



City of Jonesboro

Municipal Center
300 S. Church Street
Jonesboro, AR 72401

Meeting Agenda Board of Zoning Adjustments

Tuesday, March 18, 2025

1:30 PM

Municipal Center, 300 S. Church

1. Call to Order

2. Roll Call

3. Approval of Minutes

[MIN-25:021](#) Minutes: February 18, 2025

Attachments: [2.18.25 BZA Minutes](#)

4. Appeal Cases

[VR-25-02](#) Variance: 1209 East Country Club Terrace

Randy Woodard is requesting a variance for an eight-foot-tall fence. The property is zoned R-1, single family medium density district.

Attachments: [Application](#)
[Certified Mail](#)
[Fence Location](#)
[Fence Photos](#)
[Letter - Mike Childs](#)

[VR-25-04](#) Variance: 3225 South Caraway Road

Stonebridge Construction, LLC is requesting a variance on behalf of Stomsang Enterprises, Inc. for the requirement to connect to the property to the west. The property is zoned C-3, general commercial.

Attachments: [Variance Application](#)
[Variance For Drive](#)
[Variance Narrative Letter](#)
[Variance Neighbor Notifications](#)

VR-25-05

Variance: 3811 South Culberhouse Street

Todd Wilcox is requesting a variance for an eight-foot-tall gate. The property is zoned R-1, single family medium density district.

Attachments: [BZA Application](#)
[Certified Mail Receipts](#)
[Gate Picture](#)

VR-25-06

Variance: 5800 CW Post Road

Burns & McDonnell Engineering Company is requesting a variance on behalf of Post Consumer Brands for the requirement to pave an off-street temporary parking lot. The property is zoned I-2, general industrial district.

Attachments: [Varaince Application](#)
[Plans](#)
[CERTIFIED MAIL RECEIPTS](#)

5. Staff Comments**6. Adjournment**



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: MIN-25:021

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Board of Zoning Adjustments

File Type: Minutes

Minutes: February 18, 2025



City of Jonesboro

Municipal Center
300 S. Church Street
Jonesboro, AR 72401

Meeting Minutes Board of Zoning Adjustments

Tuesday, February 18, 2025

1:30 PM

Municipal Center, 300 S. Church

1. Call to Order

2. Roll Call

Present 5 - Rick Miles; Casey Caples; Kevin Bailey; Doug Gilmore and Max Dacus Jr.

3. Approval of Minutes

[MIN-25:012](#) BZA Minutes: December 17, 2024

Attachments: [12.17.24 BZA Minutes](#)

A motion was made by Rick Miles, seconded by Casey Caples, that this matter be Approved . The motion PASSED with the following vote.

Aye: 4 - Rick Miles; Casey Caples; Kevin Bailey and Max Dacus Jr.

4. Appeal Cases

[VR-25-01](#) Variance: 1328 W. Huntington Ave.

Weston Wagner is requesting a variance to continue construction on a single-family home located within the Industrial Arts Development District.

Attachments: [Variance Application](#)
[Variance Letter](#)
[Site Plan](#)
[Certified Mail Receipts](#)

Doug Gilmore (Chair): Mr. Wagner, you're number one. Tell us your story.

Weston Wagner (Proponent): Hey, good afternoon everyone. I'm Weston Wagner, I own 1328 West Huntington. I'm assuming that you guys all read my narrative letter. I submitted plans to the city of Jonesboro I paid for a permit in July of 2024, started construction and a month later I got shut down by the City of Jonesboro. My footings are done, my blocks are done. We have dirt on site where we had started backfilling and then got shut down. So, I've sat for the last 6, 7 months of nothing and I would like a reconsideration to be able to continue building my single-family house.

Doug Gilmore: Okay, and this is in the industrial arts?

Weston Wagner: Yes, sir. Downtown Redevelopment District.

Doug Gilmore: On the overlay.

Weston Wagner: Yes, sir.

Doug Gilmore: And Weston, you came for a permit to build in the city.

Weston Wagner: Yes, sir.

Doug Gilmore: What month was that?

Weston Wagner: I paid for my permit in July of 2024.

Doug Gilmore: Okay.

Weston Wagner: So, the City of Jonesboro had my blueprints, they had my site plan, they had measurements of everything was submitted to them, and I had built it to exactly those specs. I'd got my footing, inspections, everything.

Doug Gilmore: And this industrial art area is only supposed to be multi-family homes but the problem is most houses up and down Huntington are all single-family homes.

Weston Wagner: That's Correct. Yes, sir.

Doug Gilmore: Yeah that troubles me that the city won't allow you to build what's next door.

Weston Wagner: And I'd much rather had the city approach me and say, hey would you build a duplex on that? I said, no, I would much rather have a single-family house.

Doug Gilmore: Everyone would rather have single-family homes. Any questions from the members?

Casey Caples (Board): Mr. Chair, this was here six months ago, right Wes?

Weston Wagner: Yes, sir.

Doug Gilmore: And he has to wait 6 months to come back for an appeal.

Casey Caples: Did you have any communications with the city after we denied it?

Weston Wagner: Had several.

Casey Caples: And you didn't get anywhere with any?

Weston Wagner: I had several meetings with the mayor's office with Tony Thomas several and they said, hey were going to work with you, we're going to help you out, we're going to do all this and then it just kind of it didn't help me out that it was election time either everybody I know, it's not a good excuse but at the same time, it's a busy time for everybody.

Casey Caples: So, y'all didn't come to any agreements?

Weston Wagner: There was nothing that you know.

Rick Miles (Board): Have they come back with any other reason whatsoever to you? Have they had any communications with you?

Weston Wagner: We're going to help you, we're going to work with you, we're going to figure something out. Can you make us a spread sheet on how much money you're out? Yes, I can, here's my spreadsheet. I can show you all the emails I've sent them back and forth and nothing back, no here's what we're going to do for your or here's another solution.

Doug Gilmore: You've got a loan on this piece of property.

Weston Wagner: I do have a loan on that and I've paid interest on it every single month since I closed the loan.

Rick Miles: When you put your paperwork in at that time, you knew it was supposed to be a multi-family?

Weston Wagner: No, sir.

Rick Miles: No, you were never told that?

Weston Wagner: So, I actually had a meeting with Michael Morris in his office before I ever submitted plans that we were looking at this lot. I did not have plans and we was looking at how I could do my driveway. So, I own two houses at 1311 and 1315, which is across the street.

Rick Miles: Right.

Weston Wagner: So, we was looking at how I was going to do my driveway

because I was going to do a carport in the front and so they had Derrel come in and they said, no you can't do a carport in the front. You're going to have to do it to the side. Okay, no problem. I got a corner lot. I did it to the side. But at that time, there was never anything said about how, hey you can't do a single-family home, and so not only did I go get my blueprints for a single-family home, I submitted my plans. I got appraisals that I had to pay for. I did everything I was supposed to, as I would go to for any other single-family home, to only find out a month after I had got my permit, stop work order.

Doug Gilmore: And what was the verbiage from the city to you?

Weston Wagner: That Huntington and this is crazy to me but they've got a line straight down Huntington that says this side is neighborhood transition, and on that side is industrial arts. If you go to any subdivision or anything of new construction now, you're not going to divide a road down the center and say, do multi-family on this side, do single family on this side, that's just not how it's done. But that's how it's done there on Huntington and so they said, well, you could build single-family on that side. You can't on that side. I think if there was a line it needs to be in the center of the houses on Huntington and the road behind Huntington.

Rick Miles: This was never discussed with you at any given time prior to the issuing of your permit?

Weston Wagner: No, I got my permit, I paid for the permit. I paid \$725 for the permit and waited a month, let's see I got my permit July the 11th, I got shut down I believe it was August the 6th.

Rick Miles: Is this before the inspection of the footings or?

Weston Wagner: After, the blocks are already up.

Rick Miles: Well, I know that I've been by there several times.

Doug Gilmore: Any more questions from the board? We got multiple people here and it seems like some of them want to talk, so we're going to give them an opportunity, as long as y'all don't have any more questions. Alright, any members of the audience like to speak to this? State your name and address, and keep talking.

Nate Lipsky (Public): My name is Nate Lipsky, I own Whitehall Investments. I actually own the adjoining property right there behind it on 1326 Huntington that duplex, that multi-family. I said, I don't really have a dog in the hunt here so to speak other than kind of like where he was talking about dividing the line down through there. I'm a licensed real estate agent here in Jonesboro and I mean, other than my property and a couple other there. I mean, it's kind of a residential street for the most part. I know he's building it as an investor but at some point this could be a owner occupant house and I just don't see how that hurts the neighborhood or the area. So, I have no objections to what he's doing at all.

Doug Gilmore: Anyone else?

Dan Passmore (Public): Dan Passmore, 7114 Highway 351 Jonesboro. I've got to know Wes over this last year or so as a landlord and the quality of stuff he's building and the areas he's building this stuff in. We've taken about 15 years now, getting Fairview cleaned up, straightened up, and doing good. He's coming in there buying lots, tearing down houses that are dilapidated and building brand-new stuff, improving the quality of those neighborhoods. Same thing on the north side of town. Everything he's built is quality. He's a quality landlord. He checks his tenants so he's not getting wild crazy people everywhere but he's careful about what he does because this is his livelihood and I've owned property on Huntington, 811 Huntington years ago, I sold it and it burned down, years after I sold it, but to get somebody to come build over there anyway is hard enough but when you've got a guy that's offering to build

a house instead of an apartment, which home ownership, it's tough right now for people. He's offering somebody a house to live in that they wouldn't be able to buy themselves anyway and in a part of town, that yeah if you're over by the middle of the west end of this, or you're on the edge of it over here, you're lucky to get anybody to build anything but you got a guy trying to build a house instead of an apartment that seems like an upgrade to me. I don't understand why that would get turned down, zone or no zone if you're building the better of the two, why can't you build the better of the two?
Unable to transcribe

Vince Percy (Public): Vince Percy, 3200 Rhonda Drive. I've owned property in the west end for 25 years now and we've watched a lot happen down there but to me, the point about the zoning line here, like they said, well, I agree with everything they said first of all, and I think if you guys will approve this variance, it will be a bonus for the neighborhood. I'm all for the single-family homes and there's plenty of things that have been built down there in the last several years that are a whole lot worse than this. So, this is a movement in the right direction here. Thank you.

Doug Gilmore: Anyone else who would like to speak? Everybody understand what we're dealing with here. It was clearly stated by the owner and the residents.

Kevin Bailey (Board): Mr. Chair not to put anyone on the spot but I'd like to here from the city. Whether, Miss Monica or somebody else.

Monica Percy (Planner): Yeah, everything Weston stated is correct. I think really in the review process because that dividing line does run down the middle of that street. More than likely, the reviewer may have misunderstood where the two different districts were and approved it because of that. I think it was purely by mistake. In those districts, we have so much to check for, ceiling heights, setbacks. So, more than likely, it was just a mistake on our part.

Doug Gilmore: This has nothing to do with Mr. Wagner at this point but it would be nice if the people at the Planning Commission could re-look at this overlay and possibly move that line in the middle of the block rather than in the middle of the street. Does not make sense to me but.

Weston Wagner: And to add to your point there too, we're looking at, I want to do a single-family home here. I own this lot, I've got money invested in this lot. If I'm not able to build a single-family home, I've gotta build something else. Whether that be a duplex or we're an industrial arts district some kind of industrial shop building of some sort. I'd much rather have a single-family house there than, a shop building or a duplex or any kind of multi-family.

Rick Miles: Is this being built for resale?

Weston Wagner: No, I build it to keep it.

Rick Miles: So, strictly rental?

Weston Wagner: Yes, sir.

Doug Gilmore: It's a nice looking house in the sense that you've got the carport on the back off here and maybe a front porch on the front of that.

Weston Wagner: There is right there on the front. Front left corner.

Casey Caples: Is that the only ordinance that is in the wrong-

Doug Gilmore: The only ordinance is that it's in the Industrial Arts district which is not supposed to be single family.

Casey Caples: That is correct. All multi-family in that area.

Unable to transcribe

Casey Caples: I hate to be the board to fix everyone's mistakes, mistakes are going to be made on both sides from everybody but that's essentially what we're being ask to do is to kind of stick a band aid on it because, and Weston I think what you're doing is great I really do but the only heartburn I have with it

is, if you came to us and, let's say they did catch it and then you came to us and said hey I would like to put a single-family here, you know, that's where I put my position is, would I have allowed it or would I have not? I hate to be somewhat forced into a decision to fix a mistake, that's where I'm at I'm trying to balance it a little bit for myself that's probably the only reason I have any hesitation at all is I don't necessarily know that I would have yeah okay put a single family where they want multi-family, what the city's asked us to do.

Doug Gilmore: That decision making process was taken away from you.

Casey Caples: You're correct. That's what I'm saying, I feel like we're really being forced to make a decision.

Doug Gilmore: But we've been forced to do a lot of things here recently.

Unable to Transcribe

Weston Wagner: I think, and this is just my opinion, the higher ups just keep passing it on to somebody else. And at what point do I get to stop the bleeding where I don't have to be the loser every time.

Casey Caples: I agree with that and that's why I say I'm a little shocked that the city hasn't been able to come up with some sort of conclusion with you to make everybody whole in this matter.

Doug Gilmore: I think that's our job today is to come up with a conclusion.

Rick Miles: Monica, has the, was this reviewed again by, the powers above? Have they even looked at this again prior to this coming up to us again?

Monica Pearcy: That, I don't know.

Rick Miles: Okay.

Monica Pearcy: I do know that they are aware that this is coming back to you all. I don't know if they've actually sat down with the plans and.

Weston Wagner: When you and I talked, correct me if I'm wrong. When I called you and I said, hey, before I bring you my documents for BZA stuff. First off, is it okay to do that yet, and you said you had spoken to Derrel, and Derrel said that he had seen no problem with it. He would be in favor of a single-family house. Did he say that?

Monica Pearcy: As far as I remember, he said it was good for it to come back. For review.

Weston Wagner: Okay.

Kevin Bailey: Mr. Chair, I really think that the MAPC and I'm a member of the MAPC, I really think we need to look at the line, the demarcation line between the two zoning districts, I hate that the BZA is here making this decision six months after we turned it down and asked to go back to the city and for some sort of deal to be worked out but since there is no deal worked out and Weston's here and he's six months further down the road I would like to make the motion that we grant the variance today.

A motion was made by Kevin Bailey, seconded by Rick Miles, that this matter be Approved . The motion PASSED with the following vote.

Aye: 4 - Rick Miles;Casey Caples;Kevin Bailey and Max Dacus Jr.

[VR-25-03](#)

Variance: 2204 Shoshoni Dr.

Ted and Beverly Seel are requesting a variance for accessory building setbacks. This property is in the R-1, single-family medium density district.

Attachments: [Variance Application](#)
 [Site Plan for Detached Shed](#)
 [Certified Mail](#)

Ted and Beverly Seel (Proponent): We live at 2204 Shoshoni in the Indian Trails area. Unbeknownst to us when we started the shed project we needed to have a variance and so we're I think it's probably a setback variance. I've never been told exactly what it is. So, I'm ready to answer questions. Mr. Easley is here representing the contractor who's going to build the shed for me but first of all, we tore our old shed down. We're just replacing the old one.

Doug Gilmore (Chair): Their was one in this place before?

Ted and Beverly Seel: Yeah, there was on there but it was old and it needed replacing. The floor was spongy. We're going to put one back better on a concrete slab instead, so, we had no idea it would be a problem because there was already a building there. It doesn't obstruct any of our neighbor's views, it's behind our house I mean there's trees behind that, so there's nothing. And I think that's a permanent drainage, I don't think anybody will ever build you know, because a few houses south of us you know, when they put in that subdivision they sculpted that into a drainage ditch.

Doug Gilmore: Mr. Seel, is this building the same size as what was there?

Ted and Beverly Seel: The shed that we would like to build is 8 feet longer than the one that was there.

Doug Gilmore: 8 feet deeper into the property? Long wise?

Ted and Beverly Steel: Yeah it runs parallel to the property line it's 8 feet longer, parallel to the property line.

Doug Gilmore: Not any closer to the front property line?

Ted and Beverly Seel: No, sir. Yeah the original building was perpendicular to the property line, this one is parallel to the property line.

Casey Caples (Board): Mr. Seel could you pull the building down to where the back of it is closer to the alignment of the back of your house. Leave the same dimensions but so that way we're only here discussing a little bit of setback on the back property line and no the side property line. Could you slide it?

Ted and Beverly Seel: I see what you mean and I think the answer is yes. Would you see any problem with?

Contractor (Proponent): No, you want to move it back this way and line it was the back of the house.

Ted and Beverly Seel: Yes, so it aligns with the north edge of the house.

Contractor (Proponent): Yeah, I don't see a problem with that.

Rick Miles: Is it going behind a fence or anything?

Ted and Beverly Seel: We have a privacy fence to the north between our property and that neighbor. As my wife said to the east, we've got a picket fence, but that's all forest.

Board: The southside has a privacy fence.

Ted and Beverly Seel: Yeah, the drainage from the Catholic Church and that area all comes down through there.

Board: So, if you slid it to the back of the house, then we're only talking about a one foot eight variance on the back property line. Is that correct, Monica?

Monica Pearcy (Planner): It is.

Doug Gilmore: Look, at Google Maps you can look at and see that old, shed building. But it sounds like it's going to be a whole lot nicer when they get it done.

Ted and Beverly Seel: We hope, that's the general idea.

Ted Seel (Public): I'd just like to make an editorial comment about the building permit approval process like Mr. Wagner, when we first started this back in late October, early November it's a very cumbersome, not user friendly process, and we're not contractors but-

Board: We're all in the business.

Ted Steel: So, anyway there's got to be a better way to do it because the way it's being done now is cumbersome.

Doug Gilmore: There's a man over there, with glasses on his head, if you would relay that to him. And because he has the ear of the mayor who can do something about that. We heard you , and we will certainly pass that along and I know Tony will too. Thank you.

A motion was made by Casey Caples, seconded by Kevin Bailey, that this matter be Approved . The motion PASSED with the following vote.

Aye: 4 - Rick Miles;Casey Caples;Kevin Bailey and Max Dacus Jr.

5. Staff Comments

Monica Pearcy (Planner): If you would make a motion to keep the chair and vice chair of the board, as is, or nominate a new chair and vice chair.

