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Project Title:
ST. BERNARDS VILLA
 MEMORY CARE & ASSISTED LIVING
 2217 W. PARKER ROAD JONESBORO, ARKANSAS

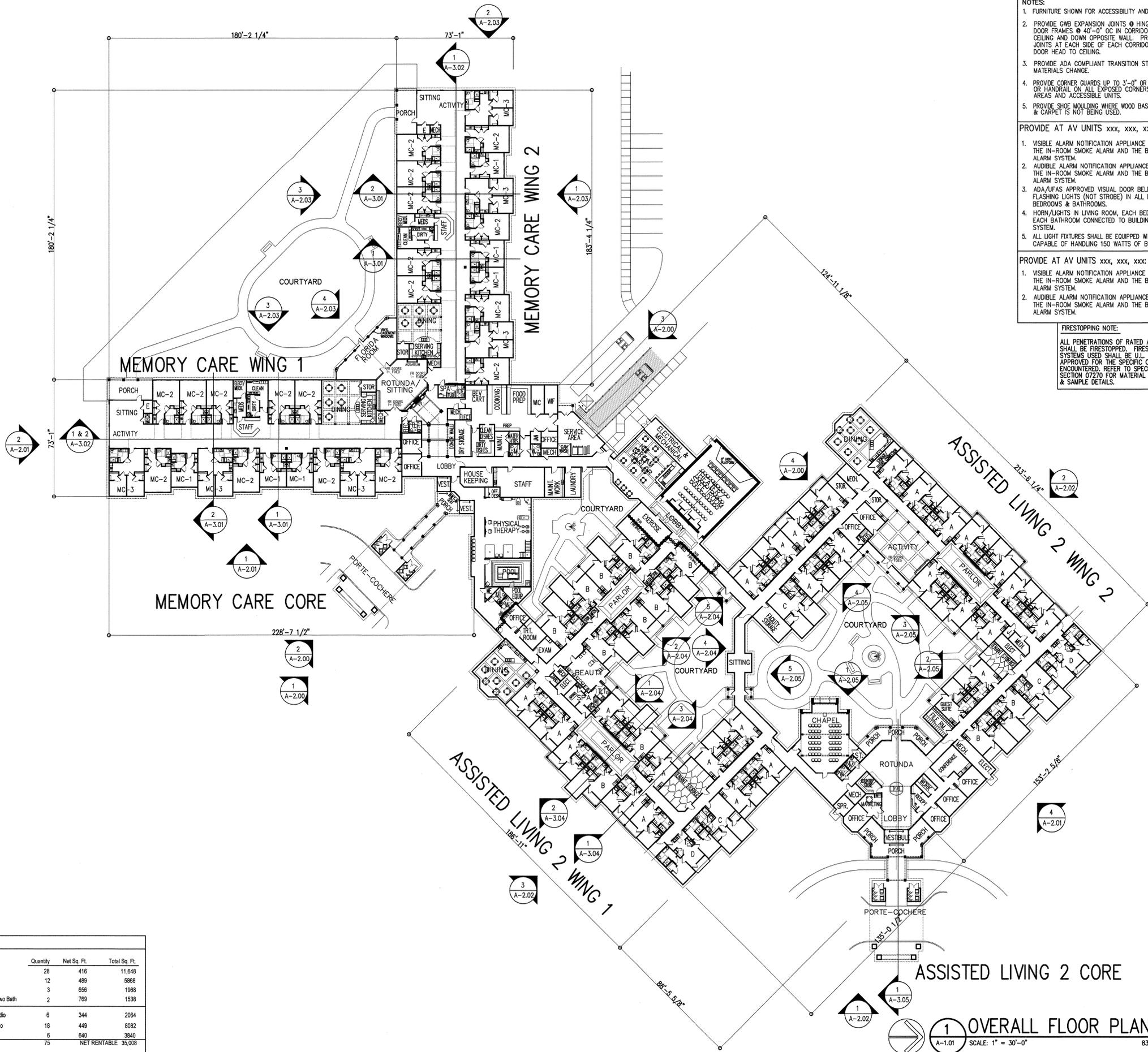
Final Issue Date: 5/29/2013

Revisions:

Mark	Date	Description

Project No.: 11-007
 CAD Drawing: 11-007 A101 Overall Plan.pec
 Sheet Title: Overall Floor Plan
 Sheet No.:
A-1.01

- NOTES:**
- FURNITURE SHOWN FOR ACCESSIBILITY AND LOCATION ONLY.
 - PROVIDE GWB EXPANSION JOINTS @ HINGE SIDE OF DOOR FRAMES @ 40'-0" OC IN CORRIDORS, ACROSS CEILING AND DOWN OPPOSITE WALL. PROVIDE CONTROL JOINTS AT EACH SIDE OF EACH CORRIDOR FRAME FROM DOOR HEAD TO CEILING.
 - PROVIDE ADA COMPLIANT TRANSITION STRIPS WHERE FLOOR MATERIALS CHANGE.
 - PROVIDE CORNER GUARDS UP TO 3'-0" OR UP TO CHAIRRAIL OR HANDRAIL ON ALL EXPOSED CORNERS IN COMMON AREAS AND ACCESSIBLE UNITS.
 - PROVIDE SHOE MOLDING WHERE WOOD BASE IS CALLED FOR & CARPET IS NOT BEING USED.
- PROVIDE AT AV UNITS xxx, xxx, xxx:
- VISIBLE ALARM NOTIFICATION APPLIANCE ACTIVATED BY THE IN-ROOM SMOKE ALARM AND THE BUILDING FIRE ALARM SYSTEM.
 - AUDIBLE ALARM NOTIFICATION APPLIANCE ACTIVATED BY THE IN-ROOM SMOKE ALARM AND THE BUILDING FIRE ALARM SYSTEM.
 - ADA/IFAS APPROVED VISUAL DOOR BELL SYSTEM WITH FLASHING LIGHTS (NOT STROBE) IN ALL LIVING ROOMS, BEDROOMS & BATHROOMS.
 - HORN/LIGHTS IN LIVING ROOM, EACH BEDROOM, AND EACH BATHROOM CONNECTED TO BUILDING FIRE ALARM SYSTEM.
 - ALL LIGHT FIXTURES SHALL BE EQUIPPED WITH RECEPTACLES CAPABLE OF HANDLING 150 WATTS OF BULBS.
- PROVIDE AT AV UNITS xxx, xxx, xxx:
- VISIBLE ALARM NOTIFICATION APPLIANCE ACTIVATED BY THE IN-ROOM SMOKE ALARM AND THE BUILDING FIRE ALARM SYSTEM.
 - AUDIBLE ALARM NOTIFICATION APPLIANCE ACTIVATED BY THE IN-ROOM SMOKE ALARM AND THE BUILDING FIRE ALARM SYSTEM.
- FIRESTOPPING NOTE:**
 ALL PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRESTOPPED. FIRESTOPPING SYSTEMS USED SHALL BE U.L. LISTED & APPROVED FOR THE SPECIFIC CONDITION ENCOUNTERED. REFER TO SPECIFICATION SECTION 0720 FOR MATERIAL SPECIFICATIONS & SAMPLE DETAILS.



FLOOR	REFER TO UNIT PLANS FOR UNIT FINISHES.
A. CARPET	SEE ALSO INTERIOR ELEVATIONS.
B. SHEET VINYL	
C. WOOD LOOK VINYL	
D. VCT	
E. SEAMLESS POURED VINYL	
F. SEALED CONCRETE	
E. TILE	

BASE	
1. 3 1/4" WOOD BASE (WITH SHOE MOULD EXCEPT @ CARPET)	
2. 5 1/4" WOOD BASE (WITH SHOE MOULD EXCEPT @ CARPET)	
3. POURED VINYL	
4. 4" VINYL	
5. TILE	

WALL	
A. G.W.B., SMOOTH FINISH PAINT	
B. FIBERGLASS REINFORCED PANELS (FRP) (PROVIDE 4'-0" HIGH FRP EACH WALL AT JANITOR'S MOP SINK)	
C. G.W.B., SMOOTH FINISH PAINT W/ 2 5/8" CHAIR RAIL WITH BOTTOM @ 2'-5" AFF	
D. TILE UP TO 5'-0" AFF, G.W.B., SMOOTH, PAINT ABOVE	

CEILING	
1. G.W.B., SMOOTH PAINTED, FLAT	
2. G.W.B., SMOOTH PAINTED, FLAT W/ 6" CROWN MOULD	
3. G.W.B., SMOOTH PAINTED, SEMI-GLOSS	

THEATER A/V EQUIPMENT

PROVIDE:

- SANYO PLC-XU75 PROJECTOR (2500 LUMENS), DA-LITE UPM-1 7377 UNIVERSAL CEILING MOUNT, AND DA-LITE 6751 CM-CAP CEILING MOUNT FLANGE
- DITTO-AMP 1-in-2-out VGA DISTRIBUTION AMPLIFIER
- SONY MODEL SLVD380P DVD/HIFI VHS VIDEORECORDER COMBINATION DECK
- SONY STR-DG710 HOME THEATER A/V RECEIVER (6.1 CHANNEL)

SCREEN SHALL BE 34460 COSMOPOLITAN ELECTROL AUTOMATIC ELECTRIC PROJECTION SCREEN (60"x96"x113") W/ DA-LITE SINGLE MOTOR LOW VOLTAGE CONTROL W/ #82433 REMOTE CONTROL.

