



# City of Jonesboro

Municipal Center  
300 S. Church Street  
Jonesboro, AR 72401

## Meeting Agenda Metropolitan Area Planning Commission

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Tuesday, June 11, 2024

5:30 PM

Municipal Center, 300 S. Church

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### 1. Call to order

### 2. Roll Call

### 3. Approval of minutes

[MIN-24:054](#) MAPC Minutes: May 28, 2024

Attachments: [5.28.24 MAPC Minutes](#)

### 4. Miscellaneous Items

[COM-24:022](#) Temporary Classroom Trailers

Valley View School District is requesting MAPC approval for an additional two years on the continued placement of two temporary classroom portable buildings at the southwest corner of 5603 Kersey Lane. The initial MAPC approval was on May 10, 2022.

Attachments: [Request to Planning & Zoning and MAPC on Elem Portable Buildings 5.8.2024](#)  
[COM-22-017 Initial Approval](#)

[SP-24-01](#) Site Plan: Elmhurst Storage Complex

Davidson Engineering is is requesting a MAPC site plan approval for a storage complex located on Elmhurst Drive. The proposed development is 103,305 sq. ft. and located in a C-3, general commercial district.

Conditional use approval was granted for this site on February 27th, 2024.

Attachments: [23-104 Narrative Letter \(Large Scale Development\) \(1\)](#)  
[23-104 COMBINED SET 5.2.2024 \(1\)](#)

### 5. Preliminary Subdivisions

### 6. Final Subdivisions

### 7. Conditional Use

**8. Rezoning**

**RZ-23-16** Rezoning: 1006 Warren Street

Carrington Moorehouse is requesting a rezoning from R-1, single family medium density, to RM-12, residential multifamily. This request is for 5.5 acres located east of 1006 Warren.

- Attachments:** [Full Application](#)  
[23102-2 Plat](#)  
[Current zoning](#)  
[Nix Tile Company 20231025 103516](#)  
[Nix Tile Company 20231025 103826](#)  
[Rendering](#)  
[Warren Street Apartment Concept](#)  
[Rezoning Sign](#)  
[Staff Summary](#)

**Legislative History**

5/14/24	Metropolitan Area Planning Commission	Tabled
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**9. Staff Comments**

**10. Adjournment**



# City of Jonesboro

300 S. Church Street  
Jonesboro, AR 72401

## Text File

File Number: MIN-24:054

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**Agenda Date:**

**Version:** 1

**Status:** To Be Introduced

**In Control:** Metropolitan Area Planning Commission

**File Type:** Minutes

MAPC Minutes: May 28, 2024



# City of Jonesboro

Municipal Center  
300 S. Church Street  
Jonesboro, AR 72401

## Meeting Minutes Metropolitan Area Planning Commission

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Tuesday, May 28, 2024

5:30 PM

Municipal Center, 300 S. Church

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### 1. Call to order

### 2. Roll Call

**Present** 8 - Lonnie Roberts Jr.; Jimmy Cooper; Kevin Bailey; Monroe Pointer; Stephanie Nelson; Jeff Steiling; Jim Little and Dennis Zolper

**Absent** 1 - Paul Ford

### 3. Approval of minutes

[MIN-24:051](#) MAPC Minutes: May 14, 2024

**Attachments:** [5.14.24 MAPC Minutes](#)

#### **Approved**

**Aye:** 7 - Jimmy Cooper; Kevin Bailey; Monroe Pointer; Stephanie Nelson; Jeff Steiling; Jim Little and Dennis Zolper

**Absent:** 1 - Paul Ford

### 4. Miscellaneous Items

[COM-24:018](#) Sidewalk In Lieu: The Reserve at Sage Meadows

Tralan Engineering Inc. on behalf of The Reserve at Sage Meadows, is requesting MAPC approval to pay the Sidewalk "In Lieu" payment of \$4,220 for 43.33 square yards. The current rate is \$97.39 per square yard.

**Attachments:** [The Reserve at Sage Meadows - Sidewalk Letter Overall Site](#)

A motion was made by Jimmy Cooper, seconded by Dennis Zolper, that the matter be untabled, and the motion was PASSED with all voting in favor.

Jim Gulley: This job carries back five and a half, six years ago from when the original plans were drew, and if you look at the sidewalk it was originally done on there because, there was an agreement between the owners, the city, the fire department, and everybody to do this because they was not going to take this road, the road that dead ends there and extend it to the property. Roughly

about 36 months ago, there was a big meeting that we all had with the city officials, I believe Mr. Little was involved. When we was out there at looking at some of the firewalls and the fire structure and all that. That the fire department raised the issue that the road had to be extended and tied into that property. It didn't have to be used as an entrance or an exit on that property but that it had to be continued up there and tied in, that way they could get structural apparatuses in, in case of a fire. At that point we went back in and that would have eliminated that sidewalk and we turned around and created a curb and tied it into that south end of that and spent 10 times the money of the 4220, to do that to appease the fire department and the city at that point. In that original drawing that sidewalk is showed to be on a lot that is actually in Sage Meadows, that is off the property there, which is no longer owned by the owners Don and Ray of that apartment project. So, I mean we're at your mercy for whatever, but we done what we needed to appease everybody, with Jason with the fire department, and that thing has a gate on it now, it's not used as an entrance it has a Knox Locks on it that is only going to be in case of fire emergency. And really there's no way to do that sidewalk, because it's like a sidewalk to nowhere. So, there's no place to put it in but if we gotta pay the 4220 then, obviously, we're going to pay it, but I would like some leniency or understanding, know that we spent three times the money to tie that road in and to make Sage Meadows happy, put ornamental gates up with Knox Locks on it. We spent \$50,000 right there and we could've put the sidewalk in for five it that would have been what we could've done. So that's what I have to add to it.

Lonnie Roberts: Alright, city planner do you have the staff comments on this one?

Derrel Smith (City Planner): Yes sir we do, we reviewed this, I mean this is only a portion of the sidewalk that wasn't installed original, and I mean it was shown on the plans. We approved the plans they never came back and asked to resubmit the plan showing any changes. The way the ordinance is written we can only accept the fee in lieu along right of way. So, I mean, they can either pay that fee in lieu or they can install the sidewalk along the back of the curb. Like it is in other parts of the city. The other sidewalk needs to be installed though. That's outside the right away.

Lonnie Roberts: The other sidewalk you're talking about the portion?

Derrel Smith: Right, that east west portion right there. Needs to be installed.

Jim Gulley: They don't own that property.

Derrel Smith: Then it needs to be on their property.

Jim Gulley: The curb from the property to the back of the curb on that road is not even wide enough for a sidewalk.

Derrel Smith: They need to figure out a way. Because it was approved. This is the way y'all approved it. It hasn't been installed. The city I think if we allow this then we're creating a precedent of letting the contractor go out and do something without approval. Without submitting any plans and I don't think we want do that.

Lonnie Roberts: Okay, I'll open it up for discussion, commissioners do you have any questions or comments?

Jeff Steiling (Commission): I have a question, the property that, that sidewalk is running across. Who owned that property when that sidewalk was approved?

Jim Gulley: Don Parker.

Jeff Steiling: So, he has since sold that property, after that sidewalk was supposed to be installed there.

Jim Gulley: Yes.

Jeff Steiling: So he could have sold that property with the property line to the south of that sidewalk instead of the north of that sidewalk and there would have been room to install it.

Jim Gulley: He couldn't shrink the lot size any because of the minimum lot size that is set by Sage Meadows. Because the bad part about it is, I'm the guy who owns the lot.

Jeff Steiling: That's, he couldn't shrink it any?

Jim Gulley: No, there's so many utilities-

Jeff Steiling: Not 2 feet, so you could have gotten the sidewalk along the back of the curb? I mean, there's nothing there you could have done?

Jim Gulley: There's no way to get into it, because once you do, it got shrunk down and everything, it should have been resubmitted and he says the contractor went out and did something without approval and I went through my chains, with Tim Renshaw, and Tralan, and everybody there who had that meeting and discussion. And this was something that happened 36 months ago, and was under the impression that it was all going to be resubmitted and redone and taken care of. It's only popped up now that the jobs complete and we're asking for a CO, and I mean, obviously we didn't go out there and just make up a layout and grades and everything to do that with, but now Tralan is taking a position that they don't want to be, they made me come up here and represent them myself, I represent the owners, and at the end of the day, they're the ones that were responsible for the drawings, the submittal, the process, and everything that's involved with it. What's the purpose, can we not go back and I just have them resubmit it, without it? I mean the sidewalk goes to nowhere, there's no use for that sidewalk and it goes over private property.

Derrel Smith: I'll tell you the city's problem with it, is it ties into existing sidewalk and there's a lot of people out there and it's a walking connection for everyone.

Jim Gulley: There's not a single sidewalk in Sage Meadows.

Derrel Smith: You got it in your apartment complex though, it ties in to the sidewalks in the apartment complex, goes up and ties in all through there, so it provides a loop for all that walking traffic through there.

Lonnie Roberts: So, this sidewalk, let me just ask, where it says existing building, is that sidewalk?

Jim Gulley: It stops, back up, to the right, no it stops where the shadow lines are, on the property line between Deerfield and right up into that building, right where you're seeing that fence. Yeah right in there.

Lonnie Roberts: So, it stops right where it shows this sidewalk connecting?

Jim Gulley: Yeah, because there's nothing there, the sidewalk that's there only there to serve as access through that building, there's no, the only sidewalk for walking traffic on that property is that sidewalk that goes up the center of those 8-plex buildings there. There's no walking path or walking trail on that whole project.

Commission: Could that tie into anything in the future?

Jim Gulley: No.

Derrel Smith: Just so, the commission knows, this isn't the only thing they didn't construct, they didn't put any of the landscape islands that are shown, either, they are scheduled for a BZA to grant a variance for that but none of the landscape islands that are shown were installed either.

Jim Gulley: I didn't hear-

Derrel Smith: Landscape islands, didn't install those either. That was set for BZA last week and nobody showed up.

Jim Gulley: There's two islands there that we've come back and we have to

look at either pay to do away with, or we gotta go back and saw 'em in and install them. That's out of the whole project, the only two things that are missing is the two islands, and then that sidewalk, that's not there because it's never going to serve anything because it doesn't create, if I put that sidewalk in it's not going to go anywhere. It's just going to run up and dead end at that road. Because there's no walking trail or walking path through this project.  
Commission: Is there another way to connect it to where it would connect to something? Because it looks like there's a sidewalk going through the middle of the whole thing.

Jim Gulley: And that sidewalk that's going through middle, right down those six buildings there in the middle. Is designed for them to walk and access the buildings that they live in. It's not a walking trail for traffic.

Commission: The gate that I saw out there this morning does have a pedestrian exit in it exiting to the south.

Jim Gulley: And what it is, is a gate for the landscapers to be able to get in on the backside of that fence because there is actually an electrical transformer on that section of ground right outside there on the left that they have to mow and maintain that's part of their property. It's not, nothing on this project is designed for them, for the people for the tenants in that apartment project to leave that job or leave that site and go into Sage Meadows and there's no way for people from Sage Meadows to enter that apartment complex. It actually has a digital keypad code on it that only the landscapers, the maintenance guys, and anybody on that can access it.

Lonnie Roberts: Okay so let's go back now. Let's clarify what the in lieu of is applied for. Can you put that other map up? So, the in lieu of, just so we all understand and so I understand, is not the S shaped-

Derrel Smith: That's correct.

Lonnie Roberts: The in lieu of is for the trip that's in front of this, that is now a paved road.

Derrel Smith: That's correct.

Lonnie Roberts: So, the discussion tonight, what are we doing with this sidewalk as far as, are we making a decision on that?

Derrel Smith: I mean, it's before you right now. I mean, you can make the decision on the in lieu but if you don't make a decision on the sidewalk, they're going to be required to put it in somewhere, because it was never approved to take out.

Lonnie Roberts: So, like I said the in lieu of doesn't have anything to do with that then. That's still gonna be tied in.

Derrel Smith: That's still gonna be tied in and they will not get a CO till that's installed.

Commission: Yeah, I think I just got confused, I'm just terribly confused. So, then we don't even have to talk about the s shape.

Lonnie Roberts: And I was just trying to clarify that a little bit. Sorry about that.

Commission: All we're talking about is the straight sidewalk and we either approve or not do approve there in lieu fee for that. And we're not even here to talk about the rest of it. Is that right?

Derrel Smith: We're not gonna help him out by leaving that S shape out because-

Lonnie Roberts: We can't leave it out tonight can we? Tonight?

Derrel Smith: I mean you can either tell him he has to install it or he doesn't have to, because the city code requires that it be there.

Lonnie Roberts: So, the in lieu of would be a move toward not installing it.

Derrel Smith: Right.

Lonnie Roberts: Okay, I follow you now.

Dennis Zolper (Commission): I have a question Derrel, this situation where there's other departments in the city that have caused this problem, that have blessed some changes that never came through your office or-

Derrel Smith: Neither us nor engineering that we're aware of, that would have been where any streets or sidewalks would have to come from.

Jim Little (Commission): So if we don't deal with the S shaped sidewalk, they'll just have to put it in or have a different meeting?

Derrel Smith: If y'all don't deal with it, they'll have to go to BZA if they don't want to put it in.

Carol Duncan (City Attorney) I question whether that's a BZA question from the beginning, because it's asking for a variance from the code. It's not an in lieu of, which y'all have the authority to answer.

Jim Gulley: It's in lieu of because we installed asphalt. It's got curb, and gutter, and asphalt. The 43.33 square yards that we're talking about is now asphalt.

Commission: Just so we're clear Jim, that's the vertical-

Jim Gulley: That's the little vertical and that T shape right there. It's all asphalt, it goes in and ties a radius into the asphalt parking now and has a minimum of 14 foot wide gate for fire apparatus with a walk-thru door next to it.

Unable to transcribe

Jim Gulley: Yes, if they would have left that road dead ended, then, we woulda had to put that little niche of sidewalk in, the 43 yards. But now that's actually a road, that road continues on to that project only for fire apparatus, to get the fire code and fire marshal approval. I actually own some ground over on 745 that they made me give up a right of way on it that lets them in the backside of Deerfield if there's ever a major structural fire, that no matter how I develop that ground, I gotta leave an access with a Knox Lock on it to get across it. So that's what the fire department wanted, was that tied in.

Monroe Pointer (Commission): So the previous plan that was 36 months ago, that sidewalk would have been there. We wouldn't be asking for an in lieu of.

Jim Gulley: No, It come down to a battle between the residents of Sage Meadows and Don and Ray and everybody else that was involved in it. I mean, there's been discussions and stuff that I wasn't involved in, that at one point it was they wanted it there because they were, in the beginning Sage Meadows was going to allow them, the people of that apartment complex to buy memberships at resident cost to do that and then, they was worried about it being opened up for an entrance and an exit and over the course of four years of building out there, everybody had a bad taste in their mouth, because it was used as a construction entrance, and then the fire department comes along and it's gotta be this and it's gotta be that. So, there's been a lot of stuff that I haven't been involved with, there's been 5 different code changes. There's been like 7 different deals we had to change in design and stuff on the buildings as we went through this, the fresh air intakes and dryer vents and everything that's all been, that Shirley Thomas has been involved in, that Tim Renshaw has been involved with, that everything that, we've had meetings on the job site and at no point was it ever said that, whatever we were doing there had be resubmitted or if you're gonna do this, than that's more than the sidewalk is, that's still giving you an ingress, egress, to transfer over into that. To me the only thing that should be an issue is the S shape sidewalk, but if we did the road in there, then there's no way, and no reason for that sidewalk, it's not going anywhere.

Monroe Pointer: So, I may ask this a different way then. If we put that sidewalk in there or if we say, you get the lieu of, and not put that sidewalk, then, I

would then tell him that he doesn't have to do the rest on the other end, that's supposed to be done?

Lonnie Roberts: Let me be clear that we're not ruling anything on the east and west sidewalk, that turns into an S and goes to the previous development. So, in other words whether we grant the in lieu of or if we don't, we have nothing to do at this point of granting any in lieu of on the east west corridor of the sidewalk that ties into the existing sidewalk. To me that kind of ties, these two developments together.

Monroe Pointer: It sounds like we do though, because if we tell him he don't have to put in, then he don't have anything to tie that S sidewalk into. Unless I'm confusing myself.

Stephanie Nelson (Commission): There's pavement there now.

Kevin Bailey (Commission): Yeah, there's a road there now, but I think the horizontal, the east, west S shape, sidewalk is not before this body. I believe it should go before BZA. And my reservation about voting for in lieu of, is nothing against Jim or the developer or anything, but I feel like if we vote, in for, the in lieu of fee, we have set a precedent and then the BZA will have that precedent when it comes before us and then we may have opened a can of worms and I'm sorry, but you got a terrible lot.

Jim Gulley: I don't care what we got to do, if we gotta have somebody redraw it or resubmit it, if that's a possibility, I really don't care and don't take this the wrong way but I don't care what it costs, Ray and Don. To get done, Jim wants to get done, get the final CO, wave bye, and go on to the next project and this is a can of worms that I'm being forced to deal with that I didn't open up.

Dennis Zolper: Derrel can he not, when that wall come down between the 6 buildings, take it immediately left straight across the end of the building?

Unable to transcribe

Dennis Zolper: All he has to do is redraw it and bring it to you?

Derrel Smith: Yeah

Dennis Zolper: I got another simple question. How did the department let this go through to start with?

Carol Duncan: That's my question, how did we not know we needed a second entrance to start with?

Dennis Zolper: We're getting stuff lately that all of a sudden at the end, somebody uh oh, because you got a fire guy that, they had to approve that plan when it was submitted.

Jim Gulley: You are 100% correct but I went out there and dug up posts that were two and half inches because Jason Wills wasn't happy with it.

Dennis Zolper: Where that comes down through the six apartments if you went straight down across, I don't know what direction that is, do you have a problem with that?

Jim Gulley: No, other than there's going to be some elevation issues there because what you don't see on this map is that transition from that parking lot down to, where that one that stops at Deerfield, is like a 45 degree slope crossing a ditch and then the elevation coming off the end of those eight plexes is probably a 3 to 1 across there that comes down. I mean that like, I'm not saying it shouldn't be done but it's going to be a pretty major feat and like the other question is like you know there's a property line there to where like there's Don and Ray who own the reserve but Don owns Deerefield. So, there's an ownership difference between the two projects even though they're being shared as one common apartment complex. If that makes any sense.

Commission: I think to get a CO they'd have to fix that. I think that between them they could work where that sidewalk can go across.

Unable to Transcribe

Lonnie Roberts: I think just as a clarity we got nothing to do with the east west corridor. Let's real back in on this strip of sidewalk. And anybody else have any questions?

Jimmy Cooper (Commission): If they go back and change their plan that's a mute issue anyway.

Unable to transcribe

Kevin Bailey: This is a different lot so we gotta make sure that this lot that he is representing is out of this subdivision. It's now a separate lot.

Commission: This lot really has nothing to do with the sidewalk. Because that's in another development, the east west sidewalk.

Kevin Bailey: Other than originally-

Commission: The plan is not there.

Jim Gulley: I ended up buying 7 acres from them off 745 and I went to closing and somehow in the middle of the closing, I realized that I inherited that lot in Sage Meadows. So, I didn't even know I was buying it and ended up having it for free basically. And it's because we're not even sure it's buildable. We've been in discussions with Sage Meadows whether we can actually build on it, because of the easements, and right of ways, and drainage, can you actually get a house to fit on it? And if not, we're asking Sage Meadows to pull it out and not charge me HOA fees every year for something that essentially can't be built on.

Dennis Zolper: I mentioned something, I don't know that we would establish any kind of precedent with a decision one way or another on this. Because we're faced with some unique facts and some appears to be some internal city situations that were dropped in our lap but I don't think it's, as far as precedence, I don't see the significance of that. I do see the significance of it of whatever they're going to do, Derrel. If they come back to you, they need to go ahead and come back to you and do what they're supposed to do. The other little sidewalk of in lieu of doesn't go anywhere, so why are we? I'd rather table this and see what happens.

Jim Gulley: I mean, can I have Trey Lamblock redraw it for what's built out there and resubmit, I mean it wouldn't.

Jeff Steiling: That's what I was going to ask. I feel like we're being asked to make a judgement on something that we have a drawing that is not accurate to what you're asking us to approve.

Unable to transcribe

Jeff Steiling: Yeah but now he's asking for something different and he's built something totally different. So, I can't look at what he's given us and make an informed decision about what needs to be done because that's what we have and it's inaccurate. I mean if the fire department required him to do something different, the city either has to accept that or not accept it and if the city says the fire department was wrong, then they've built a bunch of stuff they didn't need to do. So we need to see what that looks like now, not what it looked like 6 years ago. I can't vote on something like this right now, I'm not even sure what I'm being asked to do.

