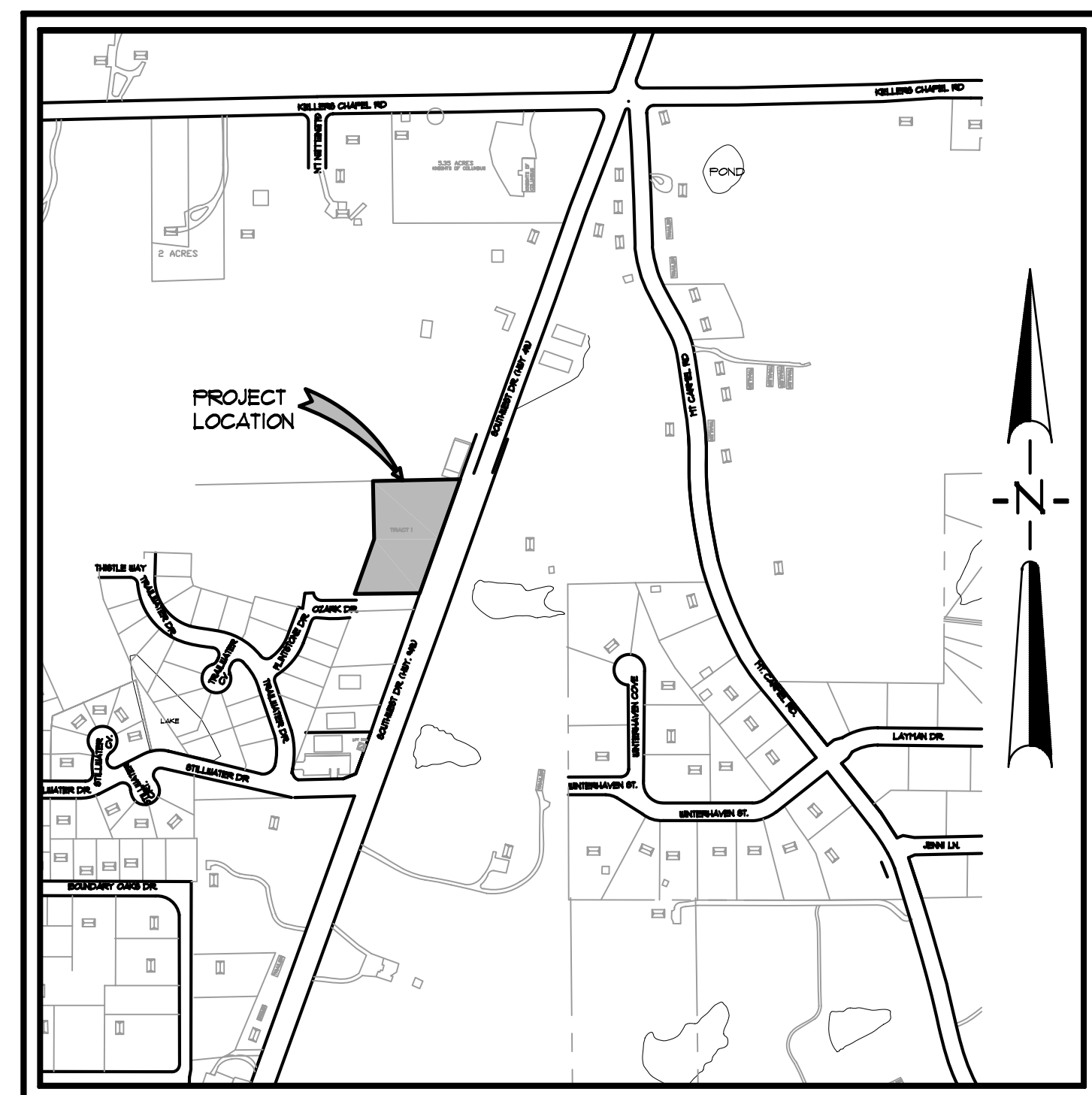


SITE DEVELOPMENT PLANS

OZARK MANOR

PREPARED FOR
SHAWN TYLER

JONESBORO, ARKANSAS
MAY, 2009



VICINITY MAP
SCALE: 1" = 500'

INDEX TO SHEETS

- 1 OF 10 INDEX SHEET
- 2 OF 10 GENERAL NOTES & AREA MAP
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ASSOCIATED ENGINEERING AND TESTING, LLC
CIVIL ENGINEERING, LAND SURVEYING AND MATERIALS TESTING
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
PH: 870-932-3534 FAX: 870-935-1263

INDEX SHEET
OZARK MANOR
OZARK DR AND SOUTHWEST DR (HWY 49)
JONESBORO, ARKANSAS

REV	DATE	REVISIONS	DRAWN	CHK'D	DRAWN	CHK'D

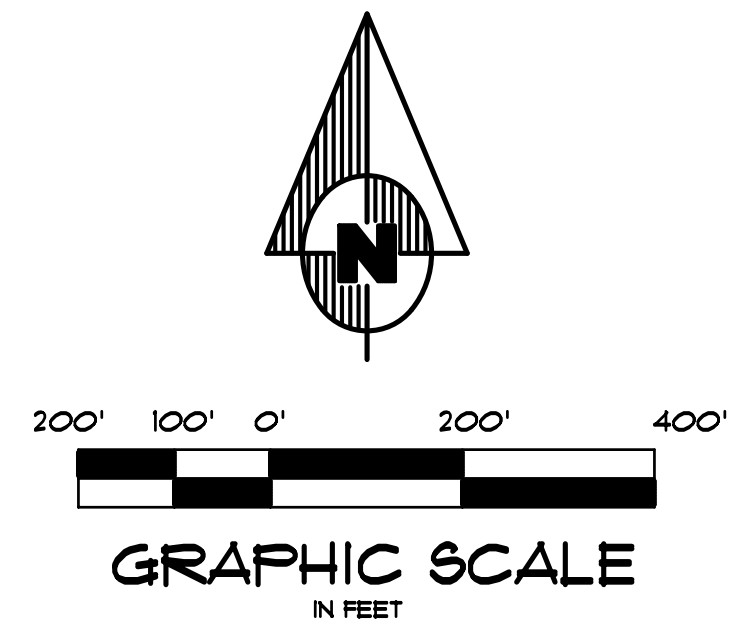
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SCALE: 1" = 30'	CADD FILE: 0935-8DP	DWG#: 0930210011	1 OF 10