CIELA SPEAKERS: SP-8CLC 8" CEILING MOUNTED SPEAKERS WITH FOCUSABLE HI FREQUENCY

CIELA SPEAKERS: SP-6CLC 6" CEILING MOUNTED SPEAKERS

PROFICIENT C1-S10 10" WOOFER, TWIN FRONT-FIRING PORTS, 120 WATT POWER HANDLING

PROVIDE ANTENNA. ALL EQUIPMENT SHALL BE 100% COMPATIBLE. COORDINATE W/ A/V INSTALLER TO RUN ALL SPEAKER & OTHER A/V CABLING PRIOR TO COVER UP & FOR OPTIMUM LOCATION OF SPEAKERS & EQUIPMENT.

PROVIDE BLOCKING/REINFC. AS REQUIRED FOR CEILING MOUNTED PROJECTION SCREEN AND PROJECTION TV. COORDINATE W/ EQUIP SUPPLIER/INSTALLER

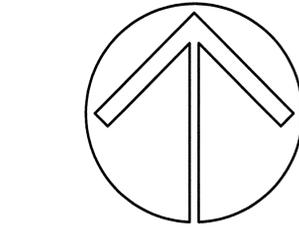
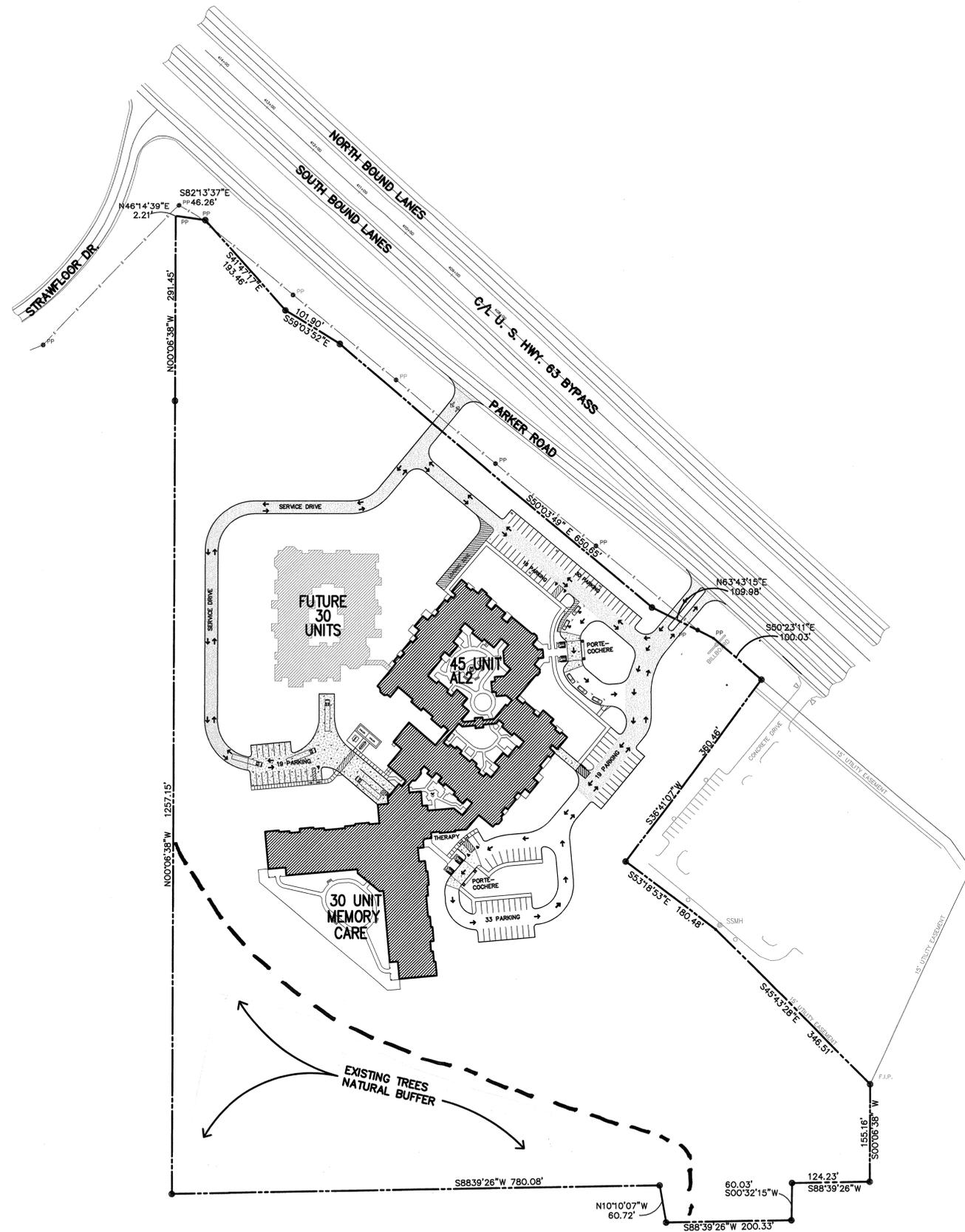
POLK AUDIO & TOSHIBA CORP. ARE ACCEPTABLE MANUFACTURERS

UNIT SPACE BREAKDOWN

	Quantity	Net Sq. Ft.	Total Sq. Ft.
ASSISTED LIVING 2			
UNIT A: One Bedroom	28	416	11,848
UNIT B: One Bedroom	12	489	5,868
UNIT C: Two Bedroom	3	656	1,968
UNIT D: Two Bedroom, Two Bath	2	769	1,538
MEMORY CARE			
UNIT MC-1: One Bed Studio	6	344	2,064
Unit MC-2: Two Bed Studio	18	449	8,082
Unit MC-3: Two Bedroom	6	640	3,840
	75		NET RENTABLE 35,008

83,718 SQUARE FEET, TOTAL BUILDING

OVERALL FLOOR PLAN
 SCALE: 1" = 30'-0"
 83,718 SQ. FT.



OVERALL SITE PLAN
SCALE: 1" = 100'

SITE STATISTICS

SITE AREA	25.34 ACRES	1,103,967 SQ. FT.
BUILDING AREA		83,718 SQ. FT.
BUILDING COVERAGE OF LAND		7.56%
OPEN AREA	23.42 ACRES	1,020,249 SQ. FT.
TOTAL PARKING	122 INCLUDING 7 FOR DISABLED	

