



Application for a Zoning Ordinance Map Amendment

METROPOLITAN AREA
PLANNING COMMISSION
Jonesboro, Arkansas

Meeting Date: 8/9/22 Date Received: 7/17/22
Meeting Deadline: 7/18/22 Case Number: R2 22-11

LOCATION:

Site Address: 5102 Southwest Drive
Side of Street: _____ between Southwest and Thompson
Quarter: _____ Section: 02 Township: 13 Range: 03

Attach a survey plat and legal description of the property proposed for rezoning. A Registered Land Surveyor must prepare this plat.

SITE INFORMATION:

Existing Zoning: C3 Proposed Zoning: RM16
Size of site (square feet and acres): 106,722 (2.45) Street frontage (feet): 477'

Existing Use of the Site: N/A

Character and adequacy of adjoining streets: Corner of SW Drive & Thompson Dr

Does public water serve the site? yes

If not, how would water service be provided? _____

Does public sanitary sewer serve the site? yes

If not, how would sewer service be provided? _____

Use of adjoining properties:

North House with 13 Acres

South Valley View Schools

East Hay Field

West Hay Garden

Physical characteristics of the site: Cleared lot with existing tree buffer

Characteristics of the neighborhood: Sits on SW Drive bordering woods & empty spaces

Applications will not be considered complete until all items have been supplied. Incomplete applications will not be placed on the Metropolitan Area Planning Commission agenda and will be returned to the applicant. The deadline for submittal of an application is on the public meeting schedule. The Planning staff must determine that the application is complete and adequate before it will be placed on the MAPC agenda.

** see attached*

REZONING INFORMATION:

The applicant is responsible for explaining and justifying the proposed rezoning. *Please prepare an attachment to this application answering each of the following questions in detail:*

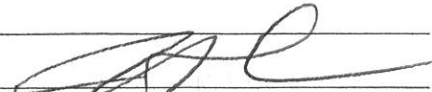
- (1). How was the property zoned when the current owner purchased it?
- (2). What is the purpose of the proposed rezoning? Why is the rezoning necessary?
- (3). If rezoned, how would the property be developed and used?
- (4). What would be the density or intensity of development (e.g. number of residential units; square footage of commercial, institutional, or industrial buildings)?
- (5). Is the proposed rezoning consistent with the *Jonesboro Comprehensive Plan* and the *Future Land Use Plan*?
- (6). How would the proposed rezoning be the public interest and benefit the community?
- (7). How would the proposed rezoning be compatible with the zoning, uses, and character of the surrounding area?
- (8). Are there substantial reasons why the property cannot be used in accordance with existing zoning?
- (9). How would the proposed rezoning affect nearby property including impact on property value, traffic, drainage, visual appearance, odor, noise, light, vibration, hours of use or operation and any restriction to the normal and customary use of the affected property.
- (10). How long has the property remained vacant?
- (11). What impact would the proposed rezoning and resulting development have on utilities, streets, drainage, parks, open space, fire, police, and emergency medical services?
- (12). If the rezoning is approved, when would development or redevelopment begin?
- (13). How do neighbors feel about the proposed rezoning? Please attach minutes of the neighborhood meeting held to discuss the proposed rezoning or notes from individual discussions. *If the proposal has not been discussed with neighbors, please attach a statement explaining the reason. Failure to consult with neighbors may result in delay in hearing the application.*
- (14). If this application is for a Limited Use Overlay (LUO), the applicant must specify all uses desired to be permitted.

OWNERSHIP INFORMATION:

All parties to this application understand that the burden of proof in justifying and demonstrating the need for the proposed rezoning rests with the applicant named below.

Owner of Record:

I certify that I am the owner of the property that is the subject of this rezoning application and that I represent all owners, including spouses, of the property to be rezoned. I further certify that all information in this application is true and correct to the best of my knowledge.

Name: Jeremy Mare
 Address: 2013 Jamestown Dr
 City, State: Jonesboro, AR ZIP 72404
 Telephone: 870-919-3369
 Facsimile: _____
 Signature: 

Applicant:

If you are not the Owner of Record, please describe your relationship to the rezoning proposal:

Name: _____
 Address: _____
 City, State: _____ ZIP _____
 Telephone: _____
 Facsimile: _____
 Signature: _____

Deed: *Please attach a copy of the deed for the subject property.*

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REZONING INFORMATION

5102 SOUTHWEST DRIVE

JONESBORO, AR, 72404

- 1) Property was zoned residential when current owners purchased it. We then rezoned it for commercial.
- 2) Rezoning is necessary to rezone for multi family usage.
- 3) Purpose of the rezoning is to create higher end gated and secured living focused on members of the Jonesboro community who are 55+ years old
- 4) Density of the development would be 40 total units and consist of 2 buildings with 12 units each, 1 building with 8 units and 2 buildings with 4 units each
- 5) N/A
- 6) This development would fill a need for the aging Jonesboro community looking for safe and secure housing while surrounding themselves with a demographic of similar nature
- 7) There is a planned multi family development at the site of Southern Hills as well as an existing apartment complex all within 1 mile on Southwest Drive. It would be a quiet and upscale development that would fit in with the area
- 8) We are seeking a rezoning to be in accordance with RN16 standards
- 9) There would be minimal impact with existing property owners due to buffer areas and location. There would be an ingress and egress from Southwest Drive and Thompson to eliminate any potential traffic issues. Drainage has already been addressed on the south side and no lighting, noise or operations would change daily life of neighboring properties
- 10) 5+ years
- 11) Utilities are already in place and would have minimal impact
- 12) September 2022
- 13) We have spoken to Roland Popejoy (Supt of Valley View Schools) who has property adjoining the south side. He has no issues.
- 14) N/A