RESOURCE LIST

- CITY OF JONESBORO - PLANNING AND ZONING**
018 SPRIGGS, CITY PLANNER
100 FLINT STREET
JONESBORO, AR 72401
810-932-0406
- CITY OF JONESBORO - PUBLIC WORKS**
ERIC WOODRUFF
DIRECTOR OF PUBLIC WORKS
301 VINE AVENUE
JONESBORO, AR 72401
810-932-2438
- CITY OF JONESBORO - ENGINEERING**
CRAIG LIGHT, P.E.
CITY ENGINEER
301 VINE AVENUE
JONESBORO, AR 72401
810-932-2438
- CITY OF JONESBORO - FIRE MARSHALL**
CRAIG DAVENPORT
325 E. JOHNSON AVE.
JONESBORO, AR 72401
810-932-2438
- CITY WATER AND LIGHT - ENGINEERING**
RON BOWEN, P.E. - MANAGER
400 EAST MONROE, P.O. BOX 1289
JONESBORO, AR 72403
810-935-5588; FAX: 810-930-3303
RANDY SHIPKINS - CHIEF ENGINEER
810-930-3320
- CENTERPOINT ENERGY**
KEITH CRAIG - SERVICE TECHNICIAN
303 OLD FEEDHOUSE ROAD
JONESBORO, AR 72401
CELL: 810-891-9750
- AT&T**
723 CHURCH, ROOM B 21
JONESBORO, AR 72403
PHIL FARLEY - AREA MANAGER INSTALLATION & REPAIR
810-912-1871; FAX: 810-912-1810
TOMMY GRAY - AREA MANAGER ENGINEERING DESIGN
810-912-1887; FAX: 810-912-1833
- SUDGEN LINK - CABLE TV**
820 SOUTH CARAWAY ROAD
JONESBORO, AR 72401
BOB PROOK - CONSTRUCTION MANAGER
810-933-8495 EXT. 212; FAX: 810-912-8141
DEANNA HORNEBACK - MANAGER
JIMMY YANCY - FIELD MANAGER
CELL: 810-719-8585

GENERAL NOTES

- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- SUBJECT PROPERTY DOES NOT LIE IN THE FLOOD PLAIN ACCORDING TO PANEL 150 OF 200 OF THE NATIONAL FLOOD INSURANCE RATE MAP FOR CRAIGHEAD COUNTY, ARKANSAS AND INCORPORATED AREAS, EFFECTIVE DATE: SEPTEMBER 21, 1991
- REFER TO ARCHITECT'S PLANS FOR SIGN TYPE AND LOCATION.
- SCREENING AND BUFFERING ARE AS SHOWN.
- REFER TO ARCHITECT'S PLANS FOR LANDSCAPE INFORMATION.
- EASEMENTS ARE AS SHOWN.
- COMMON OPEN SPACE AND AMENITIES ARE NOT APPLICABLE.
- ALL EXTERIOR LIGHTING FIXTURES SHALL BE LOCATED AND DIRECTED SO THAT LIGHT DOES NOT "SPILL" ONTO ADJOINING PROPERTIES. BUILDING LIGHTING TO BE WALL MOUNTED SECURITY LIGHTS DIRECTED DOWNWARD.
- NO KNOWN HISTORICAL STRUCTURES ARE LOCATED ON SUBJECT PROPERTY.
- THE CLOSEST EXISTING FIRE HYDRANT IS LOCATED 115' EAST AND 120' SOUTH OF THE SOUTH-EAST PROPERTY CORNER OF SUBJECT PROPERTY, ON THE EAST SIDE OF SOUTHWEST DRIVE (HIGHWAY 49), 165' NORTHEAST OF THE INTERSECTION OF SOUTHWEST DRIVE (HIGHWAY 49) AND OZARK DRIVE.
- ARCHITECT WILL SUBMIT PLUMBING PLANS TO STATE.
- DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