LEGEND

- HEAVY DUTY ASPHALT PAVING
- STANDARD DUTY ASPHALT PAVING
- CONCRETE PAVING

GENERAL SITE NOTES

1. EXISTING SITE CONDITIONS TAKEN FROM INFORMATION ON SURVEY BY KENNETH L. SCRAPE, PLS (11/23/12)
2. NORMAL STRIPPING, PROOF-ROLLING AND COMPACTION OF PAVEMENT AREA SURFACES ARE REQUIRED UNDER ALL PROPOSED BUILDINGS AND PAVEMENTS.
3. ALL EXTERIOR CONCRETE SHALL BE 4000 P.S.I. AIR ENTRAINED, MAXIMUM 3"-5" SLUMP.
4. ALL CONTRACTORS SHALL VISIT THE SITE PRIOR TO BIDDING. (GC MUST VERIFY ALL EXISTING CONDITIONS)
5. THE SITE SHALL BE KEPT NEAT AND CLEAN AT ALL TIMES.
6. MAKE ALL SEWER, GAS, WATER AND ELECTRICAL CONNECTIONS IN ACCORDANCE WITH LOCAL AUTHORITIES' REQUIREMENTS AND REGULATIONS.
7. REMOVE ALL VEHICLE RUTS FROM SITE.
8. FINISHED GRADE SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES. POCKETS OR BIRD BATHS WILL NOT BE PERMITTED.
9. PROVIDE ANY ADDITIONAL CURB CUTS THAT MAY BE REQUIRED FOR PROPER DRAINAGE.
10. DO NOT SCALE DRAWINGS.
11. ALL CONCRETE BREAKOUT, PATCH OR REPAIR WORK SHALL BE DONE BY THE GENERAL CONTRACTOR.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING WALLS AT THE END OF EACH DAY'S WORK TO ELIMINATE ANY FALLING, BENDING, BREAKING, ETC.
13. ALL EXPOSED EXTERIOR METALS SHALL BE PAINTED.
14. CONTRACTOR SHALL MAINTAIN TEMPORARY EROSION CONTROL AS REQUIRED BY LOCAL AUTHORITIES AND ARCHITECT TO PROTECT ALL SLOPES AND ADJACENT PROPERTY. (SEE GRADING PLAN FOR DETAILS.)
15. FINISHED GRADE ADJACENT TO BUILDING SHALL BE A MINIMUM OF 8" BELOW THE FINISHED FLOOR ELEVATION EXCEPT AT PORCHES / WALKS.
16. SLOPE GROUND AWAY FROM BUILDING MINIMUM OF 6 INCHES IN FIRST 10 FEET.
17. MINIMUM PAVEMENT SLOPE SHALL BE AS DIRECTED ON THE GRADING PLAN. MINIMUM SWALE SLOPE SHALL BE 0.3%, MINIMUM YARD SLOPE SHALL BE 0.25, AND MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
18. GENERAL CONTRACTOR SHALL VERIFY THAT WALK SLOPES DO NOT EXCEED 1:20 PRIOR TO POURING WALKS.
19. CROSS SLOPE ALL WALKS FOR POSITIVE DRAINAGE- MAXIMUM CROSS SLOPE 1:50.
20. MAINTAIN HEAVY STONE CONSTRUCTION ENTRANCES WHERE VEHICLES ENTER & EXIT SITE. DO NOT ALLOW MUD FROM SITE TO BE TRACKED INTO STREETS ON VEHICLE WHEELS.
21. PROVIDE CONTROL JOINTS IN CURBS (MAX 10' SPACING) PROVIDE EXPANSION JOINTS EVERY 40', END RADIIUS, OR CHANGE IN DIRECTION. SEE DETAILS.
22. PROVIDE SIDEWALK & PAVING JOINTS AS SHOWN. CONTROL JOINTS SHALL NOT EXCEED 9" O.C. AND SHALL BE CLOSER WHERE SO INDICATED. MAX 20' SPACING OF EXPANSION JOINTS.
23. CONCRETE JOINTS AND EDGES SHALL BE TOOLED.



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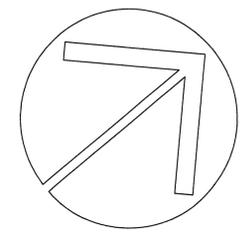
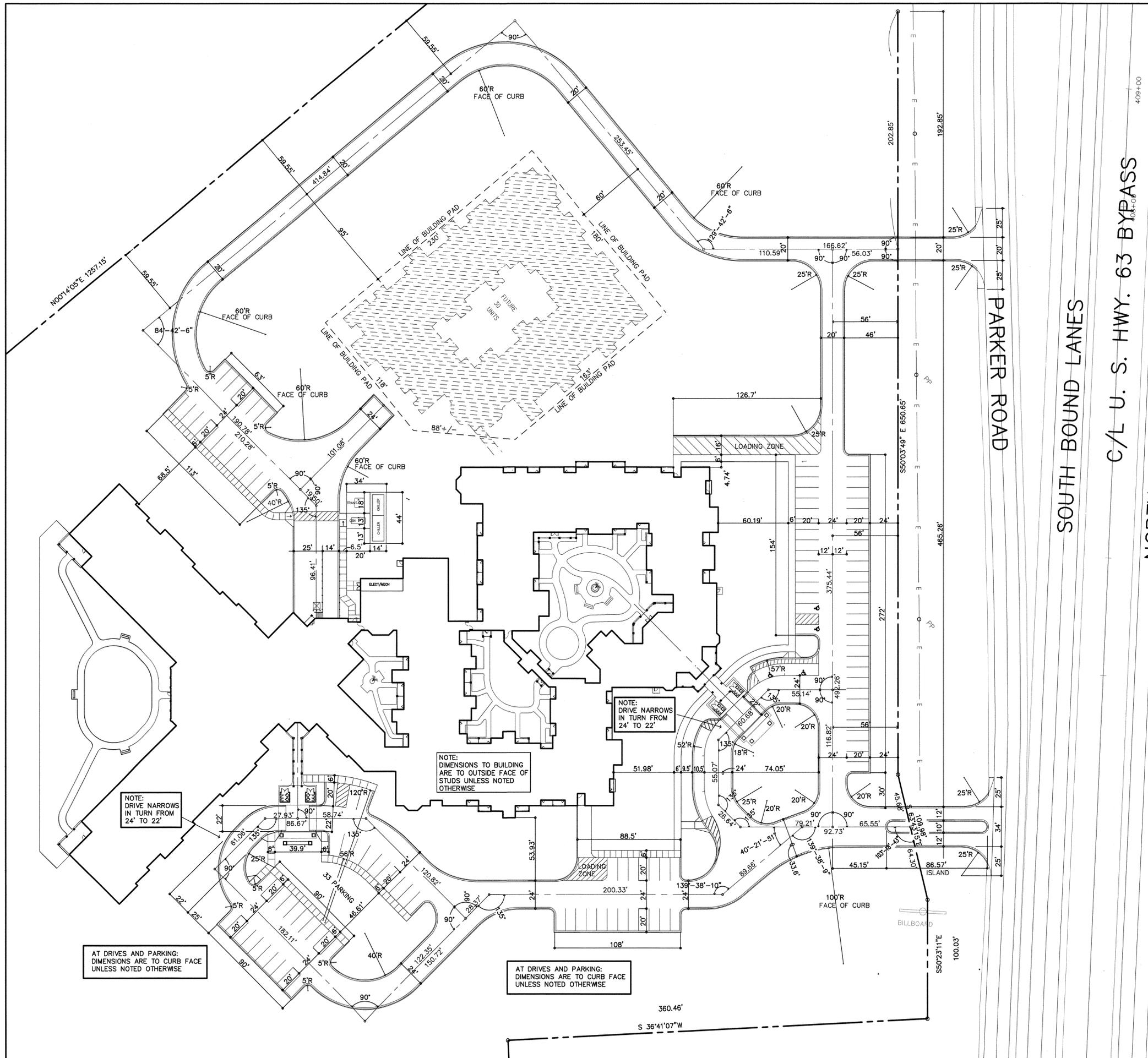
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ST. BERNARDS VILLA
MEMORY CARE / ASSISTED LIVING
2217 WEST PARKER ROAD
JONESBORO, ARKANSAS

Final Issue Date: 5/29/2013

Mark	Date	Description

Project No.: 11-007
CAD Drawing: 11-007 SITE PLAN.dwg
Sheet Title: SITE PLAN

Sheet No.: **AS-1.01**



DIMENSION SITE PLAN
SCALE: 1" = 40'

SOUTH BOUND LANES
 C/L U. S. HWY. 63 BYPASS
 NORTH BOUND LANES
 PARKER ROAD
 409+00

NOTE:
DRIVE NARROWS
IN TURN FROM
24' TO 22'

NOTE:
DIMENSIONS TO BUILDING
ARE TO OUTSIDE FACE OF
STUDS UNLESS NOTED
OTHERWISE

NOTE:
DRIVE NARROWS
IN TURN FROM
24' TO 22'

AT DRIVES AND PARKING:
DIMENSIONS ARE TO CURB FACE
UNLESS NOTED OTHERWISE

AT DRIVES AND PARKING:
DIMENSIONS ARE TO CURB FACE
UNLESS NOTED OTHERWISE

Architect's Seal:

 5/29/13
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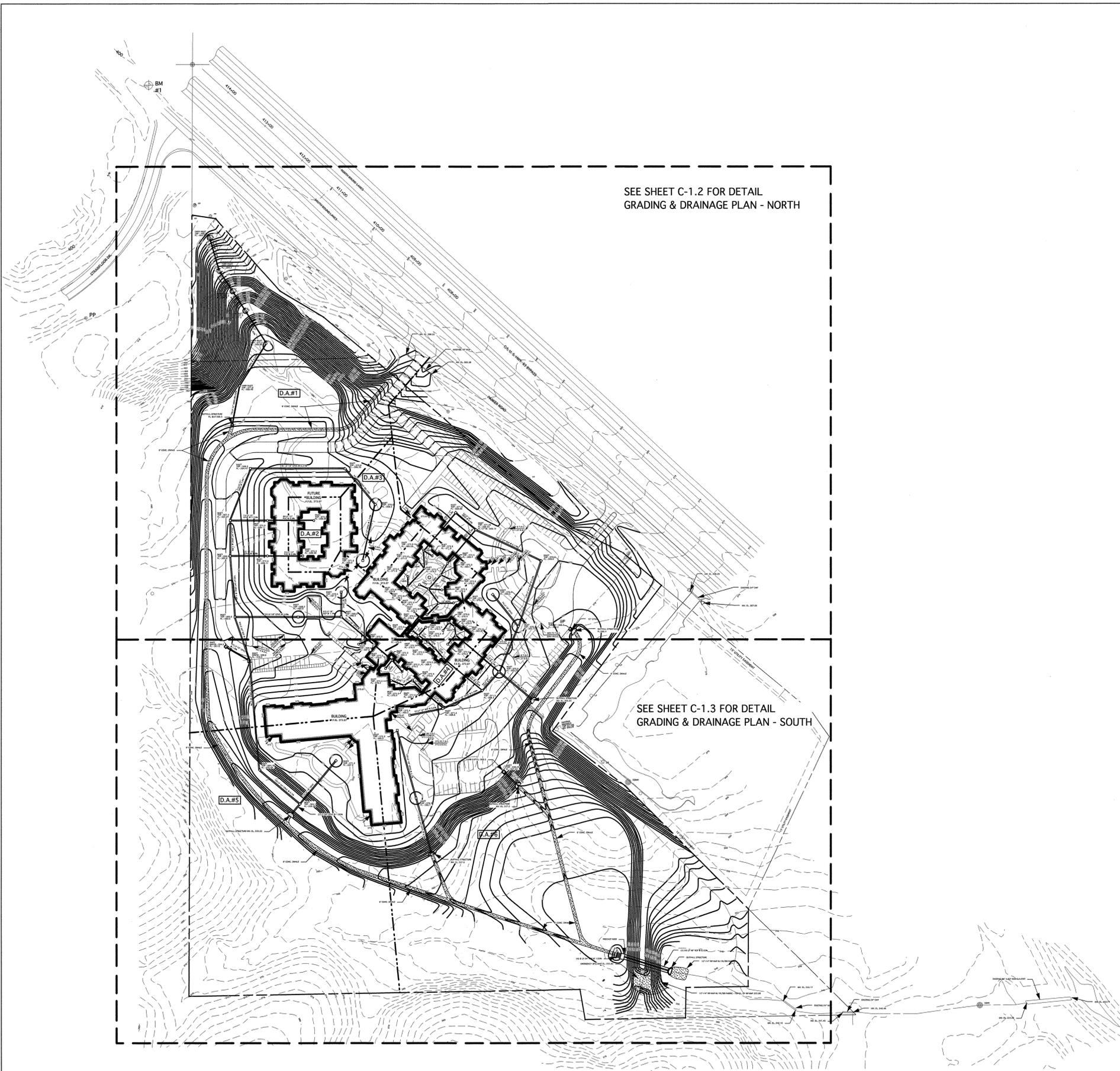
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 2217 WEST PARKER ROAD
 JONESBORO, ARKANSAS

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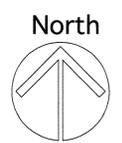
Mark	Date	Description

Project No.: 11-007
 CAD Drawing: 11-007 AS101 Site Plan.cad
 Sheet Title: Site Plan
 Sheet No.: **AS-1.02**



SEE SHEET C-1.2 FOR DETAIL
GRADING & DRAINAGE PLAN - NORTH

SEE SHEET C-1.3 FOR DETAIL
GRADING & DRAINAGE PLAN - SOUTH

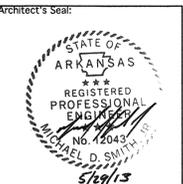


SCALE: 1" = 100'



1
C-1 **OVERALL GRADING PLAN**
SCALE: 1" = 100'-0"

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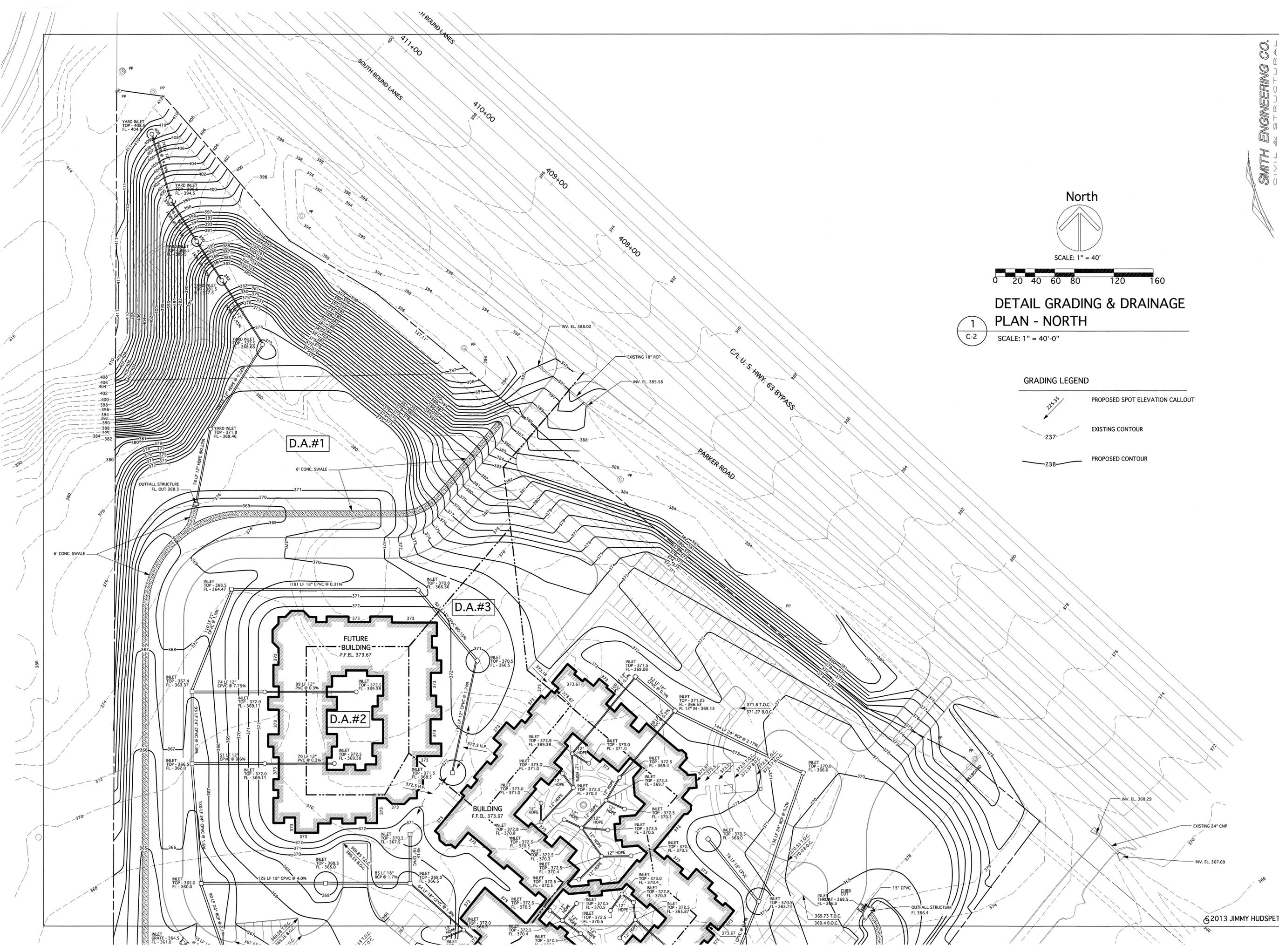