Carol Duncan: I agree

Dennis Zolper: And I'd like to make a motion to table it, for at least till Derrel brings us up to date as far as any revisions to the plan to show what's out there. What they're requesting then.

Lonnie Roberts: So, are we saying in a certain amount of time or during a certain meeting?

Dennis Zolper: I'm saying until Derrel comes back to us and says you know we

need you to un-table this matter.

Monroe Pointer: So if we table it again, my question would be, what he's asking for, why couldn't we just either vote or vote that down and then, that would lead him to go and say, he has to bring different plans. Is that not an option? Because will be voting on what we see in front of us.

Lonnie Roberts: That is correct. Adam in lieu of can we reconsider an in lieu of later? Do they have to wait 6 months?

Commission: That's the problem we potentially delay them 6 months getting there.

Jim Gulley: We have a temporary CO, on the project. We were issued a temporary CO, final CO on it.

Lonnie Roberts: This is just concerning your lot though. You wouldn't be able to do anything on your lot for 6 months if we turn it down. You couldn't apply for a in lieu of for 6 months on just a lot. Is that correct? Am I thinking right?

Jim Gulley: That lot didn't have anything to do with it.

Commission: No, it would just be the-

Lonnie Roberts: Well, tonight's meeting really didn't have anything to do with their CO does it?

Commission: It has to do with that little strip.

Jim Gulley: It has to do with that strip that runs north and south in that 15 feet because where that property line makes that little corner where the S shape sidewalk ends at, that's my lot that goes down to the next house there. It has nothing to do with that. It's only from where the asphalt ends and that stretch of sidewalk that goes up and make that little bullhead T right there over to that property line. That's all that in lieu of has to do with. It has nothing to do with the S shape or the curve or that lot on it. I submitted a house plan for the lot, and they've approved it. And now we're about to go through the process for applying for a permit to build on it.

Lonnie Roberts: So, Commissioners table or proceed?

Jimmy Cooper: Now, wait a minute we do that, he's still not going to get his certificate of occupancy?

Lonnie Roberts: No, he will not.

Jim Gulley: But essentially instead of doing a sidewalk and concrete, I done it full width and asphalt. So, the connection between asphalt and asphalt is there but it's a full width asphalt.

Jimmy Cooper: That one going north I guess, that one of the little S, you're not gonna get a certificate of need until it's there. Or you submit something that is accepted. So there's no need of us taking your money basically. So, you're gonna have to move the sidewalk.

Lonnie Roberts: Or do a drawing and resubmit.

Jimmy Cooper: Resubmit is going to end up being on your lot so, unless you move it back up around the building and figure out how to take it across there.

Jim Gulley: That'd just be something we have to get with Tralan on.

Jimmy Cooper: I'm just saying we're going to take your money for really nothing because you're not going to get a certificate of occupancy. We can table it, we can turn it down, or we can take your money. But it's not gonna do you any good.

Jim Little: So what Jeff was saying makes more sense. Get Tralan to submit what's really built. To show the fire road that goes all the way. And so that if you're trying to do something we can see what's really there. At that point they can show a suggestion on where to put the other sidewalk or try to get out of it. But without the real plans we're guessing at what we're looking at.

Jim Gulley: Like the multiple pieces of the puzzle. The in lieu we're talking

about is the forty-three square yards of concrete. So, if I can solve that piece of the puzzle with forty two hundred and that section of it goes away and we're not, now we're down to the S shape sidewalk, correct?

Derrel Smith: Yes.

Jim Gulley: So, all I'm going to do is spend forty-two hundred dollars. If y'all approve the in lieu of, and that section goes away and it's done and over. Then at that point all I gotta do is go and start dealing with the S shape sidewalk and the two islands.

Kevin Bailey: In the development not on this lot. Again what we're talking about tonight is the in lieu of for your lot that is outside of the development that used to be in the development. So, that's the conundrum that we're having here is and I'm not being argumentative by no means but the sidewalk that runs east and west, was shown, submitted, permitted, and built on the lot that you now own, that has been sold outside the development. And so, what Derrel is saying in no uncertain terms is that you're not gonna get a final CO until that sidewalk is put in across that development.

Jim Gulley: And I'm going to go back and look at that property line and see what I can get along there because the problem is there's kind of that drainage flume that you kind of just barely see that niche in the corner. Is part of the problem with getting that sidewalk across the line. But I mean the in lieu should clear that and then it's just down to a point to where if I can get that, if I can get that sidewalk in over there, then my lot, I'm clear.

Derrel Smith: As long as you make that connection from the existing sidewalk into the new development. Whether it's on the north or south side of that driveway that will take care of that. And then that fee in lieu is only for that section that's in the city right of way. And so, if you paid that, that takes care of that. That's the north south section there.

Dennis Zolper: I'd make a motion to approve the request for the in lieu on the north proportion of the sidewalk.

Jim Gulley: I'm going to spend that anyway to have that redrawn to do it. So, I just paid the 4220 and deal with the north and south and then I'll go out there and figure out how I can get a sidewalk in that goes into the development, on their lane. Because my deal is, if I had to put the sidewalk on my lot, then, I know that lot is not buildable, inevitably. I own something that I can't ever do nothing with.

Dennis Zolper: That's my motion if we can get a second.

Jimmy Cooper: Second.

Lonnie Roberts: I have a motion and second, Miss Monica if you would call roll please.

Commission: What are we voting on?

Lonnie Roberts: Just a strip in front of the lot, it has nothing to do with the east west going, what it shows from the road to the road.

Unable to transcribe

Stephanie Nelson: And that is actually pavement right now?

Jim Gulley: Yes, it's a street, I mean, it looks just like street.

Stephanie Nelson: So if you weren't to write a check, you are supposed to put a sidewalk in but that would be sidewalk on top of pavement. So, that makes no sense.

Jim Gulley: Technically, I have that right of way and for what it's intended there is there. There really shouldn't technically be an in lieu of because it has permanent surfacing that ties into that asphalt. It's just not a 5 foot sidewalk, it's a 24 foot with curb and gutter, and asphalt tying to it.

A motion was made by Dennis Zolper, seconded by Jimmy Cooper, that this matter be Approved . The motion PASSED with the following vote.

**Aye:** 4 - Jimmy Cooper;Stephanie Nelson;Jim Little and Dennis Zolper

**Nay:** 3 - Kevin Bailey;Monroe Pointer and Jeff Steiling

**Absent:** 1 - Paul Ford

**5. Preliminary Subdivisions**

**6. Final Subdivisions**

**7. Conditional Use**

**8. Rezoning**

**9. Staff Comments**

**10. Adjournment**



# City of Jonesboro

300 S. Church Street  
Jonesboro, AR 72401

## Text File

File Number: COM-24:022

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**Agenda Date:**

**Version:** 1

**Status:** To Be Introduced

**In Control:** Metropolitan Area Planning Commission

**File Type:** Other  
Communications

### Temporary Classroom Trailers

Valley View School District is requesting MAPC approval for an additional two years on the continued placement of two temporary classroom portable buildings at the southwest corner of 5603 Kersey Lane. The initial MAPC approval was on May 10, 2022.

# VALLEY VIEW

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## PUBLIC SCHOOLS

Office of the Superintendent  
2131 Valley View Drive Jonesboro, AR 72404  
Office: (870) 935-6200 / Fax: (870) 972-0373

May 8, 2024

Mr. Derrel Smith  
Director of Planning and Zoning  
300 South Church Street  
Jonesboro, AR 72401

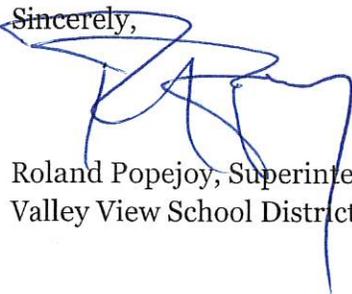
Dear Mr. Derrel Smith:

This letter is to request approval by your office and the Metropolitan Area Planning Commission (MAPC) for an additional two (2) years on the continued placement of two temporary classroom portable buildings at the southwest corner of 5603 Kersey Lane. The initial approval for the placement of the two portable buildings was provided by the MAPC at the May 10, 2022 meeting. Following precedent set by the MAPC commission members and city officials, a two-year approval was granted for the 2022-2023 and 2023-2024 school years. The Valley View district requests an approval for the buildings to serve our students in the 2024-2025 and 2025-2026 school years.

Our district master facilities plan that has been submitted to the state includes plans for instructional space construction projects to address the space needs of our elementary school where the portable buildings are currently located as well as space needs in our high school building. However, the construction projects are still in the planning phase and thus the need for the portable buildings remains.

An aerial image is provided with this request to show the location of the portable buildings as well as the high-quality wooden ramp and porch that was built to meet ADA requirements and fencing that was installed for safety purposes.

Sincerely,



Roland Popejoy, Superintendent  
Valley View School District





Legislation Details (With Text)

**File #:** COM-22:017    **Version:** 1    **Name:**  
**Type:** Other Communications    **Status:** Passed  
**File created:** 5/5/2022    **In control:** Metropolitan Area Planning Commission  
**On agenda:**    **Final action:** 5/10/2022  
**Title:** Temporary Classroom Trailers

Valley View School District is requesting MAPC approval to place two temporary classroom trailers to the West of 5603 Kersey Lane. Each classroom can house up to 48 individuals, the project will begin with the 2022-2023 school year and last until the 2024-2025 school year.

**Sponsors:**

**Indexes:**

**Code sections:**

**Attachments:** 1. Valley View Letter, 2. Site Plan

Date	Ver.	Action By	Action	Result
5/10/2022	1	Metropolitan Area Planning Commission	Approved	Pass

Temporary Classroom Trailers

Valley View School District is requesting MAPC approval to place two temporary classroom trailers to the West of 5603 Kersey Lane. Each classroom can house up to 48 individuals, the project will begin with the 2022-2023 school year and last until the 2024-2025 school year.



# City of Jonesboro

300 S. Church Street  
Jonesboro, AR 72401

## Text File

File Number: SP-24-01

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**Agenda Date:**

**Version:** 1

**Status:** To Be Introduced

**In Control:** Metropolitan Area Planning Commission

**File Type:** Site Plan

Site Plan: Elmhurst Storage Complex

Davidson Engineering is requesting a MAPC site plan approval for a storage complex located on Elmhurst Drive. The proposed development is 103,305 sq. ft. and located in a C-3, general commercial district.

Conditional use approval was granted for this site on February 27th, 2024.

May 6, 2024

Mr. Derrel Smith  
Director of Planning and Zoning, City of Jonesboro  
300 S. Church Street  
Jonesboro, Arkansas 72401

**RE: Elmhurst Drive Storage Facility Large Scale Development  
Part of Lot 4, Gladiolus Business Park  
Glenwood Limited Partnership**

Mr. Smith,

On behalf of Glenwood Limited Partnership, we would like to request to be placed on the June 11, 2024 Planning Commission for a Large Scale Development for the above mentioned project.

This project is a part of Lot 4, Gladiolus Business Park (Parcel # 01-144311-00100) with a total area of 6.35± acres. The project was approved for conditional use on February 27, 2023. Since the total gross floor area is more than 75,000 square feet it is required to go before the Metropolitan Area Planning Commission.

The total building square footage is as follows:

- 1- climate controlled storage building = 66,405 sf
  - 4- non-climate controlled buildings (7,800 sf each) = 31,200 sf
  - 1- non-climate controlled building = 5,700 sf
- Total = 103,305 sf

Please contact me directly with any questions or comments.

Thank you,  
Davidson Engineering, PLLC



Bear Davidson, PE

Attached:

# ELMHURST DRIVE-STORAGE FACILITY HART CONSTRUCTION

JONESBORO, ARKANSAS

DE JOB# 23-104

APRIL 2024

## SHEET INDEX



LOCATION MAP



VICINITY MAP

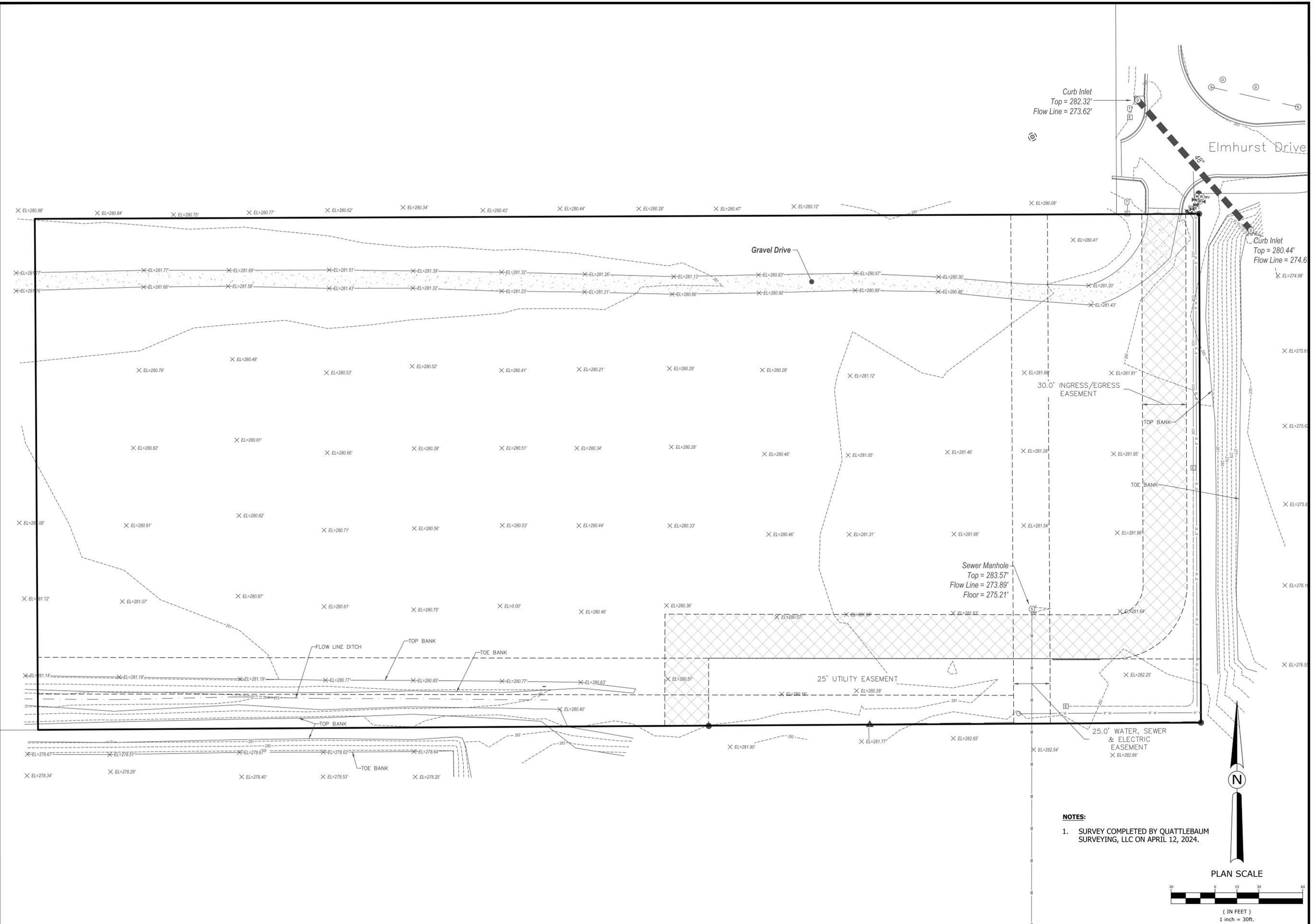
- C1.0 TOPOGRAPHIC SURVEY
- C2.0 SWPPP
- C3.0 SITE PLAN I (EAST)
- C3.1 SITE PLANN II (WEST)
- C4.0 GRADING AND DRAINAGE PLAN I (EAST)
- C4.1 GRADING AND DRAINAGE PLAN II (WEST)
- C5.0 UTILITY PLAN
- C6.0 MISC. DETAILS I
- C6.1 MISC. DETAILS II
- L1.0 LANDSCAPE PLAN

**DAVIDSON ENGINEERING DE**

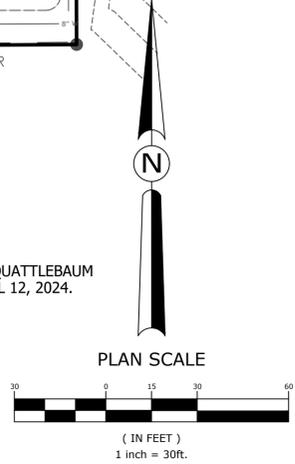
210 West Arch Avenue, Suite D  
Searcy, Arkansas 72143  
TEL 501.388.2178  
davidsonengineers.com



Z:\23-00\23-104 - Elmhurst Dr. Jonesboro - Hart Construction\Design Drawings\23-104 DESIGN.dwg 4/30/24 at 2:36pm



- NOTES:**
1. SURVEY COMPLETED BY QUATTLEBAUM SURVEYING, LLC ON APRIL 12, 2024.



**DAVIDSON ENGINEERING**  
 210 W. ARCH AVE., STE. D  
 SEARCY, AR 72143  
 TEL: 501-388-2178

**ELMHURST DRIVE STORAGE FACILITY  
 HART CONSTRUCTION  
 JONESBORO, ARKANSAS**

NO.	DATE	REVISIONS DESCRIPTION

ORIGINAL SIGNATURE ON FILE

**TOPOGRAPHIC SURVEY**

PROJECT ENG: **BCD** DRAWN BY: **JGB**  
 DATE: **APRIL 2024**  
 SCALE: **1" = 30'** JOB NUMBER: **DE 23-104**

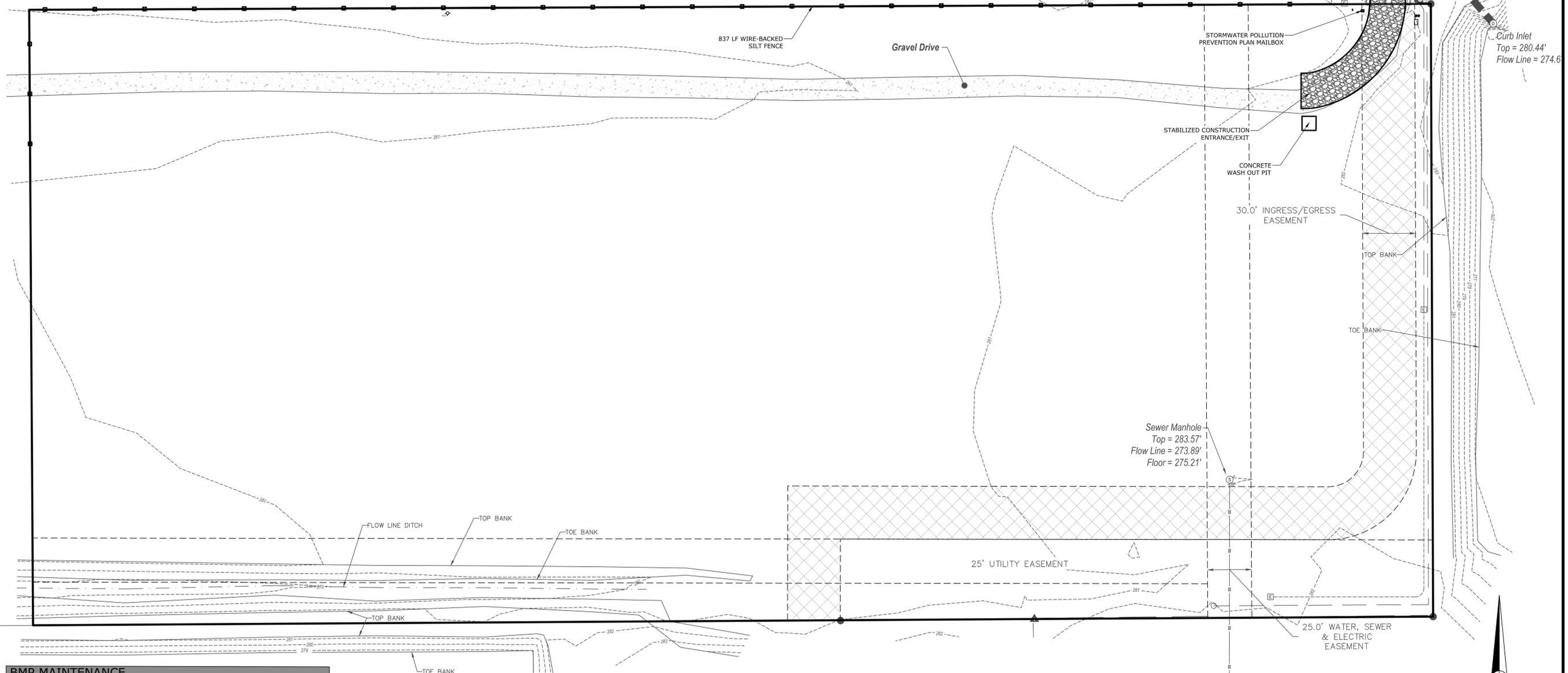
**C1.0**

**GENERAL DEMOLITION NOTES**

- ALL AREAS WITHIN THE LIMITS OF DISTURBANCE TO BE DEMOLISHED AND REMOVED UNLESS OTHERWISE NOTED ON THIS PLAN.
- THE CONTRACTOR IS REQUIRED TO NOTIFY THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.
- THIS PLAN SHOULD BE USED IN CONJUNCTION WITH THE TOPOGRAPHICAL SURVEY FOR REFERENCE. THE LOCATION OF KNOWN SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INFORMATION AND SATISFYING HIMSELF TO AS TO THE LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN. ALL REPAIRS OR RELOCATIONS NECESSARY SHALL BE MADE AS REQUIRED BY THE OWNER OF THE UTILITY OR STRUCTURE. THE COST OF SUCH REPAIRS OR RELOCATIONS NECESSARY SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL DISPOSE OF ALL MATERIALS RESULTING FROM DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS THAT GOVERN SUCH OPERATIONS.
- ALL ABANDONED SERVICE LINES SHALL BE DISCONNECTED AND CAPPED PER UTILITY COMPANIES REQUIREMENTS. COORDINATE ALL DISCONNECTIONS WITH UTILITY COMPANIES.
- CONTRACTOR IS TO BRING TO THE ATTENTION OF THE CIVIL ENGINEER ANY AREA OF DEMOLITION IN QUESTION BEFORE PROCEEDING WITH WORK.
- CONTRACTOR TO REVIEW AND COORDINATE DEMOLITION LIMITS WITH PROPOSED CONSTRUCTION PLANS.
- EXISTING CLEAN TOPSOIL TO BE STOCKPILED FOR FUTURE USE ON THIS SITE AND IS TO BE COORDINATED BY THE GENERAL CONTRACTOR.
- ALL EXISTING WATER, GAS AND / OR ELECTRICAL METERS AS NOTED TO BE REMOVED WITHIN THE PROJECT AREA ARE TO BE RETURNED TO THE APPROPRIATE AUTHORITY.