Kevin Bailey (Board): I make a motion to renominate the chair and vice chair as they are.

Casey Caples (Board): Second.

A motion was made by Kevin Bailey, seconded by Casey Caples that the Chair and Vice Chair of the Board of Zoning be renominated, the motion was PASSED with the following vote:

Aye (4): Rick Miles, Max Dacus, Kevin Bailey, Casey Caples

Nay (0)

6. Adjournment



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: VR-25-02

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Board of Zoning Adjustments

File Type: Variances

Variance: 1209 East Country Club Terrace

Randy Woodard is requesting a variance for an eight-foot-tall fence. The property is zoned R-1, single family medium density district.



Zoning Appeals Process

Application Requesting Variance & Nonconforming Use Change Requests

Owner: Randy Woodward Applicant: Gene
 Address: 1209 E. C. Tenell Address: Gene
 Phone: 870 397 2920 Phone: Gene
 Email: RWood1453@jcloud Email: Gene
 Signature: [Signature] Signature: [Signature]

Description of Requested Variance:

8 Ft Fence

Circumstances Necessitating Variance Request:

Constructed 8 Ft Fence

General Submittal Information:

- Submit a narrative letter explaining your request along with seven (7) copies of an accurate site plan drawn at a scale that clearly illustrates the requested use, the subject property, and the surrounding properties, streets and easements, etc.
- Provide confirmation receipts to our office that adjoining owners of all properties have been notified.

Office Use Only

Case Number: VR-25-02 Date Submitted: 02/03/2025

BZA Deadline: 02/25/2025 BZA Meeting Date: 03/18/2025

Planning & Zoning Department - 300 S. Church St., Jonesboro, AR 72401 - (870) 932-0406 Office - (870) 336-3036 Fax

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FAQs >

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Delivered

Delivered, Individual Picked Up at Post Office

JONESBORO, AR 72401

February 14, 2025, 3:40 pm

Reminder to Schedule Redelivery of your item

February 11, 2025

Notice Left (No Authorized Recipient Available)

JONESBORO, AR 72401

February 6, 2025, 2:21 pm

Arrived at USPS Regional Facility

MEMPHIS TN DISTRIBUTION CENTER

February 4, 2025, 9:59 pm

Departed Post Office

CASH, AR 72421

February 4, 2025, 11:30 am

USPS in possession of item

Feedback

CASH, AR 72421
February 4, 2025, 10:39 am

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Product Information



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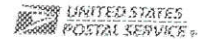
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February 14, 2025

USPS Tracking Intranet Tracking Number Result

Result for Domestic Tracking Number 7021 2720 0002 8236 8235

Tracking Expires On
February 5, 2027

Destination and Origin		
Destination		
ZIP Code	City	State
72401	JONESBORO	AR
Origin		
ZIP Code	City	State
72421	CASH	AR

Tracking Number Classification	
Class/Service	
Class/Service:	First-Class Mail®
Class of Mail Code/Description:	FC / First Class
Destination Address Information	
Address:	1211 E COUNTRY CLUB TER
City:	JONESBORO
State:	AR
5-Digit ZIP Code:	72401
4-Digit ZIP Code add on:	4324
Delivery Point Code:	11
Record Type Code:	Street Record
Delivery Type:	Residential, Sidewalk
Origin / Return / Pickup Address Information	
Address:	
City:	
State:	
5-Digit ZIP Code:	72421
4-Digit ZIP Code add on:	
Service Delivery Information	
Service Performance Date:	Expected Delivery by: Thursday, 02/05/2025
PO Box:	N
Other Information	Service Calculation Information
Agent Information	
Request Internal USPS Tracking Plus Statement	

Extra Services	
Extra Services Details	
Description	Amount
Certified Mail	

Events

Event	Event Code	Event Date	Event Time	Location	Input Method	Scanner ID	Carrier Route	Posting Date / Time (Central Time)	Other Information
2ND NOTICE GENERATED	VF	02/11/2025	04:00	JONESBORO, AR 72401	Customer Driven Activity			02/11/2025 04:43:06	Request Delivery Record
NO AUTHORIZED RECIPIENT AVAILABLE	56	02/06/2025	14:21	JONESBORO, AR 72401	Scanned	MDD TR C354A00598 (interface type - wireless)	Scanned by route 2401C028	02/06/2025 14:31:12	3849 ID: 5293066022885417 GEO Location Data Available
ENROUTE/PROCESSED	10	02/05/2025	19:20	MEMPHIS, TN 38101	Scanned	DBCS-033	Destined to route 72401432411	02/05/2025 19:26:16	Weight: 0 lb(s) 0.00 oz(s)
ENROUTE/PROCESSED	10	02/05/2025	11:50	MEMPHIS, TN 38101	Scanned	DBCS-033	Destined to route 72401432411	02/05/2025 11:54:05	Weight: 0 lb(s) 0.00 oz(s)
ENROUTE/PROCESSED	10	02/04/2025	23:07	MEMPHIS, TN 38101	Scanned	DBOSS-008		02/04/2025 23:12:11	Weight: 0 lb(s) 0.00 oz(s)
ENROUTE/PROCESSED	10	02/04/2025	21:59	MEMPHIS, TN 38101	Scanned	AFCS200-002		02/04/2025 22:05:03	Weight: 0 lb(s) 0.00 oz(s)
DEPART POST OFFICE	SF	02/04/2025	11:30	CASH, AR 72421	System Generated			02/04/2025 11:44:07	Closeout Label ID: QT13 5720 5000 2502 0411 3225 000
ACCEPT OR PICKUP	03	02/04/2025	10:39	CASH, AR 72421	Scanned	MIO 15134D84A2 (non-wireless)	Scanned by route 2421B001	02/04/2025 11:35:06	Facility Finance Number: 041611 GEO Location Data Available

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MICHAEL MORTERSON

Tracking Number:

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Delivered

Delivered, Left with Individual

JONESBORO, AR 72401

February 6, 2025, 2:18 pm

Arrived at USPS Regional Facility

MEMPHIS TN DISTRIBUTION CENTER

February 4, 2025, 10:02 pm

Departed Post Office

CASH, AR 72421

February 4, 2025, 11:30 am

USPS in possession of item

CASH, AR 72421

February 4, 2025, 10:40 am

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Feedback

Text & Email Updates



USPS Tracking Plus®



Product Information



See Less

Track Another Package

Enter tracking or barcode numbers

Need More Help?

Contact USPS Tracking support for further assistance.

FAQs

7021 2720 0002 8236 8242

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$ 9.68
Total Postage and Fees	\$

Sent To Michael Morrison
 Street and Apt. No., or PO Box No. _____
 City, State, ZIP+4® _____

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 2720 0002 8236 8235

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$ 9.68
Total Postage and Fees	\$

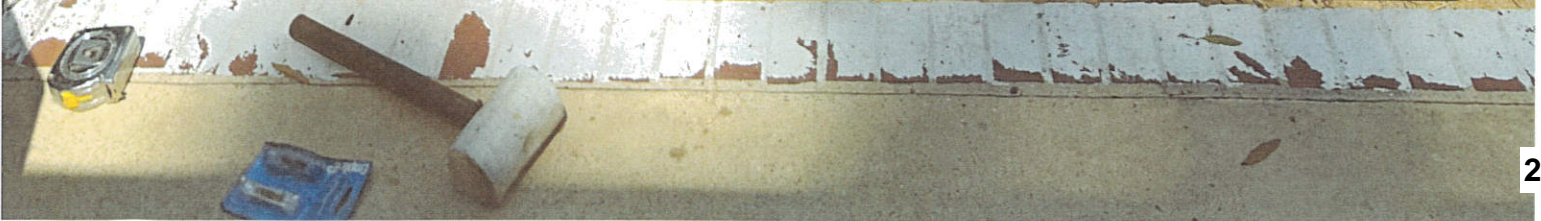
Sent To Lauren Dunally
 Street and Apt. No., or PO Box No. _____
 City, State, ZIP+4® _____

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions





EXHIBIT
1





tabbles®
EXHIBIT
2



EXHIBIT
3

tabbles®



tabbles[®]
EXHIBIT
4



tabbies®
EXHIBIT
5

January 22, 2025

Re: Randy Woodard
1209 E. Country Club Terrace
870.897.2920

Dear Mike:

On April 29, 2024, I purchased the house located on 1209 E. Country Club Terrace in Jonesboro. As you know, I made several significant improvements to the exterior of the house, including landscaping, sod, and construction of an 8-foot tall, stained, wooden privacy fence in the backyard. The previous fence was a metal, chain-link fence.

After conversations with the planning & zoning department, I now understand that I should have requested permission to construct a fence taller than six feet and that the support posts should have been facing inside. That is completely my fault and I apologize for any inconvenience or hassle.

In lieu of constructing a new fence, the City has advised that a letter of permission from my neighbors will hopefully resolve the issue. If acceptable, I will agree to construct a "shadow box" or "board on board" fence, solely at my expense, which will remove visibility of the support posts and create the same aesthetics both on the inside and outside of the fence. I of course will agree to reimburse you for any expense or fees you have incurred related to the fence.

If you are agreeable to the above proposed construction, please sign and date the below and I will present this letter of permission to the planning & zoning commission for consideration. Please give me a call or shoot a text, 870.897.2920, if you have any questions, would like more information on the proposed construction, or if I can ever help with anything. I enjoy living in this neighborhood and want to help out however possible.

Thank you.

Sincerely,

Randy Woodard

 1-29-2025

Mike Childs
1208 W. Country Club Terrace
870.930.4103



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: VR-25-04

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Board of Zoning Adjustments

File Type: Variances

Variance: 3225 South Caraway Road

Stonebridge Construction, LLC is requesting a variance on behalf of Stomsang Enterprises, Inc. for the requirement to connect to the property to the west. The property is zoned C-3, general commercial.



Zoning Appeals Process

Application Requesting Variance & Nonconforming Use Change Requests

Owner: Stomsang Enterprises, Inc.

Applicant: Stonebridge Construction, LLC

Address: 322 Julie Rivers, Sugarland, TX

Address: 2211 Hill Park Cv., Jonesboro, AR

Phone: 832-886-7010

Phone: 870-268-9885

Email: _____

Email: rhester@sbconst.com

Signature: _____

Signature: _____

Description of Requested Variance:

1) Remove requirement to provide direct access to the property to the west

Circumstances Necessitating Variance Request:

The intended use of the property necessitates the requested variance - providing access to the property drastically restricts the use.

General Submittal Information:

- Submit a narrative letter explaining your request along with seven (7) copies of an accurate site plan drawn at a scale that clearly illustrates the requested use, the subject property, and the surrounding properties, streets and easements, etc.
- Provide confirmation receipts to our office that adjoining owners of all properties have been notified.

Office Use Only

Case Number: VR-25-04 Date Submitted: 2/21/25

BZA Deadline: 2/25/25 BZA Meeting Date: 3/18/25

Shelby Dr

Shelby Dr

Shelby Dr

Shelby Dr

S Caraway Rd

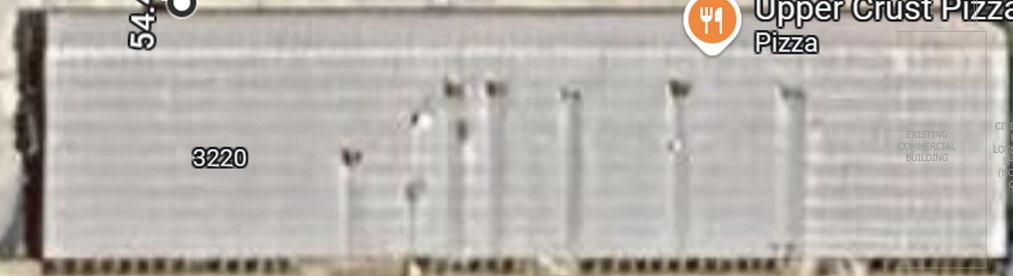
S Caraway Rd

29

Drive Aisle and parking does not meet code only 54' total width, assuming 18' parking spaces on the north and south side of drive this only leave 18' for the 2 way drive aisle

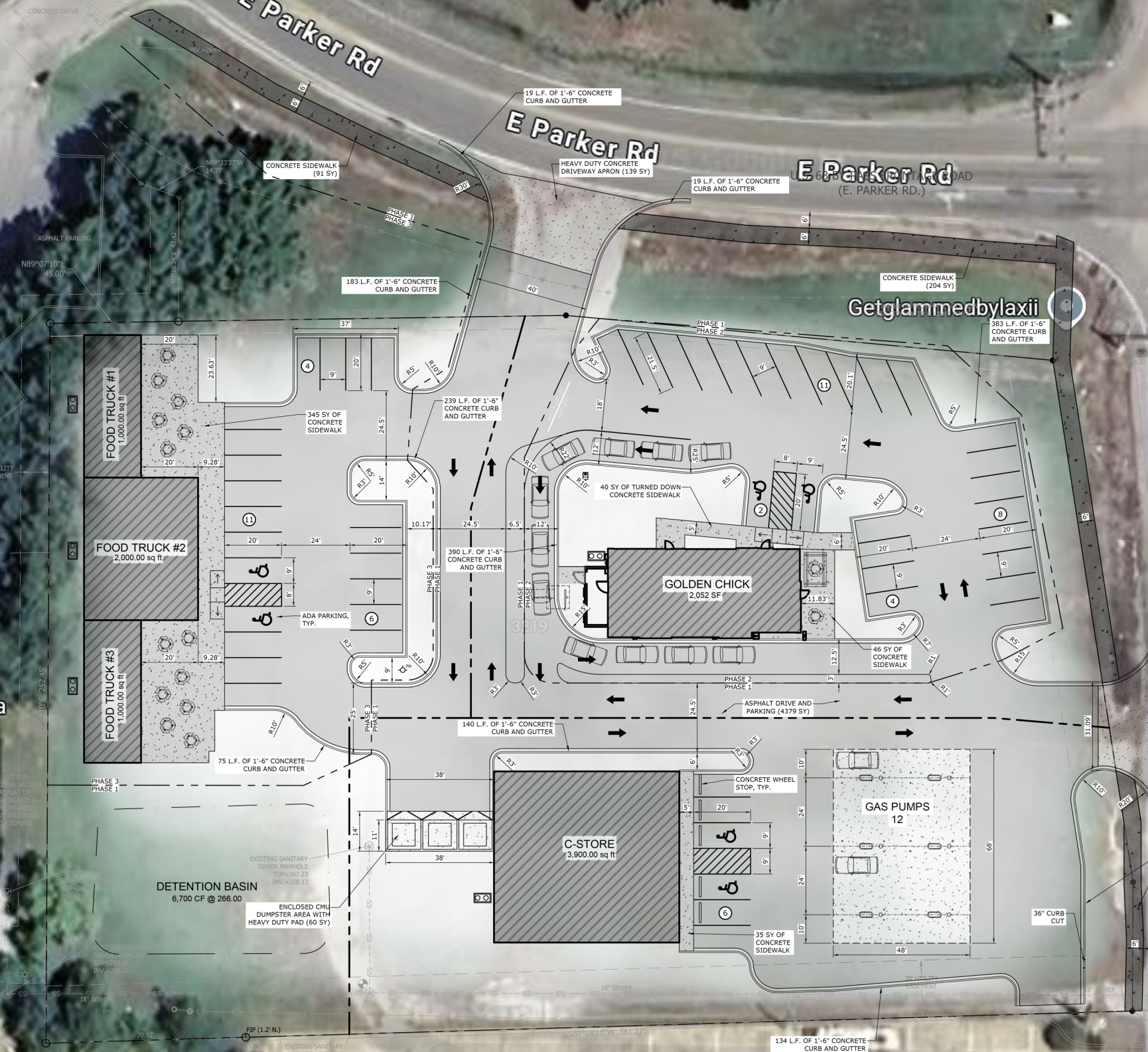


2117



3220

Upper Crust Pizza



FOOD TRUCK #1
1,000.00 sq ft

FOOD TRUCK #2
2,000.00 sq ft

FOOD TRUCK #3
1,000.00 sq ft

GOLDEN CHICK
2,052 SF

C-STORE
3,900.00 sq ft

GAS PUMPS
12

DETECTION BASIN
6,700 CF @ 266.00

ENCLOSED CMU DUMPSTER AREA WITH HEAVY DUTY PAD (60 SY)

CONCRETE WHEEL STOP, TYP.

35 SY OF CONCRETE SIDEWALK

134 L.F. OF 1'-6" CONCRETE CURB AND GUTTER

183 L.F. OF 1'-6" CONCRETE CURB AND GUTTER

CONCRETE SIDEWALK (91 SY)

19 L.F. OF 1'-6" CONCRETE CURB AND GUTTER

HEAVY DUTY CONCRETE DRIVEWAY APRON (139 SY)

19 L.F. OF 1'-6" CONCRETE CURB AND GUTTER

CONCRETE SIDEWALK (204 SY)

383 L.F. OF 1'-6" CONCRETE CURB AND GUTTER

345 SY OF CONCRETE SIDEWALK

239 L.F. OF 1'-6" CONCRETE CURB AND GUTTER

40 SY OF TURNED DOWN CONCRETE SIDEWALK

390 L.F. OF 1'-6" CONCRETE CURB AND GUTTER

46 SY OF CONCRETE SIDEWALK

140 L.F. OF 1'-6" CONCRETE CURB AND GUTTER

ASPHALT DRIVE AND PARKING (4379 SY)

25 L.F. OF 1'-6" CONCRETE CURB AND GUTTER

HEAVY DUTY CONCRETE DRIVEWAY APRON (84 SY)

18 L.F. OF 1'-6" CONCRETE CURB AND GUTTER

92 L.F. OF 1'-6" CONCRETE CURB AND GUTTER

CONCRETE SIDEWALK (55 SY)

126

36" CURB CUT



February 12, 2025

Mr. Derrel Smith
Director, Planning, Zoning
City of Jonesboro
300 South Church Street
Jonesboro, Arkansas 72401

Re: Variance Request – Pit Stop Caraway Rd.

Mr. Smith

Stonebridge Construction request variances for the proposed Pit Stop convenience store development located at the corner of Caraway and Parker Road. The request is to remove the requirement to provide connection to the property to the east currently Upper Crust Pizza. The parking and drive aisle for Upper Crust Pizza is grossly undersized, the entire drive aisle and 2 rows of parking is only 54' wide using a minimum of 18' for each parking space depth that only leaves 18' for 2-way drive aisle.