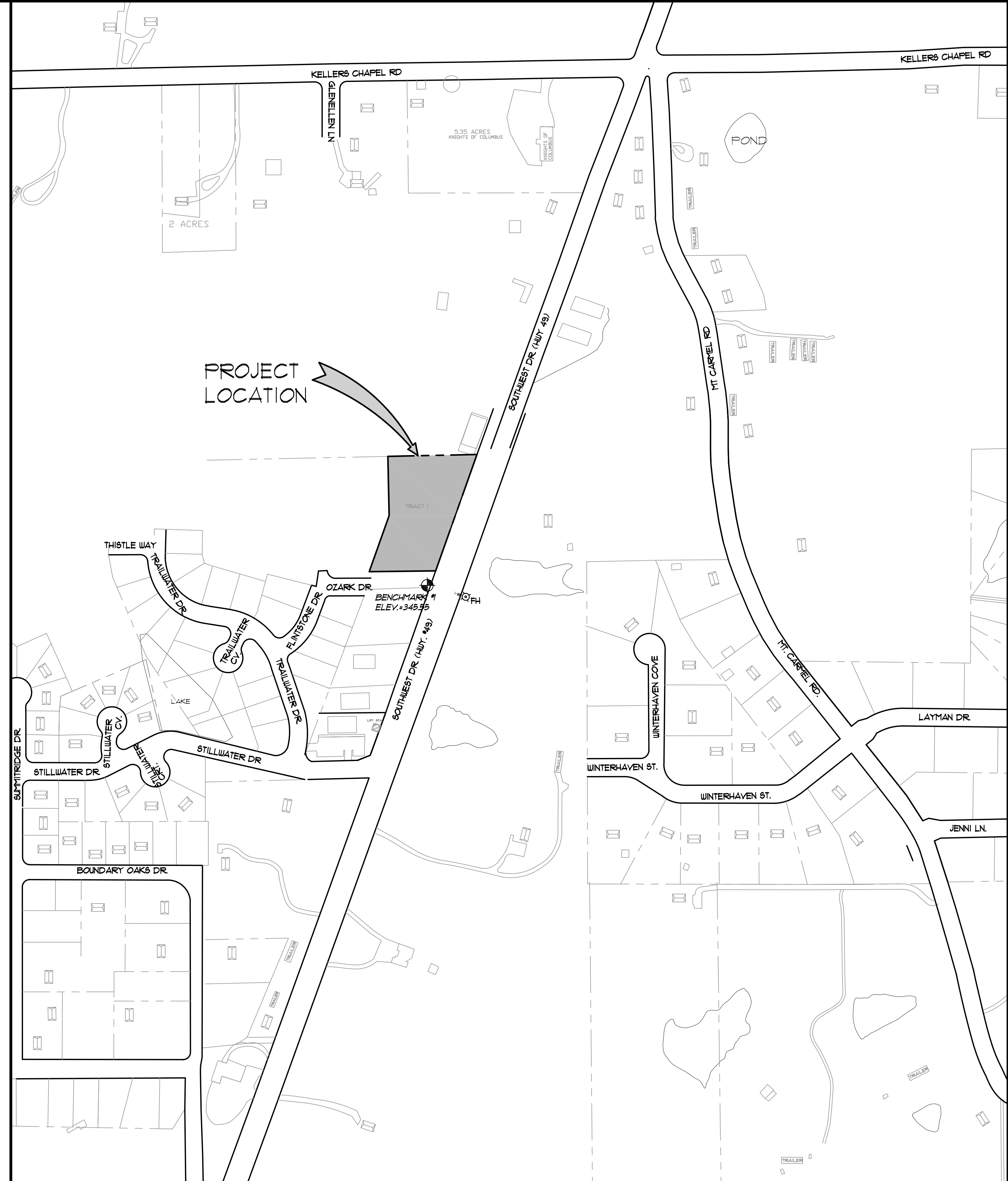


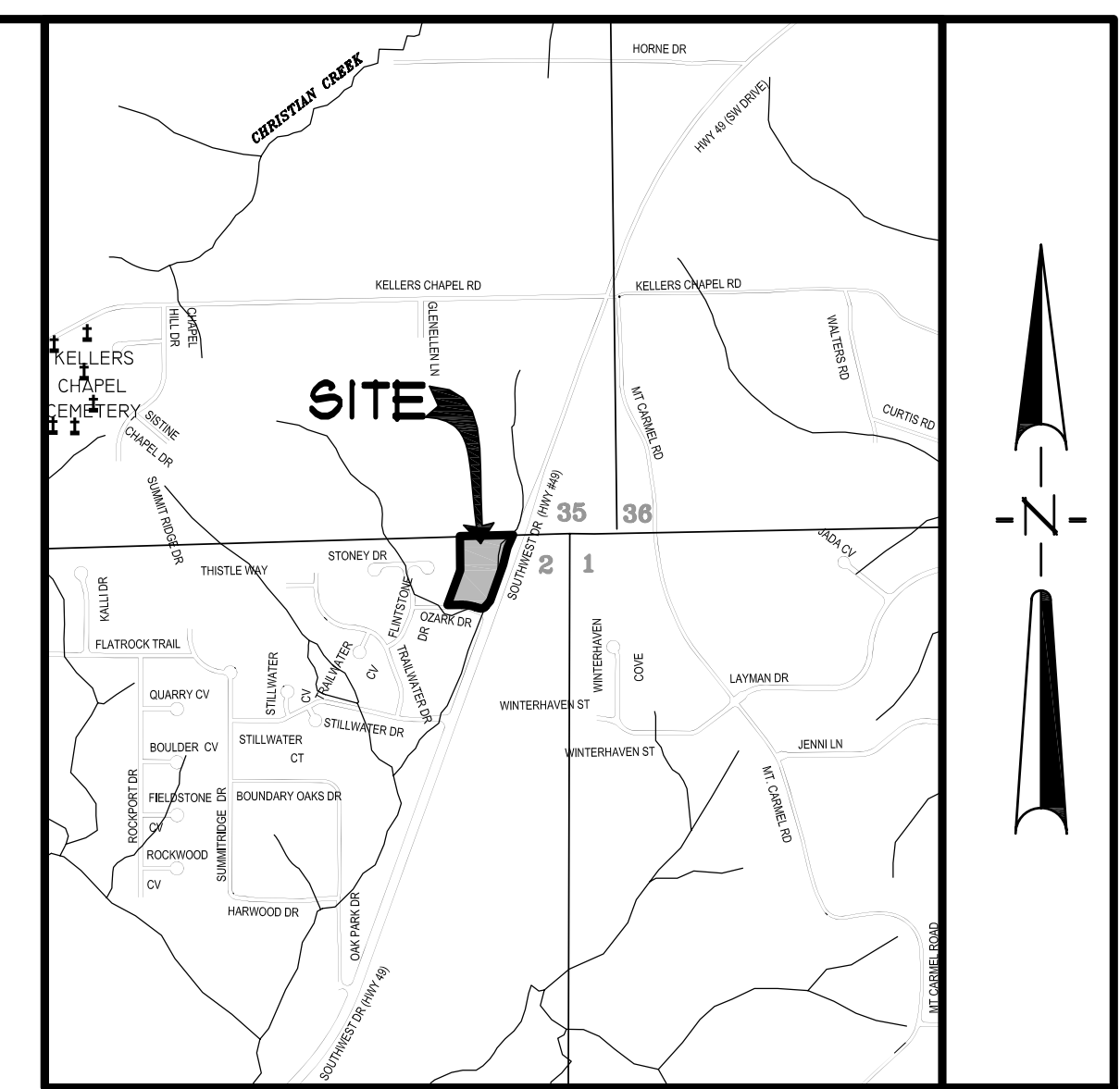
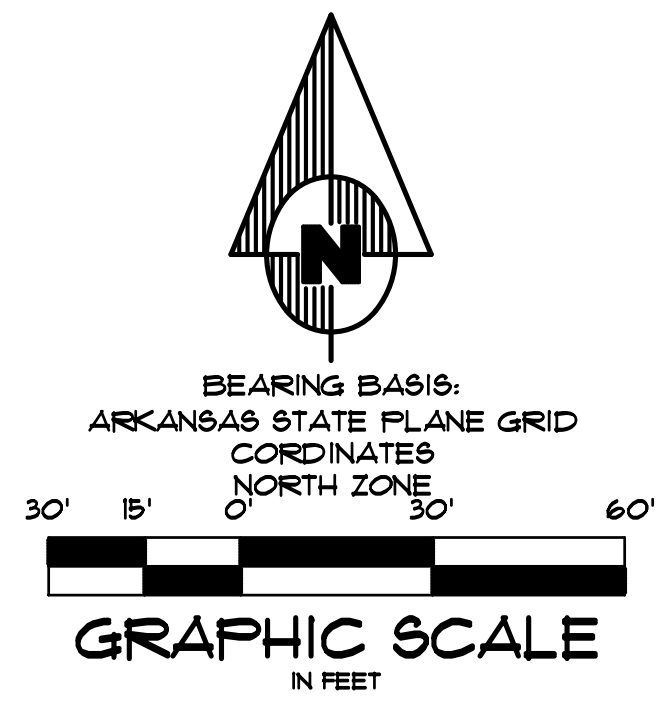
BENCHMARK LIST