**GENERAL EROSION CONTROL NOTES**

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AND CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- CONTRACTOR SHALL DESIGNATE / IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- ALL BMP'S SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED BY A MINIMUM OF 80% GRASS COVERAGE.
- ALL DEWATERING ACTIVITIES SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS. DISCHARGED WATER MUST BE PROPERLY TREATED BEFORE RELEASING FROM THE SITE.



**BMP MAINTENANCE**

THE CONTRACTOR SHALL IMPLEMENT ALL MEASURES SHOWN ON THE EROSION CONTROL PLAN AND IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO THE FULLEST EXTENT PRACTICAL. THE CONTRACTOR SHALL HAVE CHECKED ALL SEDIMENT AND EROSION CONTROL MEASURES BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS OR EVERY FOURTEEN (14) DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT EXCEEDING 0.25". ALL SITE BMP'S SHALL BE MAINTAINED IN A FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE HAS OCCURRED. ALL SITE BMP'S SHALL BE REPAIRED AND / OR CLEANED IN ACCORDANCE WITH THE FOLLOWING:

- THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION ENTRANCE(S) IN A SUCH A CONDITION THAT WILL PREVENT MUD BEING TRACKED INTO ANY PUBLIC RIGHT OF WAY(S). THIS MAY REQUIRE PERIODIC TOP DRESSING OF ALL CONSTRUCTION ENTRANCE(S) AS NECESSARY.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF ALL PARKING AND STORAGE AREA(S) AS NECESSARY.
- CONTRACTOR SHALL REPAIR ALL SILT FENCING TO THEIR ORIGINAL CONDITION IF DAMAGED; SEDIMENT SHALL BE REMOVED FROM ALONG THE FENCE WHEN SEDIMENT REACHES NO MORE THAN ONE-HALF THE HEIGHT OF THE SILT FENCE.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. CONTRACTOR SHALL FERTILIZE AND RESEED THESE AREAS AS NECESSARY.
- IF THE GRAVEL FOUND IN ANY SEDIMENT FILTER(S) BECOME CLOGGED WITH SEDIMENT, CONTRACTOR SHALL PULL THE GRAVEL AWAY, CLEAN THE GRAVEL, AND REPLACE IN THE SEDIMENT FILTER(S).

**SEQUENCE OF CONSTRUCTION**

- INSTALL PERIMETER EROSION CONTROL MEASURES AND TEMPORARY CONSTRUCTION ENTRANCES/CONCRETE WASHOUT.
- EXCAVATION AND EMBANKMENT TO FORM THE PAVEMENT OR GRADED AREAS.
- INSTALL STORM SEWER (ADJUST EXISTING SEDIMENT BARRIERS AS NECESSARY TO MAINTAIN SEDIMENT CONTROL).
- INSTALL UNDERGROUND UTILITIES (ADJUST EXISTING SEDIMENT BARRIERS AS NECESSARY TO MAINTAIN SEDIMENT CONTROL); ADDITIONAL SEDIMENT BARRIERS SHALL BE UTILIZED AS REQUIRED TO BOUND THE DOWN SLOPE SIDE OF UTILITY CONSTRUCTION AND SOIL STOCKPILES.
- INSTALL BUILDING.
- FINAL GRADING (SEDIMENT BARRIERS SHALL BE MAINTAINED DOWN SLOPE FROM DISTURBED SOIL DURING THIS OPERATION).
- INSTALL PAVING.
- COMPLETION OF ONSITE STABILIZATION.
- REMOVE PERIMETER EROSION CONTROL MEASURES.

Z:\23-00\23-104 - Elmhurst Dr. - Jonesboro - Hart Construction\Design Drawings\23-104 DESIGN.dwg 4/30/24 at 3:10pm

NO.	DATE	REVISIONS DESCRIPTION

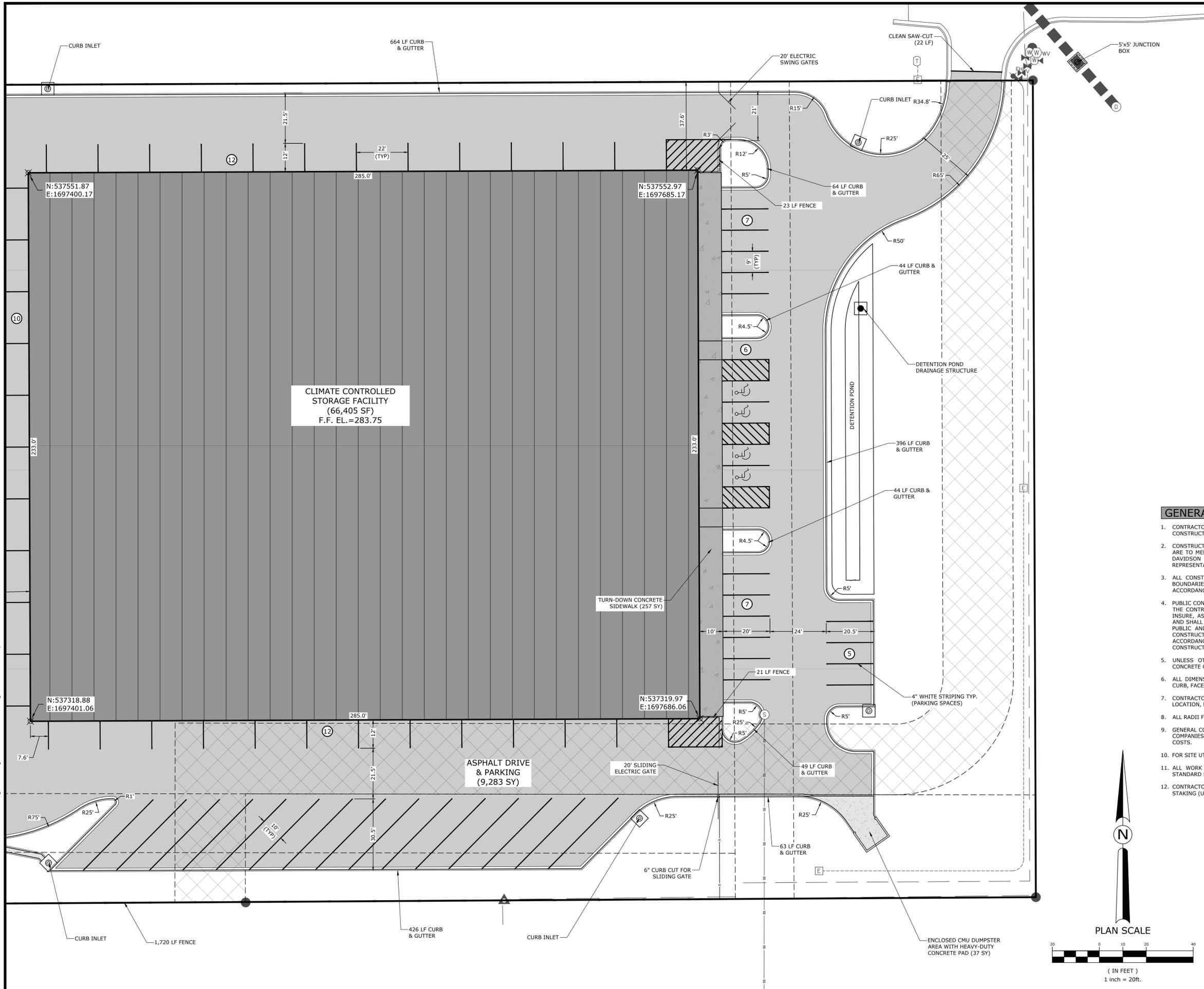
ORIGINAL SIGNATURE ON FILE

SWPPP

PROJECT ENG: <b>BCD</b>	DRAWN BY: <b>JGB</b>
DATE: <b>APRIL 2024</b>	JOB NUMBER: <b>DE 23-104</b>
SCALE: <b>1" = 30'</b>	

**C2.0**

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**GENERAL SITE NOTES**

1. CONTRACTOR SHALL RETAIN A FULL SET OF LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITE WORK SPECIFICATIONS PROVIDED BY DAVIDSON ENGINEERING OR AS SPECIFIED BY THE OWNER'S RESIDENT REPRESENTATIVE.
3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE ARDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
5. UNLESS OTHERWISE NOTED, ALL CURBING INDICATED SHALL BE 18" CONCRETE CURB AND GUTTER.
6. ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE FROM THE BACK OF CURB, FACE OF BUILDING, OR CENTERLINE OF STRIPE.
7. CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING LOCATION, DIMENSIONS, AND UTILITY ENTRANCE LOCATIONS.
8. ALL RADII FOR CURBS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
9. GENERAL CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
10. FOR SITE UTILITIES, SEE UTILITY PLAN(S).
11. ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S STANDARD SITE SPECIFICATIONS.
12. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT AND STAKING (UNLESS APPROVED OTHERWISE BY THE ENGINEER OF RECORD).

**LEGEND**

	CURB AND GUTTER
	EASEMENT
	BUILDING SETBACK
	PAINTED / THERMOPLASTIC STRIPING
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	EXISTING SANITARY SEWER MANHOLE
	PARKING STALL COUNT
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING STORMWATER MANHOLE
	EXISTING ELECTRIC TRANSFORMER

**DAVIDSON ENGINEERING**  
 210 W. ARCH AVE., STE. D  
 SEARCY, AR 72143  
 TEL: 501-388-2178

**ELMHURST DRIVE-STORAGE FACILITY  
 HART CONSTRUCTION**  
 JONESBORO, ARKANSAS

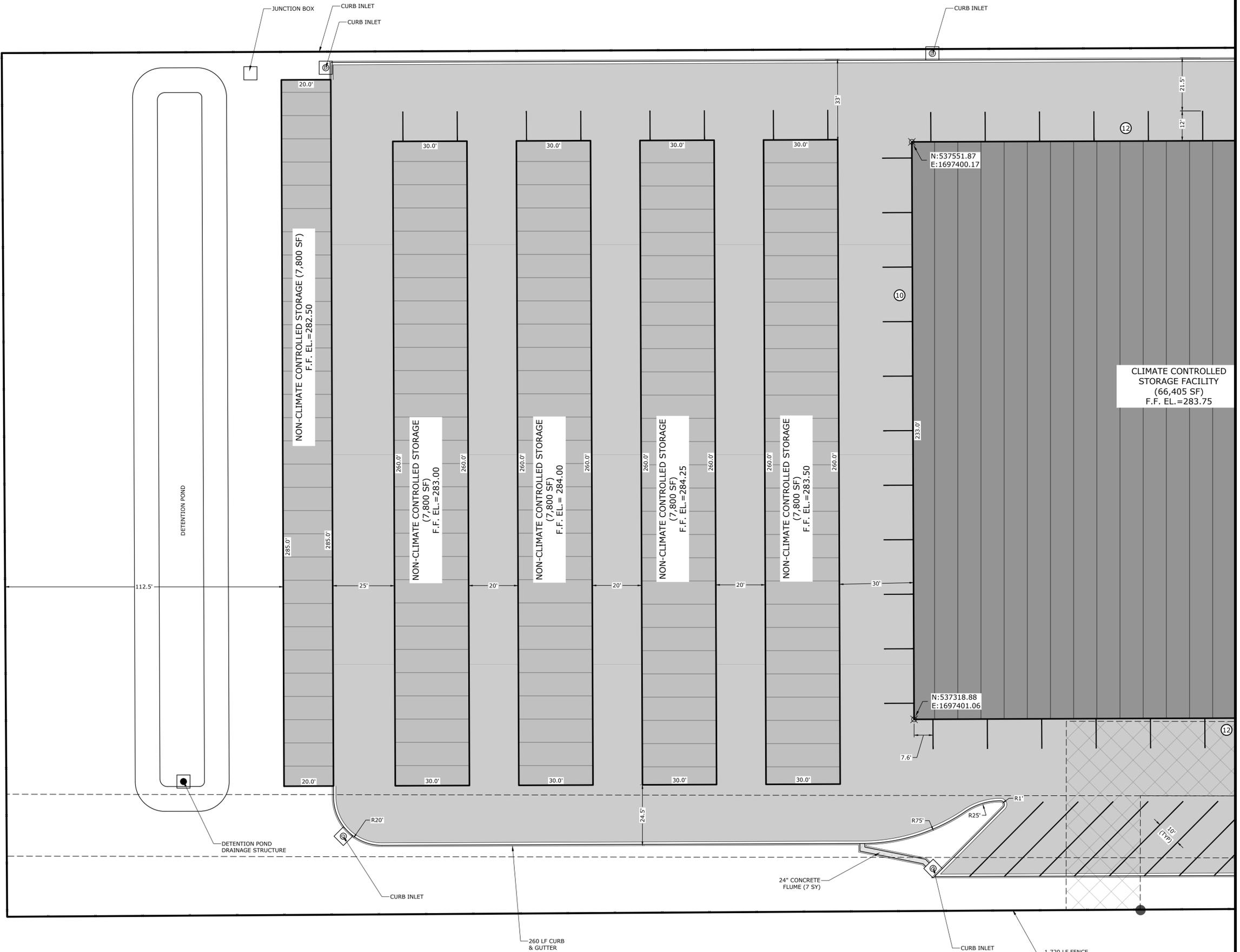
NO.	DATE	REVISIONS DESCRIPTION

ORIGINAL SIGNATURE ON FILE

**SITE PLAN I (EAST)**  
 PROJECT ENG: BCD DRAWN BY: JGB  
 DATE: APRIL 2024  
 SCALE: 1" = 20' JOB NUMBER: DE 23-104  
**C3.0**

**GENERAL SITE NOTES**

- CONTRACTOR SHALL RETAIN A FULL SET OF LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITE WORK SPECIFICATIONS PROVIDED BY DAVIDSON ENGINEERING OR AS SPECIFIED BY THE OWNER'S RESIDENT REPRESENTATIVE.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY:  
THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE ARDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL CURBING INDICATED SHALL BE 18" CONCRETE CURB AND GUTTER.
- ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE FROM THE BACK OF CURB, FACE OF BUILDING, OR CENTERLINE OF STRIPE.
- CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING LOCATION, DIMENSIONS, AND UTILITY ENTRANCE LOCATIONS.
- ALL RADII FOR CURBS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- FOR SITE UTILITIES, SEE UTILITY PLAN(S).
- ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S STANDARD SITE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT AND STAKING (UNLESS APPROVED OTHERWISE BY THE ENGINEER OF RECORD).



PLAN SCALE



( IN FEET )  
1 inch = 20ft.

**LEGEND**

- CURB AND GUTTER
- EASEMENT
- BUILDING SETBACK
- PAINTED / THERMOELASTIC STRIPING
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- EXISTING SANITARY SEWER MANHOLE
- PARKING STALL COUNT
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING STORMWATER MANHOLE
- EXISTING ELECTRIC TRANSFORMER

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**DAVIDSON ENGINEERING**  
210 W. ARCH AVE., STE. D  
SEARCY, AR 72143  
TEL: 501-388-2178

**ELMHURST DRIVE-STORAGE FACILITY  
HART CONSTRUCTION**  
JONESBORO, ARKANSAS

NO.	DATE	REVISIONS DESCRIPTION

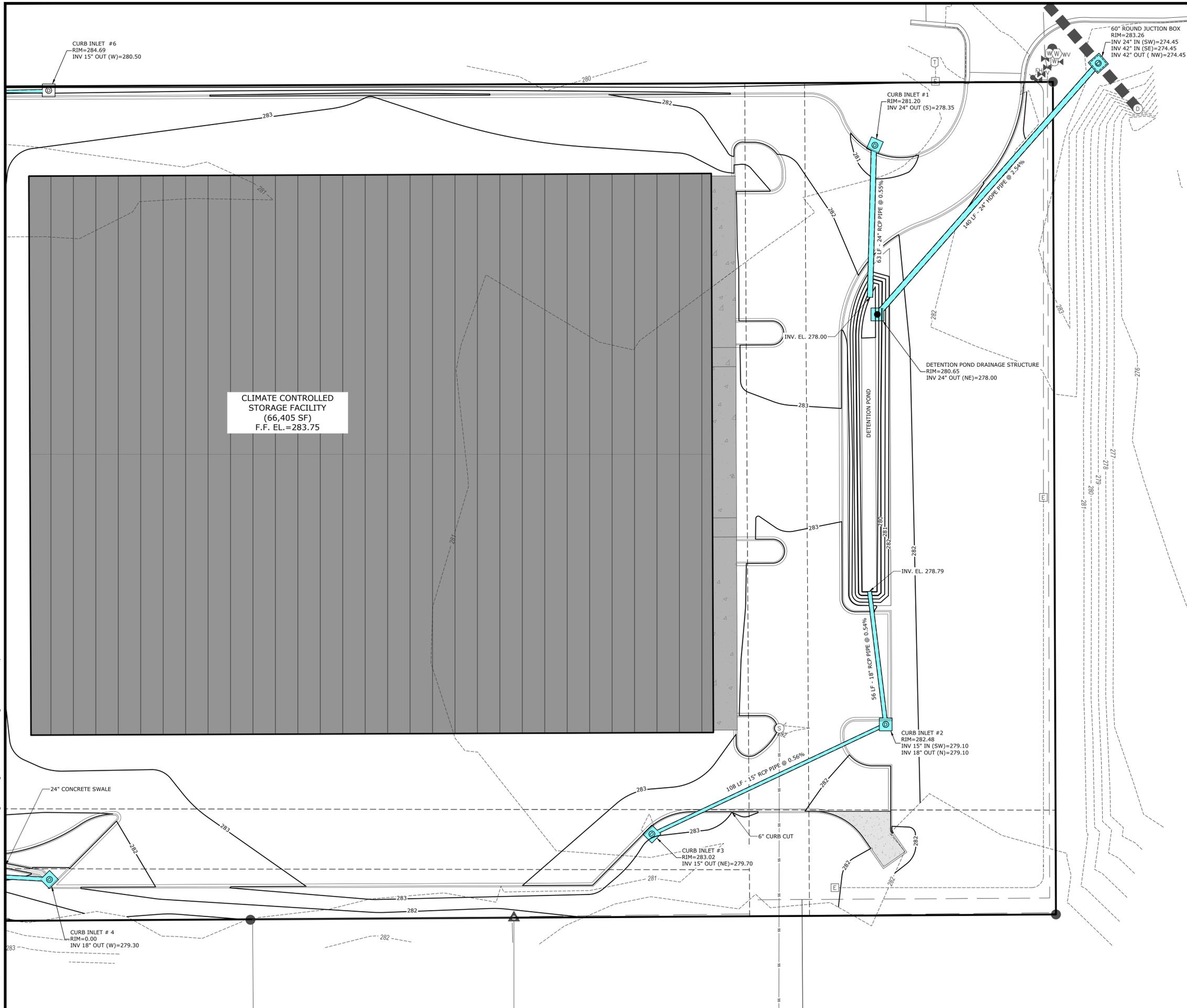
ORIGINAL SIGNATURE ON FILE

**SITE PLAN II (WEST)**

PROJECT ENG: BCD  
DRAWN BY: JGB  
DATE: APRIL 2024  
SCALE: 1" = 20'  
JOB NUMBER: DE 23-104

**C3.1**

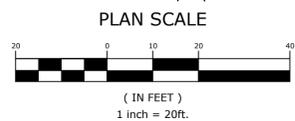
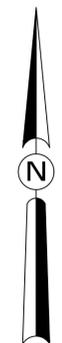
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CLIMATE CONTROLLED STORAGE FACILITY  
(66,405 SF)  
F.F. EL.=283.75