This would have ben requested last year when we submitted variance request in September but after meeting with all of the city departments in July it was never brought up as a concern until permit application.

Please see the attached civil plans for more information about the development.

Please call me if at 870-761-3280 if you have any questions or need additional information.

Regards,

A handwritten signature in blue ink, appearing to read 'Rob Hester', with a large, stylized flourish extending to the left.

Rob Hester
Stonebridge Construction, LLC



Zoning Appeals Process

BZA ADJOINING PROPERTY OWNER NOTIFICATION

The Board of Zoning Adjustment, City of Jonesboro, Arkansas, will hold a public hearing at the City of Jonesboro Municipal Center, 300 S. Church St., Council Chambers, 1st Floor, Jonesboro, Arkansas, on:

TUESDAY, MARCH 18TH, 2025 AT 1:30 P.M.

One item on the agenda for this meeting is a request to the Board to approve a variance to the zoning ordinance concerning property that is adjacent to your property. You have the opportunity to attend this meeting to voice your approval or disapproval if you wish. If you have information that you feel should be taken into consideration before a decision is rendered, you are encouraged to submit such information to the Board. If the Board renders a decision you feel is unfair or unjust, you may appeal the decision to Circuit Court.

VARIANCE REQUESTED BY: STONEBRIDGE CONSTRUCTION, LLC

DATE: 2/12/25

SUBJECT PROPERTY ADDRESS: 3225 S. CAROLINA RD., JONESBORO, AR 72404

DESCRIPTION OF VARIANCE REQUESTED:
REMOVE REQUIREMENT TO PROVIDE DIRECT ACCESS TO THE ADJACENT PROPERTY TO THE WEST SIDE OF SUBJECT PROPERTY

In affixing my signature below, I am acknowledging my understanding of this request for an appeal or variance. I further understand that my signature only indicates my receipt of notification of the request for an appeal or variance and does not imply an approval by me or the proposed variance or appeal, unless so written by me to the Board.

STONSANG ENTERPRISES, INC.

Printed Name of Property Adjacent Owner

322 JULIE RIVERS, SUDBURY, TX

Address

[Signature] 2/12
(Signature) Date

870-268-9885

Phone

If you would like to obtain additional information, or voice an opinion regarding this request, you may do so by contacting the Planning Department, at 300 S. Church St., or by calling 870-932-0406, between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday.

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 04403
 FEB 17 2025
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Certified Fee	\$0.00
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$4.10

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StoneBridge Construction
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 PS Form 3800, August 2006 See Reverse for Instructions

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 MATTHEW HOLTZMAN STATION
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Total Postage & Fees	\$4.10

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1. Article Addressed to:
Andrew Maria Invest
125 Wingate St
Blytheville AR 72815
 9590 9402 4719 8344 3548 62

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

StoneBridge Construction, LLC
 2211 Hill Park Cove
 Jonesboro, AR 72401

7011 2000 0001 2217 6644

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE

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StoneBridge Construction, LLC
 2211 Hill Park Cove
 Jonesboro, AR 72401

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PS Form 3800, August 2006

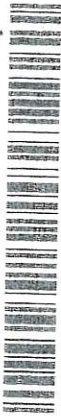
See Reverse for Instructions

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1. Article Addressed to:

Holifield Chad Aaron +
 Stephanie Lyn
 3912 Thousand Oaks Dr
 Jonesboro AR 72404



9590 9402 4719 8344 3548 55

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

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Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$8.17

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 Street, Apt. No., or PO Box No. PO Box 16787
 City, State, ZIP+4 Jonesboro AR 72403

PS Form 3800, August 2006

See Reverse for Instructions



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 - Certified Mail Restricted Delivery
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 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Return Receipt for Merchandise
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

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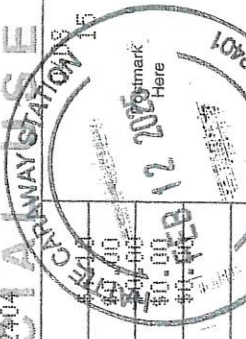
JONESBORO, AR 72404
OFFICIAL USE

Postage	\$4.17
Certified Fee	\$4.00
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$8.17

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StoneBridge Construction, LLC
 2211 Hill Park Cove
 Jonesboro, AR 72401

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Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$

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 Street, Apt. No., or PO Box No. PO Box 16787
 City, State, ZIP+4 Jonesboro AR 72403

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1. Article Addressed to:

PS of Jonesboro LLC
PO Box 1697
Jonesboro AR 72403



9590 9402 4719 8344 3548 31

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7590-02-000-9055

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Postage \$4.70

Certified Fee \$7.00

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Restricted Delivery Fee (Endorsement Required) \$0.00

Total Postage & Fees \$9.68

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 Street, Apt. No., or PO Box No. PO Box 16787
 City, State, ZIP+4 Jonesboro AR 72403

PS Form 3800, August 2006

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 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Return Receipt for Merchandise
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

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Postage \$4.70

Certified Fee \$7.00

Return Receipt Fee (Endorsement Required) \$0.00

Restricted Delivery Fee (Endorsement Required) \$0.00

Total Postage & Fees \$9.68

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 City, State, ZIP+4 Jonesboro AR 72403

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 Jonesboro, AR 72401

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Certified Fee	\$0.00		
Return Receipt Fee (Endorsement Required)	\$0.00		
Restricted Delivery Fee (Endorsement Required)	\$0.00		
Total Postage & Fees	\$4.05		

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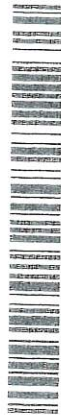
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- Print your name and address on the reverse so that we can return the card to you.
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1. Article Addressed to:

Salt Group Holdings LLC
1203 Nettleton Cir
Jonesboro AR 72401



9590 9402 4719 8344 3548 48

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9063

7011 2000 0001 2217 6675

Domestic Return Receipt

3. Service Type
- Adult Signature
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 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Return Receipt for Merchandise
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

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 Jonesboro, AR 72401

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Certified Fee	\$0.00		
Return Receipt Fee (Endorsement Required)	\$0.00		
Restricted Delivery Fee (Endorsement Required)	\$0.00		
Total Postage & Fees	\$4.05		

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 Street, Apt. No., or PO Box No. **PO Box 16787**
 City, State, ZIP+4® **Jonesboro AR 72403**

PS Form 3800, August 2006

See Reverse for Instructions

StoneBridge Construction, LLC
 2211 Hill Park Cove
 Jonesboro, AR 72401

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CERTIFIED MAIL™



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OFFICIAL USE

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$

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 Street, Apt. No., or PO Box No. **PO Box 16787**
 City, State, ZIP+4® **Jonesboro AR 72403**

PS Form 3800, August 2006

See Reverse for Instructions



City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: VR-25-05

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Board of Zoning Adjustments

File Type: Variances

Variance: 3811 South Culberhouse Street

Todd Wilcox is requesting a variance for an eight-foot-tall gate. The property is zoned R-1, single family medium density district.

To: Jonesboro Board of Zoning Adjustment

Re: Gate at 3811 South Culberhouse

Dear Members:

We live at 3811 South Culberhouse. We recently built a new home located on these 20 acres. We have a private driveway that is approximately 800 feet long coming off of S. Culberhouse. We are wanting to simply protect our property. We have security cameras and have repeatedly caught people trespassing on our property. Driving all the way up to our front door and turning around in the driveway. I have confronted 1 person I caught while I was at home.

We have a design of a gate that we would like to build. The planning department says that a gate falls under that ordinance as a fence. We have driven from the intersection of Parker Road and S Culberhouse and we counted a minimum of 7 gates on properties with gates well exceeding 4 feet in height. All of the gates exceeding the 4-foot rule, are located on the west side of the road, which is the same side we are located on. I am attaching a picture of a gate similar to what we are wanting to build. The location of the gate we want to build is approximately 125 – 150 feet from the street. With the location of the gate, it would not impede anyone else's property. I have however notified all adjacent property owners, 10 in total.

We kindly ask that this Board consider the circumstances and grant this variance.

Sincerely

A handwritten signature in blue ink, appearing to read "Todd & Lindsey Wilcox". The signature is fluid and cursive, with a large loop at the end.

Todd & Lindsey Wilcox



**CITY OF JONESBORO
BOARD OF ZONING ADJUSTMENT
APPLICATION REQUESTING VARIANCE &
NONCONFORMING USE CHANGE REQUESTS**

Case Number	<u>VR-25-05</u>	BZA Deadline	<u>2/25/25</u>
Date Submitted	<u>2/24/25</u>	BZA Meeting Date	<u>3/18/25</u>

OWNER/APPLICANT INFORMATION

Property Owner	<u>Todd & Lindsey Wilcox</u>	Applicant	<u>Todd Wilcox</u>
Address	<u>3811 S. Calberhouse</u>	Address	<u>3811 S. Calberhouse</u>
Phone	<u>870-243-0172</u>	Phone	<u>870-243-0172</u>
Signature	<u>[Signature]</u>	Signature	<u>[Signature]</u>

DESCRIPTION OF REQUESTED VARIANCE

I am requesting a variance to construct a gate with brick post on my property.

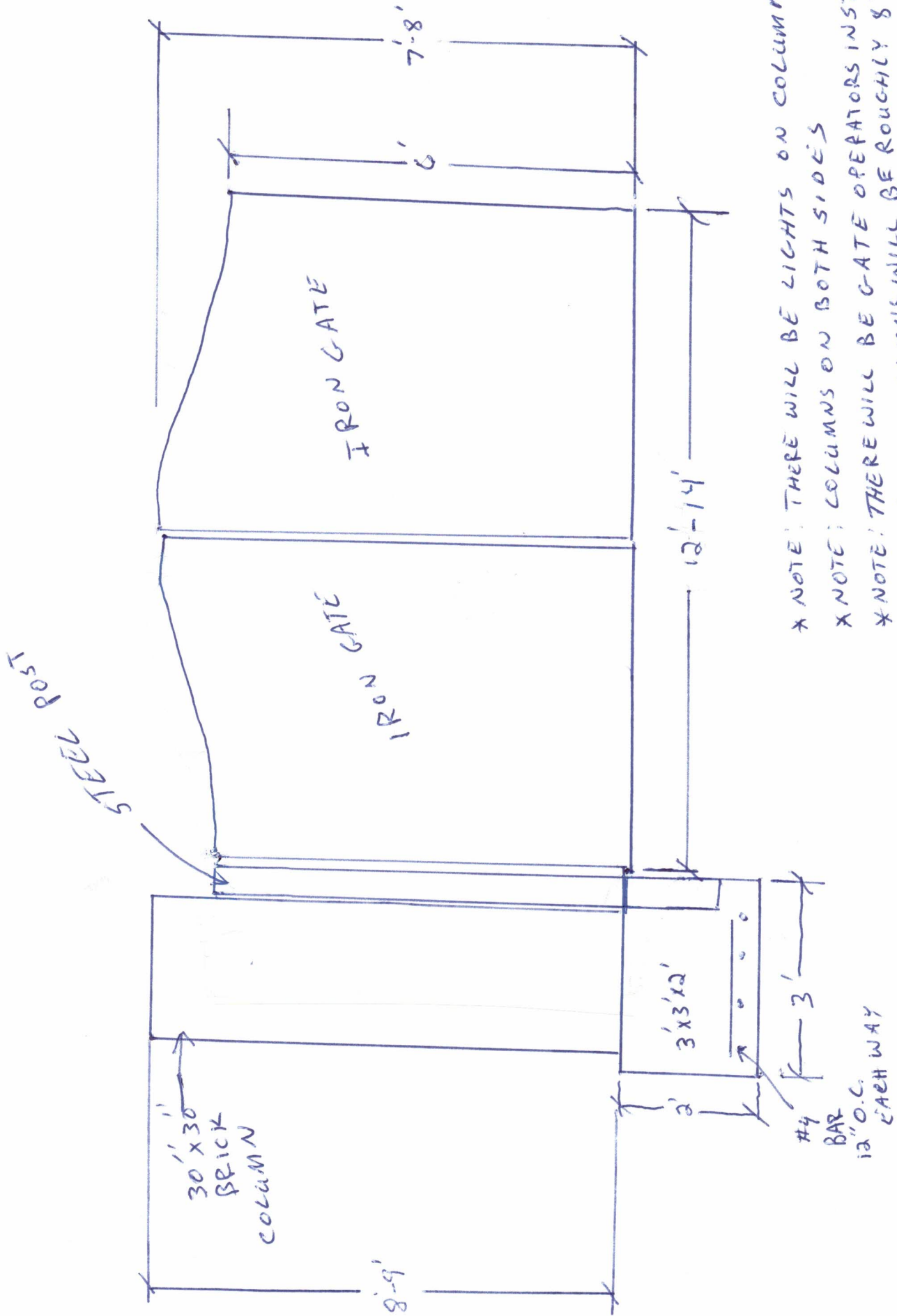
CIRCUMSTANCES NECESSITATING VARIANCE REQUEST

The gate will be located approx. 125-150 off the street. We have a gate design but it will not look right being only 4 feet tall.

GENERAL SUBMITTAL INFORMATION

- Submit a narrative letter explaining your request along with seven (7) copies of an accurate site plan drawn at a scale that clearly illustrates the requested use, the subject property, and surrounding properties, streets and easements, etc.
- Provide confirmation receipts to our office that adjoining owners of all properties have been notified.
- Pay fee.

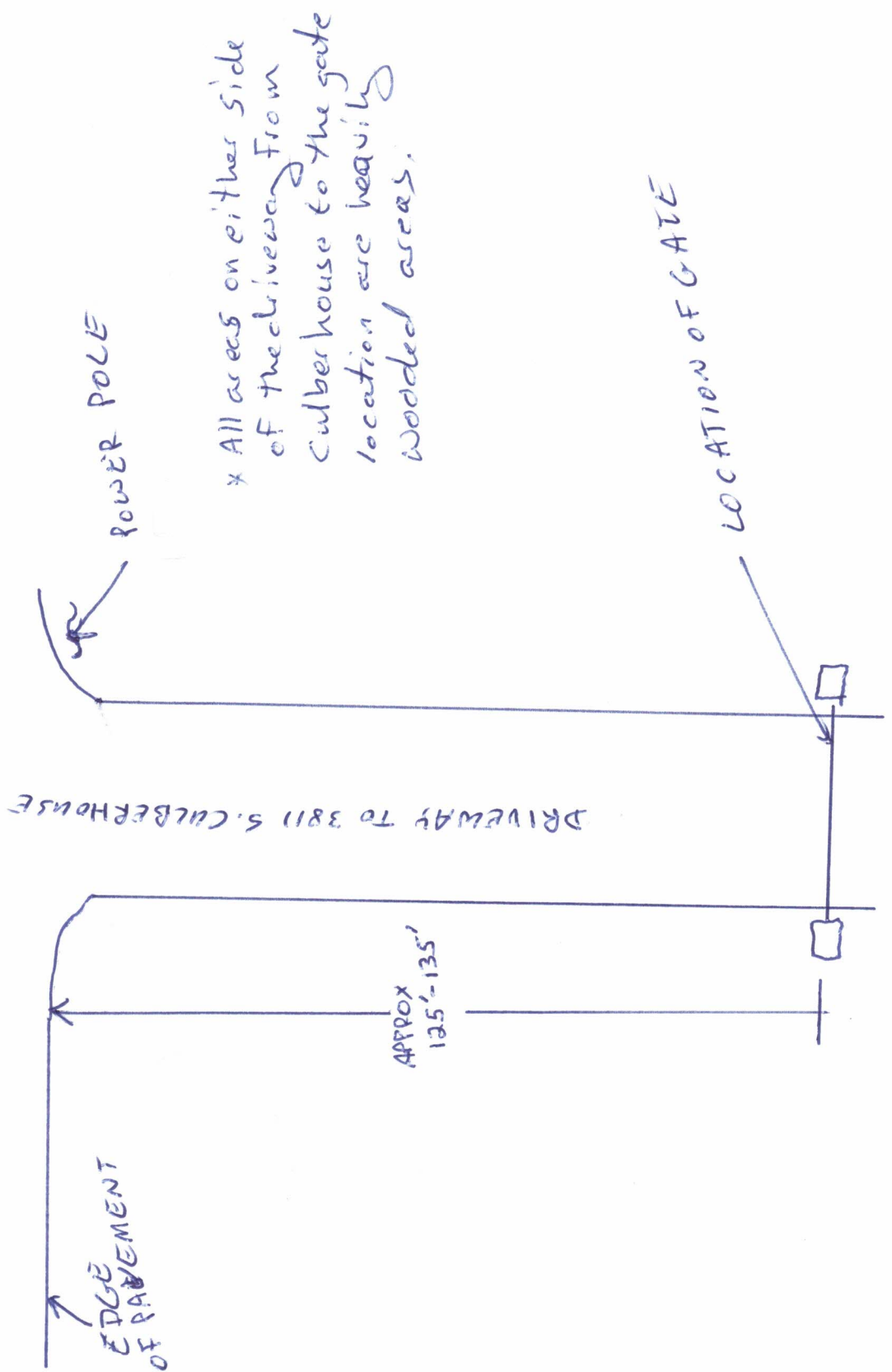
Planning Department, P.O. Box 1845, Jonesboro, AR 72403-1845 · (870) 932-0406 · Fax (870) 336-3036



- * NOTE: THERE WILL BE LIGHTS ON COLUMNS
- * NOTE: COLUMNS ON BOTH SIDES
- * NOTE: THERE WILL BE GATE OPERATORS INSTALLED
- * NOTE: BRICK COLUMNS WILL BE ROUGHLY 8 FEET TALL

NTS

Q CULBERHOUSE ROAD



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Jonesboro, AR 72404

Certified Mail Fee	\$4.85	0408
\$	\$4.10	15
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.73	
Total Postage and Fees	\$9.68	

Sent To Dalton Marshall
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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.73	
Total Postage and Fees	\$9.68	

Sent To Brian Hann
 Street and Apt. No., or PO Box No. 703 Pickering Rd
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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.73	
Total Postage and Fees	\$9.68	

Sent To Carl Fielder Properties LLC
 Street and Apt. No., or PO Box No. 707 Pickering Rd
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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.73	
Total Postage and Fees	\$9.68	

Sent To Gregory Peck
 Street and Apt. No., or PO Box No. 709 Pickering
 City, State, ZIP+4® Jonesboro, AR 72404