- BM1
ELEV. = 345.55 (NAVD83)
- CHISELED "D" IN NORTHWEST CORNER OF CURBED INLET, WEST SIDE OF SOUTHWEST DRIVE & NORTH SIDE OF OZARK DRIVE AT THE POINT OF TANGENCY OF RADIUS.

LEGEND

---	BOUNDARY LINE	⊕	FIRE HYDRANT	▣	GRADED INLET
- - -	LOT LINES	▼	VALVE BOX	○	DOWNSPOUT
○ F.I.P.	FOUND IRON PIPE	⬇	FIRE PROTECTION	⊙	SPRINKLER CONTROL
⊙ F.C.P.A.	FOUND COTTON-PICKER SPINDLE	— E — E — E — E —	EXISTING OVER-HEAD ELECTRICAL LINE	⊙	MAILBOX
△ F.R.	FOUND REBAR	— UE — UE — UE — UE —	EXISTING UNDERGROUND ELECTRICAL LINE	⊙	TRASH COMPACTOR
⊙ F.I.P.	FOUND IRON PIPE W/ PL6 *XXX CAP	⊗	ELECTRIC TRANSFORMER/ELECTRIC METER	○	COLUMN
⊙ F.I.P.	FOUND IRON PIPE W/ PL6 *XXX CAP	⊙ P.P.	POWER POLE	○	BOLLARD
⊙ F.I.P.	FOUND IRON PIPE W/ PL6 *XXX CAP	⊗	POWER JUNCTION COMM. BOX	△	HANDICAP SIGN
⊙ F.I.P.	FOUND IRON PIPE W/ PL6 *XXX CAP	⊗	SIGN LIGHTS/FLOOR LIGHTS	— x — x — x — x —	EXISTING BARBED WIRE FENCE LINE
⊙ F.I.P.	FOUND IRON PIPE W/ PL6 *XXX CAP	⊗	LIGHT POLE (SINGLE)	— o — o — o — o —	EXISTING CHAINLINK FENCE LINE
— 55 — < — xx' — 55 —	EXISTING SANITARY SEWER LINE	⊗	LIGHT POLE (BACK-BACK)	— // — // — // — // —	EXISTING WOOD FENCE LINE
— 55 — < — xx' — 55 —	PROPOSED SANITARY SEWER LINE	⊗	LIGHT POLE (3 * 90')	— // — // — // — // —	EXISTING GROUND CONTOUR
— 55 — < — xx' — 55 —	EXISTING SANITARY SEWER MANHOLE	⊗	TRAFFIC SIGN	— 260 —	FINISHED GROUND CONTOUR
— 55 — < — xx' — 55 —	PROPOSED SANITARY SEWER MANHOLE	⊗	TRAFFIC SIGNAL	— 325 —	EXISTING TREE/SHRUB
— 55 — < — xx' — 55 —	EXISTING SANITARY SEWER CLEANOUT	⊗	TRAFFIC LIGHT CONTROL	— 325 —	BASIN BOUNDARY
— 55 — < — xx' — 55 —	PROPOSED SANITARY SEWER CLEANOUT	⊗	TRAFFIC SIGNAL W/ POLE	— 325 —	DRAINAGE FLOW
— 55 — < — xx' — 55 —	EXISTING SANITARY SEWER SERVICE LINE	⊗	EXISTING OVER-HEAD COMMUNICATION LINE	— 325 —	GENERAL DRAINAGE FLOW
— 55 — < — xx' — 55 —	PROPOSED SANITARY SEWER SERVICE LINE	⊗	EXISTING UNDERGROUND COMMUNICATION LINE	— 325 —	EXISTING UNDERGROUND COMMUNICATION LINE
— 55 — < — xx' — 55 —	EXISTING WATER LINE	⊗	TELEPHONE PEDESTAL	— 325 —	EXISTING GAS LINE
— 55 — < — xx' — 55 —	PROPOSED WATER LINE	⊗	EXISTING GAS LINE	— 325 —	EXISTING GAS LINE
— 55 — < — xx' — 55 —	EXISTING WATER METER	⊗	GAS METER	— 325 —	ROCK CHECK DAM
— 55 — < — xx' — 55 —	PROPOSED WATER METER	⊗	EXISTING STORM WATER MANHOLE	— 325 —	RIP RAP AREA
— 55 — < — xx' — 55 —	WATER VALVE	⊗		— 325 —	