**GENERAL GRADING/DRAINAGE NOTES**

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY EXISTING AND PROPOSED ELEVATION INACCURACIES OR DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION.
- INFORMATION PERTAINING TO UNDER GROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS IN ADVANCE OF MACHINE TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THESE PLANS OR 18", WHICH EVER IS LESS, CONTACT THE ENGINEER AND THE OWNER / DEVELOPER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES ON ADJUSTING EXISTING UTILITY LINE AS REQUIRED BY CUT AND FILL AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS.
- ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND END OF FLARED END SECTIONS.
- ALL DRAINAGE STRUCTURES SHALL BE CAST-IN-PLACE (UNLESS OTHERWISE SPECIFIED OR APPROVED BY THE ENGINEER OF RECORD).
- ALL DISTURBED AREAS AND SLOPES SHALL BE GRADED SMOOTH AND (4") OF TOP SOIL APPLIED. THE AREA SHALL BE SEEDED AND WATERED UNTIL HARDY GRASS GROWTH HAS BEEN ESTABLISHED (SEE LANDSCAPING GENERAL NOTES FOR SEEDING MIX & SPECIFICATIONS).
- STORM SEWER TRENCHING AND BEDDING SHALL BE INSTALLED PER DETAIL SHEET C6.1.
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND CONSTRUCTION SCHEDULE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IMPLEMENTING THE SWPPP.
- REMOVE GOOD TOPSOIL FROM AREAS TO BE GRADED AND FILLED, AND PRESERVE IT FOR USE IN FINISHING THE GRADING OF ALL CRITICAL AREAS.
- SCARIFY AREAS TO RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES BEFORE PLACING TOPSOIL PER OWNER / DEVELOPER, CITY, AND / OR DOT STANDARDS AND SPECIFICATIONS.
- CLEAR AND GRUB AREAS TO BE FILLED, REMOVE TREES, VEGETATION, ROOTS, DEBRIS, AND OTHER MATERIALS THAT WOULD AFFECT THE STABILITY OF THE FILL.
- ENSURE THAT FILL MATERIAL IS FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS INAPPROPRIATE FOR CONSTRUCTING STABLE FILLS.
- DO NOT INCORPORATE FROZEN MATERIAL OR SOFT, MUCK, OR HIGHLY COMPRESSIBLE MATERIALS INTO FILL SLOPES.
- KEEP DIVERSIONS AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- PERMANENTLY STABILIZE ALL GRADED AREAS AFTER FINAL GRADING IS COMPLETED ON EACH AREA OF THE GRADING PLAN. APPLY TEMPORARY STABILIZATION MEASURES ON ALL GRADED AREAS WHEN WORK IS TO BE INTERRUPTED OR DELAYED (SEE EROSION CONTROL PLAN(S)).
- CONTRACTOR SHALL MATCH TOP OF PROPOSED DRAINAGE STRUCTURES WITH PROPOSED GRADES. IF A DISCREPANCY OCCURS BETWEEN PROPOSED GRADES AND PROPOSED STRUCTURE TOPS, THE GRADING SHALL GOVERN. IF THE DISCREPANCY IS MORE THAN 4 INCHES, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
- ALL UTILITIES, INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT-OF-WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENT'S OR THE GOVERNING AGENCY'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY (STATE ONE CALL SYSTEM) AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
- SITE GRADING SHALL NOT PROCEED UNTIL PERIMETER EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- REFER TO GEOTECHNICAL REPORT FOR GENERAL DESCRIPTION OF SOIL STRATA AND INFORMATION ON EXISTING ROCK.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT AND STAKING (UNLESS APPROVED OTHERWISE BY THE ENGINEER OF RECORD).



**DAVIDSON ENGINEERING DE**  
210 W. ARCH AVE., STE. D  
SEARCY, AR 72143  
TEL: 501-388-2178

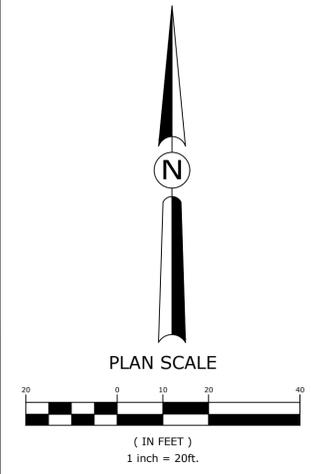
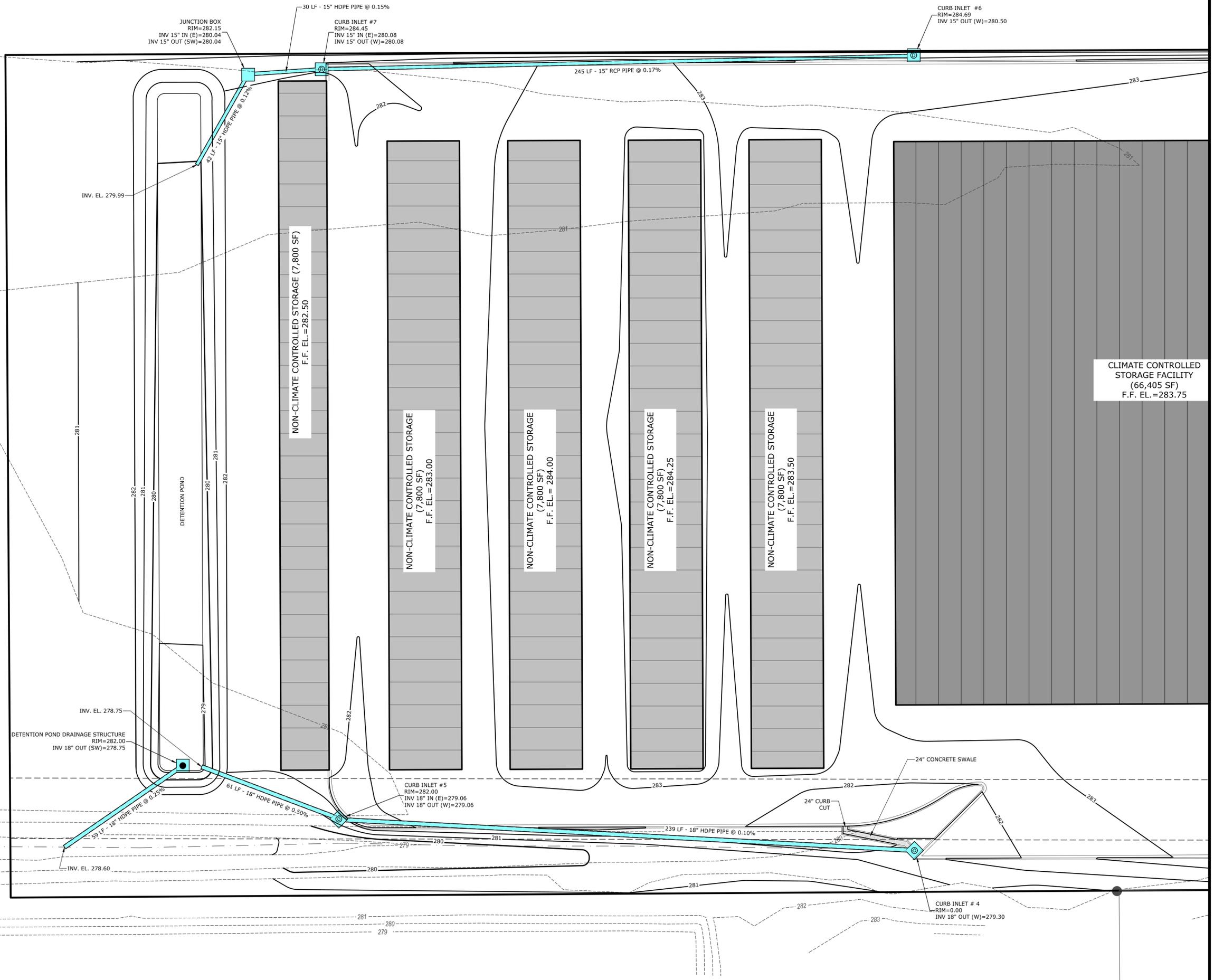
**ELMHURST DRIVE-STORAGE FACILITY  
HART CONSTRUCTION**  
JONESBORO, ARKANSAS

NO.	DATE	REVISIONS DESCRIPTION

ORIGINAL SIGNATURE ON FILE  
**GRADING & DRAINAGE PLAN I (EAST)**  
PROJECT ENG: BCD DRAWN BY: JGB  
DATE: APRIL 2024  
SCALE: 1" = 20' JOB NUMBER: DE 23-104  
**C4.0**

**GENERAL GRADING/DRAINAGE NOTES**

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY EXISTING AND PROPOSED ELEVATION INACCURACIES OR DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION.
- INFORMATION PERTAINING TO UNDER GROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS IN ADVANCE OF MACHINE TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THESE PLANS OR 18", WHICH EVER IS LESS, CONTACT THE ENGINEER AND THE OWNER / DEVELOPER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES ON ADJUSTING EXISTING UTILITY LINE AS REQUIRED BY CUT AND FILL AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS.
- ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND END OF FLARED END SECTIONS.
- ALL DRAINAGE STRUCTURES SHALL BE CAST-IN-PLACE (UNLESS OTHERWISE SPECIFIED OR APPROVED BY THE ENGINEER OF RECORD).
- ALL DISTURBED AREAS AND SLOPES SHALL BE GRADED SMOOTH AND (4") OF TOP SOIL APPLIED. THE AREA SHALL BE SEEDED AND WATERED UNTIL HARDY GRASS GROWTH HAS BEEN ESTABLISHED (SEE LANDSCAPING GENERAL NOTES FOR SEEDING MIX & SPECIFICATIONS).
- STORM SEWER TRENCHING AND BEDDING SHALL BE INSTALLED PER DETAIL SHEET C6.1.
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND CONSTRUCTION SCHEDULE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IMPLEMENTING THE SWPPP.
- REMOVE GOOD TOPSOIL FROM AREAS TO BE GRADED AND FILLED, AND PRESERVE IT FOR USE IN FINISHING THE GRADING OF ALL CRITICAL AREAS.
- SCARIFY AREAS TO RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES BEFORE PLACING TOPSOIL PER OWNER / DEVELOPER, CITY, AND / OR DOT STANDARDS AND SPECIFICATIONS.
- CLEAR AND GRUB AREAS TO BE FILLED, REMOVE TREES, VEGETATION, ROOTS, DEBRIS, AND OTHER MATERIALS THAT WOULD AFFECT THE STABILITY OF THE FILL.
- ENSURE THAT FILL MATERIAL IS FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS INAPPROPRIATE FOR CONSTRUCTING STABLE FILLS.
- DO NOT INCORPORATE FROZEN MATERIAL OR SOFT, MUCK, OR HIGHLY COMPRESSIBLE MATERIALS INTO FILL SLOPES.
- KEEP DIVERSIONS AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- PERMANENTLY STABILIZE ALL GRADED AREAS AFTER FINAL GRADING IS COMPLETED ON EACH AREA OF THE GRADING PLAN. APPLY TEMPORARY STABILIZATION MEASURES ON ALL GRADED AREAS WHEN WORK IS TO BE INTERRUPTED OR DELAYED (SEE EROSION CONTROL PLAN(S)).
- CONTRACTOR SHALL MATCH TOP OF PROPOSED DRAINAGE STRUCTURES WITH PROPOSED GRADES. IF A DISCREPANCY OCCURS BETWEEN PROPOSED GRADES AND PROPOSED STRUCTURE TOPS, THE GRADING SHALL GOVERN. IF THE DISCREPANCY IS MORE THAN 4 INCHES, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
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**DAVIDSON ENGINEERING DE**  
 210 W. ARCH AVE., STE. D  
 SEARCY, AR 72143  
 TEL: 501-388-2178

**ELMHURST DRIVE-STORAGE FACILITY  
 HART CONSTRUCTION**  
 JONESBORO, ARKANSAS

NO.	DATE	REVISIONS DESCRIPTION

ORIGINAL SIGNATURE ON FILE

**GRADING & DRAINAGE PLAN II (WEST)**

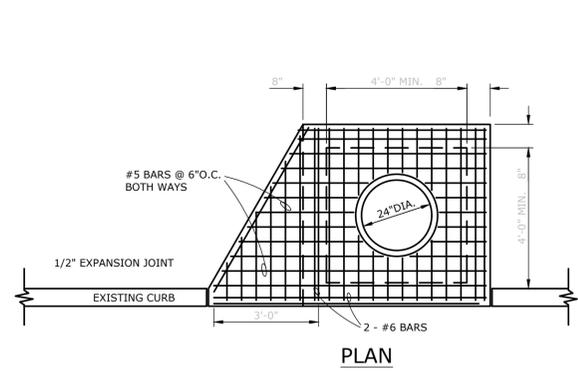
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DATE: **APRIL 2024**

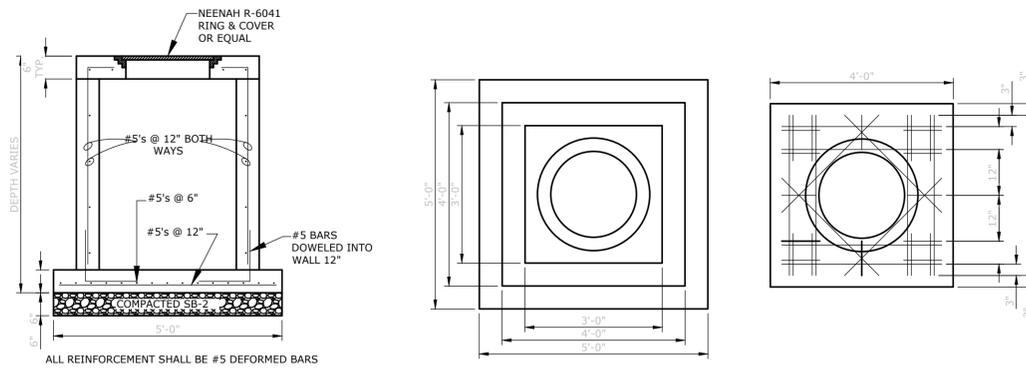
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**C4.1**



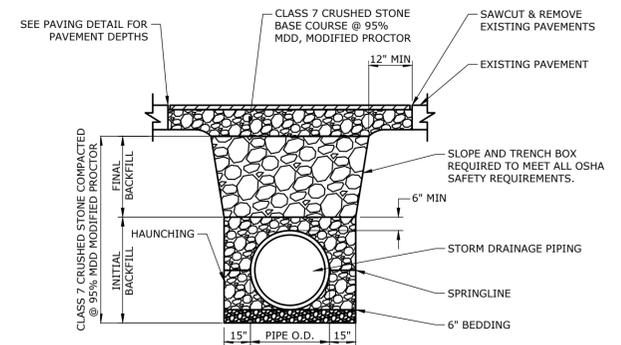


PLAN



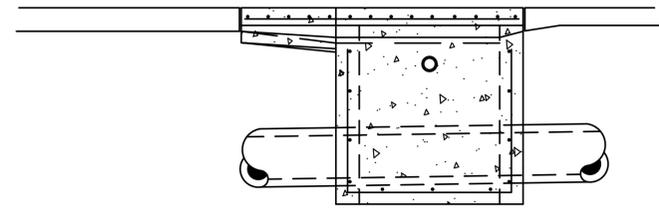
JUNCTION BOX DETAILS

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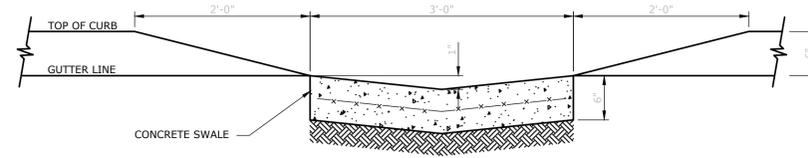
STORM DRAINAGE TRENCH DETAIL  
(UNDER PAVING OR SLAB)

N.T.S.



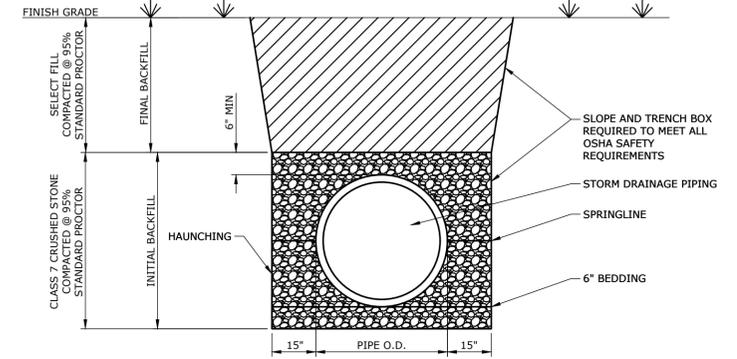
STANDARD CURB INLET DETAIL

N.T.S.  
D-0017.DWG



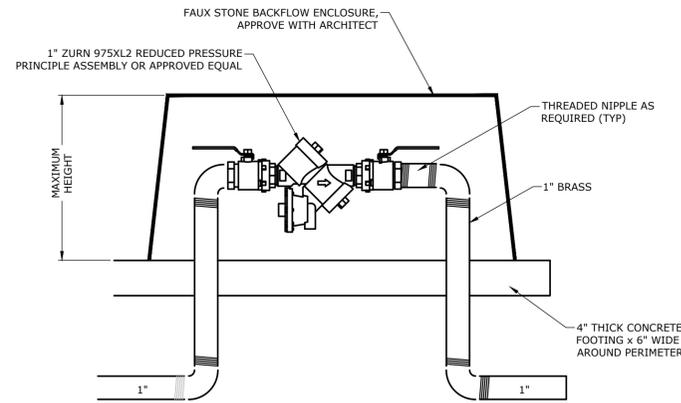
CURB CUT AT CONCRETE SWALE DETAIL

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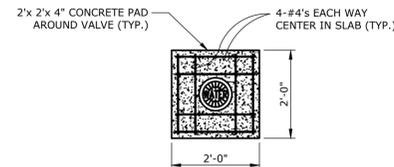
STORM DRAINAGE TRENCH DETAIL

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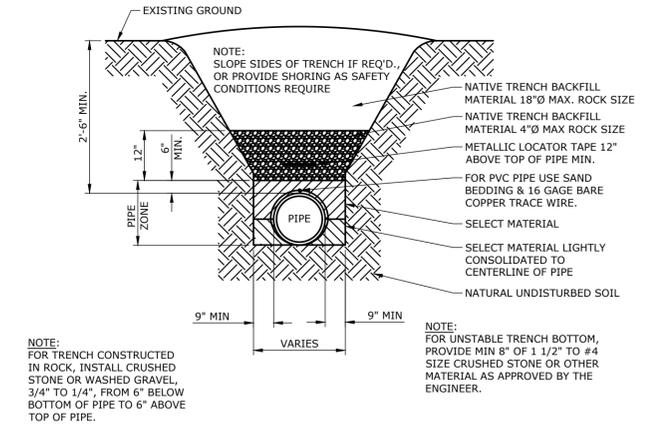
BACKFLOW PREVENTER DETAILS

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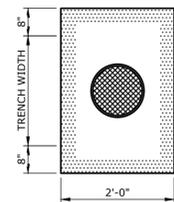
DETAIL-VALVE BOX

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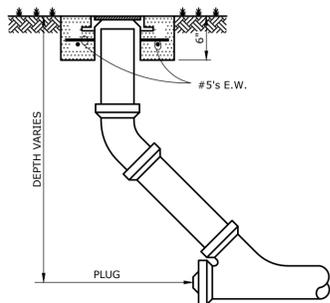
TYPICAL WATERLINE TRENCH

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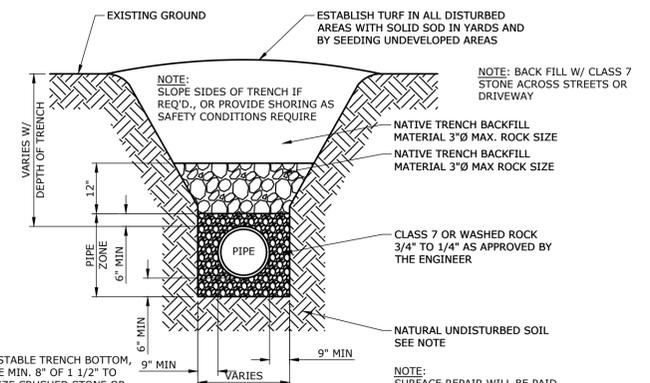
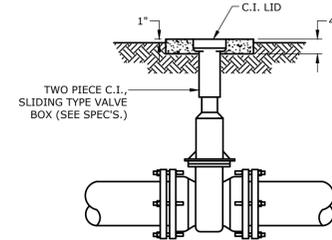
CLEANOUT

N.T.S.