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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.73	
Total Postage and Fees	\$9.68	

Sent To Madison Pierce
 Street and Apt. No., or PO Box No. 713 Pickering Road
 City, State, ZIP+4® Jonesboro, AR 72404

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.73	
Total Postage and Fees	\$9.68	

Sent To Vickie Wharrel
 Street and Apt. No., or PO Box No. 801 Pickering Rd
 City, State, ZIP+4® Jonesboro, AR 72404

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage	\$0.73	02/24/2025
\$		
Total Postage and Fees	\$9.68	
\$		

Sent To Billy Pickering
 Street and Apt. No., or PO Box No. 903 Pickering Rd
 City, State, ZIP+4® Jonesboro AR 72404

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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage	\$0.73	02/24/2025
\$		
Total Postage and Fees	\$9.68	
\$		

Sent To Brian & Jackie Erwin
 Street and Apt. No., or PO Box No. 4203 Woodcrest Dr
 City, State, ZIP+4® Jonesboro AR 72404

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\$	\$4.10	15
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage	\$0.73	02/24/2025
\$		
Total Postage and Fees	\$9.68	
\$		

Sent To Mark Hadley
 Street and Apt. No., or PO Box No. 4203 Woodcrest Dr
 City, State, ZIP+4® Jonesboro, AR 72404

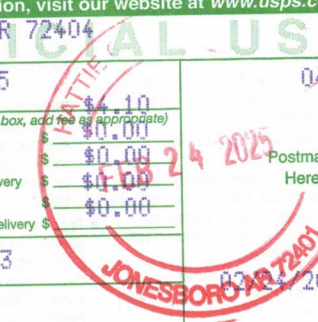
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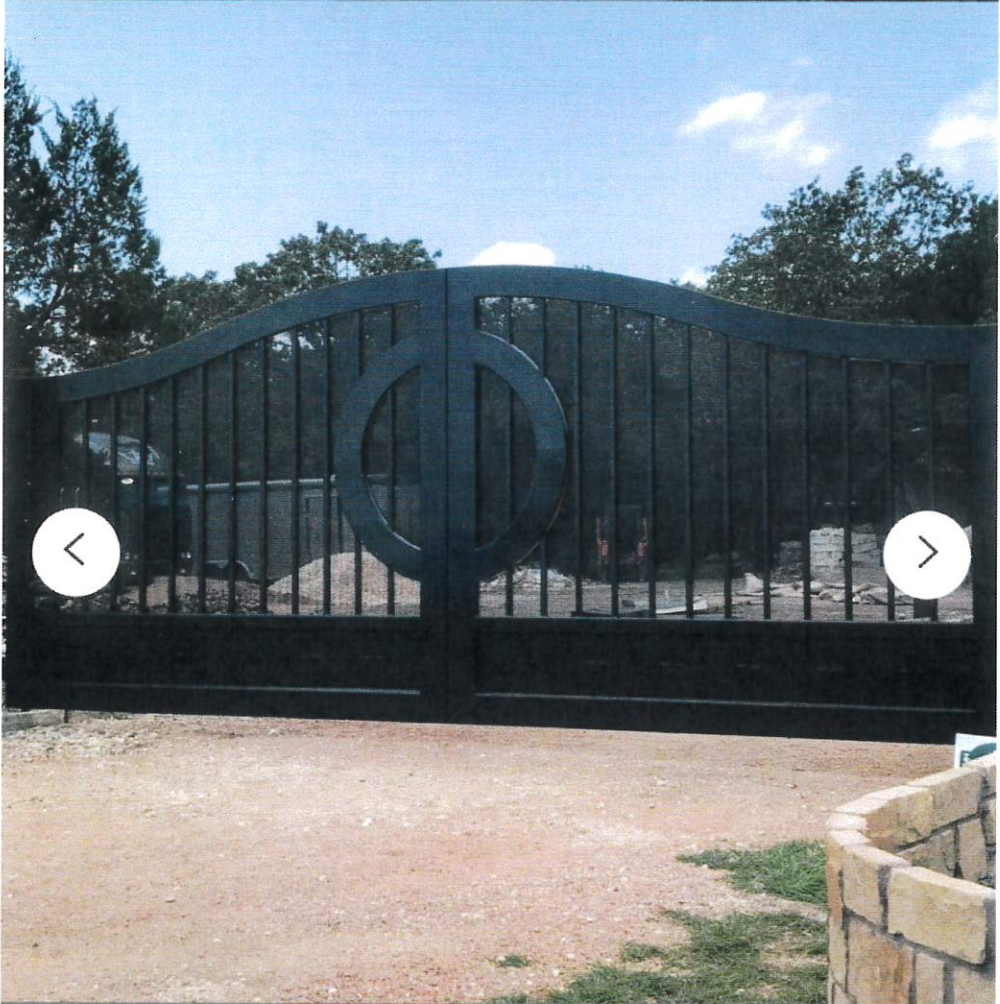
Postage	\$0.73	02/24/2025
\$		
Total Postage and Fees	\$9.68	
\$		

Sent To Walden Williams
 Street and Apt. No., or PO Box No. 3817 S. Culberhouse Rd
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City of Jonesboro

300 S. Church Street
Jonesboro, AR 72401

Text File

File Number: VR-25-06

Agenda Date:

Version: 1

Status: To Be Introduced

In Control: Board of Zoning Adjustments

File Type: Variances

Variance: 5800 CW Post Road

Burns & McDonnell Engineering Company is requesting a variance on behalf of Post Consumer Brands for the requirement to pave an off-street temporary parking lot. The property is zoned I-2, general industrial district.

March 03, 2025

Derrel Smith
Director of Planning and Zoning
City of Jonesboro
300 S. Church Street
Jonesboro, AR 72401

RE:

Dear Mr. Smith,

Burns & McDonnell Engineering Company, Inc. (Burns & McDonnell) on behalf of Post Consumer Brands, would like to request a variance from Article VIII Section 117-324(d)(5) requiring all off-street parking lots to be paved in order to construct a temporary staging area and parking lot. The scope for the Project included a temporary staging area and parking lot and paving would be cost prohibitive for a temporary feature at the Facility.

A Stormwater Pollution Prevention Plan (SWPPP) has been developed along with a Notice of Coverage under Arkansas Department of Environmental Quality (ADEQ) Permit No. ARR150000 (Permit). Burns & McDonnell is the permittee and will operate in compliance with the Permit and the SWPPP. The final step of construction will be to achieve final stabilization of the disturbed area prior to terminating Permit coverage.

The SWPPP and Notice of Coverage have been uploaded to the Jonesboro Application Portal and are available for your review.

We look forward to working with you and the City of Jonesboro. If you have any questions, please contact me at (307) 660-7489, rtcomer@burnsmcd.com.

Sincerely,

Burns & McDonnell Engineering Company, Inc.

A handwritten signature in black ink that reads "Rick Comer".

Rick Comer
Senior Environmental Scientist
307-660-7489
rtcomer@burnsmcd.com



Zoning Appeals Process

Application Requesting Variance & Nonconforming Use Change Requests

Owner: <u>Post Consumer Brands</u>	Applicant: <u>Burns & McDonnell Engineering Company</u>
Address: <u>5800 C W Post Road Jonesboro, AR 72401</u>	Address: <u>9400 Ward Parkway Kansas City, MO 64114</u>
Phone: <u>(870) 933-4130</u>	Phone: <u>(816) 301-6459</u>
Email: <u>bill.band@postholdings.com</u>	Email: <u>jluেকে@burnsmcd.com</u>
Signature: <u><small>Signed by:</small> <i>Billy Band</i> <small>5E1A28E515D34CF...</small></u>	Signature: <u><small>DocuSigned by:</small> <i>Jerry Luecke</i> <small>8A976118871C4FB...</small></u>

Description of Requested Variance:

Request variance from requirement to pave an off-street temporary parking lot as required by Jonesboro, Arkansas city ordinance Article VIII. Section 117-324(d)(5). The temporary parking lot/staging area would be gravel. The are would be revegetated upon completion of the Project.

Circumstances Necessitating Variance Request:

It is cost prohibitive to pave the temporary parking lot/staging area. Post Consumer Brands does not wish to have the lot be a permanant feature of the current Facility.

General Submittal Information:

- Submit a narrative letter explaining your request along with seven (7) copies of an accurate site plan drawn at a scale that clearly illustrates the requested use, the subject property, and the surrounding properties, streets and easements, etc.
- Provide confirmation receipts to our office that adjoining owners of all properties have been notified.

Office Use Only

Case Number: _____ Date Submitted: _____
 BZA Deadline: _____ BZA Meeting Date: _____

GENERAL NOTES:

1. ALL DIMENSIONS, ELEVATIONS, AND STATIONS ARE IN FEET, UNLESS INDICATED OTHERWISE.
2. ALL WORK SHALL BE SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF LOCAL AND GOVERNMENT REGULATORY AGENCIES AND THE CONTRACTOR.
3. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND LOCAL AND GOVERNMENT CODES, ORDINANCES, AND REGULATIONS. IN CASE OF CONTRADICTION OR DISCREPANCY BETWEEN REQUIREMENTS, CONTRACTOR SHALL INCORPORATE WHICHEVER IS MOST STRINGENT. WHERE A QUESTION REMAINS ON WHICH REQUIREMENT IS MOST STRINGENT, SUBCONTRACTOR SHALL SUBMIT ISSUE TO THE CONTRACTOR IN WRITING. THE DECISION OF THE CONTRACTOR SHALL BE CONSIDERED FINAL.
4. ALL WORK SHALL BE CONDUCTED IN A PROFESSIONAL WORKMANSHIP MANNER USING QUALITY MATERIALS.

GRADING NOTES:

1. PROPOSED ELEVATIONS INDICATED ARE FOR TOP OF FINAL GRADE, PAVEMENT, OR STRUCTURE UNLESS INDICATED OTHERWISE.
2. ELEVATION DENOTED AS "MATCH" ARE INTENDED TO MEET EXISTING GRADE ELEVATIONS. SUBCONTRACTOR SHALL VERIFY ELEVATIONS AT TIE-INS AND MATCH POINTS PRIOR TO BEGINNING CONSTRUCTION.
3. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. ANY DRAINAGE FEATURE OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER SUBJECT TO THE APPROVAL OF THE CONTRACTOR.
4. SURFACES AROUND FACILITY SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND PAVEMENTS.
5. THE SUBCONTRACTOR SHALL REMOVE STANDING WATER FROM THE PROJECT WORK LIMITS AS NECESSARY TO PROTECT SUBGRADE, SUBBASE, AND/OR BASE COURSE OF NEW PAVEMENT, SURROUNDING PAVEMENT-TO-REMAIN, OR OTHER COMPLETED WORKS.
6. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RE-VEGETATED.

UTILITY NOTES:

1. ALL PIPE SIZES ARE IN INCHES UNLESS INDICATED OTHERWISE.
2. SUBCONTRACTOR SHALL CONTACT THE CONTRACTOR AND ALL ASSOCIATED UTILITY COMPANIES AND AGENCIES TO IDENTIFY THE LOCATION OF UTILITIES PRIOR TO COMMENCEMENT OF WORK.
3. SUBCONTRACTOR SHALL COORDINATE ALL REQUIRED UTILITY SHUTDOWNS FOR UTILITY CONNECTIONS WITH THE CONTRACTOR.
4. SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING ALL UTILITY CONNECTION FEES AND OBTAINING ALL PERMITS REQUIRED FOR THE UTILITY CONSTRUCTION AND CONNECTIONS. THIS INCLUDES ALL FEES ASSOCIATED WITH CONNECTION CHARGES AND METERS.
5. SEE STANDARD DETAILS FOR TYPICAL PIPE TRENCH DETAIL.
6. ANY CHANGES TO THE PROPOSED UTILITY DESIGN SHALL BE APPROVED BY ENGINEER AND THE CONTRACTOR.

EXISTING CONDITIONS NOTES:

1. THE LOCATIONS OF STRUCTURES AND UNDERGROUND UTILITIES AS INDICATED HAVE NOT BEEN IDENTIFIED. UNDERGROUND STRUCTURES AND UTILITIES MAY BE PRESENT WHICH ARE NOT DOCUMENTED OR LOCATED. SOFT EXCAVATION METHODS SHALL BE IMPLEMENTED TO IDENTIFY EXISTING UTILITIES.
2. IT SHALL BE THE SUBCONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING STRUCTURES AND UTILITIES, AND TO TAKE NECESSARY PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION. SUBCONTRACTOR SHALL VERIFY EXISTENCE AND MARK LOCATIONS OF ALL UTILITIES, INCLUDING SERVICE CONNECTIONS TO UNDERGROUND UTILITIES, PRIOR TO BEGINNING WORK. SUBCONTRACTOR SHALL CONTACT THE CONTRACTOR AND ALL ASSOCIATED UTILITY COMPANIES AND AGENCIES TO IDENTIFY THE LOCATION OF UTILITIES.

3. PRIOR TO CONSTRUCTION, THE SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF OPERATIONAL PLANS. IN THE EVENT AN UNEXPECTED UTILITY OR STRUCTURE INTERFERENCE OR CONFLICT IS ENCOUNTERED DURING CONSTRUCTION, THE SUBCONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. ANY UTILITY SERVICES OR STRUCTURES DISTURBED BY THE SUBCONTRACTOR'S OPERATIONS SHALL BE RESTORED IMMEDIATELY AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CONTRACTOR.
4. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROTECTING ITEMS NOT TO BE DAMAGED DURING DEMOLITION AND CONSTRUCTION. THE SUBCONTRACTOR SHALL REPAIR OR REPLACE DAMAGED OR DISTURBED ITEMS TO THE SATISFACTION OF THE CONTRACTOR.

DEMOLITION NOTES:

1. ALL DEMOLITION, WASTE, DEBRIS, AND UNSATISFACTORY MATERIALS SHALL BE DISPOSED OF OFF SITE.
2. LOCATIONS NOTED FOR DEBRIS REMOVAL MAY CONTAIN ANY OF THE FOLLOWING MATERIALS: AGGREGATE, CONCRETE, ASPHALT, MASONRY, FOUNDATIONS, REBAR, FENCE MATERIAL, PIPING, AND MISCELLANEOUS STRUCTURES. LARGE PIECES OF MATERIAL MAY NEED TO BE CRUSHED AND/OR BROKEN UP FURTHER IN ORDER TO BE HAULED AWAY TO THE WASTE DISPOSAL SITE.
3. SUBCONTRACTOR SHALL CONFIRM LIMITS OF DEMOLITION WITH PROPOSED OR NEW CONSTRUCTION EXTENTS. ADDITIONAL DEMOLITION MAY BE REQUIRED AND SHALL BE COORDINATED WITH CONTRACTOR TO ENSURE UNINTERRUPTED SERVICE OR ACCESS TO THE FACILITY.
4. EXISTING VEGETATION AND FACILITIES WHICH ARE NOT INDICATED TO BE REMOVED SHALL BE PROTECTED FROM DEMOLITION OR OTHER CONSTRUCTION ACTIVITIES.

EROSION AND SEDIMENT CONTROL NOTES:

BEST MANAGEMENT PRACTICES

1. CONSTRUCTION ACTIVITY POLLUTION PREVENTION IS REQUIRED FOR THIS PROJECT. PREVENTION OF POLLUTION RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE ACCOMPLISHED BY CONTROLLING SOIL EROSION, WATERWAY SEDIMENTATION, AND AIRBORNE DUST GENERATION. SUBCONTRACTOR SHALL ENSURE THAT NO SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES INFRINGES ONTO ADJACENT PROPERTIES. SUBCONTRACTOR SHALL COORDINATE EROSION AND SEDIMENT CONTROL WITH OTHER CONSTRUCTION ENTITIES PERFORMING WORK ON ADJACENT PROPERTIES.
2. SOIL EROSION AND SEDIMENT CONTROLS ARE MEASURES USED TO REDUCE THE AMOUNT OF SOIL PARTICLES THAT ARE CARRIED OFF AN AREA AND DEPOSITED INTO A DRAINAGE COLLECTION SYSTEM OR INTO A BODY OF WATER. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED TO THE EXTENT PRACTICABLE. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES. PRIOR TO INITIATING CONSTRUCTION IN AN AREA, ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE. UPON PROJECT COMPLETION ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
3. TEMPORARY EROSION CONTROL SHALL BE THE SUBCONTRACTOR'S RESPONSIBILITY, WHO SHALL UTILIZE APPROPRIATE BEST MANAGEMENT PRACTICES (BMPS). THOSE BMPS SHALL CONSIST OF SILT FENCE, OR OTHER MEANS TO CONTROL EROSION AS NEEDED.
4. SUBCONTRACTOR SHALL PLACE SILT FENCE AS SHOWN PRIOR TO BEGINNING WORK. THE DEVICES SHALL BE PLACED DOWN-SLOPE OF DISTURBED AREAS WHERE SHEET EROSION WOULD OCCUR. SILT FENCE SHALL BE CLEANED AND REPAIRED WHEN SEDIMENT BUILDUP REACHES ONE-THIRD OF SILT FENCE HEIGHT. AFTER SIGNIFICANT RUNOFF EVENTS, THE SUBCONTRACTOR SHALL INSPECT ALL EROSION CONTROL STRUCTURES FOR SILT BUILD-UP THAT INTERFERES WITH THE PERFORMANCE OF THE EROSION CONTROL STRUCTURE AND REPAIR OR REPLACE THOSE STRUCTURES, AS NECESSARY.
5. ALL STORM DRAIN INLETS SHALL BE PROTECTED BY APPROPRIATE BMPS DURING CONSTRUCTION, UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGE TO THE INLETS HAVE BEEN STABILIZED.
6. CHECK DAMS MAY BE PLACED IN DRAINAGE SWALES TO LIMIT THE AMOUNT OF SEDIMENT THAT TRAVELS DOWNSTREAM. CHECK DAMS MAY BE USED AS INLET PROTECTION FOR STORM SEWER. THESE DEVICES MUST BE MAINTAINED AND THE SEDIMENT REMOVED BEHIND THE DEVICE ON A REGULAR BASIS TO REMAIN EFFECTIVE.
7. SUBCONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE AT LOCATIONS WHERE CONSTRUCTION TRAFFIC SHALL ENTER THE PROJECT SITE FROM ROADWAYS AND PAVEMENTS.