VICINITY SKETCH
NOT TO SCALE

UTILITY SERVICE PROVIDERS
IN JONESBORO, AR

- A.) WATER, SEWER AND ELECTRICITY:
CITY WATER & LIGHT, 400 EAST MONROE, P.O. BOX 1289
JONESBORO, AR 72403, PHONE: 810-935-9581 FAX: 810-930-3303
RON BOUEN, PE, MANAGER
RANDY SIMPKINS, PE, ENGINEERING SVC. DIR., 810-930-3320
- B.) NATURAL GAS:
CENTERPOINT ENERGY
3025 OLD FEEDHOUSE RD.
JONESBORO, AR 72403
GARRETH JAMES, CONSTRUCTION & MNT. SUP. CELL: 810-891-3151
- C.) TELEPHONE:
AT&T
123 CHURCH, ROOM B 21
JONESBORO, AR 72403
PHIL FARLEY, AREA MANAGER INSTALLATION AND REPAIR,
810-912-1821, FAX: 810-912-1610
TOMMY GRAY, AREA MANAGER ENGINEERING DESIGN,
810-912-1581, FAX: 810-912-1533
- D.) CABLE TELEVISION:
SUDDEN LINK
1520 SOUTH CARAWAY ROAD
JONESBORO, AR 72403
DEANNA HORNBACK, MANAGER
BOB PROCK, CONSTRUCTION MANAGER
810-933-8429 (EXT.212), FAX: 810-912-8141
JIMMY YANG, FIELD MANAGER
CELL: 810-219-8823

DESCRIPTION

LOT 1 OF BOB GIBSON SOUTHWEST DRIVE COMMERCIAL ADDITION TO THE CITY OF JONESBORO, ARKANSAS, AS RECORDED IN THE PUBLIC RECORDS FOR JONESBORO, CRAIGHHEAD COUNTY, ARKANSAS.
CONTAINING IN ALL 99,556 SQ. FT. OR 2.28 ACRES, MORE OR LESS.
SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND RIGHTS-OF-WAY OF RECORD.

SURVEYOR'S NOTES

- THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF BYRD CORLEY CONSTRUCTION AND IS NOT ASSIGNABLE.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- BENCHMARK #1 IS A CHISELED "D" IN NORTHWEST CORNER OF CURBED INLET, WEST SIDE OF SOUTHWEST DRIVE & NORTH SIDE OF OZARK DRIVE AT THE POINT OF TANGENCY OF RADIUS, ELEV. = 345.55 (NAVD 88).
- THE FOLLOWING DOCUMENTS WERE USED TO CONDUCT THIS SURVEY:
A. A SURVEY BY HIME LAND SURVEYING DATED 01/28/04 FILED FOR RECORD 02/18/04 AND RECORDED IN THE PUBLIC RECORDS IN JONESBORO, CRAIGHHEAD COUNTY, ARKANSAS, IN RECORD BOOK C, PAGE 154.
- ALL UTILITY LOCATIONS SHOWN HEREON WERE LOCATED BY FIELD MEASUREMENTS OF UTILITY LOCATIONS PROVIDED BY ARKANSAS ONE-CALL SYSTEM, INC., VISIBLE OBSERVATIONS AND/OR EXISTING UTILITY MAPS. ASSOCIATED ENGINEERING AND TESTING, LLC MAKES NO WARRANTY OR GUARANTEE TO THE UTILITIES SHOWN OR NOT SHOWN HEREON. FURTHERMORE ASSOCIATED ENGINEERING AND TESTING, LLC MAKES NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF EXISTING UTILITY MAPS. IF PRECISE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED THE CLIENT/CONTRACTOR SHALL COORDINATE WITH SAID UTILITY OWNER TO EXPOSE SAID UTILITY FOR LOCATION AND/OR DEPTH. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ANY AND ALL UTILITY LOCATIONS AND/OR DEPTHS BEFORE EXCAVATION.
- SUBJECT PROPERTY IS CURRENTLY ZONED C-4. C-4 ZONING IS DEFINED AS NEIGHBORHOOD COMMERCIAL DISTRICT. THE SURROUNDING PROPERTY IS ZONED R-1 & C-3.
- SUBJECT PROPERTY DOES NOT LIE IN THE FLOOD PLAIN ACCORDING TO PANEL 150 OF 200 OF THE NATIONAL FLOOD INSURANCE RATE MAP FOR CRAIGHHEAD COUNTY, ARKANSAS AND INCORPORATED AREAS. EFFECTIVE DATE: SEPTEMBER 21, 1991

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT ASSOCIATED ENGINEERING AND TESTING, LLC HAS THIS DATE MADE A BOUNDARY & TOPOGRAPHIC SURVEY OF THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON AND THAT SAID SURVEY IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THERE ARE NO APPARENT ABOVE GROUND ENCROACHMENTS OTHER THAN AS SHOWN OR STATED HEREON AND THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE 'ARKANSAS MINIMUM STANDARDS FOR PROPERTY SURVEYS AND PLATS' IN EFFECT ON THIS DATE.
DATE OF BOUNDARY & TOPOGRAPHIC SURVEY: 05/15/2009