2" METER SERVICE WITH METER BOX

N.T.S.



TYPICAL PVC SEWER TRENCH NOT  
UNDER PAVEMENT

N.T.S.

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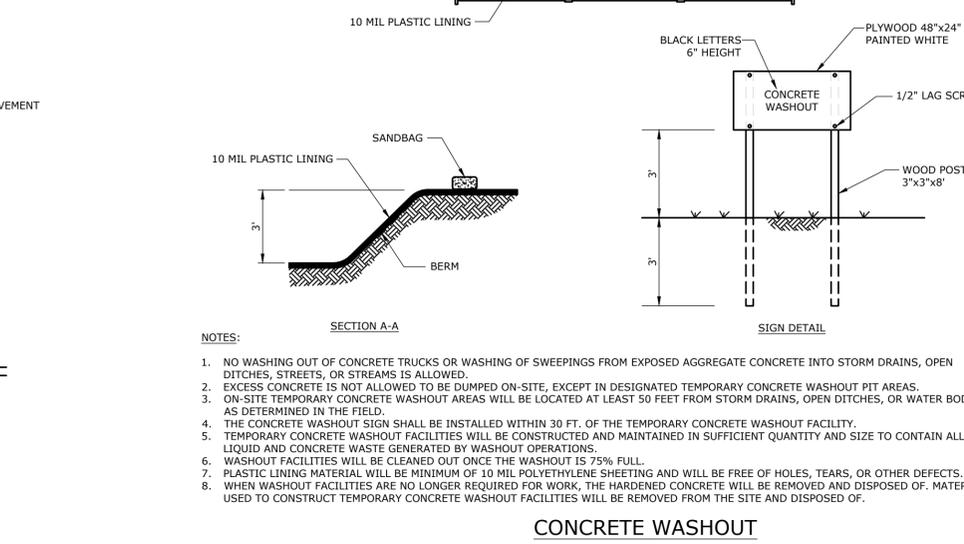
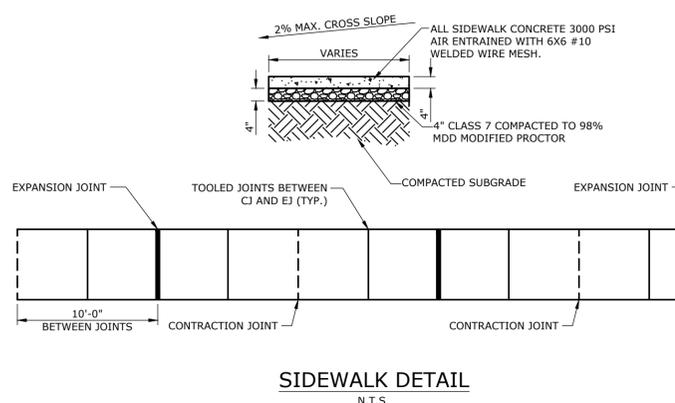
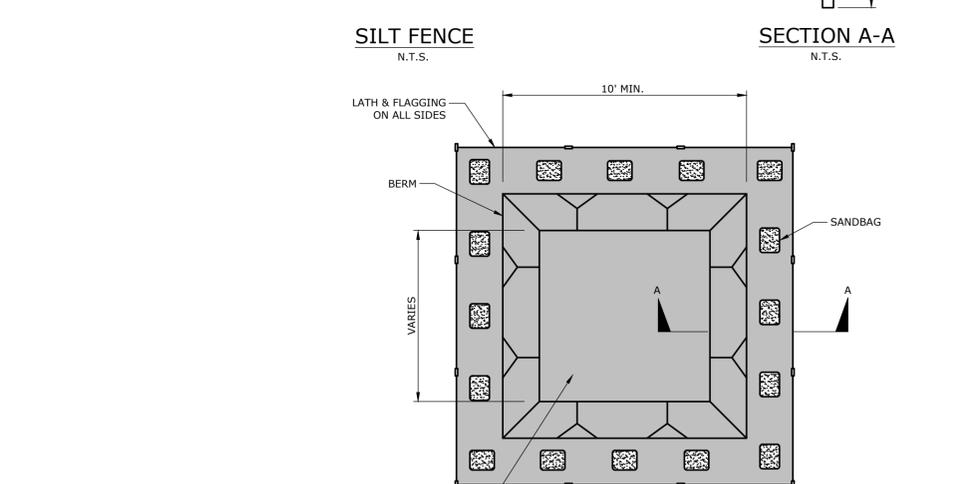
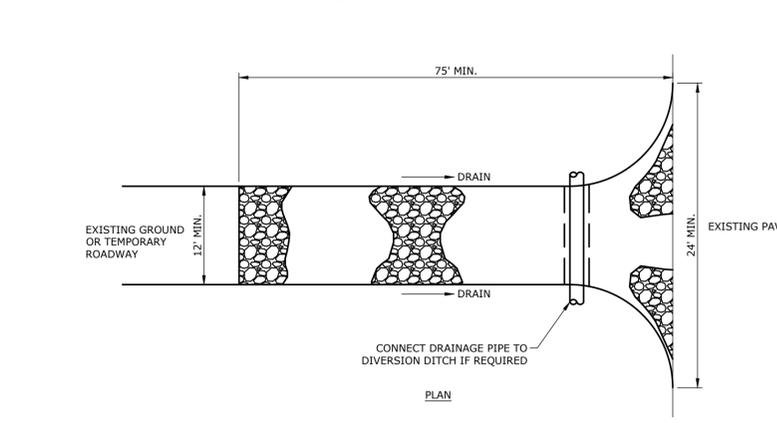
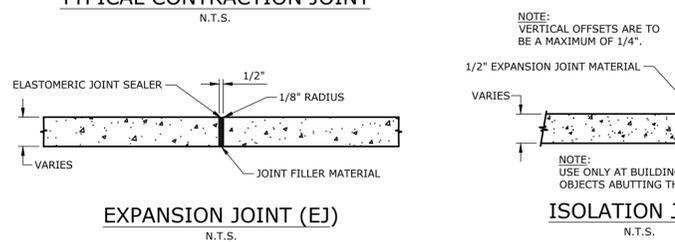
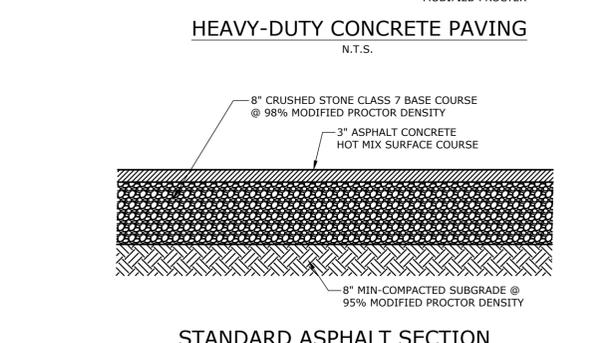
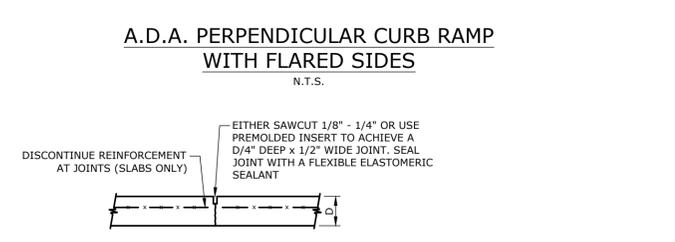
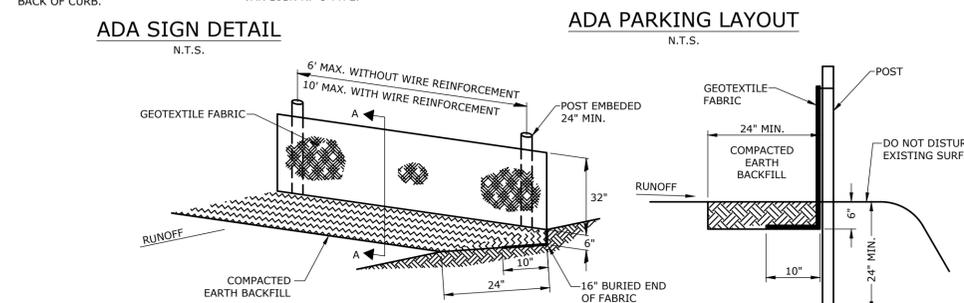
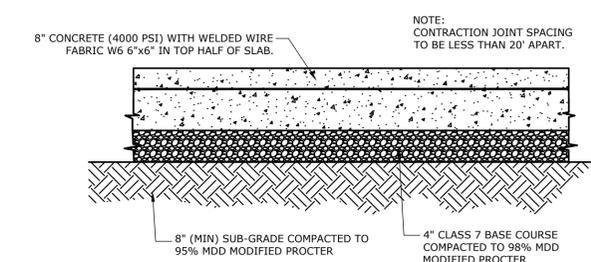
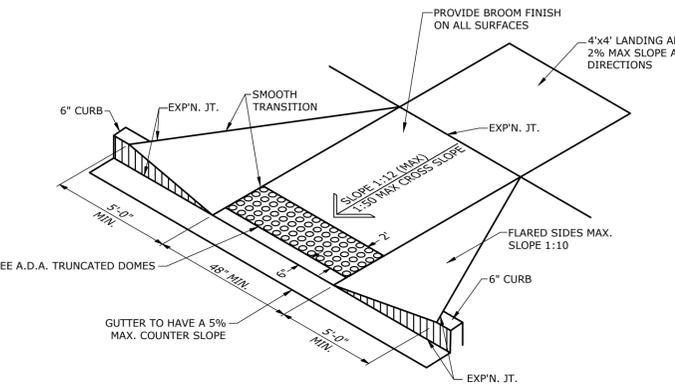
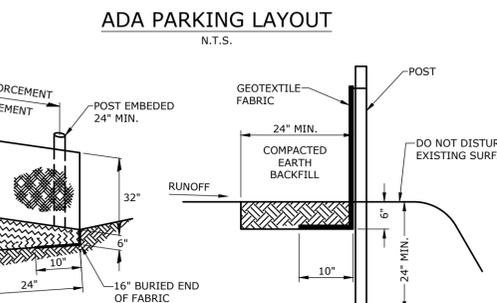
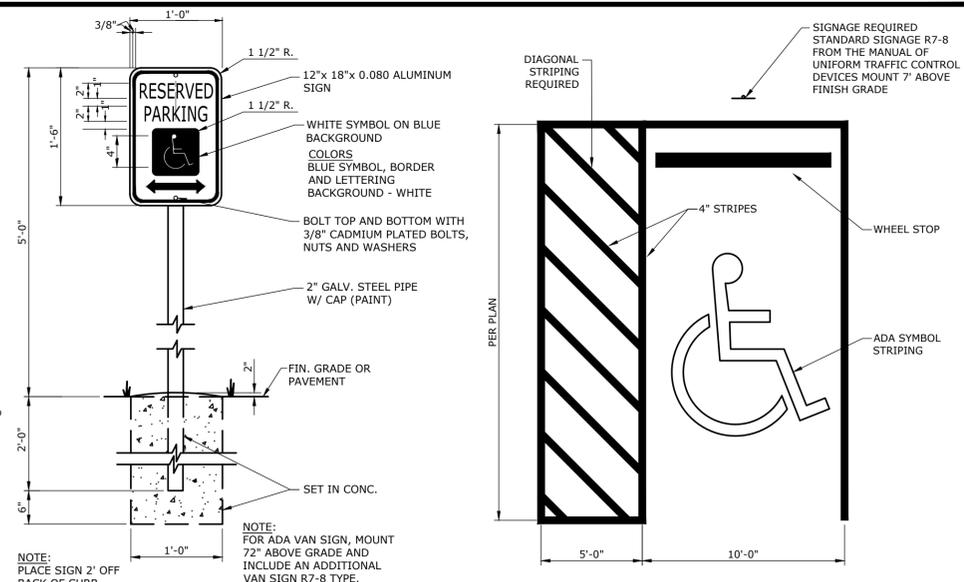
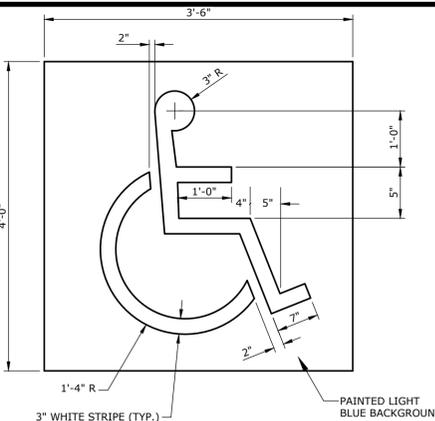
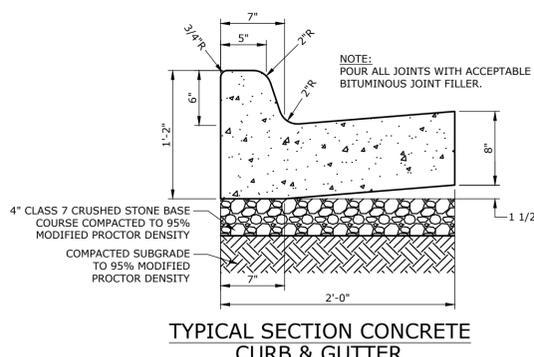
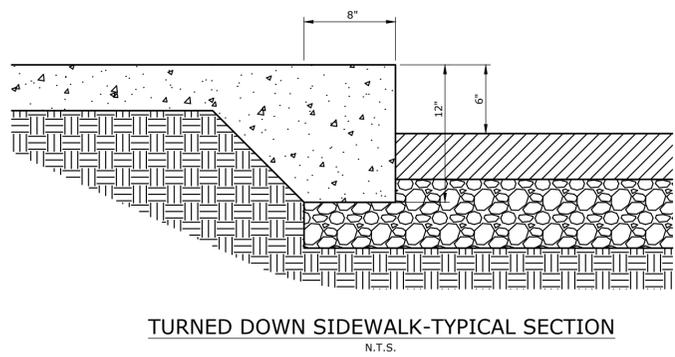
MISC. DETAILS I

PROJECT ENG: BCD DRAWN BY: JGB

DATE: APRIL 2024

SCALE: NTS JOB NUMBER: DE 23-104

C6.0



- NOTES:
- NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS IS ALLOWED.
  - EXCESS CONCRETE IS NOT ALLOWED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY CONCRETE WASHOUT PIT AREAS.
  - ON-SITE TEMPORARY CONCRETE WASHOUT AREAS WILL BE LOCATED AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES AS DETERMINED IN THE FIELD.
  - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
  - TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
  - WASHOUT FACILITIES WILL BE CLEANED OUT ONCE THE WASHOUT IS 75% FULL.
  - PLASTIC LINING MATERIAL WILL BE MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
  - WHEN WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.

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NO.	DATE	REVISIONS DESCRIPTION

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**MISC. DETAILS II**

PROJECT ENG: **BCD** DRAWN BY: **JGB**  
 DATE: **APRIL 2024**  
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**C6.1**

NO.	DATE	REVISIONS DESCRIPTION

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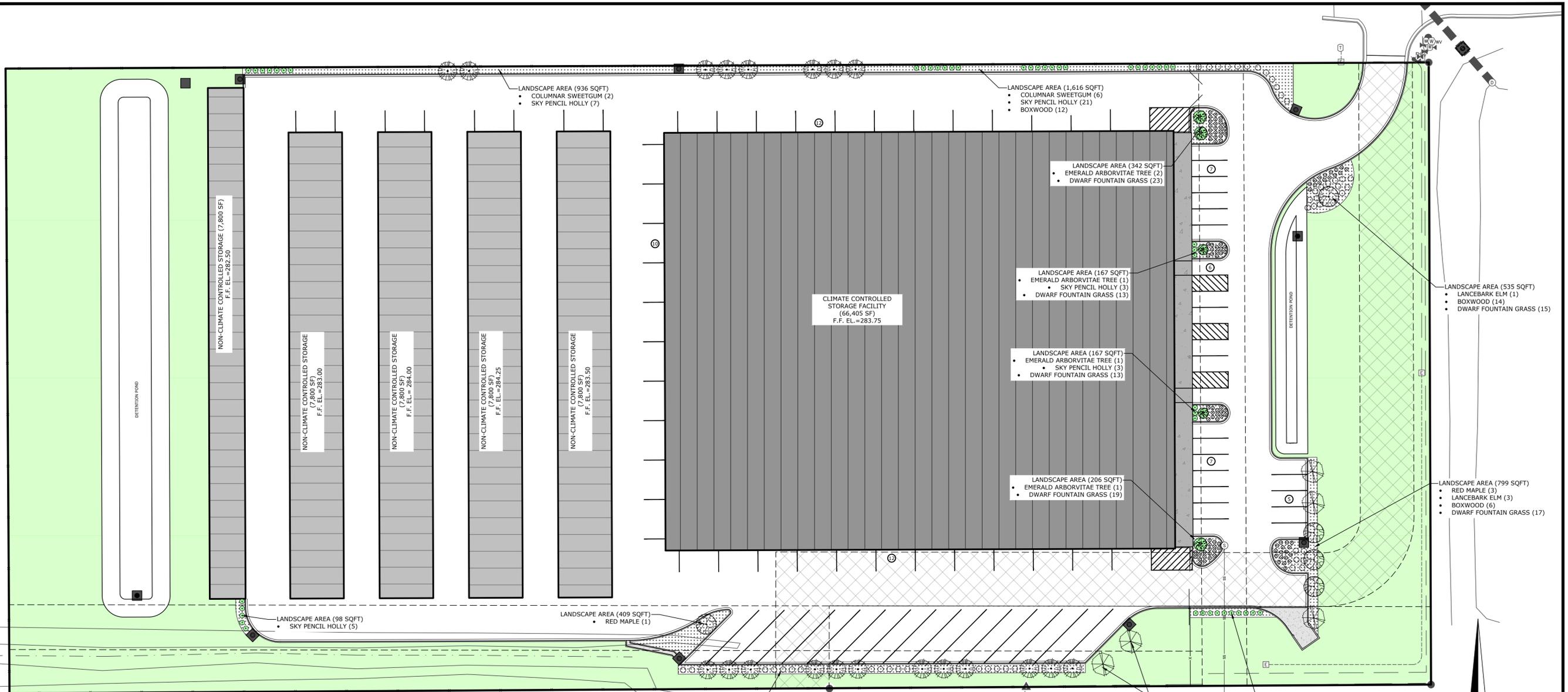
**LANDSCAPE PLAN**

PROJECT ENG: **BCD** DRAWN BY: **JGB**

DATE: **APRIL 2024**

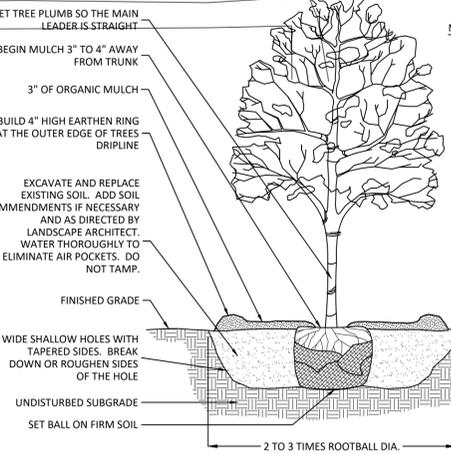
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**L1.0**