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Project Title:
ST. BERNARDS VILLAGE
ASSISTED LIVING LEVEL 2
& MEMORY CARE
JONESBORO, ARKANSAS

Final Issue Date: 4/10/2013		
Revisions:		
Mark	Date	Description
Project No.:	11-007	
CAD Drawing:	11-007 Grading	
Sheet Title:	Overall Grading & Drainage Plan	
Sheet No.:	C-1.1	



North



**DETAIL GRADING & DRAINAGE
PLAN - NORTH**

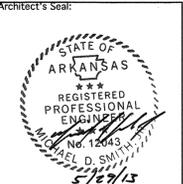
1
C-2

SCALE: 1" = 40'-0"

GRADING LEGEND

- PROPOSED SPOT ELEVATION CALLOUT
- EXISTING CONTOUR
- PROPOSED CONTOUR

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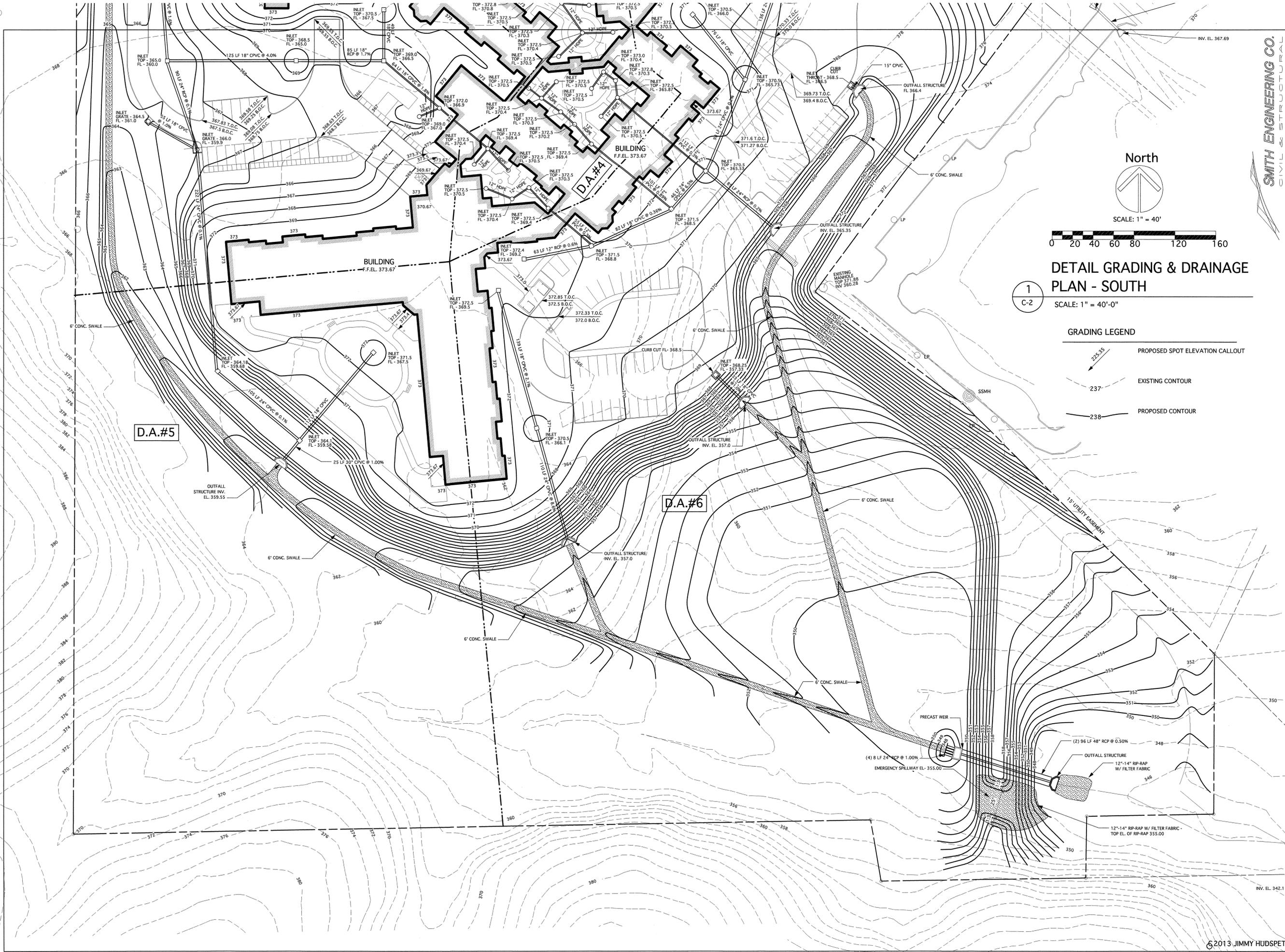
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ST. BERNARDS VILLAGE
ASSISTED LIVING LEVEL 2
& MEMORY CARE
JONESBORO, ARKANSAS

Final Issue Date:	4/10/2013	
Revisions:		
Mark	Date	Description
Project No.:	11-007	
CAD Drawing:	11-007 Grading	
Sheet Title:	Detail Grading & Drainage Plan - North	
Sheet No.:	C-1.2	

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9/11/09 BRE



**DETAIL GRADING & DRAINAGE
PLAN - SOUTH**

1
C-2

SCALE: 1" = 40'-0"

GRADING LEGEND

- PROPOSED SPOT ELEVATION CALLOUT
- EXISTING CONTOUR
- PROPOSED CONTOUR

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**ST. BERNARDS VILLAGE
ASSISTED LIVING LEVEL 2
& MEMORY CARE**
JONESBORO, ARKANSAS

Final Issue Date:	4/10/2013	
Revisions:		
Mark	Date	Description
Project No.:	11-007	
CAD Drawing:	11-007 Grading	
Sheet Title:	Detail Grading & Drainage Plan - South	
Sheet No.:	C-1.3	

OUTLET CAPACITY FLOW vs DEPTH

Elev	cfs	Elev	cfs
348.00	0.00	351.30	81.71
348.10	0.38	351.40	83.48
348.20	1.64	351.50	85.49
348.30	3.81	351.60	87.71
348.40	6.87	351.70	90.13
348.50	10.74	351.80	92.72
348.60	15.36	351.90	95.48
348.70	20.62	352.00	98.40
348.80	26.43	352.10	101.50
348.90	32.67	352.20	104.70
349.00	39.21	352.30	108.00
349.10	45.93	352.40	111.50
349.20	52.68	352.50	115.10
349.30	59.31	352.60	118.90
349.40	65.65	352.70	122.70
349.50	71.51	352.80	126.70
349.60	76.66	352.90	130.80
349.70	80.81	353.00	134.50
349.80	83.58	353.10	138.00
349.90	84.26	353.20	143.80
350.00	78.42	353.30	148.80
350.10	78.42	353.40	153.90
350.20	78.42	353.50	159.30
350.30	78.42	353.60	164.80
350.40	78.42	353.70	170.90
350.50	78.42	353.80	176.90
350.60	78.42	353.90	183.10
350.70	78.42	354.00	189.40
350.80	78.42	354.10	195.90
350.90	78.42	354.20	202.70
351.00	78.42	354.30	209.50
351.10	79.06	354.40	216.60
351.20	80.21	354.50	223.80