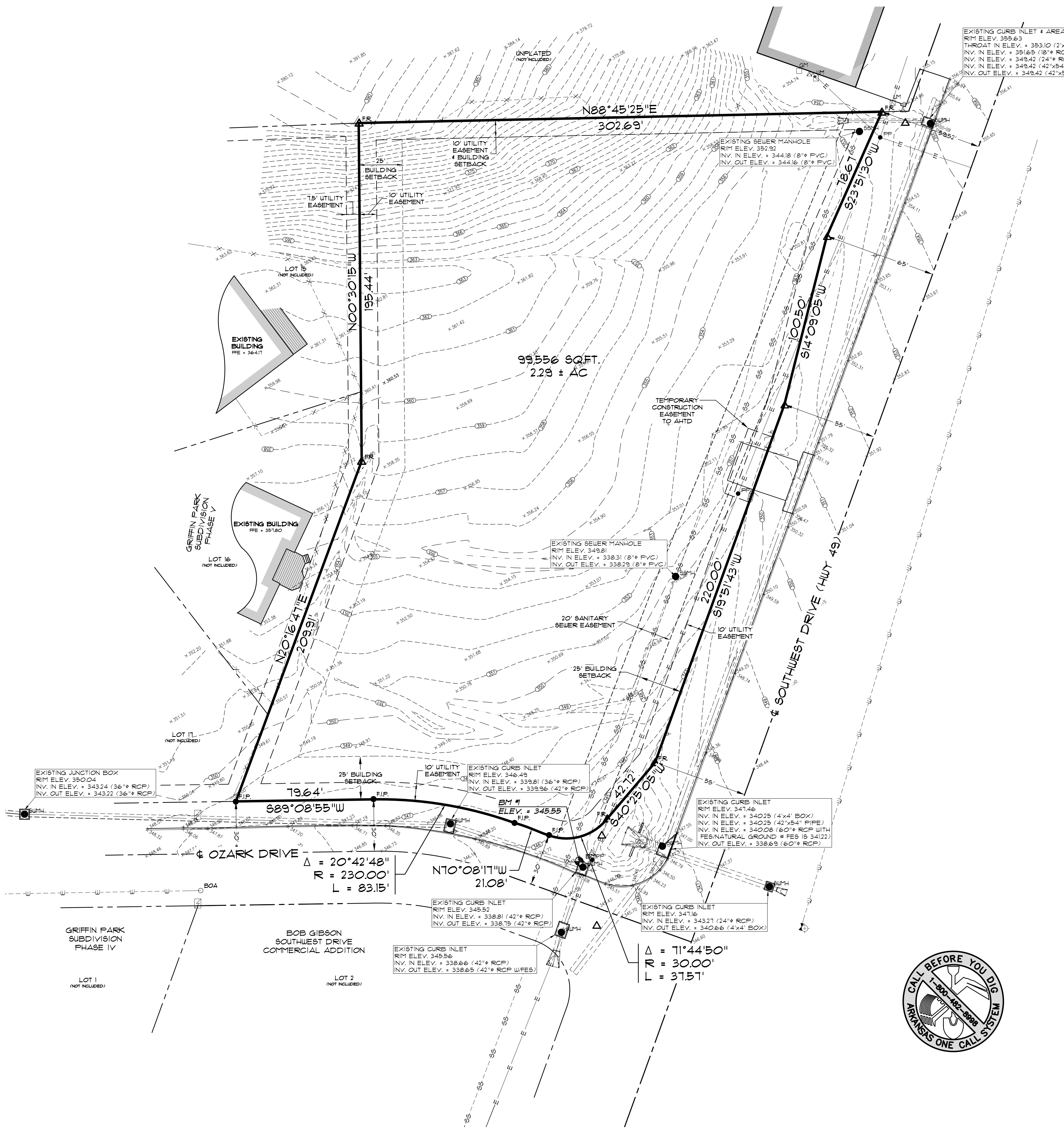
PATRICK W. LEMLEY
PROFESSIONAL SURVEYOR
ARKANSAS CERTIFICATE NO. 1549

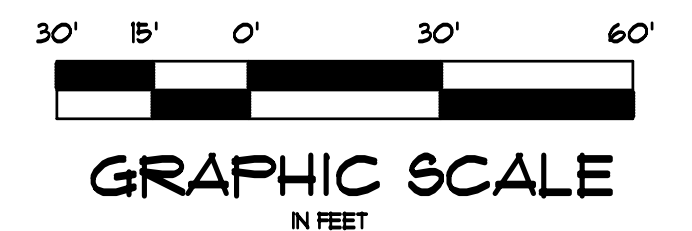
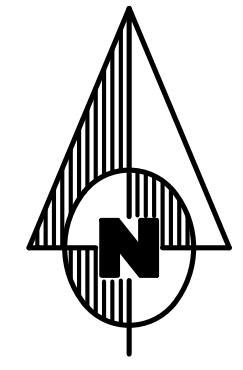
NOTE: TO BE VALID, COPIES MUST HAVE ORIGINAL SURVEYOR'S SIGNATURE AND SURVEYOR'S SEAL.

ASSOCIATED ENGINEERING AND TESTING, LLC
CIVIL ENGINEERING, LAND SURVEYING AND MATERIALS TESTING
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
PH: 810-932-3594 FAX: 810-935-1263