**GENERAL LANDSCAPE NOTES:**

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT QUANTITIES.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CALCULATION OF ALL GRASS AND MULCH AREAS. VERIFY LOCATIONS WITH OWNER.
- ADJUSTMENTS IN ACTUAL LOCATION OF PLANT MATERIAL MAY BE NECESSARY DUE TO EXISTING FIELD ITEMS (AIR CONDITIONERS, TRANSFORMERS, ETC.).
- FULL BED PREPARATION TYPICAL. REFERENCE PLANTING DETAILS.
- LANDSCAPE CONTRACTOR TO PROVIDE A UNIT COST (INCLUDING INSTALLATION) FOR ALL ITEMS.
- WHEN THE SAME SPECIES OF TREES ARE PAIRED OR GROUPED IN 3 OR MORE, THEY SHOULD BE MATCHED IN SIZE, SHAPE, GROWTH CHARACTERISTICS, ETC.
- PLANT MATERIAL AVAILABILITY SHALL BE CONFIRMED BY LANDSCAPE CONTRACTOR PRIOR TO BIDDING. SHOULD SPECIFIED MATERIAL NOT BE AVAILABLE, THE OWNER AND ENGINEER SHALL BE NOTIFIED PRIOR TO BID DATE.
- VERIFY LOCATION OF ALL UTILITY LINES PRIOR TO INSTALLATION. FIELD ADJUST FOR GENERAL INTENT IF CONFLICT EXISTS.
- THE LANDSCAPE CONTRACTOR SHALL NOT ELIMINATE, SUBSTITUTE, AND/OR DOWNSIZE PLANT MATERIAL WITHOUT PRIOR APPROVAL OF THE OWNER AND ENGINEER. MINIMUM STANDARDS AND REQUIREMENTS OF THE CITY OF JONESBORO MUST BE MAINTAINED.
- PLANTING BEDS SHALL RECEIVE 3 INCHES OF HARDWOOD MULCH TYPICAL.
- ALL PLANT MATERIALS SHALL BE MAINTAINED BY OWNER IN A HEALTHY AND GROWING CONDITION, AND BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED (SEE WARRANTY INFORMATION).
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING.
- ALL LANDSCAPE AREAS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED SO AS NOT TO CONSTRUCT VIEW OF MOTORISTS BETWEEN THE STREET AND THE ACCESS DRIVES. VISIBILITY TRIANGLES SHALL ALWAYS REMAIN UNOBSTRUCTED.
- ALL PERMEABLE SURFACES NOT OCCUPIED BY TREES, SHRUBS, PLANTING BEDS, EXISTING GRASS, SIGNS, AND OTHER PERMITTED ITEMS OR FIXTURES SHALL BE LAWN AREAS. THESE LAWN AREAS, UNLESS SPECIFIED OTHERWISE, SHALL BE BERMUDA SOD.
- PLANT MATERIAL SHALL BE HEALTHY AND VIGOROUS, FULL BRANCHED ON ALL SIDES, WELL SHAPED SYMMETRICAL AND SHALL BE FREE OF DEFECTS, DECAY, SUN-SCALD INJURIES, ABRASIONS OF THE BARK AND LIMBS, DISEASE, INSECT EGGS AND LARVA.
- THE OWNER OR ENGINEER HAS THE RIGHT TO INSPECT ALL MATERIALS PRIOR TO AND AFTER DELIVERY TO THE SITE AS WELL AS AFTER INSTALLATION AND SHALL RESERVE THE RIGHT TO ACCEPT OR REJECT SAID MATERIALS AT ANY TIME.
- CONTRACTOR TO INSTALL AN UNDERGROUND POP-UP TYPE IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL WATER ALL LANDSCAPE PLANTING AND LAWN AREAS. ADJUSTMENTS TO THE SYSTEM SHALL LIMIT OVERSPRAY ONTO ADJACENT ROADWAYS AND CONSERVE WATER TO THE GREATEST EXTENT POSSIBLE. IRRIGATION CONTRACTOR TO COORDINATE WITH CIVIL ENGINEER AND SITE CONTRACTOR FOR LOCATION OF SLEEVING FOR IRRIGATION SYSTEM.
- TOPSOIL SHALL BE FERTILE NATURAL SURFACE SOIL, UNIFORM IN COMPOSITION, SIMILAR TO SITE TOPSOIL IF APPROVED, FREE OF STONES LUMPS WEEDS, AND ROOTS. MINIMUM 20 PERCENT ORGANIC MATTER, 50 TO 50 PERCENT SAND, 15-20 PERCENT CLAY.
- THERE SHALL BE A 3 INCH MINIMUM LAYER OF GOOD TOPSOIL IN ALL GRASS AREAS. GRADE AREAS AROUND SIDEWALKS AND CURBS 1 INCH BELOW TOP OF CONCRETE TO ALLOW FOR SOD THICKNESS.
- TOPSOIL IN PLANTING BEDS TO BE MOUNDED AND GRADED IN A WAY TO ALLOW POSITIVE DRAINAGE AWAY FROM BUILDING AND TO DETER ANY PONDING.



**DETAIL - TREE PLANTING  
 SCALE - NTS**

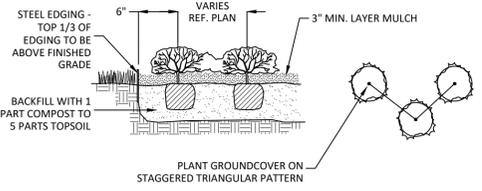
**WARRANTY:**  
 ALL WORK IS WARRANTED FOR (1) FULL YEAR AFTER INITIAL ACCEPTANCE. THE LANDSCAPE CONTRACTOR IS OBLIGATED TO CORRECT ANY WORK FOUND TO BE DEFECTIVE OR NONCONFORMING. UPON NOTICE, REMOVE DEAD MATERIALS AND ALL MATERIALS NOT IN VIGOROUS, THRIVING CONDITION, AS SOON AS WEATHER PERMITS AND ON NOTIFICATION BY THE LANDSCAPE ARCHITECT OR OWNER. PLANTS, INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAS BEEN DAMAGED, SHALL BE CONSIDERED FOR REPLACEMENT. IN SUCH CASES, THE OPINION OF THE LANDSCAPE ARCHITECT WILL BE FINAL. ANNUAL PLANTS WILL BE GUARANTEED FOR A PERIOD COINCIDING WITH THEIR NORMAL SEASON OF GROWTH. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME KIND AND SIZE AS THOSE ORIGINALLY PLANTED, AND SHALL BE PLANTED AS ORIGINALLY SPECIFIED. ALL WORK, INCLUDING MATERIALS, LABOR, AND EQUIPMENT USED IN REPLACEMENT, WILL BE AT NO COST TO THE OWNER. REPLACEMENT PLANTS SHALL CARRY A ONE (1) YEAR WARRANTY. ANY DAMAGE, INCLUDING RUTS IN LAWN OR BED AREAS, INCURRED IN MAKING REPLACEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER OR LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR.

**NOTES:**

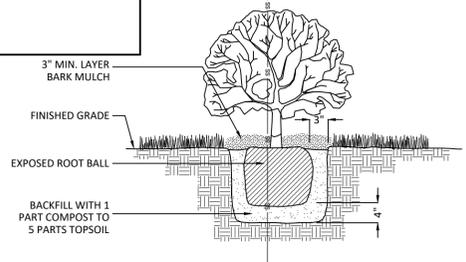
- STAKE ONLY IF NECESSARY AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- REMOVE ANY TWINE, ROPE, FLAGGING, WRAPPING, OR GUARDS FROM TREE.
- PRUNE ONLY DEAD OR BROKEN BRANCHES OR DOUBLE LEADERS AT TIME OF PLANTING.
- ROOTBALL - ROOT COLLAR SHALL BE VISIBLE. REMOVE EXCESS SOIL FROM TOP OF BALL IF NEEDED. SET TOP OF BALL 1" TO 2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING. AFTER SETTLING BALL IN HOLE, CUT AWAY OR REMOVE THE ENTIRE WIRE BASKET. CUT AWAY OR REMOVE BURLAP. IF ROOTBALL BEGINS FALLING APART DURING INSTALLATION OR WHILE REMOVING THE WIRE BASKET, CUT AWAY ONLY HALF OF THE BURLAP. SCORE OR PULL APART ANY CIRCLING ROOTS.

**PLANT MATERIAL LIST**

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUAN.	SIZE	REMARKS
<b>TREES</b>					
	LANCEBARK ELM	ULMUS PARVIFOLIA	4	2 1/2" CAL.	BALLED & BURLAPPED, SINGLE-TRUNK, FULL CROWN
	RED MAPLE	ACER RUBRUM	6	2 1/2" CAL.	BALLED & BURLAPPED, SINGLE-TRUNK, FULL CROWN
	EMERALD ARBORVITAE	THUJA OCCIDENTALIS 'SMARAGD'	5	2 1/2" CAL.	BALLED & BURLAPPED, SINGLE-TRUNK, FULL CROWN
	COLUMNAR SWEETGUM	LIQUIDAMBAR STYRACIFLUA	20	2 1/2" CAL.	BALLED & BURLAPPED, SINGLE-TRUNK, FULL CROWN
<b>SHRUBS</b>					
	BOXWOOD	BUXUS SEMPERVIRENS	49	5 GAL	FULL
	SKY PENCIL HOLLY	ILEX CRENATA 'SKY PENCIL'	49	5 GAL	FULL
<b>PERENNIALS</b>					
	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES	100	1 GAL	



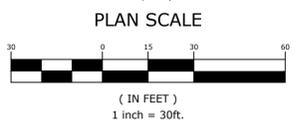
**DETAIL - GROUNDCOVER PLANTING  
 SCALE - NTS**



**DETAIL - SHRUB PLANTING  
 SCALE - NTS**

**LANDSCAPE CALCULATIONS:**

- PROPERTY AREA: 276,604 SQFT (6.35± ACRES)
- TREE AND SHRUB REQUIREMENTS
  - a. 1 TREE OR SHRUB PER 2,000 SQFT
  - A. 276,604/2,000 = 138.30 138 TOTAL TREES & SHRUBS REQUIRED
  - b. 25% HAS TO BE TREES 35 TOTAL TREES
  - B. PLANNED TREES = 35
  - d. SHRUBS
  - A. 138 (TOTAL TREES & SHRUBS) - 35 (PLANNED TREES) = 103 TOTAL SHRUBS
  - B. PLANNED SHRUBS = 98
  - e. PERENNIALS (20 = 1 SHRUB)
  - A. MAX OF 15% OF REQUIRED SHRUBS
  - B. 103 x 15% = 14.45 SHRUBS (309 PERENNIALS)
  - C. PLANNED PERENNIALS = 100 (5 SHRUBS)
- GREENSPACE
  - LANDSCAPE AREAS = 6,631 SQFT ( 2.4%)
  - BERMUDA GRASS AREA = 62,991 SQFT (22.8%)
  - TOTAL = 69,622 SQFT (25.2%)
- OPEN SPACE
  - GREENSPACE = 69,622 SQFT
  - DETENTION POND (FRONT) = 2,449 SQFT
  - DETENTION POND (REAR) = 11,277 SQFT
  - TOTAL = 83,348 SQFT (30.1%)





# City of Jonesboro

300 S. Church Street  
Jonesboro, AR 72401

## Text File

File Number: RZ-23-16

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**Agenda Date:**

**Version:** 1

**Status:** To Be Introduced

**In Control:** Metropolitan Area Planning Commission

**File Type:** Rezoning

Rezoning: 1006 Warren Street

Carrington Moorehouse is requesting a rezoning from R-1, single family medium density, to RM-12, residential multifamily. This request is for 5.5 acres located east of 1006 Warren.



# Application for a Zoning Ordinance Map Amendment

METROPOLITAN AREA  
PLANNING COMMISSION  
Jonesboro, Arkansas

Meeting Date: \_\_\_\_\_ Date Received: \_\_\_\_\_  
Meeting Deadline: \_\_\_\_\_ Case Number: \_\_\_\_\_

**LOCATION:**

Site Address: 1004 North Warren

Side of Street: \_\_\_\_\_ between \_\_\_\_\_ and \_\_\_\_\_

Quarter: \_\_\_\_\_ Section: 7 Township: 14N Range: 4E

Attach a survey plat and legal description of the property proposed for rezoning. A Registered Land Surveyor must prepare this plat.

**SITE INFORMATION:**

Existing Zoning: R1 Proposed Zoning: r 12

Size of site (square feet and acres): 5.5 Acres Street frontage (feet): \_\_\_\_\_

Existing Use of the Site: Undeveloped Land

Character and adequacy of adjoining streets: \_\_\_\_\_

Does public water serve the site? Yes

If not, how would water service be provided? \_\_\_\_\_

Does public sanitary sewer serve the site? Yes

If not, how would sewer service be provided? \_\_\_\_\_

Use of adjoining properties:

North Vacant Land

South Vacant Land

East Multifamily

West Older Houses, Traylor Park, multifamily

Physical characteristics of the site: Flat land with 5-8 year old tree growth

Characteristics of the neighborhood: Older houses, abandoned houses, traylor park, multifamily

*Applications will not be considered complete until all items have been supplied. Incomplete applications will not be placed on the Metropolitan Area Planning Commission agenda and will be returned to the applicant. The deadline for submittal of an application is on the public meeting schedule. The Planning staff must determine that the application is complete and adequate before it will be placed on the MAPC agenda.*

**REZONING INFORMATION:**

The applicant is responsible for explaining and justifying the proposed rezoning. *Please prepare an attachment to this application answering each of the following questions in detail:*

- (1). How was the property zoned when the current owner purchased it?
- (2). What is the purpose of the proposed rezoning? Why is the rezoning necessary?
- (3). If rezoned, how would the property be developed and used?
- (4). What would be the density or intensity of development (e.g. number of residential units; square footage of commercial, institutional, or industrial buildings)?
- (5). Is the proposed rezoning consistent with the *Jonesboro Comprehensive Plan* and the *Future Land Use Plan*?
- (6). How would the proposed rezoning be the public interest and benefit the community?
- (7). How would the proposed rezoning be compatible with the zoning, uses, and character of the surrounding area?
- (8). Are there substantial reasons why the property cannot be used in accordance with existing zoning?
- (9). How would the proposed rezoning affect nearby property including impact on property value, traffic, drainage, visual appearance, odor, noise, light, vibration, hours of use or operation and any restriction to the normal and customary use of the affected property.
- (10). How long has the property remained vacant?
- (11). What impact would the proposed rezoning and resulting development have on utilities, streets, drainage, parks, open space, fire, police, and emergency medical services?
- (12). If the rezoning is approved, when would development or redevelopment begin?
- (13). How do neighbors feel about the proposed rezoning? Please attach minutes of the neighborhood meeting held to discuss the proposed rezoning or notes from individual discussions. *If the proposal has not been discussed with neighbors, please attach a statement explaining the reason. Failure to consult with neighbors may result in delay in hearing the application.*
- (14). If this application is for a Limited Use Overlay (LUO), the applicant must specify all uses desired to be permitted.

**OWNERSHIP INFORMATION:**

All parties to this application understand that the burden of proof in justifying and demonstrating the need for the proposed rezoning rests with the applicant named below.

**Owner of Record:**

I certify that I am the owner of the property that is the subject of this rezoning application and that I represent all owners, including spouses, of the property to be rezoned. I further certify that all information in this application is true and correct to the best of my knowledge.

Name: Carrington Morehouse

Address: 1020 W Matthews

City, State: Jonesboro, AR ZIP 72401

Telephone: 8703162903

Facsimile: \_\_\_\_\_

Signature: 

**Applicant:**

If you are not the Owner of Record, please describe your relationship to the rezoning proposal:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City, State: \_\_\_\_\_ ZIP \_\_\_\_\_

Telephone: \_\_\_\_\_

Facsimile: \_\_\_\_\_

Signature: \_\_\_\_\_

**Deed:** *Please attach a copy of the deed for the subject property.*

*Applications will not be considered complete until all items have been supplied. Incomplete applications will not be placed on the Metropolitan Area Planning Commission agenda and will be returned to the applicant. The deadline for submittal of an application is on the public meeting schedule. The Planning staff must determine that the application is complete and adequate before it will be placed on the MAPC agenda.*

August 15, 2023

Mr. Derrel Smith  
Director of Planning and Zoning  
City of Jonesboro 300 S. Church Street  
Jonesboro, AR 72401

RE: REQUEST FOR REZONING: FROM R-1 TO PD-RM PROPERTY LOCATED AT 1004  
North Warren, Jonesboro, AR 72401

Mr. Smith:

On behalf of Unicorn investments LLC, locally owned and operated company, we are pleased to submit this rezoning request. . The property is currently zoned R-1 and contains 5.5 +/- acres. In order to best serve the neighborhood and be able to provide better conformity with the multi-family residential development guidelines, we are requesting that the R-1 zoning for this property be amended to RM-12.

If the amendment to the zoning request is approved, the RM-12 zoning will allow the proposed development to better conform to the multi-family design guidelines, create a more hospitable & modern development in a declining area of town, and increase revenue for the city through property tax and increased land values from such a development.

Below are the answers to the questions listed on the rezoning application.

1. Property is currently listed as R1
2. The purpose of the rezoning is as follows:
  - A. In order to develop the property as one lot, instead of subdividing the property.
  - B. For the development to be able to better conform to the multi-family design guidelines by: i. clustering the units to better “define public open spaces and activity areas”
  - C. Reduce the long term maintenance costs for the city by not being required to build a public street, while also increasing tax revenue for the city and increasing the visual image of the neighborhood by adding modern housing in an area where houses are 70-100 years old.
3. The Property will be developed into single story, modern, energy efficient, multifamily units in groups of 4-5 units per building (See attached images on renderings)
4. If the rezone is approved, as presented, then there will be 66 units. This would provide approximately 4,125 sq.ft of space per unit. This would equate to 3,637 feet per unit.
5. The Land Use Plan depicts this area of land to be for moderate intensity. Based on the description of moderate intensity from the Land Use Plan, this development does not