PRELIMINARY - NOT FOR CONSTRUCTION



9400 WARD PARKWAY
KANSAS CITY, MO 64114
816-333-9400

IMPORTANT: DRAWING SCALE APPLICABLE TO ARCH D (36x24) SIZED PLOTS

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REV	PROJECT	DESCRIPTION	DATE	BY	APPRD	REV	PROJECT	DESCRIPTION	DATE	BY	APPRD
0	175393	ISSUED FOR PERMIT	01/17/25	NHW	EWB						

ORIG DATE	01/08/25
ORIG PROJ NO.	175393
ORIG DRAWN BY	DLW



PLOTTED	1/17/25	FLOOR	PHASE / LINE	PLANT #	SCALE	N/A
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DRAWING NUMBER: CJ001						

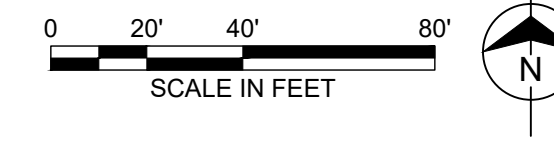
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POTENTIAL UNDERGROUND CONDUITS & UNDERGROUND UTILITIES. SUBCONTRACTOR TO UTILIZE SOFT EXCAVATION METHODS TO CONFIRM UTILITIES WILL NOT BE DAMAGED DURING CONSTRUCTION ACTIVITIES

POTENTIAL UNDERGROUND CONDUITS & UNDERGROUND UTILITIES. SUBCONTRACTOR TO UTILIZE SOFT EXCAVATION METHODS TO CONFIRM UTILITIES WILL NOT BE DAMAGED DURING CONSTRUCTION ACTIVITIES. SEE SITE PLAN FOR TEMPORARY POWER ROUTING.

EXISTING CONDITIONS PLAN



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KANSAS CITY, MO 64114
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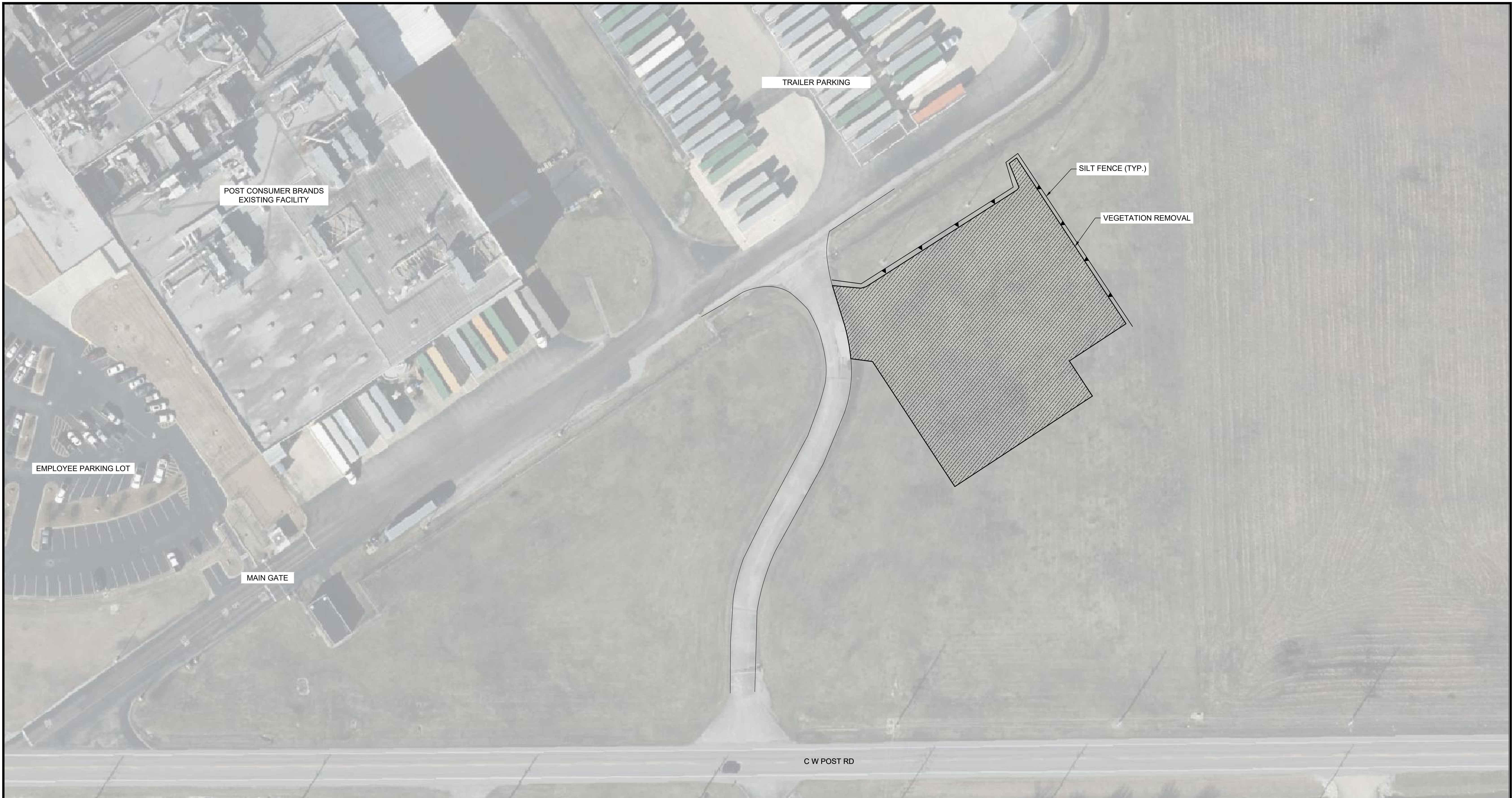
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0	175393	ISSUED FOR PERMIT	01/17/25	NHW	EWL						

ORIG DATE
01/08/25
ORIG PROJ NO.
175393
ORIG DRAWN BY
DLW

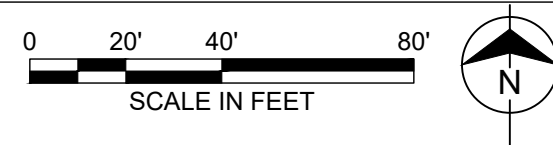


PLOTTED 1/17/25
FLOOR
PHASE / LINE
PLANT #
SCALE 1" = 40'
TITLE EXISTING CONDITIONS PLAN

REVISION
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VF100



OVERALL DEMOLITION PLAN



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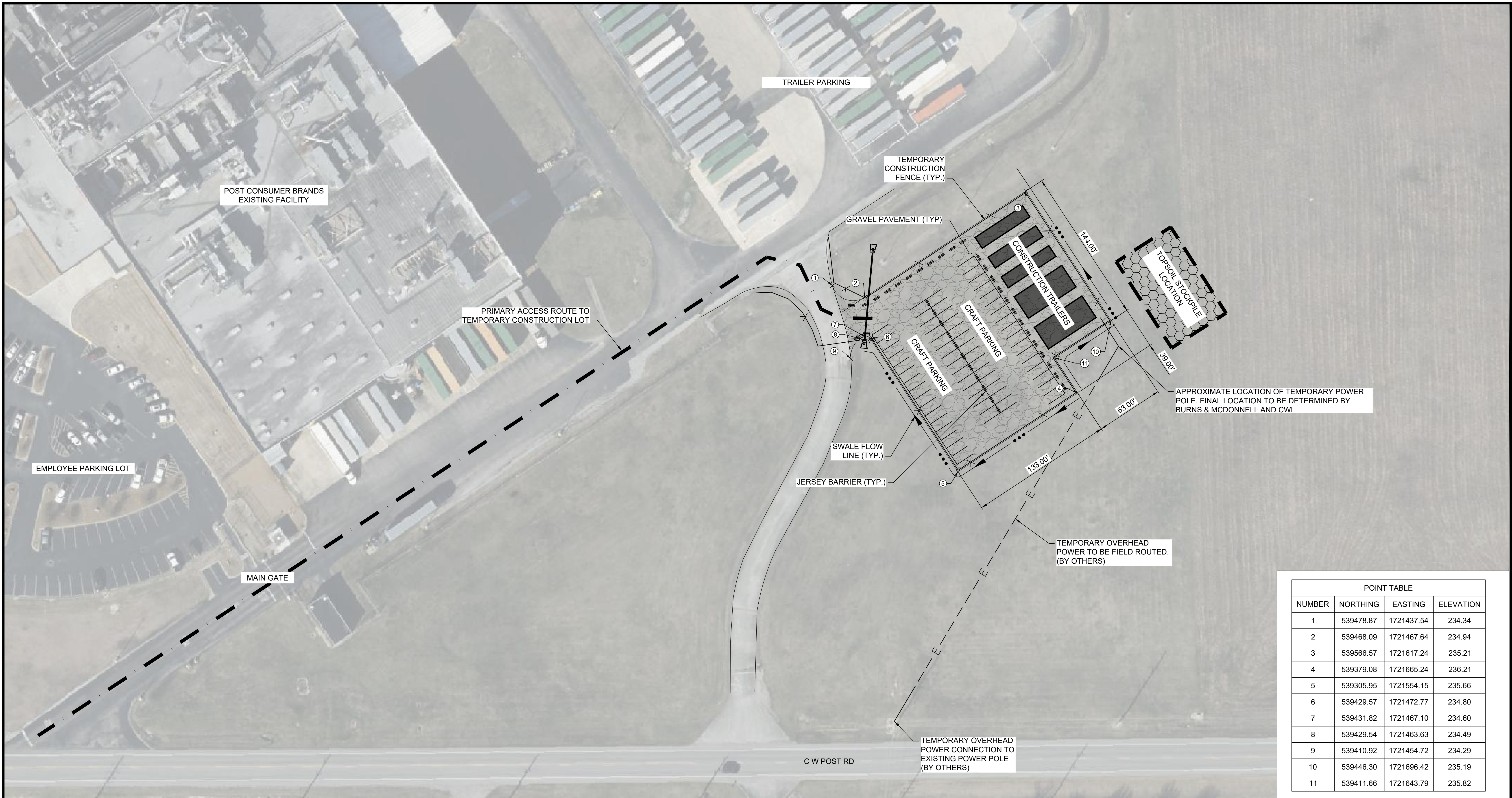
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ORIG DATE
01/08/25
ORIG PROJ NO.
175393
ORIG DRAWN BY
DLW

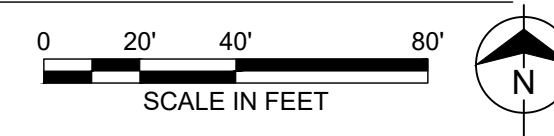


PLOTTED 1/17/25
FLOOR
PHASE / LINE
PLANT #
SCALE 1" = 40'
TITLE OVERALL DEMOLITION PLAN
DRAWING NUMBER
CD100

REVISION
0
DRAWING NUMBER
CD100



OVERALL SITE PLAN



SITE NOTES:

- UPON PROJECT PRADA COMPLETION THE TEMPORARY GRAVEL LOT THE GRAVEL PAVEMENT SHALL BE REMOVED AND DISTURBED AREA TO BE TOPSOIL AND SEEDED. MINIMUM TOPSOIL THICKNESS SHALL BE 6-INCHES AND SEED SHALL BE A MIX APPROVED BY THE ARKANSAS DOT. FINAL SEED MIX SHALL BE APPROVED BY THE CONTRACTOR.

PRELIMINARY - NOT FOR CONSTRUCTION



9400 WARD PARKWAY
KANSAS CITY, MO 64114
816-333-9400

IMPORTANT: DRAWING SCALE APPLICABLE TO ARCH D (36x24) SIZED PLOTS

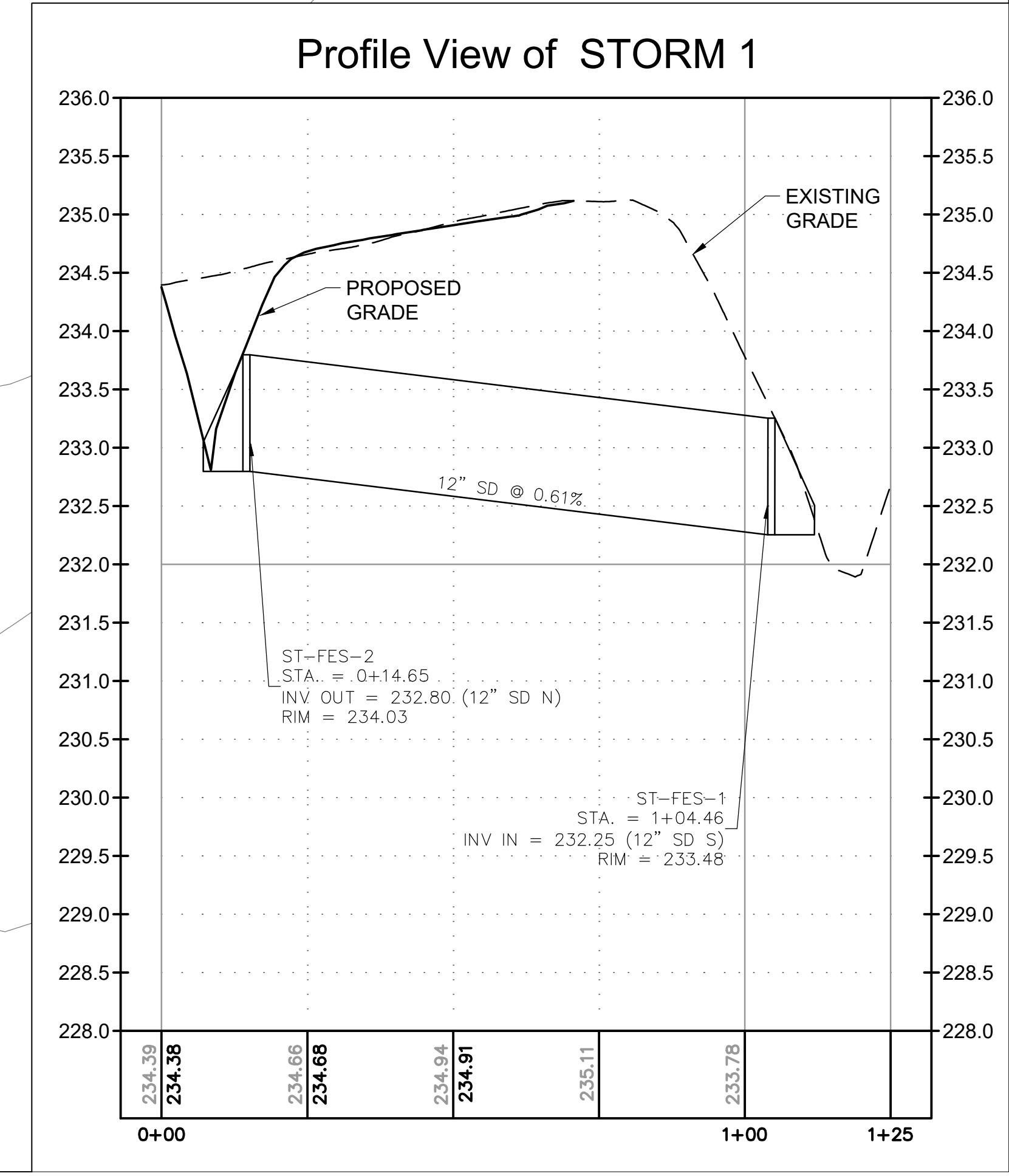
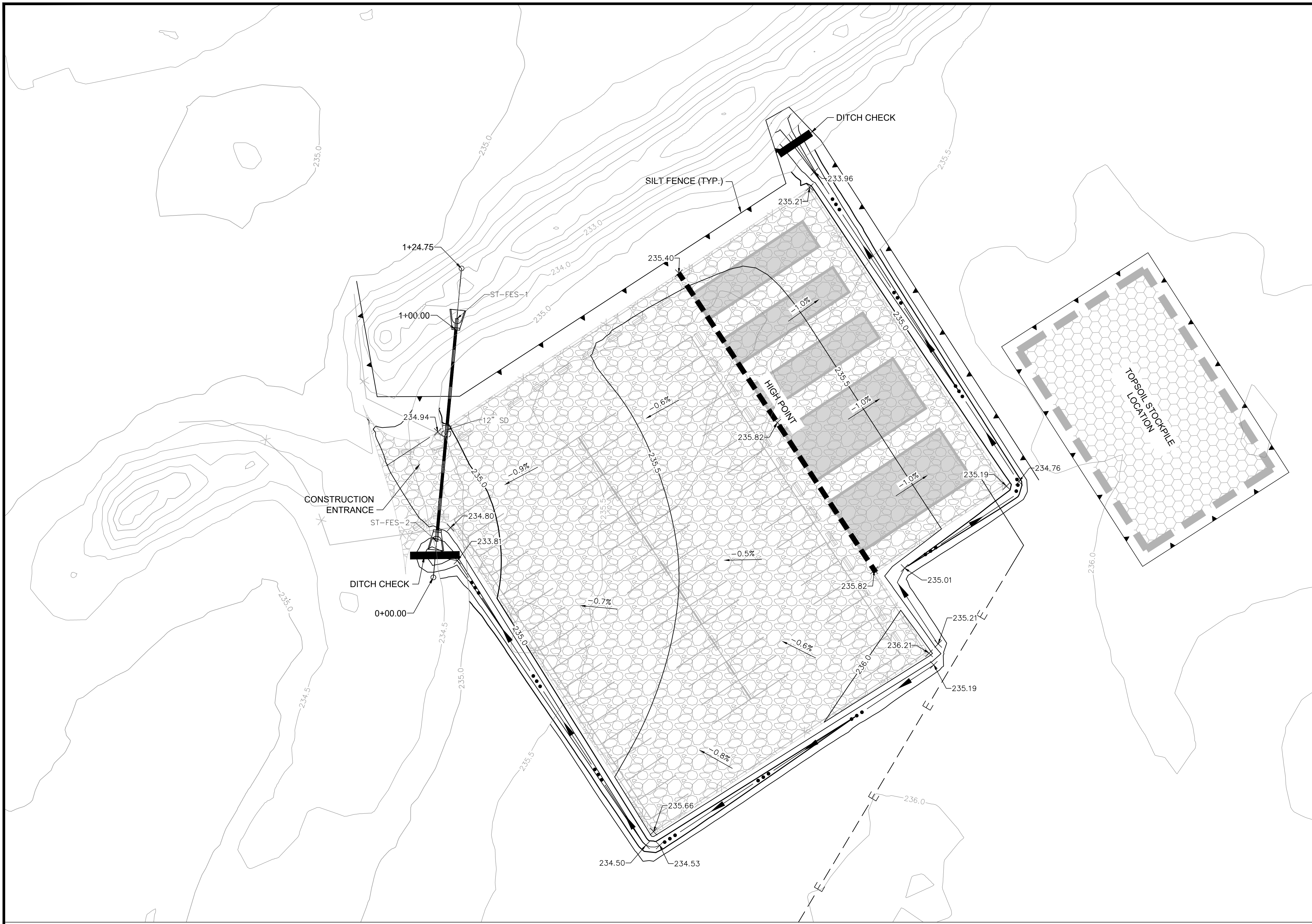
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REV	PROJECT	DESCRIPTION	DATE	BY	APPRD
0	175393	ISSUED FOR PERMIT	01/17/25	NHW EWM	