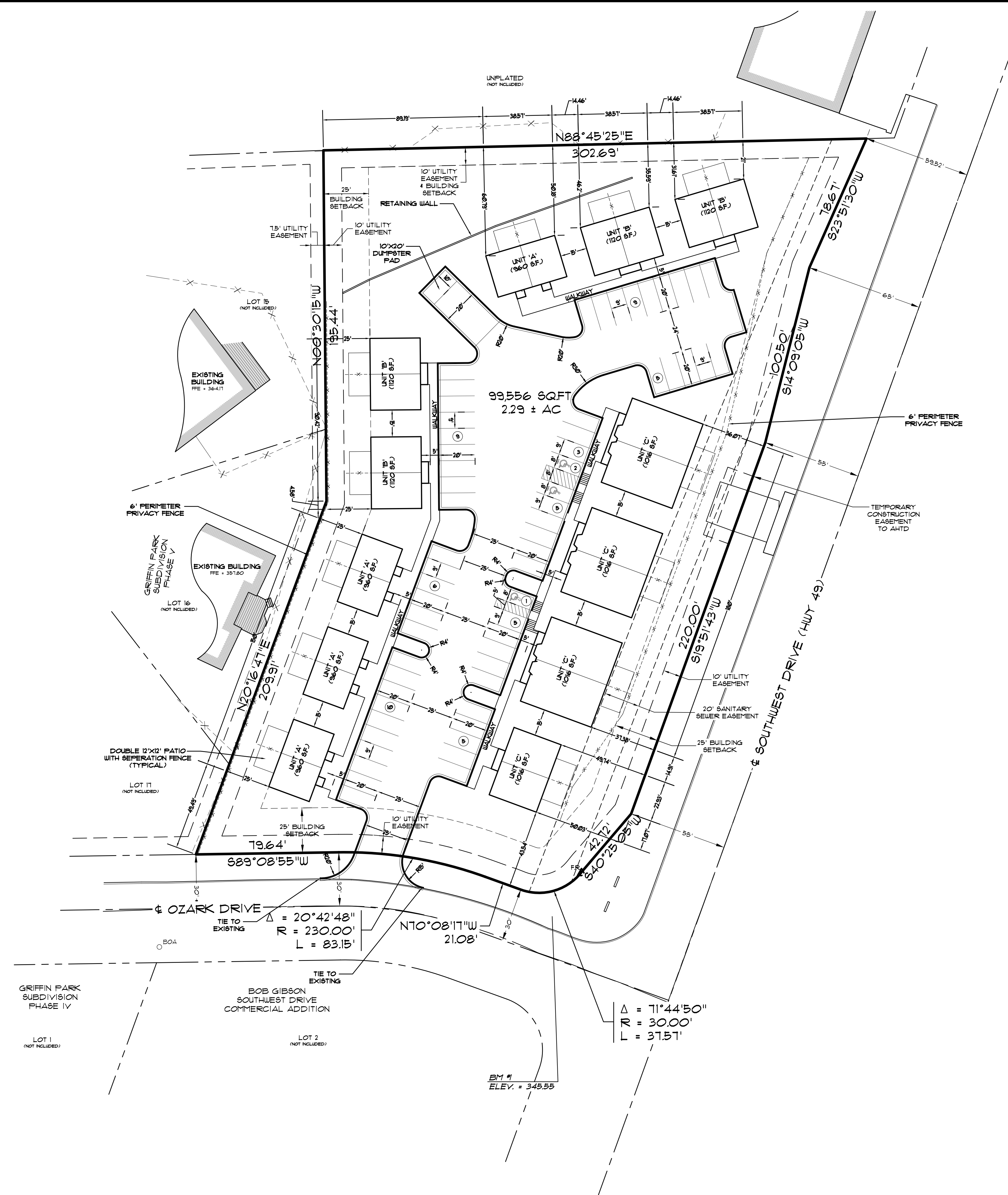
TOPOGRAPHIC SURVEY
BOYD CORLEY CONSTRUCTION
JONESBORO, ARKANSAS

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SCALE: 1" = 30'	CADD FILE: 0935-001	DWG#: 03130210016	1 OF 1





GRAPHIC SCALE
IN FEET



GENERAL SITE NOTES

- FOR BENCHMARK LOCATION AND ELEVATION PLEASE REFER TO BENCHMARK LISTINGS ON SHEET 2 OF THESE PLANS.
- ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
- EASEMENTS ARE AS SHOWN.
- BUILDING LAYOUT BASED ON ARCHITECT'S PLANS. SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PATIOS, RAMPS, SLOPED PAVING, AND BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.
- ALL PARKING LOT STRIPING INCLUDING HANDICAP ACCESSIBLE AND HANDICAP VAN ACCESSIBLE SPACES SHALL BE PAINTED AS SHOWN. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN DISABILITY ACT (ADA) REQUIREMENTS AND STATE AND LOCAL CODES.
- ALL HANDICAP ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 1.0%. ALL HANDICAP ACCESSIBLE PARKING SPACES AND AISLES SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ALL DIRECTIONS.
- PARKING PROVIDED: 51 PARKING SPACES
3 HANDICAP VAN ACCESSIBLE SPACES
60 PARKING SPACES TOTAL

OWNER'S CERTIFICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY AS DESCRIBED HEREON, THAT WE ADOPT THIS PLAN AND DEDICATE THE PERPETUAL USE OF ALL EASEMENTS AS NOTED.

CLIENT NAME, TITLE _____

APPROVAL STATEMENT

THIS SITE DEVELOPMENT, INCLUDING SUPPORTING PLANS AND DOCUMENTS, ARE APPROVED BY THE CITY OF JONESBORO, ARKANSAS AS SIGNIFIED BY THE FOLLOWING SIGNATURES:

OTIS SPRIGGS, CITY PLANNER _____ CRAIG LIGHT, CITY ENGINEER _____
 DATE _____ DATE _____
 CRAIG DAVENPORT, FIRE MARSHALL _____
 DATE _____

OWNER / CONTRACTOR / DESIGN PROFESSIONAL CERTIFICATION

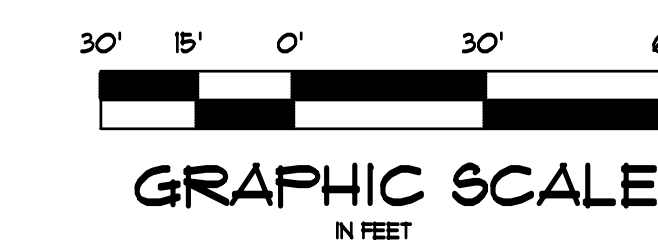
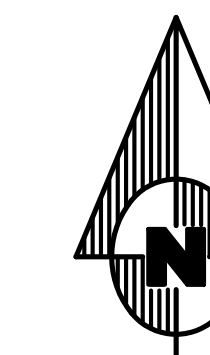
I ACKNOWLEDGE MY UNDERSTANDING THAT ALL SITE IMPROVEMENTS SHALL CONFORM TO THIS APPROVED SITE DEVELOPMENT PLAN. THE CITY PLANNER FOR THE CITY OF JONESBORO MUST APPROVE, IN WRITING, ANY DEVIATIONS, VARIANCES OR CHANGES FROM THIS APPROVED SITE DEVELOPMENT PLAN. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE ZONING ORDINANCE AND WITH THE CONDITIONS OF THE ZONING PERMIT, AND WITH ALL LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK.

THE DESIGN PROFESSIONAL (ARCHITECT, ENGINEER, OR LANDSCAPE ARCHITECT) SEALING THE APPROVED SITE DEVELOPMENT PLAN SHALL PERIODICALLY INSPECT THE INSTALLATION AND CONSTRUCTION OF ALL SITE IMPROVEMENTS SHOWN ON AND REQUIRED BY THE SITE DEVELOPMENT PLANS. UPON COMPLETION OF ALL SITE IMPROVEMENTS AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE DESIGN PROFESSIONAL SHALL SUBMIT A LETTER TO THE CITY PLANNER VERIFYING THAT CONSTRUCTION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED SITE DEVELOPMENT PLANS.