DETENTION BASIN STORAGE VOLUME

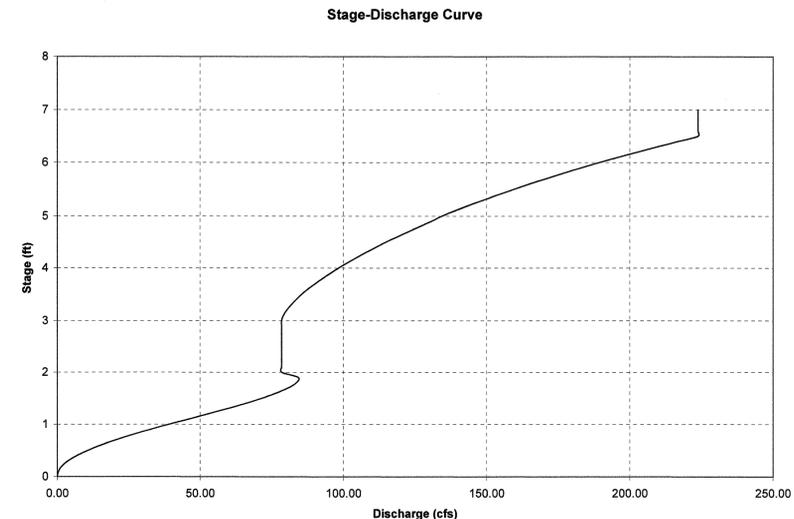
Elev	ft³	Elev	ft³
< 350.00	Negligible	352.50	79,622
350.00	166	352.60	84,391
350.10	1,723	352.70	89,281
350.20	3,569	352.80	94,292
350.30	5,536	352.90	99,426
350.40	7,624	353.00	104,681
350.50	9,835	353.10	110,058
350.60	12,167	353.20	115,557
350.70	14,621	353.30	121,178
350.80	17,197	353.40	126,921
350.90	19,895	353.50	132,785
351.00	22,715	353.60	138,771
351.10	25,656	353.70	144,879
351.20	28,719	353.80	151,109
351.30	31,904	353.90	157,460
351.40	35,211	354.00	163,933
351.50	38,639	354.10	170,528
351.60	42,189	354.20	177,245
351.70	45,861	354.30	184,084
351.80	49,655	354.40	191,044
351.90	53,571	354.50	198,127
352.00	57,608	354.60	205,331
352.10	61,768	354.70	212,656
352.20	66,049	354.80	220,104
352.30	70,451	354.90	227,673
352.40	74,976	355.00	235,365

NRCS CURVE NUMBERS

D.A.	Acres	"CN"	Total Ac.	Avg. "CN"
1	6.040	74	7.447	79
2	1.407	68	0.355	92
3	0.263	98		
4	0.390	74	0.579	82
5	0.189	98		
6	0.344	74	1.077	91
7	0.733	98		
8	4.493	74	4.830	76
9	0.337	98		
10	8.760	74	11.362	80
11	2.602	98		
Offsite 1	2.37	74	2.37	74
Offsite 2	0	98		
Offsite 3	12.95	74	12.95	74
Offsite 4	10.47	74	10.47	74
Pre	8.04	98	8.04	74
Pre	61.41	74	61.41	74
	0	98		

DETENTION DATA

Distribution Type	Type II
Frequency Type	24 Hour, 2 Year - 100 Year
Area	61.4 Acres
Detention Pond Max Allowable Discharge Rate	264.6 cfs
Peak Inflow, cfs	111.3
Peak Outflow, cfs	85.7
Pre-Development Runoff, in	1.509
Post Development Runoff, in	1.688
Storage Volume Required, ft³	21,304
Storage Volume Provided, ft³ @ Elev. 355.00	235,365

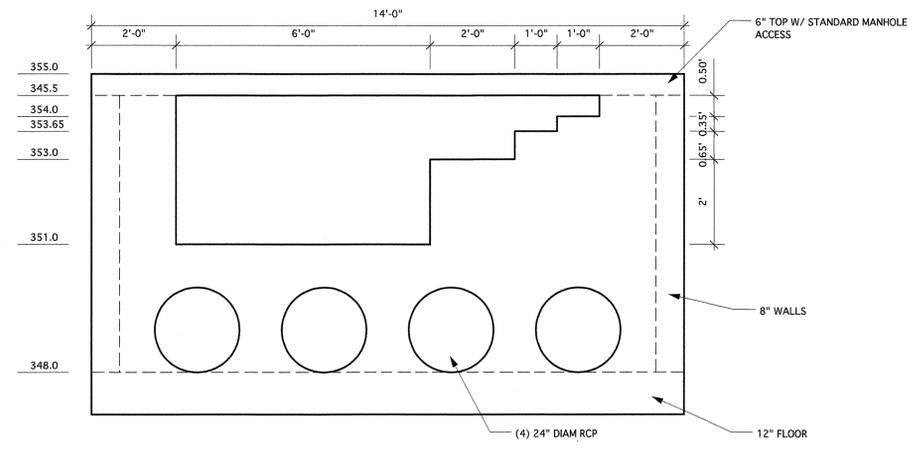
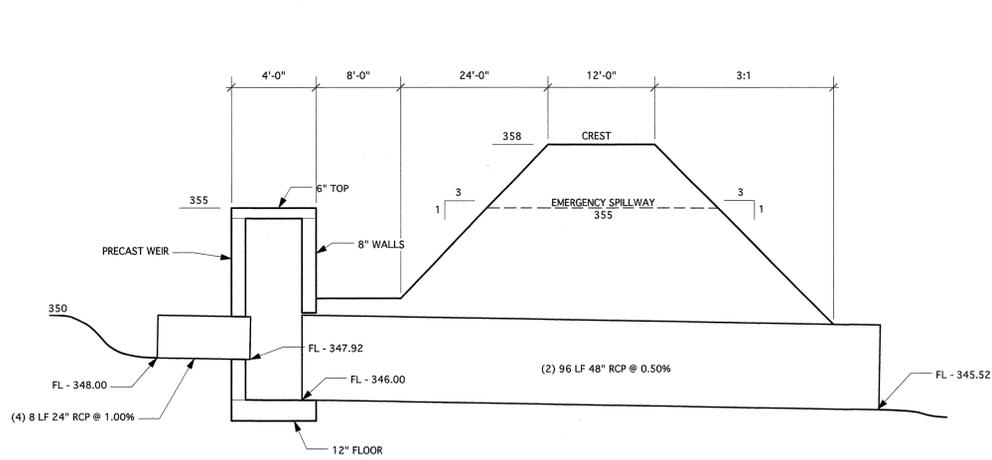
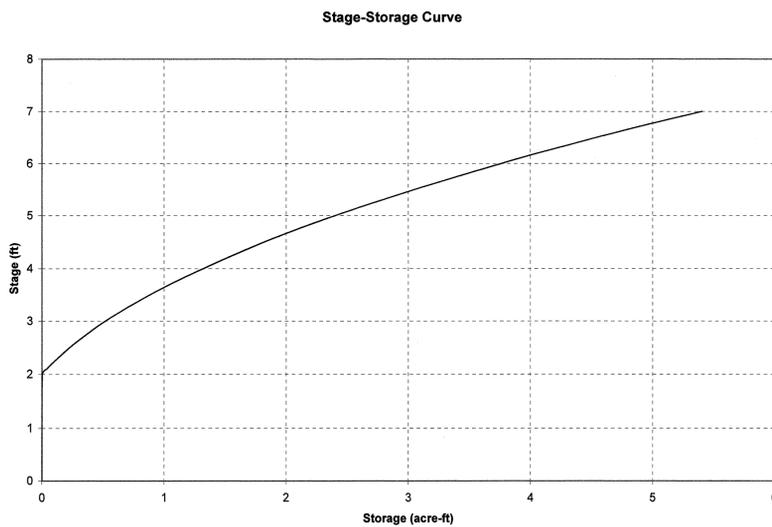