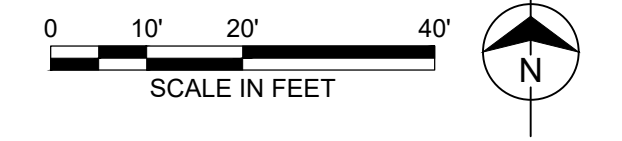
ORIG DATE	01/08/25
ORIG PROJ NO.	175393
ORIG DRAWN BY	DLW



PLOTTED	1/17/25
FLOOR	
PHASE / LINE	
PLANT #	
SCALE	1" = 40'
TITLE	OVERALL SITE PLAN
REVISION	0
DRAWING NUMBER	CS100



OVERALL GRADING PLAN



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 9400 WARD PARKWAY
 KANSAS CITY, MO 64114
 816-333-9400

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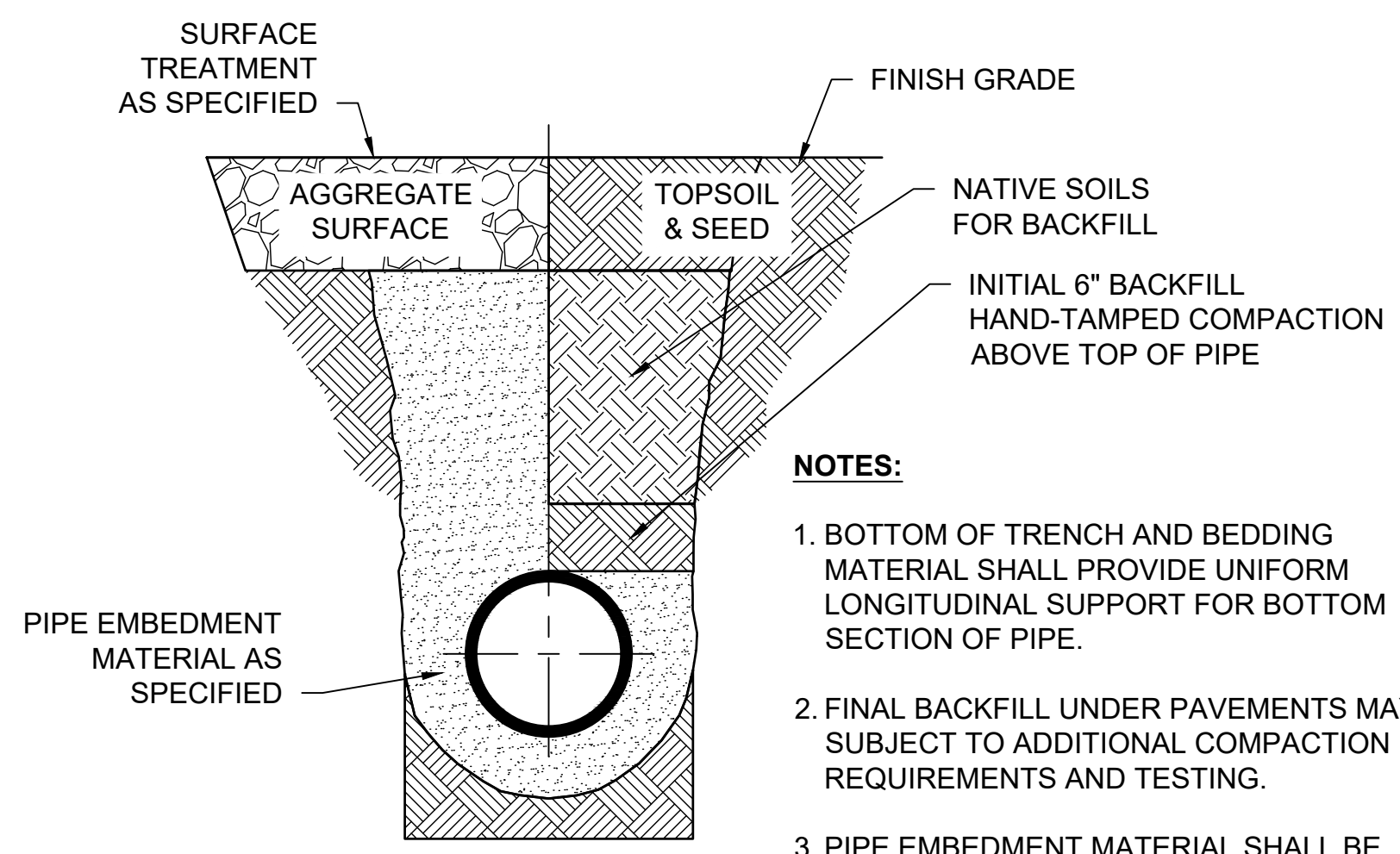
REV	PROJECT	DESCRIPTION	DATE	BY	APPRD	REV	PROJECT	DESCRIPTION	DATE	BY	APPRD
0	175393	ISSUED FOR PERMIT	01/17/25	NHW	EWJ	0	175393	ISSUED FOR PERMIT	01/17/25	NHW	EWJ

ORIG DATE: 01/08/25
 ORIG PROJ NO.: 175393
 ORIG DRAWN BY: DLW

Post CONSUMER BRANDS
 JONESBORO, AR

PLOTTED 1/17/25
 FLOOR: _____ PHASE / LINE: _____ PLANT # : _____ SCALE: 1" = 20'
 TITLE: OVERALL GRADING PLAN

REVISION: **0**
 DRAWING NUMBER: CG100

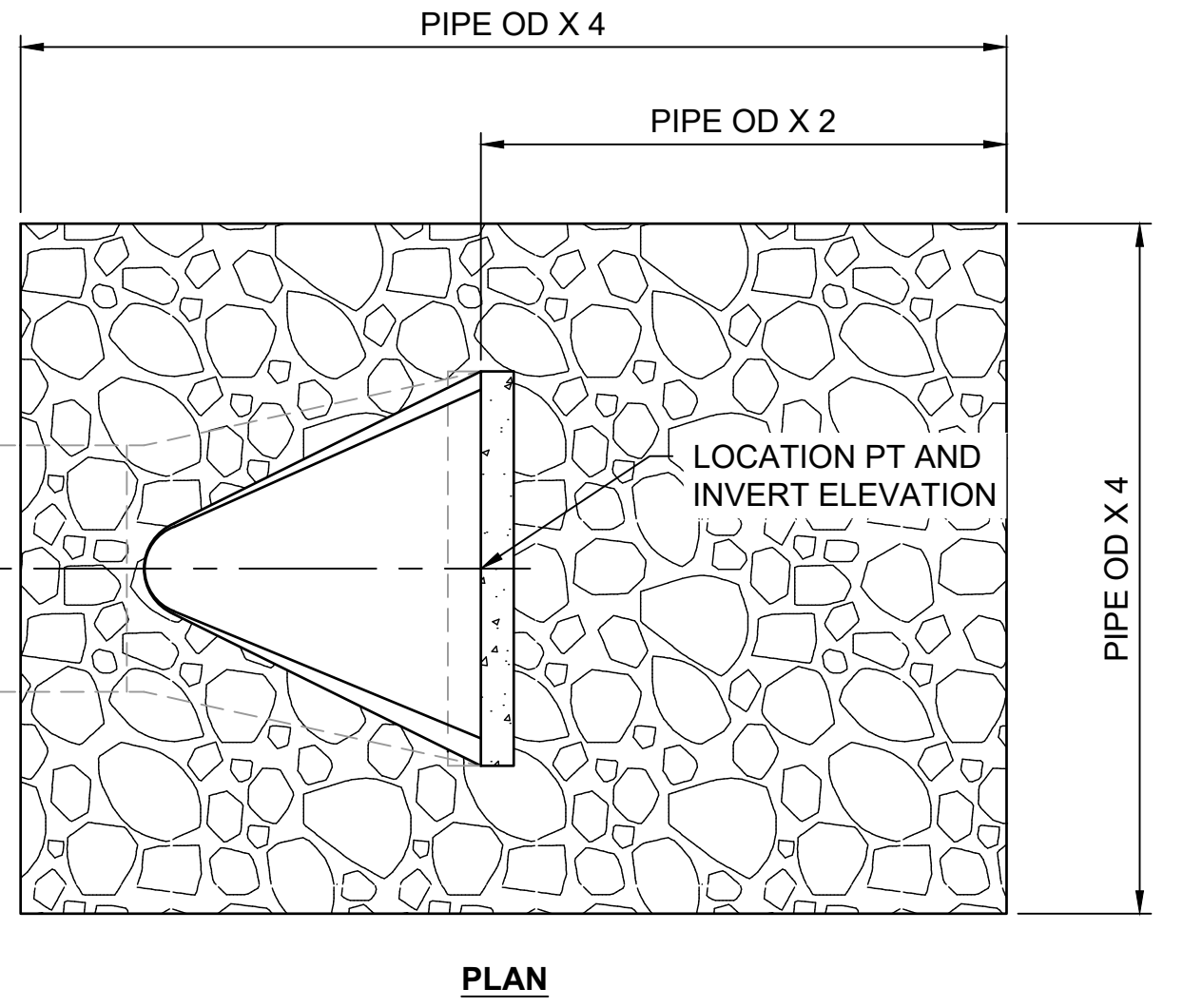


- NOTES:**
1. BOTTOM OF TRENCH AND BEDDING MATERIAL SHALL PROVIDE UNIFORM LONGITUDINAL SUPPORT FOR BOTTOM SECTION OF PIPE.
 2. FINAL BACKFILL UNDER PAVEMENTS MAY BE SUBJECT TO ADDITIONAL COMPACTION REQUIREMENTS AND TESTING.
 3. PIPE EMBEDMENT MATERIAL SHALL BE GRAVEL OR CRUSHED STONE WHICH SHALL NOT HAVE A LOSS OF MORE THAN 15% AFTER FIVE CYCLES WHEN TESTED FOR SOUNDNESS WITH SODIUM SULFATE AS DESCRIBED IN AASHTO T104.

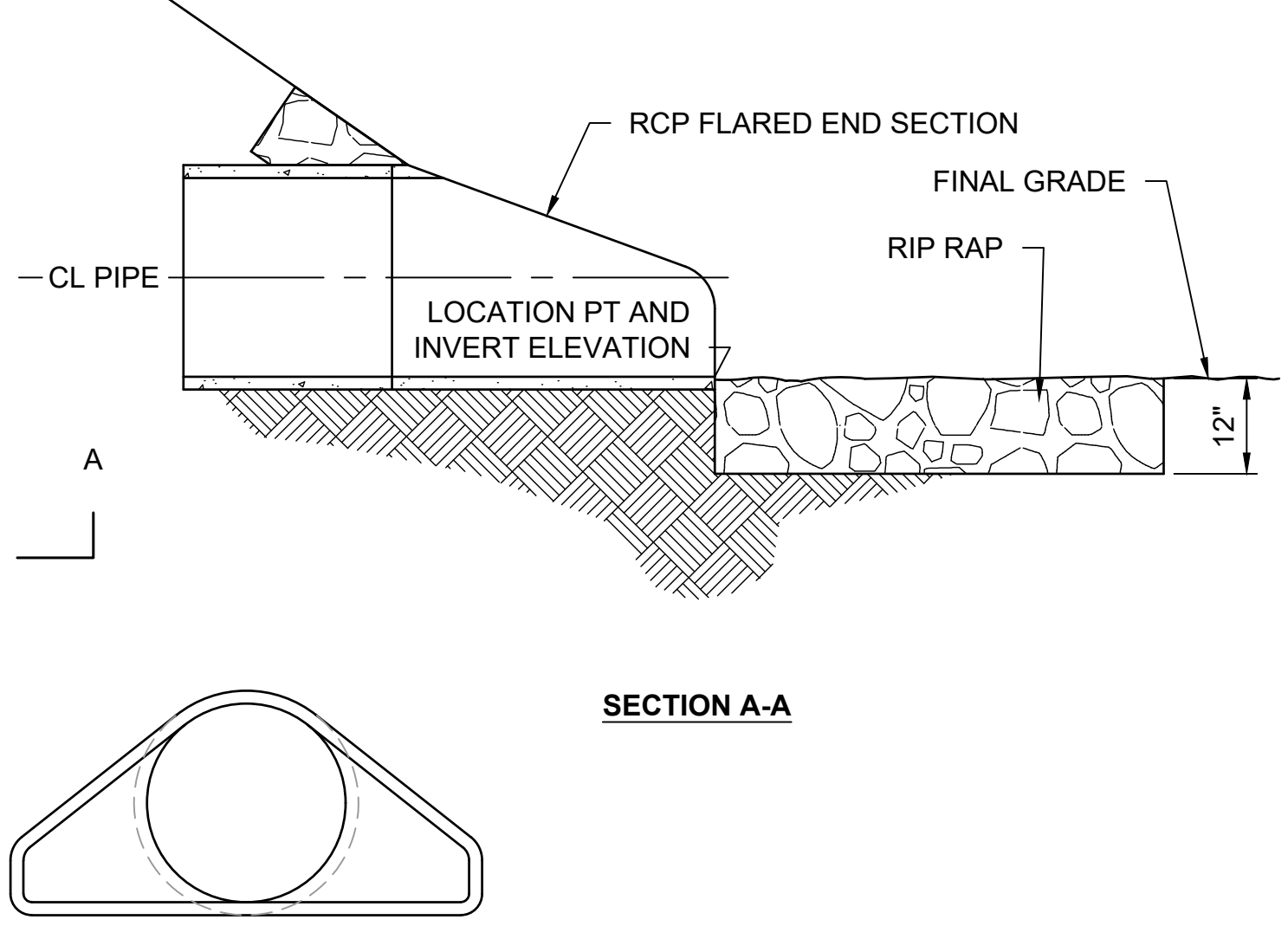
GRADATION:

STANDARD SQUARE-MESH SIEVE

PERCENT PASSING	METRIC OPENING	US SIZE OR NO.
100	19.00 MM	3/4-INCH
60-100	12.50 MM	1/2-INCH
0-5	4.75 MM	NO. 4

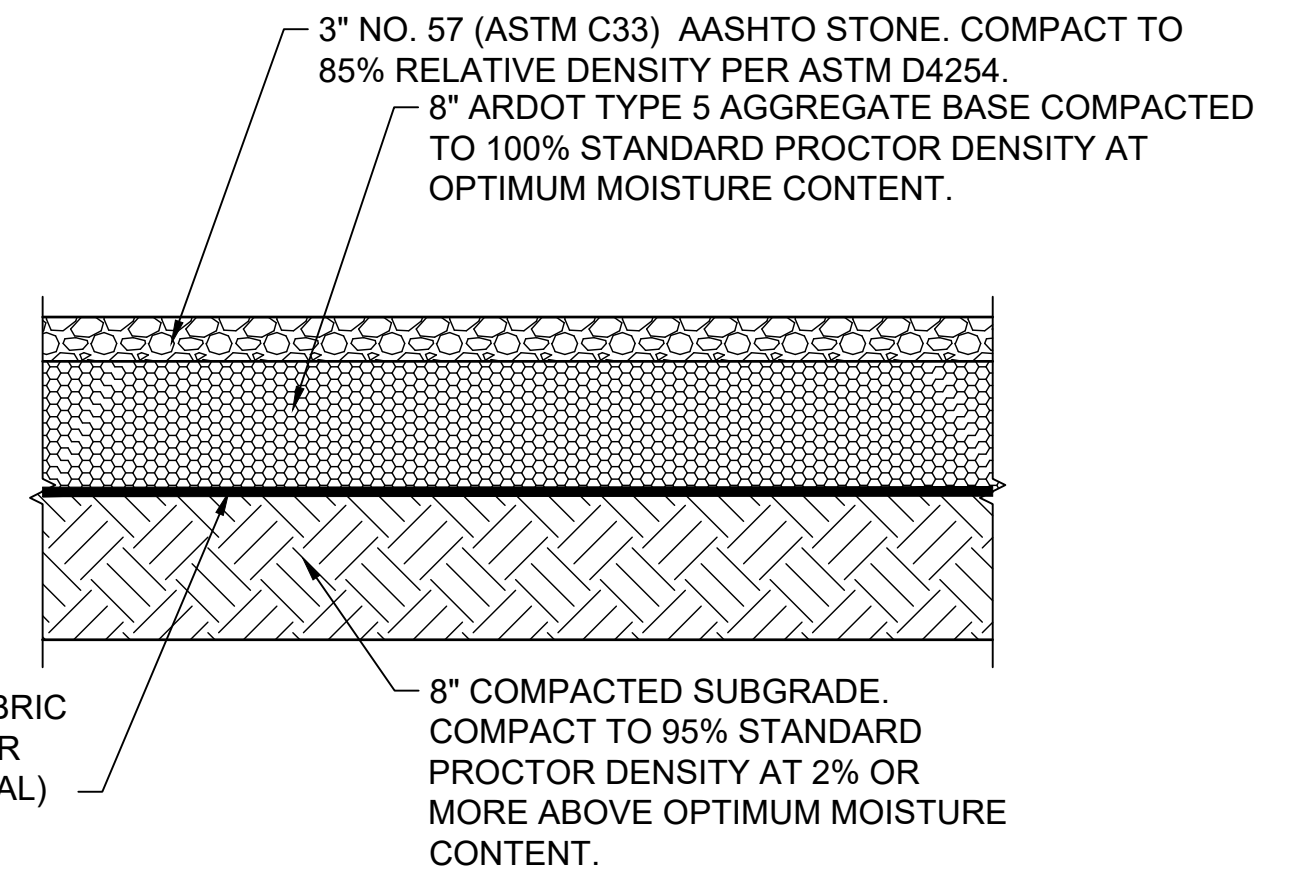


PLAN
NOT TO SCALE



FRONT ELEVATION
NOT TO SCALE

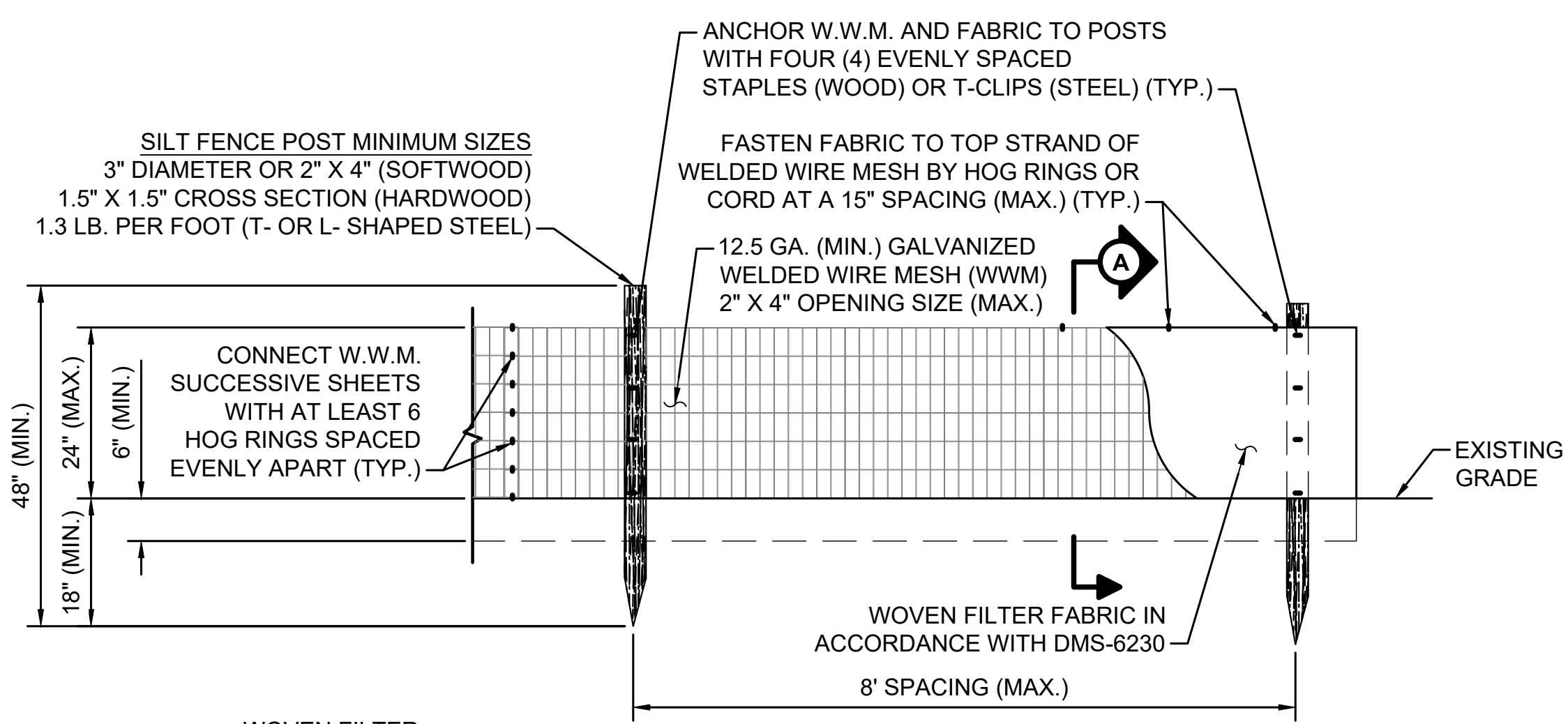
FLARED END SECTION
NOT TO SCALE



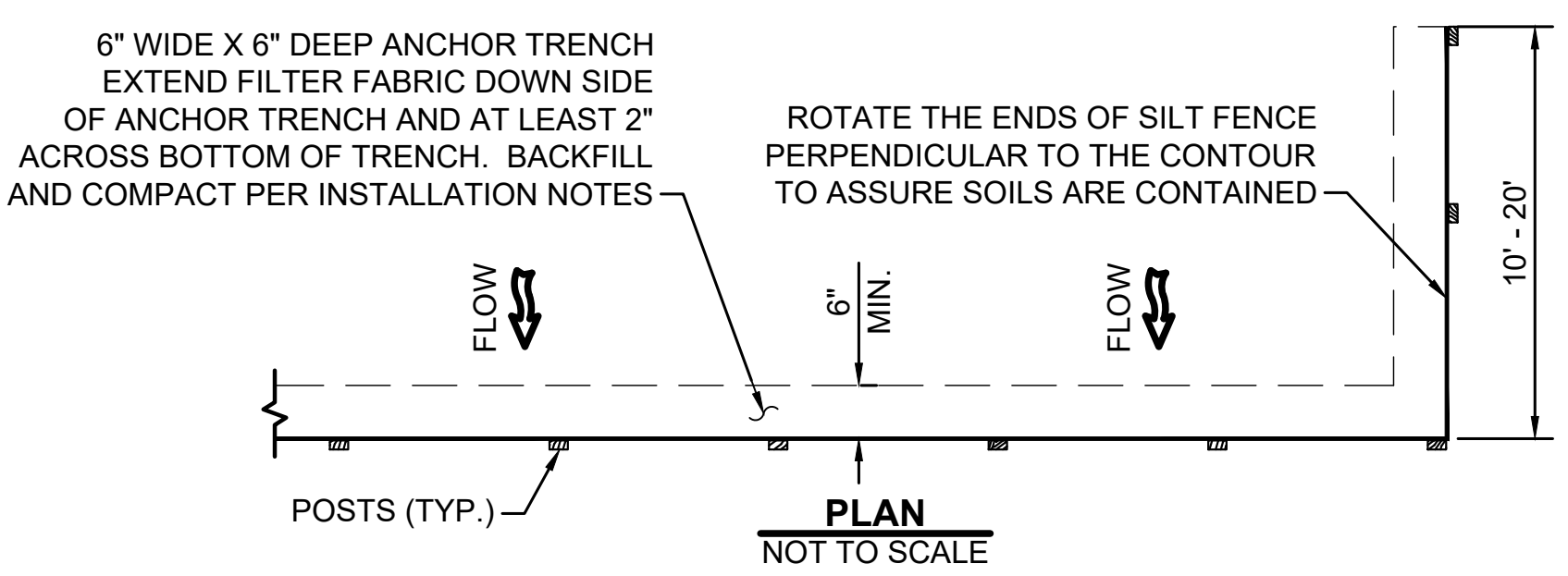
GRAVEL PAVEMENT SECTION
NOT TO SCALE

- MAINTENANCE NOTES:**
1. THE SUBCONTRACTOR SHALL INSPECT THE REINFORCED CHECK DAMS WEEKLY AND MAINTAIN THEM IN AN EFFECTIVE CONDITION. THEY SHALL ALSO BE INSPECTED WITHIN 24 HOURS AFTER A STORM EVENT AND REPAIRS SHOULD BE COMPLETED AS NEEDED.
 2. SEDIMENT ACCUMULATED UPSTREAM OF REINFORCED CHECK DAMS SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT DEPTH IS WITHIN 1/2 THE HEIGHT OF THE CREST OF THE DAM.
 3. CHECK DAMS THAT ARE SHOWN IN RIPRAP LINED DRAINAGE CHANNELS SHALL BE INSTALLED AFTER RIPRAP IS INSTALLED. IF RIPRAP IS NOT INSTALLED DURING CHANNEL CONSTRUCTION, THE CHECK DAMS SHALL BE TEMPORARILY INSTALLED UNTIL COMMENCING THE RIPRAP INSTALLATION.
 4. REINFORCED CHECK DAMS SHALL BE REMOVED AT THE END OF CONSTRUCTION. AFTER REMOVAL OF THE DAMS THE EXCAVATION SHALL BE FILLED AND THE DISTURBED AREA SHALL BE TOP-SOILED, SEEDED AND MULCHED.

UTILITY TRENCH
NOT TO SCALE



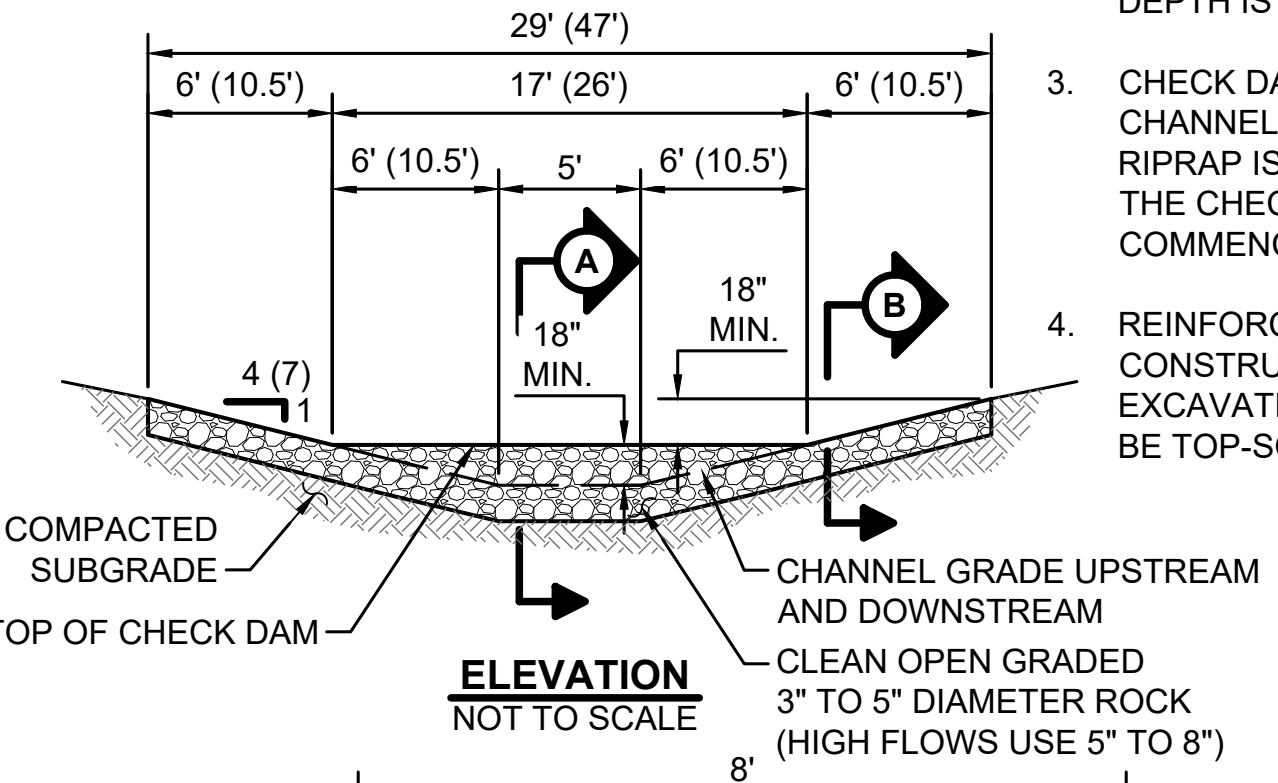
ELEVATION
NOT TO SCALE



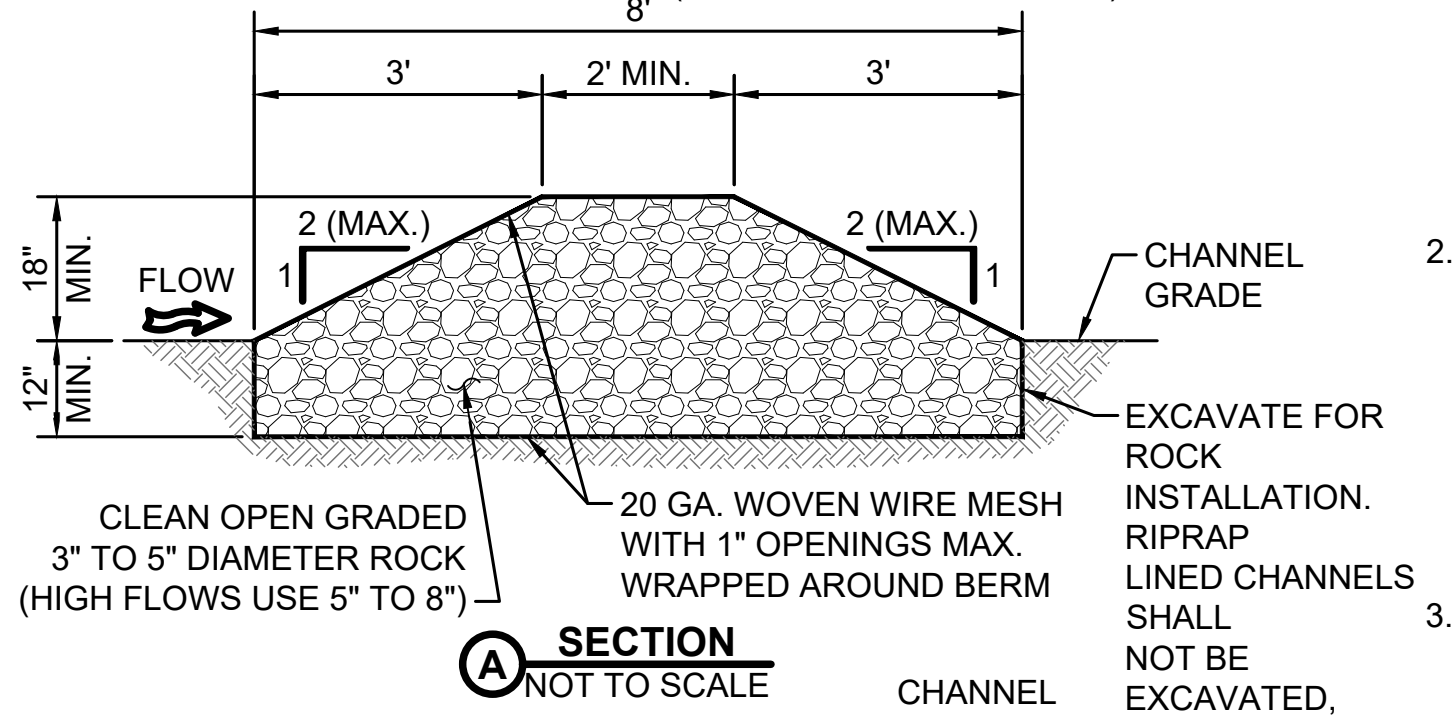
PLAN
NOT TO SCALE

- INSTALLATION NOTES:**
1. SEE SEDIMENT AND EROSION CONTROL PLAN FOR GENERAL LOCATION OF SILT FENCE. SUBCONTRACTOR MAY MODIFY LOCATIONS AND QUANTITIES WITH APPROVAL FROM ENGINEER AND/OR OWNER.
 2. SILT FENCE SHALL BE INSTALLED PRIOR TO BEGINNING ANY LAND DISTURBING ACTIVITIES.
 3. SILT FENCE SHALL BE PLACED AWAY FROM THE TOE OF A SLOPE TO ALLOW FOR WATER PONDING. IT SHALL BE INSTALLED AT LEAST 5 FEET BEYOND THE LIMITS OF GRADING.
 4. ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER OR SILT FENCE INSTALLATION DEVICE. GRADERS, BACKHOES OR OTHER SIMILAR EQUIPMENT SHALL NOT BE USED FOR INSTALLATION.
 5. COMPACTION OF THE ANCHOR TRENCH BACKFILL SHALL BE COMPLETED BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. THE COMPACTION EFFORT SHALL BE SUFFICIENT TO PREVENT THE SILT FENCE FROM BEING PULLED OUT BY HAND.
 6. WIRE MESH AND FABRIC SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE POSTS, THERE SHALL BE NO NOTICEABLE SAG BETWEEN POSTS AFTER INSTALLATION.
 7. STAPLES USED TO ANCHOR MESH AND FABRIC TO POSTS SHALL BE 3/4" HEAVY DUTY STAPLES WITH 1/2" LEGS MINIMUM.
 8. SILT FENCE SHALL BE INSTALLED AS CLOSE TO ON THE CONTOUR AS POSSIBLE. AT THE END OF A RUN OF SILT FENCE IT SHALL BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A J-HOOK. THE EXTENSION OF THE PERPENDICULAR SECTION SHOULD BE A SUFFICIENT LENGTH TO PREVENT RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE.

