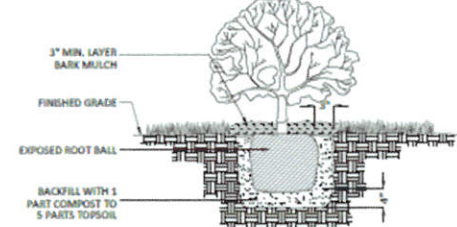
ALL WORK IS WARRANTED FOR (1) FULL YEAR AFTER INITIAL ACCEPTANCE. THE LANDSCAPE CONTRACTOR IS OBLIGATED TO CORRECT ANY WORK FOUND TO BE DEFECTIVE OR NONCONFORMING. UPON NOTICE, REMOVE DEAD MATERIALS AND ALL MATERIALS NOT IN VIGOROUS, THRIVING CONDITION, AS SOON AS WEATHER PERMITS AND ON NOTIFICATION BY THE LANDSCAPE ARCHITECT OR OWNER. PLANTS, INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAS BEEN DAMAGED, SHALL BE CONSIDERED FOR REPLACEMENT. IN SUCH CASES, THE OPINION OF THE LANDSCAPE ARCHITECT WILL BE FINAL. ANNUAL PLANTS WILL BE GUARANTEED FOR A PERIOD COINCIDING WITH THEIR NORMAL SEASON OF GROWTH. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME KIND AND SIZE AS THOSE ORIGINALLY PLANTED, AND SHALL BE PLANTED AS ORIGINALLY SPECIFIED. ALL WORK, INCLUDING MATERIALS, LABOR, AND EQUIPMENT USED IN REPLACEMENT, WILL BE AT NO COST TO THE OWNER. REPLACEMENT PLANTS SHALL CARRY A ONE (1) YEAR WARRANTY. ANY DAMAGE, INCLUDING RUTS IN LAWN OR BED AREAS, INCURRED IN MAKING REPLACEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER OR LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR.