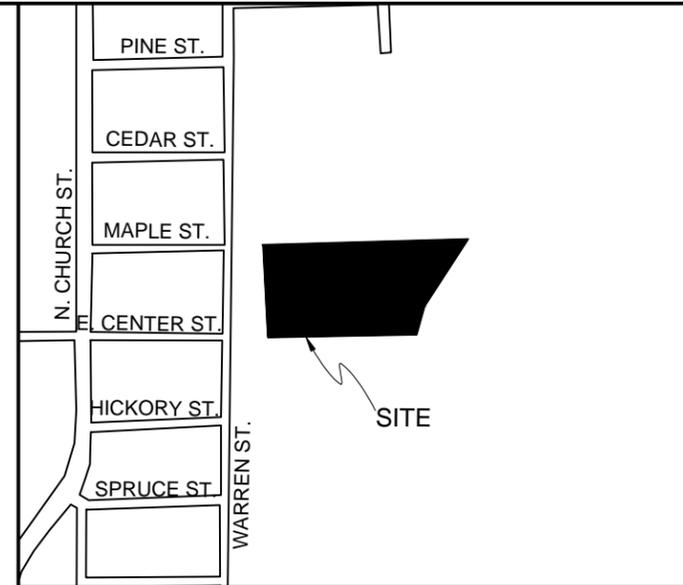
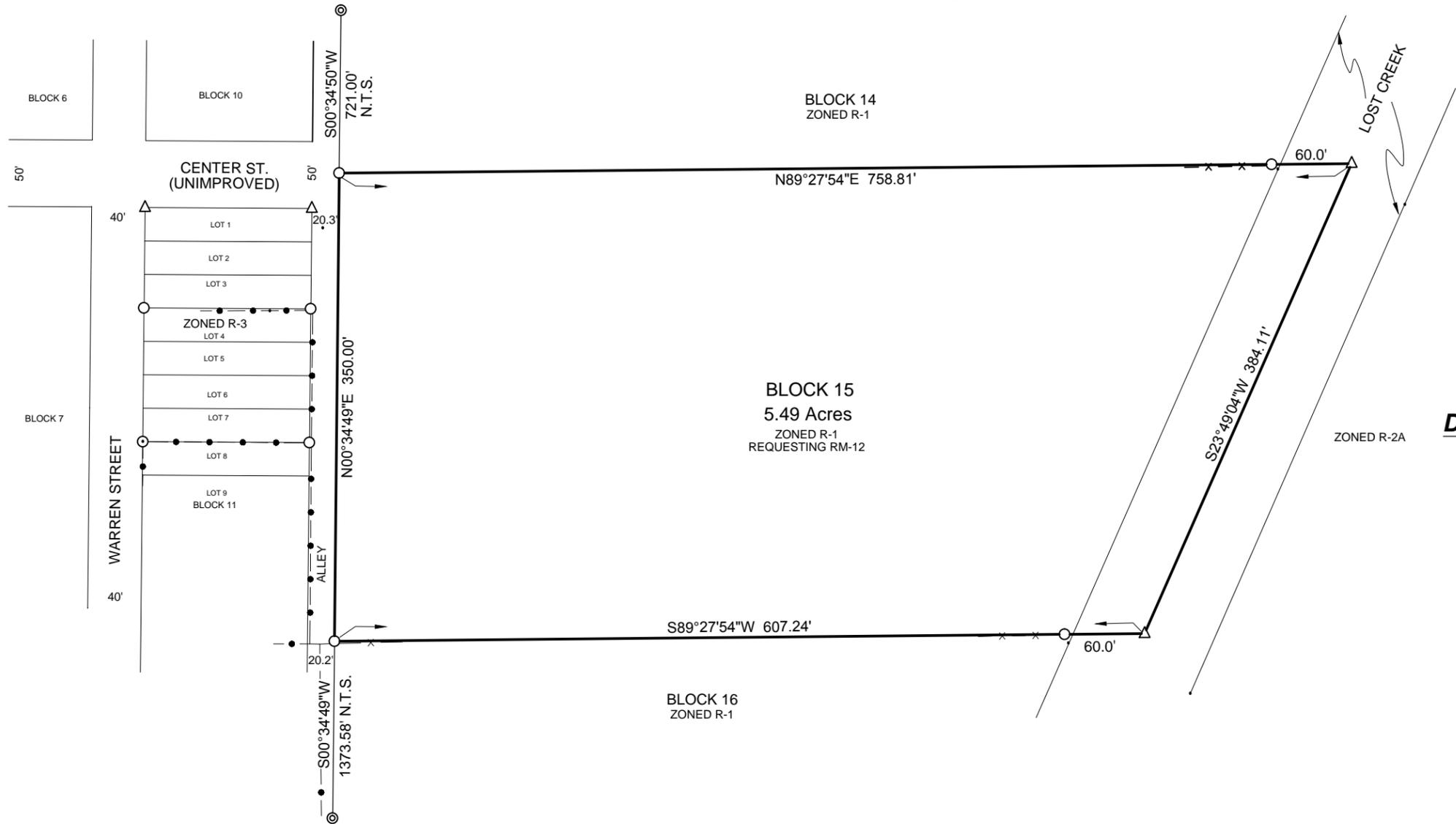
comply. \* However, this specific area of town is significantly zoned R3 with multifamily development right across lost creek, right of the property. (See Zoning Image)

6. Rezoning of the 1004 North Warren would benefit Jonesboro in a few ways:
  - a. Generate Tax Revenue for the City
  - b. Develop an area of town that has seen no new development within 50-80 years in the specific vicinity.
  - c. Extend the city road of maple using private/ non-tax payer funds.
  - d. Improve the appearance of an area by providing open play areas, landscaping, and modern living facilities while also providing residents of Jonesboro with affordable living conditions with modern amenities. (Much needed for that area of town)
7. The Entire Block of Warren and West to church street is zoned R3 and consists of older houses, trailer park, and few multifamily complexes. East of Warren is separated from Patrick with lost creek but those developments East of Warren are all multifamily. Single Family Multifamily units will confirm with the area(See Zoning Image)
8. The area wouldn't be a great support for current zoning because of the reason below: Flood Zone designation causes first time home buyers to have to pay for national flood insurance which increases insurance premiums up to \$1,200/ yearly. (Hard to do in these uncertain economic times we are living in)
9. The rezone of this property would allow for a more acceptable visual appearance by allowing buildable space for single story buildings; there should be no restriction to the normal and/ or customary use of adjacent property since they are both vacant pieces of land (Look at attached visual)
10. The Property was vacant when the current owner acquired the property, it is unknown how long the property has been vacant. No structure has ever been built on property according to county records.
11. If the property were to be rezoned, the impact on utilities, streets, drainage, parks, open space, fire, police, and emergency medical services would not be of any measurable burden different than if the property were not rezoned.
12. The development would potentially begin mid 2024.
13. Fff
14. This application is not for a Limited Use Overlay.

**For further information, questions, or concerns. Call me directly at 870-316-2903**

Carrington Morehouse, Owner of Morehouse Group and Unicorn Investments

# REZONING PLAT



### DESCRIPTION:

Block 15 of R. L. Hayes  
 Second Addition,  
 Jonesboro, Arkansas as  
 recorded in the office of the  
 Craighead County Circuit  
 Clerk, Jonesboro,  
 Arkansas.



BEARINGS ARE BASED ON  
 STATE PLANE COORDINATES.

### SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE HEREON PLATTED AND DESCRIBED SURVEY WAS COMPLETED UNDER MY SUPERVISION ON THE 1TH DAY OF DECEMBER, 2023 AND THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN TO THE BEST OF MY KNOWLEDGE AND ABILITY.

*Terrence D. Moore*

TERRENCE D. MOORE PLS No. 1293

### LEGEND

- ⊙ FOUND IRON PIPE
- SET IRON PIN
- △ COMPUTED POINT
- N.T.S. NOT TO SCALE
- CHAINLINK FENCE
- x— WIRE FENCE

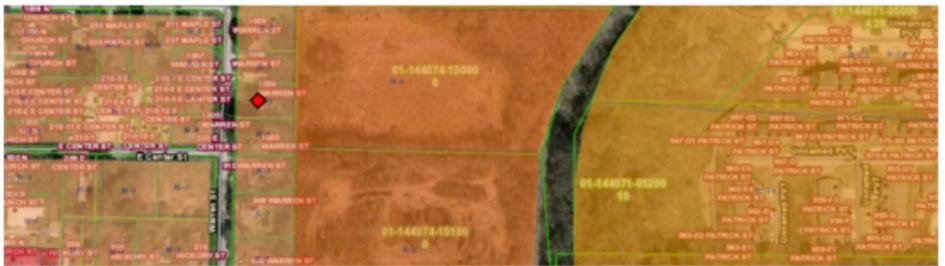
REV.	DATE	REVISION	BY

**M<sup>2</sup> Surveying**  
 Doug Moore, Licensed Surveyor  
 741 Greene Co. Rd. 710  
 Paragould, Ar. 72450  
 Office: 870-240-6995 Cell: 870-240-3589

---

CLIENT: HOVER ESTATES

SCALE: 1" = 100'	DRAWN: TDM	CHECKED: VMM	DATE: 9-7-23
JOB#: 23102	CRD#: 21105	DWG#: 23102-1	REV.#



THIS INSTRUMENT PREPARED BY:  
Michael R. Gott, Attorney  
300 W. Jefferson, Ste. B  
Jonesboro, AR 72401

2023R-016410  
FILED  
JONESBORO DISTRICT  
CRAIGHEAD COUNTY, ARKANSAS  
DAVID VAUGHN, CLERK & RECORDER  
09/18/2023 02:11:42 PM  
FEE: 25.00  
PAGES: 3  
TAMM CHARGETT

IN THE CIRCUIT COURT OF CRAIGHEAD COUNTY, ARKANSAS  
WESTERN DISTRICT - PROBATE DIVISION

IN THE MATTER OF THE ESTATE OF

JOAN HOOVER, DECEASED

16JPR-21-616

**EXECUTOR'S DEED**

The undersigned, KEITH HOOVER, being the duly appointed, qualified and acting Executor of the Estate of Joan Hoover, Deceased, pursuant to Order of the Craighead County Circuit Court, dated August 31, 2023, and for One Dollar (\$1:00) and other good and valuable consideration to him in hand paid by UNICORN INVESTMENTS, L.L.C., Grantee, the receipt of which is hereby acknowledged, does hereby GRANT, BARGAIN, SELL AND CONVEY unto the said Grantee and unto Grantee's successors and assigns forever, free of decedent's rights, title and interest, discharged from liability for her debts, the following described real property situated in Craighead County, Arkansas, to-wit:

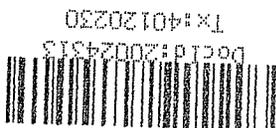
All of Block 15 of R. L. Hayes' Second Addition to the City of Jonesboro, Arkansas.

DISCLAIMER: This deed prepared per instruction of Grantor who also furnished the legal description. No title opinion was prepared in connection with this transaction.

TO HAVE AND TO HOLD the same unto said Grantee and unto Grantee's successors and assigns forever, together with all appurtenances thereunto belonging.

EXECUTED this 15th day of September, 2023.

  
\_\_\_\_\_  
KEITH HOOVER, EXECUTOR OF THE ESTATE  
OF JOAN HOOVER, DECEASED



2023R-016409  
FILED  
JONESBORO DISTRICT  
CRAIGHEAD COUNTY, ARKANSAS  
DAVID VAUGHN, CLERK & RECORDER  
09/18/2023 02:11:42 PM  
FEE: 35.00  
PAGES: 5  
TONI HARGETT

THIS INSTRUMENT PREPARED BY: J. ROBIN NIX, II, ATTORNEY

# Warranty Deed

(WITH RELINQUISHMENT OF DOWER & CURTESY)

KNOW ALL MEN BY THESE PRESENTS:

THAT WE, **Keith Hoover and Michelle Hoover, a married couple, Brent Hoover, a single person, Cody Hoover, a single person, and Sarah Klos, a single person, Grantors**, for and in consideration of the sum of **\$10,000.00**, and other good and valuable considerations to us in hand paid by the **Grantee** herein, the receipt of which is hereby acknowledged, do hereby grant, bargain, sell, and convey unto **Unicorn Investments LLC, Grantee**, and unto **its successors** and assigns forever, the following lands lying in the County of **Craighead** and State of **Arkansas**, to wit:

Lots 4, 5, 6 and 7 in Block 11 of R.L. Hayes' Second Addition to the City of Jonesboro, Arkansas. Subject to assessments, building lines, easements, mineral reservations and/or conveyances, restrictions, and any other matters of record or fact.

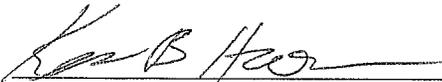
NOTE: Gladys Mae Hoover a/k/a Gladys C. Hoover died in 2006.

To have and to hold the same unto the said **Grantee** and unto **its successors** and assigns forever, with all appurtenances hereunto belonging.

And we hereby covenant with said **Grantee** that we will forever warrant and defend the title to the said lands against all claims whatsoever.

And we, **Keith Hoover and Michelle Hoover, a married couple**, for and in consideration of the said sum of money, do hereby release and relinquish unto the said **Grantee** our rights of dower, curtesy, and possibility of Homestead in and to said lands.

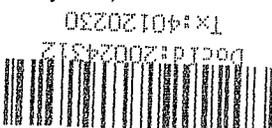
WITNESS our hands and seals on this **8th** day of **September, 2023**.

  
\_\_\_\_\_  
Keith Hoover

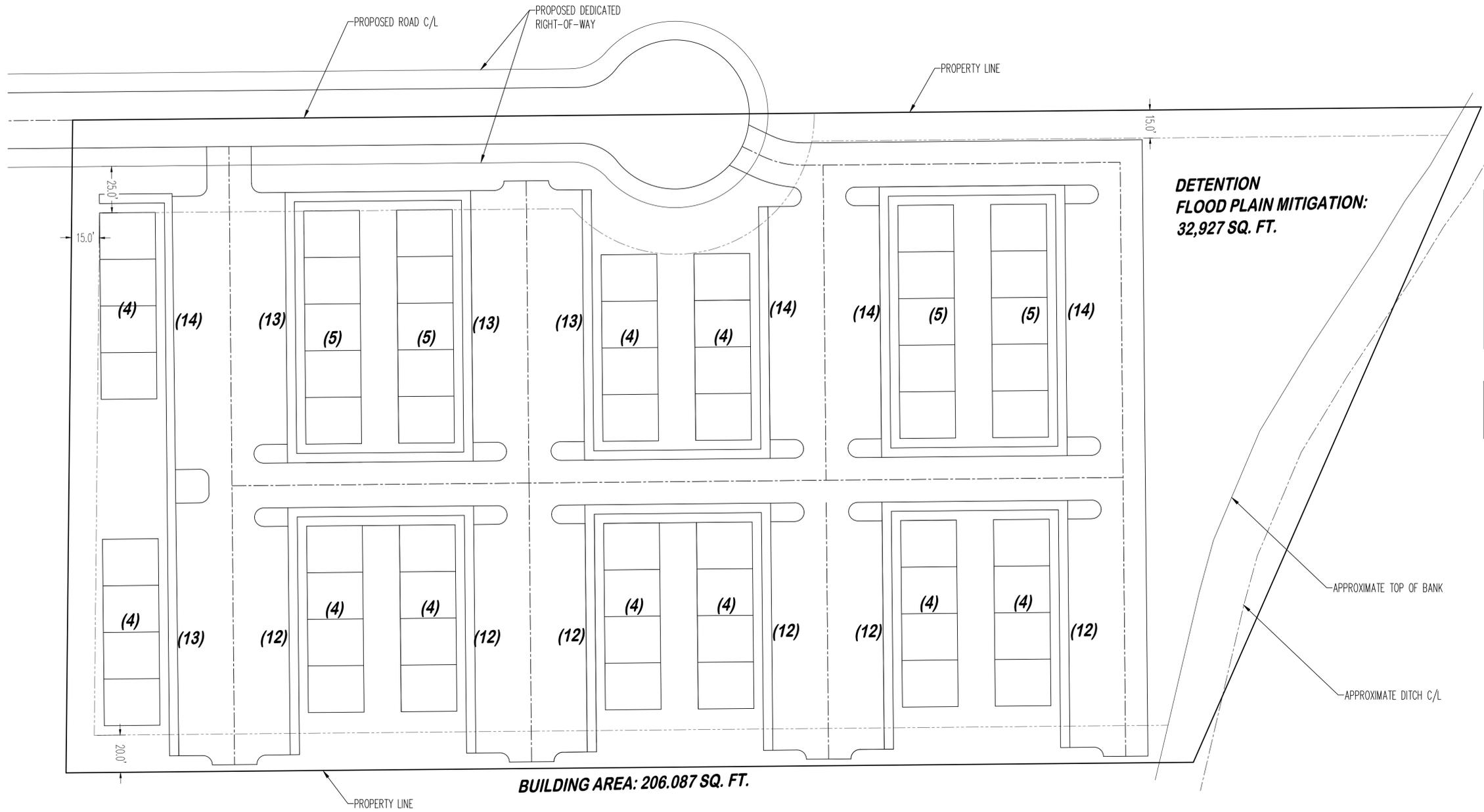
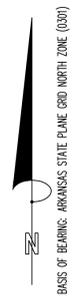
  
\_\_\_\_\_  
Michelle Hoover

  
\_\_\_\_\_  
Brent Hoover

Warranty Deed, 2 Sellers







**ENGINEERING NOTES:**

- RM-16 MULTIFAMILY APARTMENTS
- COI PROPOSED ZONING CODE STATES RM-16 RESIDENTIAL MULTIFAMILY CLASSIFICATION: 16 UNITS PER NET ACRE. (NET ACRE MEANS ACREAGE OF FLAT USABLE AREA PLUS STREETS.)
- GIVEN LOT SIZE: 5.49 ACRES (GROSS)
- USABLE AREA: 4.70 ACRES (NET)
- THUS, 16\*4.7 ACRES = 75 TOTAL UNITS ALLOWED
- 3 BEDROOM UNITS
- PARKING SPACES:
- 3 SPACES PER THREE-BEDROOM
- 74 UNITS \* 3 = 222 PARKING SPACES REQUIRED

**AS SHOWN ENGINEERING NOTES:**

- 60 Units = 180 PARKING SPACES REQUIRED
- 180 PARKING SPACES PROVIDED

**BUILDING AREA: 206.087 SQ. FT.**

**SITE PLAN**

RM-16 SITE PLAN  
 JONESBORO, CRAIGHEAD COUNTY, ARKANSAS

**PRELIMINARY**

GARRETT DUNNAM - CIVIL  
 ARKANSAS - PE # 20874



FISHER & ARNOLD, INC.  
 Arkansas - 248  
 CLIENT:  
 UNICORN INVESTMENTS LLC  
 COPYRIGHT 2022. ALL RIGHTS RESERVED

REVISIONS

DATE	BY	DESCRIPTION

PROJECT NO:  
 UNICORNI.0001LD  
 DRAWN BY: SD CHECKED BY: GMD  
 DATE: 11/3/2023 SCALE: 1"=30'



Know what's below.  
 Call before you dig.





**City of Jonesboro Metropolitan Area Planning Commission**  
**Staff Report – RZ 23-16, 1006 N. Warren St.**  
**300 S. Church Street/Municipal Center**  
*For Consideration by Planning Commission on May 14 2024*

**REQUEST:** To consider a rezoning of one tract of land containing 5.5 +/- acres

**PURPOSE:** A request to consider recommendation to Council for a rezoning from “R-1” single family medium density district, to “RM-12” residential multifamily.

**APPLICANT:** Carrington Morehouse, 1020 W. Matthews, Jonesboro, AR 72401

**OWNER:** Same

**LOCATION:** 1006 N Warren St., Jonesboro, AR 72401

**SITE DESCRIPTION:** **Tract Size:** Approx. 5.5 Acres  
**Street Frontage:** Approx. 0 ft. on Warren St. (Property will be combined with 1006 N. Warren - Approx. 70 ft. of frontage)

**Existing Development:** Vacant

**SURROUNDING CONDITIONS:**

<b>ZONE</b>	<b>LAND USE</b>
<b>North</b>	<b>R-1 – Single Family (Vacant)</b>
<b>South</b>	<b>R-2 – Multi-Family (Vacant)</b>
<b>East</b>	<b>R-2A - Multi-Family (Vacant)</b>
<b>West</b>	<b>R-3 – Multi-Family</b>

**HISTORY:** Undeveloped lot

## **ZONING ANALYSIS:**

*City Planning Staff has reviewed the proposed Zone Change and offers the following findings:*

### **Comprehensive Plan Land Use Map:**

The Current/Future Land Use Map recommends this location as a **Moderate Intensity** Growth Sector.

A wider mix of land uses is appropriate in the **moderate intensity** sectors. Control of traffic is probably the most important consideration in this sector. Additionally, good building design, use of quality construction materials, and more abundant landscaping are important considerations in what is approved, more so than the particular use. Limits on hours of operation, lighting standards, screening from residential uses, etc. may be appropriate. Consideration should be given to appropriate locations of transit stops.