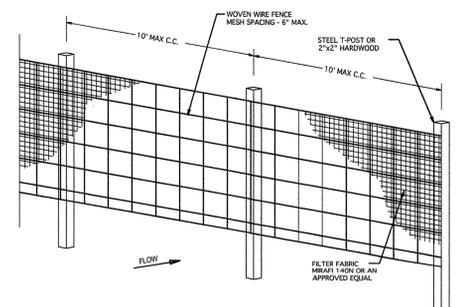
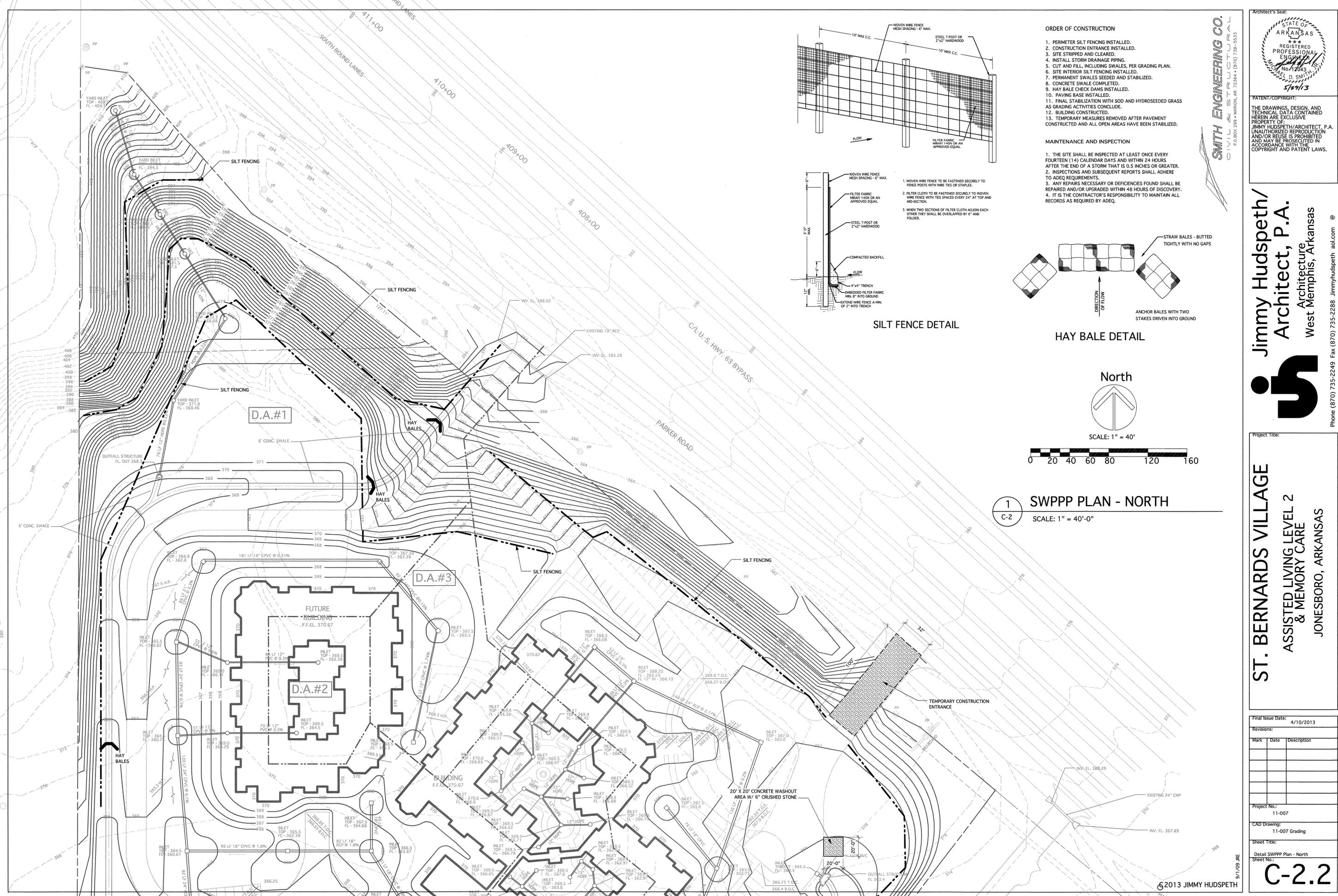
STORAGE DEMAND

Time	2 Year Event		10 Year Event		25 Year Event		50 Year Event		100 Year Event	
	Pond Elev	Storage Req	Pond Elev	Storage Req	Pond Elev	Storage Req	Pond Elev	Storage Req	Pond Elev	Storage Req
11	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
11.3	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
11.6	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
11.9	350.00	0	350.00	0	350.00	0	350.00	0	350.00	1,293
12	350.00	0	350.00	0	350.00	0	350.00	328	350.00	29,328
12.1	350.00	0	350.35	6,702	350.68	14,283	350.93	20,763	351.21	98,740
12.2	350.30	5,719	351.54	40,173	352.08	61,146	352.48	79,002	352.90	169,674
12.3	350.81	17,554	352.54	81,849	353.16	113,368	353.61	139,722	354.08	193,276
12.4	350.95	21,304	352.87	98,072	353.50	133,147	353.96	161,754	354.43	175,337
12.5	350.66	13,731	352.69	89,177	353.31	121,756	353.74	147,398	354.17	1,431
12.6	350.00	0	352.27	69,405	352.86	97,569	353.26	119,055	353.65	142,202
12.7	350.00	0	351.75	47,851	352.32	71,750	352.71	90,035	353.08	109,203
12.8	350.00	0	351.16	27,711	351.76	48,158	352.14	63,625	352.50	80,068
13	350.00	0	350.00	0	350.80	17,350	351.23	29,678	351.61	42,633
13.2	350.00	0	350.00	0	350.00	0	350.00	0	350.23	4,192
13.4	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
13.6	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
13.8	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
14	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
14.3	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
14.6	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
15	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
15.5	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
16	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
16.5	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
17	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
17.5	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
18	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
19	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
20	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
22	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0
26	350.00	0	350.00	0	350.00	0	350.00	0	350.00	0

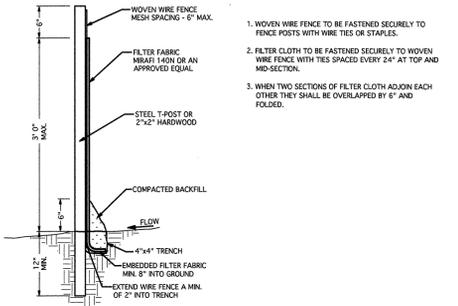
TABULAR HYDROGRAPH

Time	2 Year Event		10 Year Event		25 Year Event		50 Year Event		100 Year Event	
	Runoff		Runoff		Runoff		Runoff		Runoff	
	Post	Pre	Post	Pre	Post	Pre	Post	Pre	Post	Pre
11	3.35	2.61	6.09	4.90	7.41	6.01	8.53	6.97	9.80	8.05
11.3	4.62	3.62	8.39	6.80	10.21	8.35	11.76	9.68	13.51	11.17
11.6	6.99	5.21	12.70	9.79	15.45	12.03	17.80	13.93	20.44	16.09
11.9	27.37	11.15	49.81	20.95	60.63	25.72	69.84	29.80	80.22	34.42
12	53.32	20.41	97.04	38.36	118.10	47.10	136.10	54.57	166.30	63.02
12.1	94.31	39.23	171.40	73.72	208.60	90.53	240.20	104.90	275.80	121.10
12.2	111.30	67.76	201.90	127.30	245.60	156.30	282.70	181.10	324.60	209.20
12.3	88.84	65.71	161.30	161.00	196.30	197.80	226.00	228.10	259.50	264.60
12.4	57.39	83.10	104.40	156.10	127.10	191.70	146.40	222.10	169.20	256.60
12.5	36.81	62.40	67.01	117.20	81.57	144.00	93.96	166.80	107.90	192.60
12.6	25.72	43.14	46.81	81.06	56.98	99.55	65.63	115.30	75.39	133.20
12.7	19.35	31.27	35.20	58.76	42.85	72.15	49.35	63.59	56.69	96.55
12.8	15.52	23.60	28.23	44.34	34.35	54.45	39.56	63.08	45.44	72.86
13	11.73	15.06	21.32	28.29	25.94	34.74	29.88	40.25	34.32	46.49
13.2	9.98	11.15	18.13	20.95	22.07	25.72	25.41	29.80	29.18	34.42
13.4	8.71	9.12	15.84	17.14	19.27	21.04	22.19	24.38	25.49	28.16
13.6	7.84	7.96	14.25	14.96	17.34	18.37	19.96	21.29	22.93	24.58
13.8	7.03	7.09	12.78	13.33	15.56	16.37	17.91	18.96	20.57	21.90
14	6.41	6.37	11.64	11.97	14.17	14.70	16.32	17.03	18.74	19.67
14.3	5.90	5.50	10.18	10.34	12.39	12.69	14.27	14.71	16.39	16.99
14.6	5.20	4.92	9.45	9.25	11.49	11.36	13.23	13.16	15.20	15.20
15	4.73	4.49	8.59	8.43	10.45	10.36	12.04	12.00	13.82	13.86
15.5	4.26	4.05	7.73	7.62	9.41	9.35	10.84	10.84	12.45	12.52
16	3.79	3.62	6.88	6.80	8.37	8.35	9.64	9.68	11.07	11.17
16.5	3.35	3.19	6.08	5.99	7.40	7.35	8.52	8.51	9.79	9.83
17	3.19	3.04	5.80	5.71	7.05	7.02	8.12	8.13	9.33	9.39
17.5	2.98	2.90	5.42	5.44	6.59	6.68	7.59	7.74	8.72	8.94
18	2.82	2.61	5.13	4.90	6.24	6.01	7.19	6.97	8.26	8.05
19	2.48	2.32	4.50	4.35	5.48	5.35	6.31	6.19	7.25	7.15
20	2.09	2.03	3.80	3.81	4.63	4.68	5.33	5.42	6.12	6.26
22	1.88	1.74	3.42	3.26	4.16	4.01	4.79	4.64	5.51	5.38
26	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