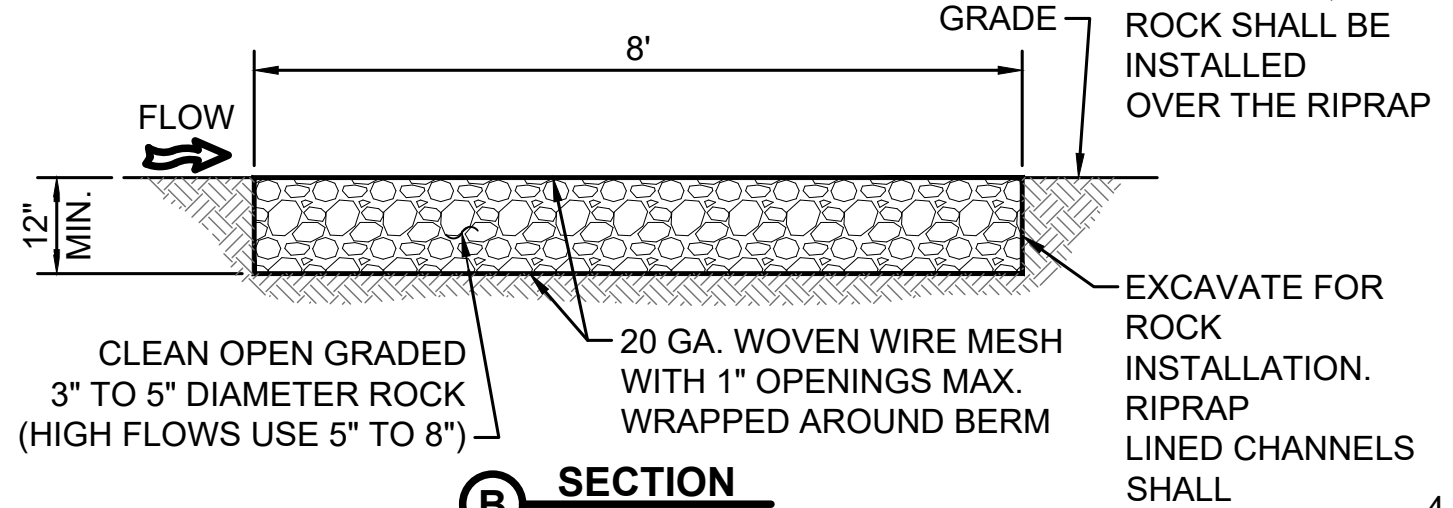
- MAINTENANCE NOTES:**
1. THE SUBCONTRACTOR SHALL INSPECT SILT FENCE WEEKLY AND MAINTAIN IT IN AN EFFECTIVE CONDITION. IT SHALL ALSO BE INSPECTED WITHIN 24 HOURS AFTER A STORM EVENT AND REPAIRS SHOULD BE COMPLETED AS NEEDED.
 2. SEDIMENT ACCUMULATED UPSTREAM OF SILT FENCE SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT DEPTH IS GREATER THAN 6 INCHES.
 3. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING OR COLLAPSE.
 4. SILT FENCE SHALL REMAIN IN PLACE UNTIL UPSTREAM DISTURBED AREA HAS BEEN STABILIZED OR IT IS REPLACED BY ANOTHER EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
 5. SILT FENCE SHALL BE REMOVED AT THE END OF CONSTRUCTION. AFTER REMOVAL OF THE THE FABRIC, WIRE MESH AND POSTS THE DISTURBED AREAS SHALL BE TOP-SOILED, SEEDED AND MULCHED.



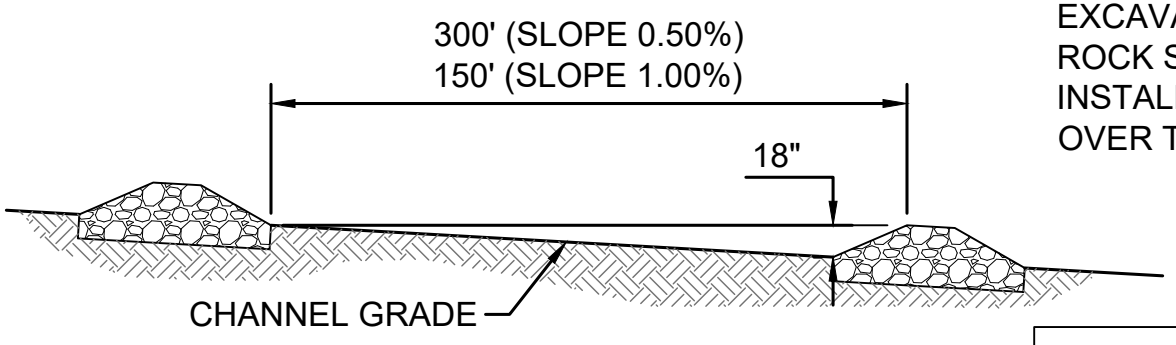
ELEVATION
NOT TO SCALE



SECTION A
NOT TO SCALE



SECTION B
NOT TO SCALE



PROFILE
NOT TO SCALE

ROCK CHECK DAM
NOT TO SCALE

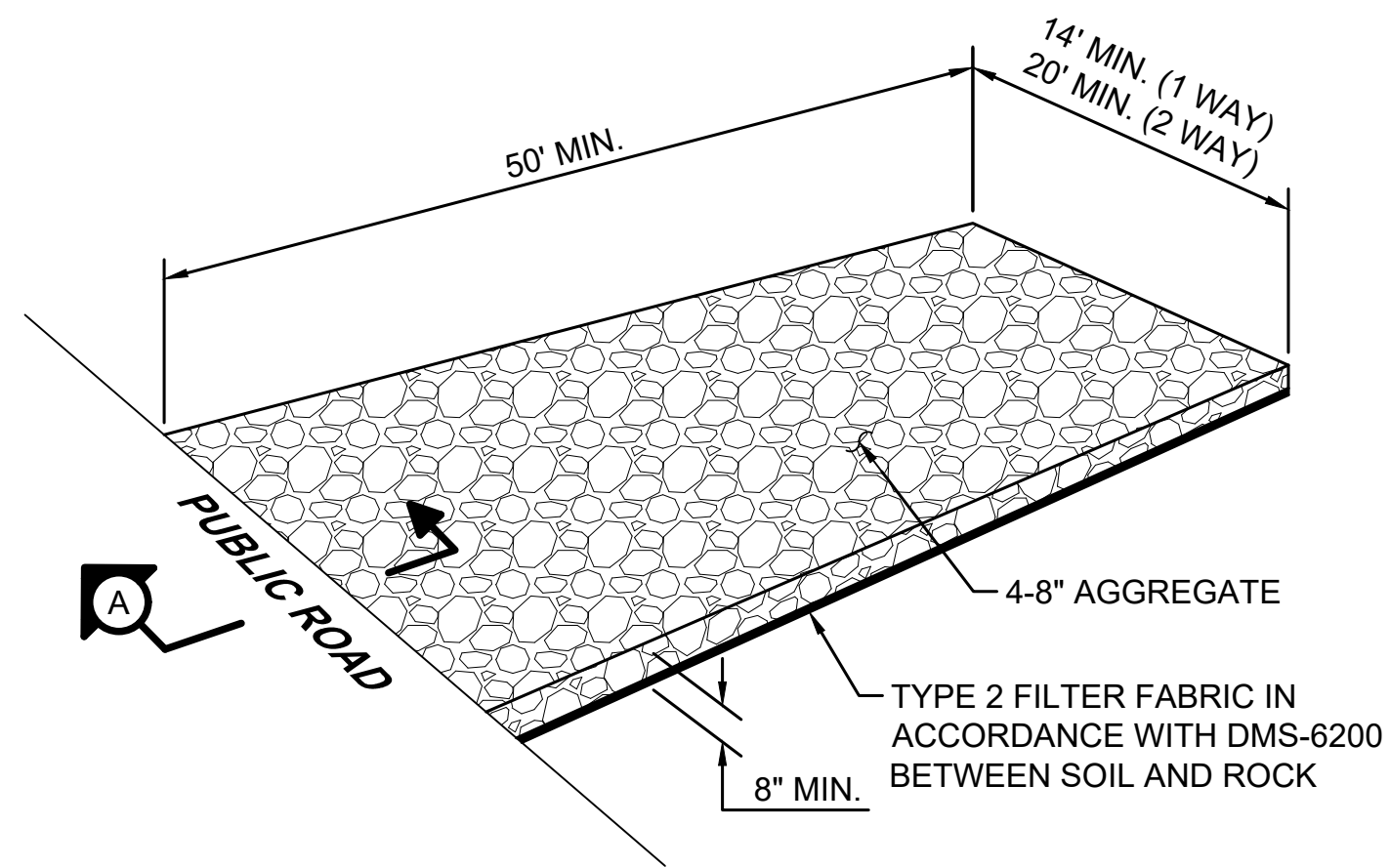
- INSTALLATION NOTES:**
1. SEE SEDIMENT AND EROSION CONTROL PLAN FOR GENERAL LOCATION OF CHECK DAMS. SUBCONTRACTOR MAY MODIFY LOCATIONS AND QUANTITIES WITH APPROVAL FROM ENGINEER AND/OR OWNER.
 2. CHECK DAMS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES IN THE CHANNELS THAT WILL NOT BE DISTURBED. DAMS LOCATED IN NEW CHANNELS THAT WILL BE GRADED SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER CHANNEL GRADING HAS BEEN COMPLETED.
 3. CHECK DAM AGGREGATE SHALL CONSIST OF 3" TO 5" DIAMETER ROCK (5" TO 8" FOR HIGH FLOW AREAS). CHECK DAM BERM STRUCTURE SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING A MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE DIAMETER OF 20 GAGE GALVANIZED SECURED WITH SHOAT RINGS. WIRE SHALL BE INSTALLED PERPENDICULAR TO THE FLOW LINE, AND WRAPPED AROUND ROCK BERM AND TIED WITH THE WIRE TO RETAIN THE BERMS SHAPE.
 4. CHECK DAM SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 12 INCHES. CHECK DAMS THAT ARE INSTALLED ON RIPRAP LINED CHANNELS SHALL NOT BE EXCAVATED 12 INCHES. WOVEN WIRE SHALL BE PLACED ON OVER THE RIPRAP PRIOR TO CHECK DAM ROCK PLACEMENT TO SEPARATE THE CHECK DAM ROCK FROM THE RIPRAP.

PRELIMINARY - NOT FOR CONSTRUCTION

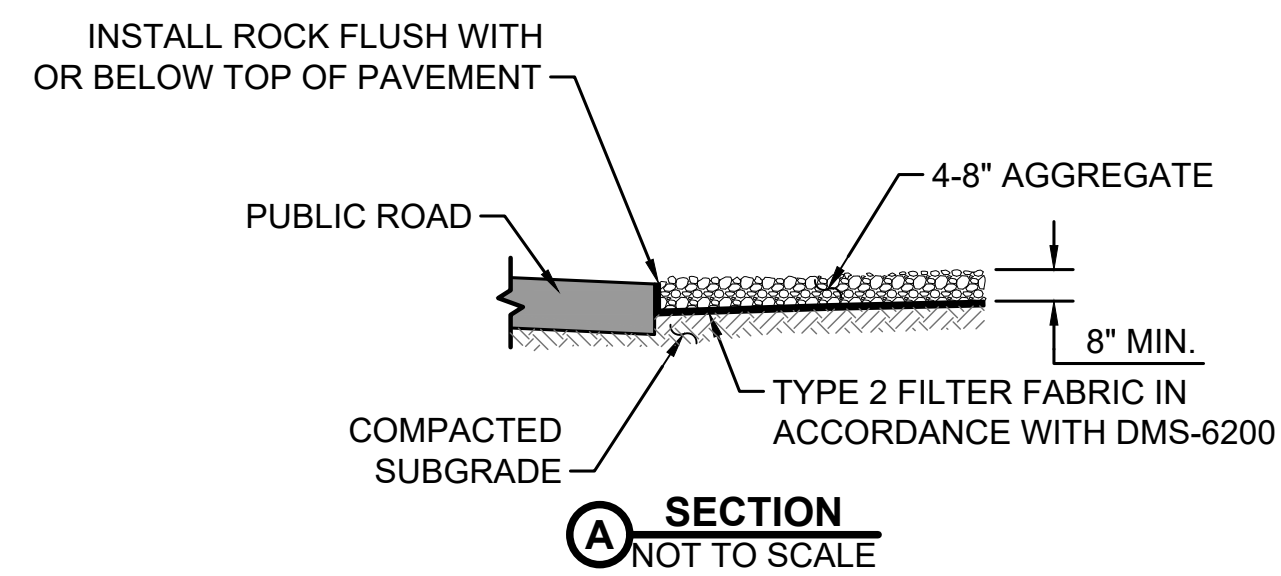
SILT FENCE
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REV PROJECT DESCRIPTION DATE BY APPRD				REV PROJECT DESCRIPTION DATE BY APPRD				REV PROJECT DESCRIPTION DATE BY APPRD				REV PROJECT DESCRIPTION DATE BY APPRD				JONESBORO, AR		CIVIL STANDARD DETAILS 1				DRAWING NUMBER CS500



PLAN
NOT TO SCALE



SECTION
NOT TO SCALE

VEHICLE TRACKING CONTROL PAD DETAIL (VTC)
NOT TO SCALE

INSTALLATION NOTES:

1. SEE GRADING PLAN FOR GENERAL LOCATION OF VEHICLE TRACKING PAD. SUBCONTRACTOR MAY MODIFY LOCATION AND SIZE OF THE VEHICLE TRACKING PAD WITH APPROVAL FROM CONTRACTOR.
2. THE VEHICLE TRACKING PAD SHALL BE SIZED APPROPRIATELY TO ALLOW PROPER TRAFFIC FLOW AND TO PREVENT TRACKING OF SEDIMENT OFF-SITE. IF TRACKING PAD IS NOT EFFECTIVE AT CONTAINING SEDIMENT THE SUBCONTRACTOR SHALL STOP OPERATIONS AND MAKE MODIFICATIONS TO THE TRACKING PAD TO PREVENT OFF-SITE TRACKING OF SEDIMENT.
3. VEHICLE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
4. THE TRACKING PAD SHALL CONSIST OF 4-8" AGGREGATE A MINIMUM OF 8 INCHES THICK. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE TRACKING PAD PRIOR TO THE PLACEMENT OF AGGREGATE.
5. A STABILIZED ENTRANCE/EXIT IS REQUIRED AT ALL ACCESS POINTS WHERE VEHICLES CAN ACCESS THE CONSTRUCTION SITE FROM PUBLIC ROADS. ANY OTHER ACCESS POINTS NOT SHOWN ON THE PLANS THAT THE SUBCONTRACTOR ELECTS TO USE SHALL HAVE A VEHICLE TRACKING PAD INSTALLED AND THE ENTRANCE/EXIT LOCATION.

MAINTENANCE NOTES:

1. THE SUBCONTRACTOR SHALL INSPECT THE VEHICLE TRACKING PAD WEEKLY AND MAINTAIN IT IN AN EFFECTIVE CONDITION. IT SHALL ALSO BE INSPECTED WITHIN 24 HOURS AFTER A STORM EVENT AND REPAIRS SHOULD BE COMPLETED AS NEEDED.
2. THE SUBCONTRACTOR SHALL PROVIDE ADDITIONAL THICKNESS OF AGGREGATE MATERIAL IF ANY RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED. ROCK SHALL BE RE-APPLIED OR RE-GRADED AS NECESSARY TO MAINTAIN A CONSTANT DEPTH OF THE AGGREGATE.
3. SEDIMENT TRACKED ONTO PAVED ROADS SHALL BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT SHALL NOT BE WASHED INTO DRAINAGE SWALES, DITCHES OR STORM SEWERS.
4. ALL AGGREGATE USED FOR THE VEHICLE TRACKING PAD SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE AGGREGATE MATERIAL SHALL BE REMOVED AND EITHER SURFACED WITH GRAVEL OR TOPSOILED, SEEDED AND MULCHED PER THE PLANS.

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IMPORTANT: DRAWING SCALE APPLICABLE TO ARCH D (36x24) SIZED PLOTS

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REV	PROJECT	DESCRIPTION	DATE	BY	APPRD

REV	PROJECT	DESCRIPTION	DATE	BY	APPRD
0	175393	ISSUED FOR PERMIT	01/17/25	NHW	EWL

ORIG DATE	01/08/25
ORIG PROJ NO.	175393
ORIG DRAWN BY	DLW



PLOTTED	1/17/25
FLOOR	
PHASE / LINE	
PLANT #	
SCALE	N/A
TITLE	CIVIL STANDARD DETAILS 2

REVISION	0
DRAWING NUMBER	CS501

Owner	Property Address	Mailing Address	Receipt #
JMS Metal Services Inc.	2801 Dr. Martin Luther King Jr Dr. Jonesboro, AR 72401	25 College Park Cv Jackson, TN 38301	9589 0710 5270 0505 0430 35
Jonesboro Freight Terminal LLC	2901 Dr. Martin Luther King Jr Dr. Jonesboro, AR 72401	PO Box 999 Newport, AR 72112	9589 0710 5270 0505 0430 42
STT Inc	3003 Dr. Martin Luther King Jr Dr. Jonesboro, AR 72401	PO Box 999 Newport, AR 72112	9589 0710 5270 0505 0428 54
STT Inc	Parcel ID: 01-144264-01501	PO Box 999 Newport, AR 72112	9589 0710 5270 0505 0430 59
Caliarka Petro LLC	3021 Dr. Martin Luther King Jr Dr. Jonesboro, AR 72401	3901 S Caraway Rd. Jonesboro, AR 72404	9589 0710 5270 0505 0430 66
City Water & Light	3100 Dr. Martin Luther King Jr Dr. Jonesboro, AR 72401	PO Box 1289 Jonesboro, AR 72403	9589 0710 5270 0505 0430 73
Crowley's Ridge Dev Council Inc.	Parcel ID: 01-144362-00700	PO Box 16720 Jonesboro, AR 72403	9589 0710 5270 0505 0430 80
EIT Properties	6105 C W Post Rd. Jonesboro, AR 72401	PO Box 16660 Jonesboro, AR 72403	9589 0710 5270 0505 0430 97
United States of America	6109 C W Post Jonesboro, AR 72401	700 West Capitol Little Rock, AR 72203	9589 0710 5270 0505 0431 03
The 215 Sunken Lands Hunting Club LLC	2900 Moore Rd. Jonesboro, AR 72401	10415 Stuckey Lane Trumann, AR 72472	9589 0710 5270 0505 0428 61
Craighead County	2800 Moore Rd. Jonesboro, AR 72401	511 Union St. Ste 119 Jonesboro, AR 72401	9589 0710 5270 0505 0428 78
City Water and Light	Parcel ID: 01-144254-00300	PO Box 1289 Jonesboro, AR 72403	9589 0710 5270 0505 0428 85
Best and Best Leasing LLC	2603 Moore Rd. Jonesboro, AR 72401	3503 Big Creek Cv Jonesboro, AR 72404	9589 0710 5270 0505 0428 92
Industrial Destination LLC	5907 Krueger Dr. Jonesboro, AR 72401	2516 Dr. Martin Luther King Jr. Dr. Jonesboro, AR 72401	9589 0710 5270 0505 0429 08
Imrie Investments LLC	5901 Krueger Dr. Jonesboro, AR 72401	5701 Krueger Dr. Jonesboro, AR 72401	9589 0710 5270 0505 0429 15

Focus Optical LLC	5805 Krueger Dr. Jonesboro, AR 72401	5805 Krueger Dr. Jonesboro, AR 72401	9589 0710 5270 0505 0429 22
Lenderman Investments LLC	2802 Dr. Martin Luther King Jr. Dr. Jonesboro, AR 72401	1804 W Washington Ave. Jonesboro, AR 72401	9589 0710 5270 0505 0429 39