### **Typical Land Uses:**

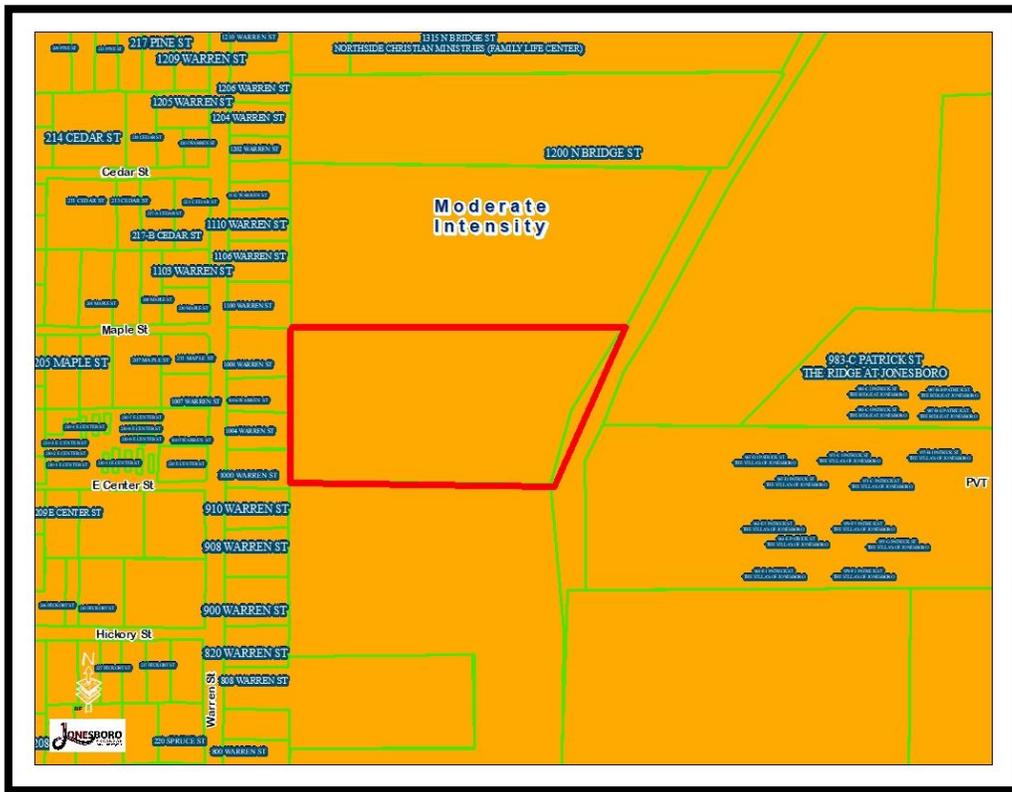
- Single Family Residential
- Attached Single Family, duplexes, triplexes and fourplexes
- Neighborhood retail, Neighborhood services Office parks
- Smaller medical offices
- Libraries, schools, other public facilities
- Senior living centers/nursing homes, etc.
- Community-serving retail
- Small supermarket
- Convenience store
- Bank
- Barber/beauty shop
- Farmer's Market
- Pocket Park

### **Density:** 1/5 to 1/3 acre lots for Single Family

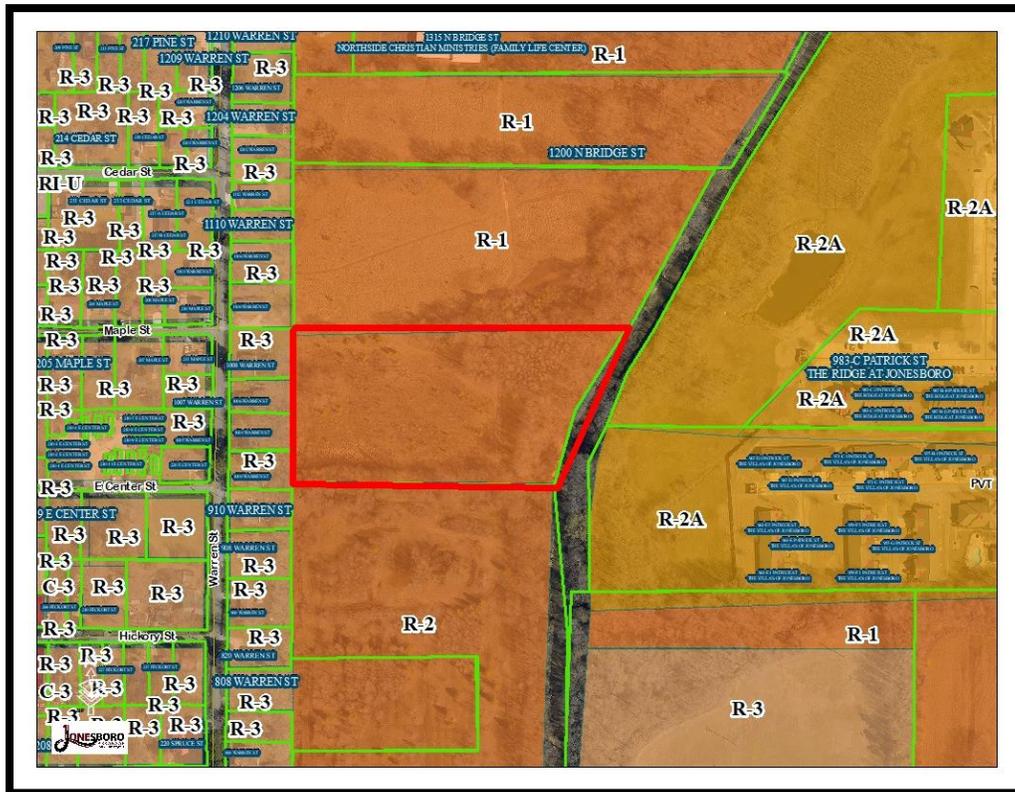
No more than six dwelling units per acre for Multi-Family. Multi-Family should only be allowed on collector and above streets that have been improved or scheduled to be improved in the next construction cycle of city projects unless the developer is willing to build the roads to Master Street Plan stands that serve the development.

### **Height:** 4 stories

### **Traffic:** Approximately 300 peak hour trips (Commercial Only)



*Land Use Map*



*Zoning Map*

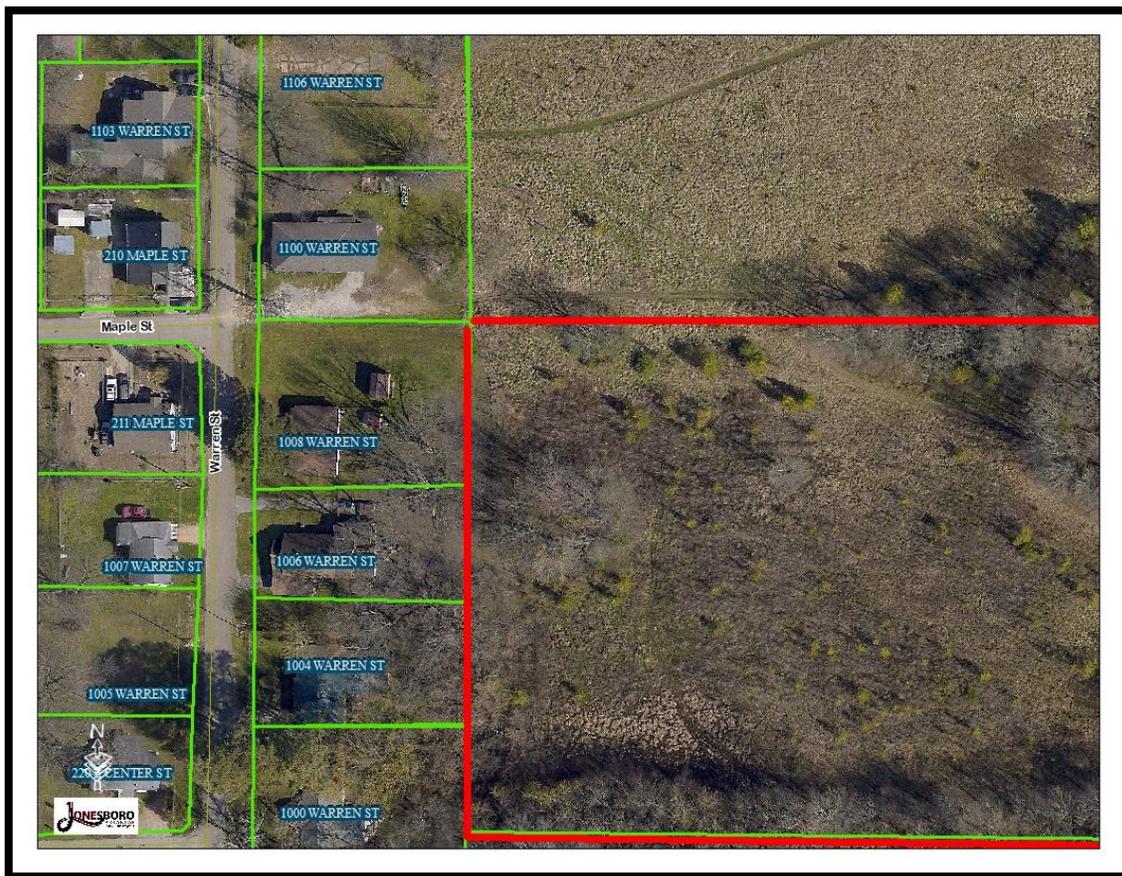
**Master Street Plan/Transportation**

The subject property will be served by Warren and Maple Street. The Master Street Plan classifies both as **Local Streets**.

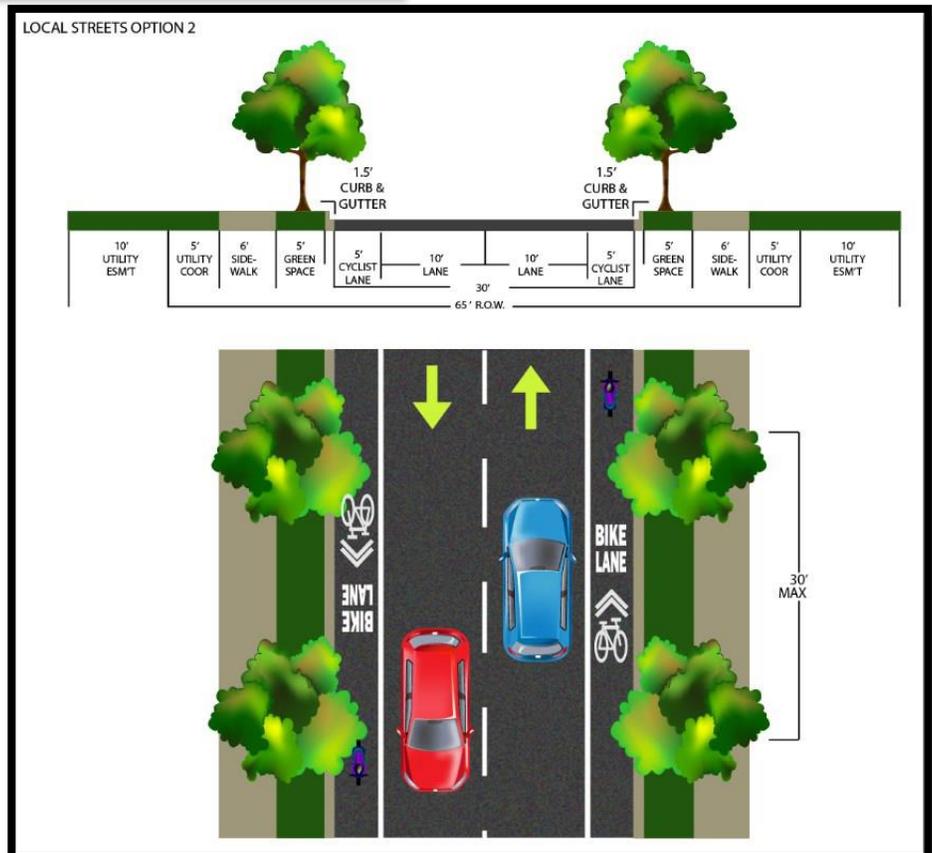
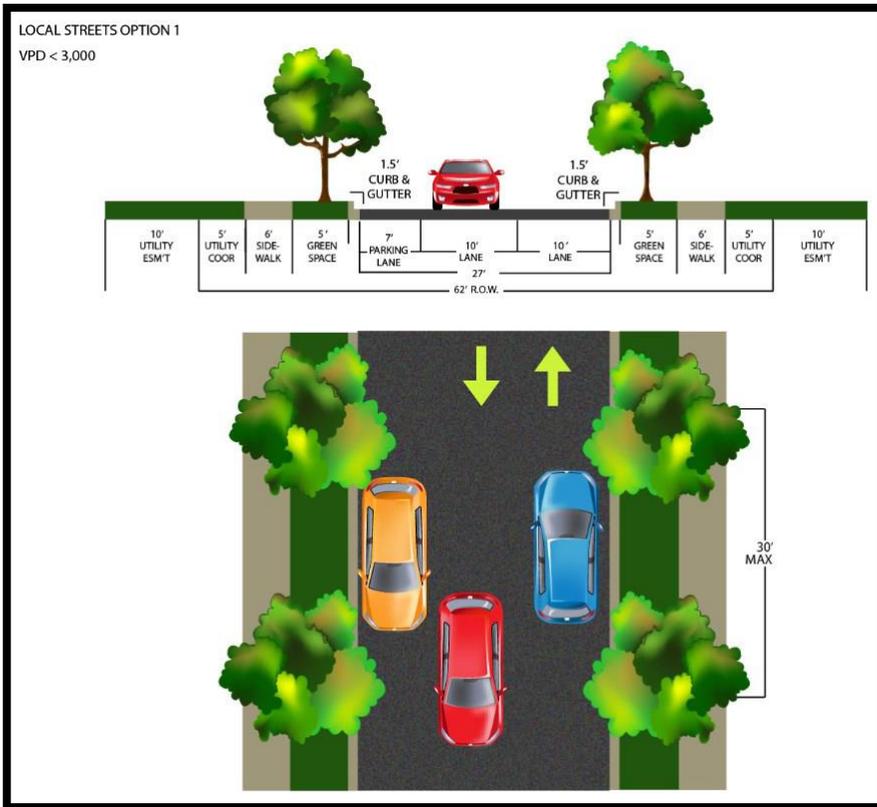
**Local Streets** serve the lowest traffic volumes. Low traffic volumes combined with slow travel speeds help to create a good residential setting. New developments should be reviewed to avoid creating cut-through streets that become commuter routes that generally lower quality of life for residents.

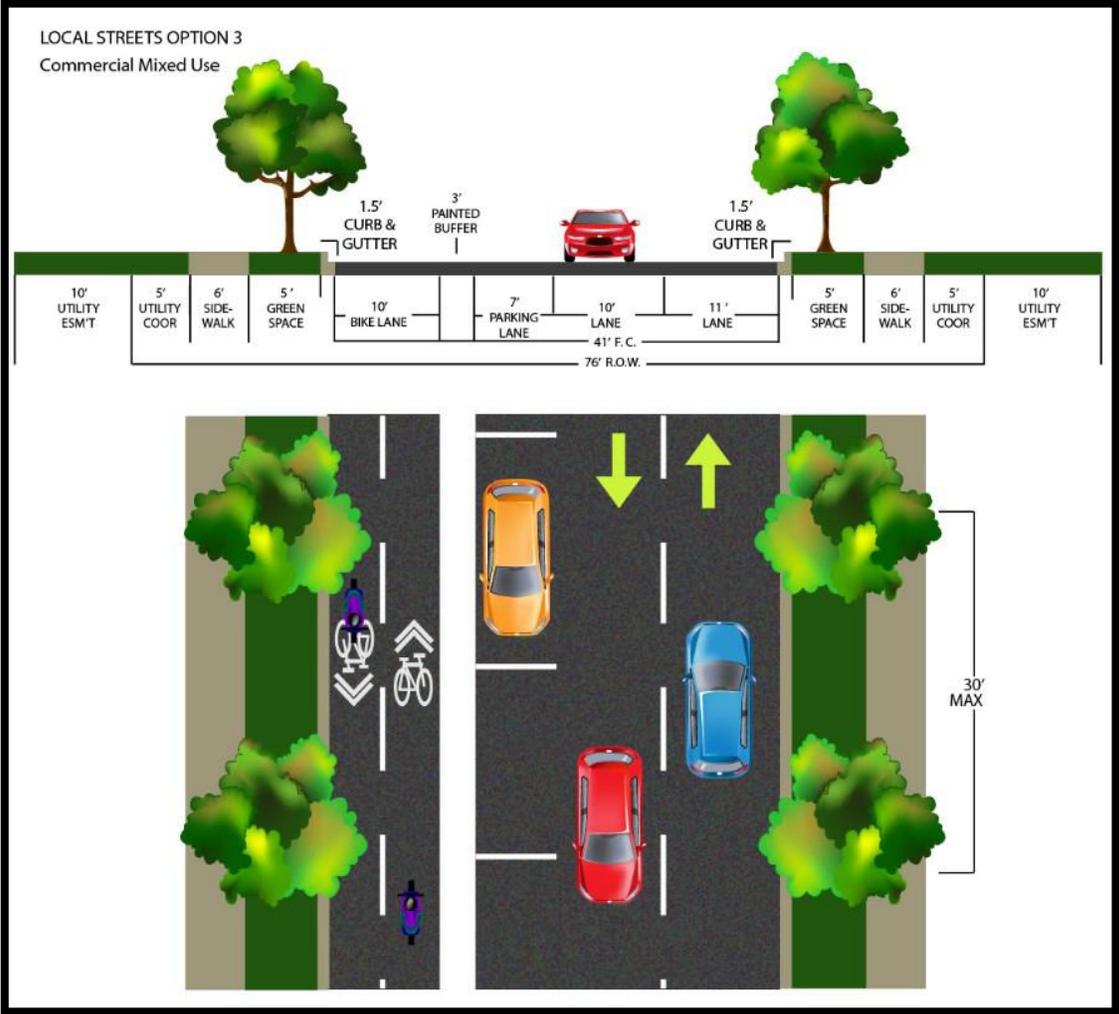
**FUNCTION:** The Local Street function is to provide access to adjacent property. The movement of traffic is a secondary purpose. The use of a Local Street in a residential area by heavy trucks and buses should be minimized.

**DESIGN:** Local Street Option 1 is to be used when on-street parking is provided within the development. Option 2 is to be used when on-street parking is not provided within the development. Option 3 is to be used in commercial mixed use areas.



# Local Street





**Approval Criteria- Chapter 117 - Amendments:**

The criteria for approval of a rezoning are set out below. Not all of the criteria must be given equal consideration by the MAPC or City Council in reaching a decision. The criteria to be considered shall include, but not be limited to the following.

Criteria	Explanations and Findings	Comply Y/N
<b>(a) Consistency of the proposal with the Comprehensive Plan/Land Use Map</b>	The proposed district rezoning is consistent with the Adopted Land Use Plan. Property is located in the moderate intensity growth sector.	
<b>(b) Consistency of the proposal with the purpose of Chapter 117-Zoning.</b>	The proposal will achieve consistency with the purpose of Chapter 117, with compliance of all District standards.	
<b>(c) Compatibility of the proposal with the zoning, uses and character of the surrounding area.</b>	Compatibility is achieved with this rezoning considering the surrounding area includes high density multifamily zoning (R-3/ 18 units per acre).	
<b>(d) Suitability of the subject property for the uses to which it has been restricted without the proposed zoning map amendment;</b>	Without the proposed zoning map amendment, this property cannot develop as multifamily use.	
<b>(e) Extent to which approval of the proposed rezoning will detrimentally affect nearby property including, but not limited to, any impact on property value, traffic, drainage, visual, odor, noise, light, vibration, hours of use/operation and any restriction to the normal and customary use of the affected property;</b>	With proper planning there should not be any adverse effects caused by the property if rezoned to multifamily.	
<b>(f) Impact of the proposed development on community facilities and services, including those related to utilities, streets, drainage, parks, open space, fire, police, and emergency medical services</b>	Minimal impact if rezoned due to the fact that residential uses currently exist in this area.	

**Staff Findings:**

**Applicant’s Purpose**

The proposed area is currently classified as “R-1” single family medium density district. The applicant is applying for a rezoning to allow multifamily use at this location.

Rezoning this property is consistent with the *Jonesboro Comprehensive Plan* and the *Future Land Use Plan*.

**Chapter 117 of the City Code of Ordinances/Zoning defines RM-12 as follows:**

*RM-12—Residential multifamily classification; 12 units per net acre, includes all forms of units, duplexes, triplexes, quads, and higher.*

**Departmental/Agency Reviews:**

The following departments and agencies were contacted for review and comments. Note that this table will be updated at the hearing due to reporting information that will be updated in the coming days:

<b>Department/Agency</b>	<b>Reports/ Comments</b>	<b>Status</b>
<b>Engineering</b>	No issues were reported	
<b>Streets/Sanitation</b>	No issues were reported	
<b>Police</b>	No issues were reported	
<b>Fire Department</b>	No issues were reported	
<b>MPO</b>	No issues were reported	
<b>Jets</b>	No issues were reported	
<b>Utility Companies</b>	No issues were reported	CWL
<b>Code Enforcement</b>	No issues were reported	

**Conclusion:**

The Planning Department Staff finds that the requested zone change submitted for the subject parcel should be evaluated based on the above observations and criteria of Case RZ 23-16 a request to rezone property “R-1” single family medium density district, to “RM-12” residential multifamily; the following conditions are recommend:

1. The proposed site shall satisfy all requirements of the City Engineer, all requirements of the current Stormwater Drainage Design Manual and Flood Plain Regulations regarding any new construction.
2. A final site plan subject to all ordinance requirements shall be submitted, reviewed, and approved by the Planning Department, prior to any redevelopment of the property.
3. Any change of use shall be subject to Planning Department approval in the future.

Respectfully Submitted for Planning Commission Consideration,  
The Planning and Zoning Department

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**Sample Motion:**

I move that we place Case: RZ 23-16 on the floor for consideration of recommendation by MAPC to the City Council with the noted conditions, and we, the MAPC find that to rezone property from “R-1” single family medium density district, to “RM-12” residential multifamily will be compatible and suitable with the zoning, uses, and character of the surrounding area.