DETAIL - TREE PLANTING  
SCALE - NTS



DETAIL - GROUNDCOVER PLANTING  
SCALE - NTS

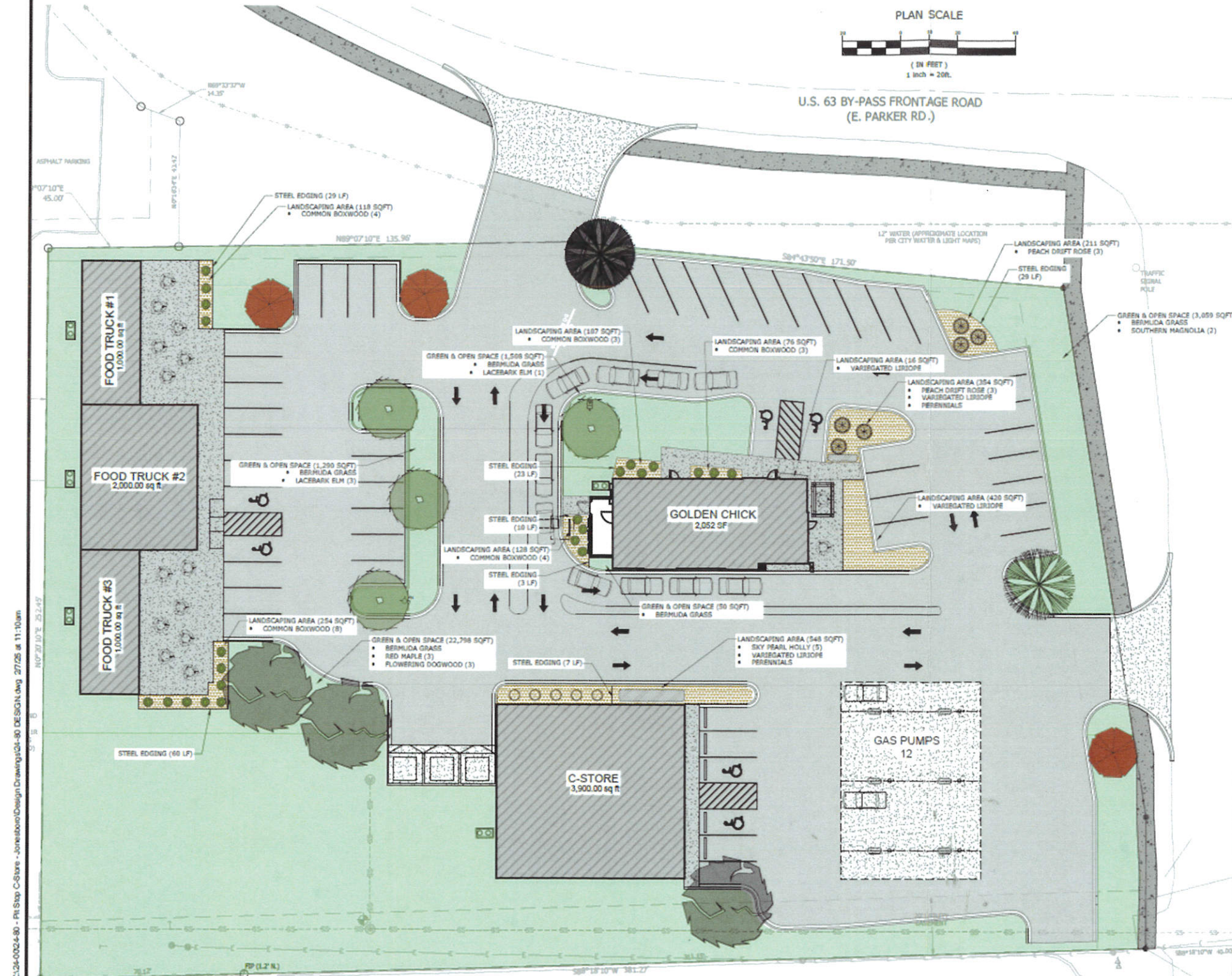


DETAIL - SHRUB PLANTING  
SCALE - NTS

## LANDSCAPE CALCULATIONS:

- PROPERTY AREA: 90,364 SQFT
- TREE AND SHRUB REQUIREMENTS
  - 1 TREE OR SHRUB PER 2,000 SQFT
    - 90,364 / 2,000 = 45.18 46 TOTAL TREES & SHRUBS REQUIRED
  - 25% HAS TO BE TREES
    - 46 x 25% = 11.5 12 TOTAL TREES
    - PLANNED TREES = 15
    - 40% OF TREES HAVE TO BE NATIVE
      - 12 x 40% = 4.8 5 TOTAL NATIVE TREES
      - PLANNED NATIVE TREES = 8
    - PLANNED SHRUBS = 31
    - PERENNIALS (20 = 1 SHRUB)
      - MAX OF 15% OF REQUIRED SHRUBS
      - 31 x 15% = 4.65 5 SHRUBS (100 PERENNIALS)
      - PLANNED PERENNIALS = 4
- GREENSPACE & OPEN SPACE (N/24-48 APPROVED 9/17/2024)
  - REDUCED THE GREENSPACE TO 34% FROM THE REQUIRED 40%
  - 2,232 SQFT ( 2.47%)
  - 28,705 SQFT (31.77%)
  - 30,937 SQFT (34.24%)

PLANT MATERIAL LIST					
SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUAN.	SIZE	REMARKS
<b>TREES</b>					
	SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	2	2 1/2" CAL	BALLED & BURLAPPED, SINGLE TRUNK, FULL CROWN
	RED MAPLE	ACER RUBRUM	3	2 1/2" CAL	BALLED & BURLAPPED, SINGLE TRUNK, FULL CROWN, RED FALL COLOR
	LACEBARK ELM	ULMUS PARVIFOLIA	7	2 1/2" CAL	BALLED & BURLAPPED, SINGLE TRUNK, FULL CROWN
	FLOWERING DOGWOOD	CORNUS FLORIDA	3	2 1/2" CAL	BALLED & BURLAPPED, SINGLE TRUNK, FULL CROWN
<b>SHRUBS</b>					
	PEACH DRIFT ROSE	ROSA 'MEGILL'	6	5 GAL	FULL
	COMMON BOXWOOD	BUXUS SEMPERVIRENS	19	5 GAL	FULL
	SKY PEARLY HOLLY	ILEX CRENTA	6	5 GAL	FULL
<b>PERENNIALS</b>					
	ALL PERENNIALS			6" POT SIZE	NO MORE THAN 100
<b>GROUND COVER</b>					
	VARIEGATED LIRIODENDRON	LIRIODENDRON 'VARIEGATA'		6" POT SIZE	



**DAVIDSON ENGINEERING**  
210 W. ARCH AVE., STE. D  
SEARCY, AR 72143  
TEL 501.588.2178

**C-STORE + QSR**  
JONESBORO, ARKANSAS

REVISIONS  
DESCRIPTION  
NO. DATE



ORIGINAL SIGNATURE ON FILE

## LANDSCAPING PLAN

PROJECT ENG: BCD  
DRAWN BY: JRM  
DATE: JULY, 2024  
SCALE: 1" = 20'  
JOB NUMBER: DE24-80

L1