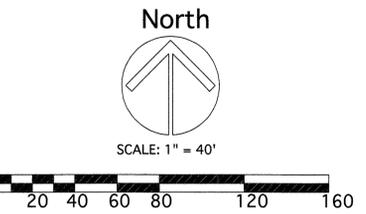




SILT FENCE DETAIL



HAY BALE DETAIL



1 SWPPP PLAN - NORTH
C-2 SCALE: 1" = 40'-0"

ORDER OF CONSTRUCTION

1. PERIMETER SILT FENCING INSTALLED.
2. CONSTRUCTION ENTRANCE INSTALLED.
3. SITE STRIPPED AND CLEARED.
4. INSTALL STORM DRAINAGE PIPING.
5. CUT AND FILL, INCLUDING SWALES, PER GRADING PLAN.
6. SITE INTERIOR SILT FENCING INSTALLED.
7. PERMANENT SWALES SEEDED AND STABILIZED.
8. CONCRETE SWALE COMPLETED.
9. HAY BALE CHECK DAMS INSTALLED.
10. PAVING BASE INSTALLED.
11. FINAL STABILIZATION WITH SOD AND HYDROSEEDING GRASS AS GRADING ACTIVITIES CONCLUDE.
12. BUILDING CONSTRUCTED.
13. TEMPORARY MEASURES REMOVED AFTER PAVEMENT CONSTRUCTED AND ALL OPEN AREAS HAVE BEEN STABILIZED.

MAINTENANCE AND INSPECTION

1. THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS AFTER THE END OF A STORM THAT IS 0.5 INCHES OR GREATER.
2. INSPECTIONS AND SUBSEQUENT REPORTS SHALL ADHERE TO ADEQ REQUIREMENTS.
3. ANY REPAIRS NECESSARY OR DEFICIENCIES FOUND SHALL BE REPAIRED AND/OR UPGRADED WITHIN 48 HOURS OF DISCOVERY.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL RECORDS AS REQUIRED BY ADEQ.

SMITH ENGINEERING CO.
CIVIL & STRUCTURAL
P.O. BOX 289 • MARION, AR 72364 • (870) 739-4533



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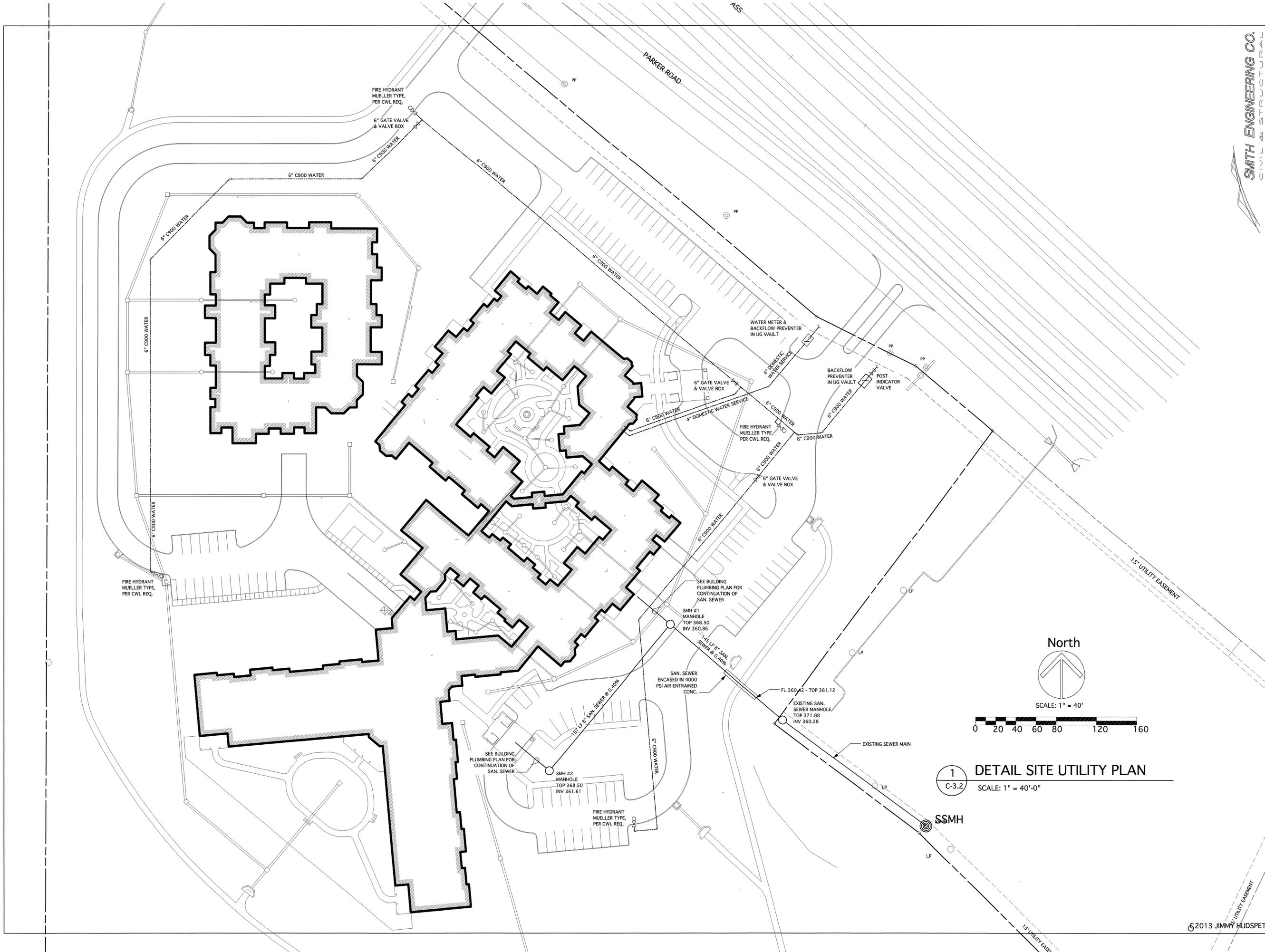
Jimmy Hudspeth/
Architect, P.A.
Architecture
West Memphis, Arkansas



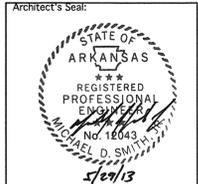
Phone (870) 735-2249 Fax (870) 735-2288 jimmyhudspeth@aol.com

Project Title:
ST. BERNARDS VILLAGE
ASSISTED LIVING LEVEL 2
& MEMORY CARE
JONESBORO, ARKANSAS

Final Issue Date:	4/10/2013	
Revisions:		
Mark	Date	Description
Project No.:	11-007	
CAD Drawing:	11-007 Grading	
Sheet Title:	Detail SWPPP Plan - North	
Sheet No.:	C-2.2	



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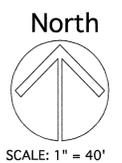
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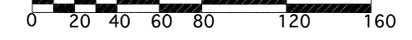


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Project Title:
ST. BERNARDS VILLAGE
ASSISTED LIVING LEVEL 2 & MEMORY CARE
 JONESBORO, ARKANSAS



SCALE: 1" = 40'



1 **DETAIL SITE UTILITY PLAN**
 C-3.2 SCALE: 1" = 40'-0"

Final Issue Date:	4/10/2013	
Revisions:		
Mark	Date	Description
Project No.:	11-007	
CAD Drawing:	11-007 Grading	
Sheet Title:	Detail Site Utility Plan	
Sheet No.:	C-3.2	