DOUG FORNON, MAYOR _____ CONTRACTOR _____
 DATE _____ DATE _____
 JOHN EASLEY, PE _____
 DATE _____

ASSOCIATED ENGINEERING AND TESTING, LLC
CIVIL ENGINEERING, LAND SURVEYING AND MATERIALS TESTING
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
PH: 870-932-3934 FAX: 870-935-1263

SITE DEVELOPMENT PLAN
OZARK MANOR
OZARK DR AND SOUTHWEST DR (HWY 49)
JONESBORO, ARKANSAS



GRAPHIC SCALE
IN FEET

LEGEND

- PROPOSED DRAINAGE SWALE
- PROPOSED DRAINAGE FLOW

ENGINEER'S NOTES

1. FOR BENCHMARK LOCATION AND ELEVATION PLEASE REFER TO BENCHMARK LISTINGS ON SHEET 2 OF THESE PLANS.
2. RAINOFF CALCULATIONS:
 10 YR. PRE-DEVELOPED = 10.3 cfs
 10 YR. POST-DEVELOPED = 9.6 cfs
 100 YR. PRE-DEVELOPED = 16.2 cfs
 100 YR. POST-DEVELOPED = 16.1 cfs
- DETENTION AREA:
 POND BOTTOM ELEV. = 343.00
 POND TOP ELEV. = 348.00
 SIDES OF POND = 3:1 SLOPE
 24" PVC PIPE = 342.50 - 35' LONG @ 1.0%
- REFER TO DRAINAGE REPORT FOR ADDITIONAL INFORMATION REGARDING DETENTION.
3. PIPE SHALL BE R.C.P. FOR ALL ROAD CROSSINGS. ULTRA FLO STORM PIPES MAY BE USED IN OTHER APPLICATIONS WITH ENGINEER'S APPROVAL.
4. NEITHER THE OWNER NOR THE ENGINEER SHALL BE RESPONSIBLE FOR SUBSURFACE CONDITIONS. THE CONTRACTOR SHOULD MAKE HIS OWN DETERMINATION CONCERNING SUBSURFACE CONDITIONS.
5. THROUGHOUT ALL EXCAVATION ACTIVITIES, POSITIVE DRAINAGE SHALL BE MAINTAINED WITHIN MINIMUM SLOPES OF 0.50% OR GREATER AND SURFACE DRAINAGE GENERALLY IN THE DIRECTION PROVIDED BY EXISTING TOPOGRAPHY.
6. WORK SHALL PROGRESS IN SUCH A MANNER AS TO ALLOW EXISTING VEGETATION TO REMAIN AS LONG AS POSSIBLE, CONSISTENT WITH THE SCOPE OF WORK.
7. DUST SHALL BE KEPT AT TOLERABLE LIMITS.
8. ALL HANDICAP ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 1.0%. ALL HANDICAP ACCESSIBLE PARKING SPACES SHALL HAVE A MAXIMUM SLOPE OF 2.0% IN ALL DIRECTIONS.
9. ALL SPOT ELEVATIONS ARE AS NOTED.

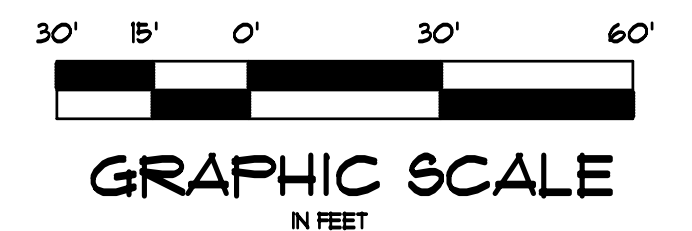
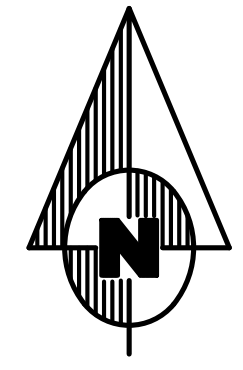


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 PH: 870-932-3594 FAX: 870-935-1263

GRADING & DRAINAGE LAYOUT
OZARK MANOR
OZARK DR AND SOUTHWEST DR (HWY 49)
JONESBORO, ARKANSAS

DRAWN: CC/CH	CHECKED: KP	DATE: 05/28/08	SHEET
SCALE: 1" = 50'	CADD FILE: 0935-SDP	DWG#: XXXXXXXXXXXX	6 OF 9

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GRAPHIC SCALE
IN FEET

ENGINEER'S NOTES

- FOR BENCHMARK LOCATION AND ELEVATION PLEASE REFER TO BENCHMARK LISTINGS ON SHEET 2 OF THESE PLANS.

EROSION CONTROL MEASURES

THE PURPOSE OF THIS PLAN IS TO ESTABLISH MINIMUM EROSION CONTROL MEASURES. THIS PLAN IS NOT INTENDED TO COVER ALL MEASURES, BUT TO SUPPLEMENT, EXPAND OR IMPLEMENT THE REQUIREMENTS OF THE STATE OF ARKANSAS NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT).

SILT FENCING SHALL BE PLACED ALONG THE LIMITS OF CONSTRUCTION AND AROUND EACH DRAINAGE STRUCTURE PRIOR TO CONSTRUCTION.

GRAVEL CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED AT PROPOSED DRIVEWAY LOCATIONS TO PREVENT TRANSPORT OF SEDIMENT OFF SITE. WHEEL WASH FACILITIES MAY BE REQUIRED.

THE OWNER SHALL BE RESPONSIBLE FOR INSTALLING ALL EROSION CONTROL MEASURES AND FACILITIES IN GOOD WORKING CONDITION THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. ANY FAILURES IN THE MEASURES MUST BE IMMEDIATELY REPAIRED. EROSION CONTROL MEASURES AND FACILITIES SHALL BE FREQUENTLY INSPECTED FOR COMPLIANCE. FAILURE TO INSTALL OR MAINTAIN THESE FACILITIES MAY RESULT IN DENIAL OF BUILDING INSPECTIONS UNTIL ALL PROBLEMS ARE CORRECTED. CONTRACTORS SHALL BE HELD ACCOUNTABLE FOR CONSTRUCTION VEHICLES TRACKING DIRT AND MUD ONTO PUBLIC STREETS. CONTRACTORS SHALL FIT INTO PLACE APPROPRIATE FACILITIES TO CLEAN VEHICLES BEFORE THEY ENTER STREETS. THE CONTRACTOR SHALL FREQUENTLY SWEEP THE ACCESS STREETS.

THE OWNER SHALL BE RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT WITH THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ).

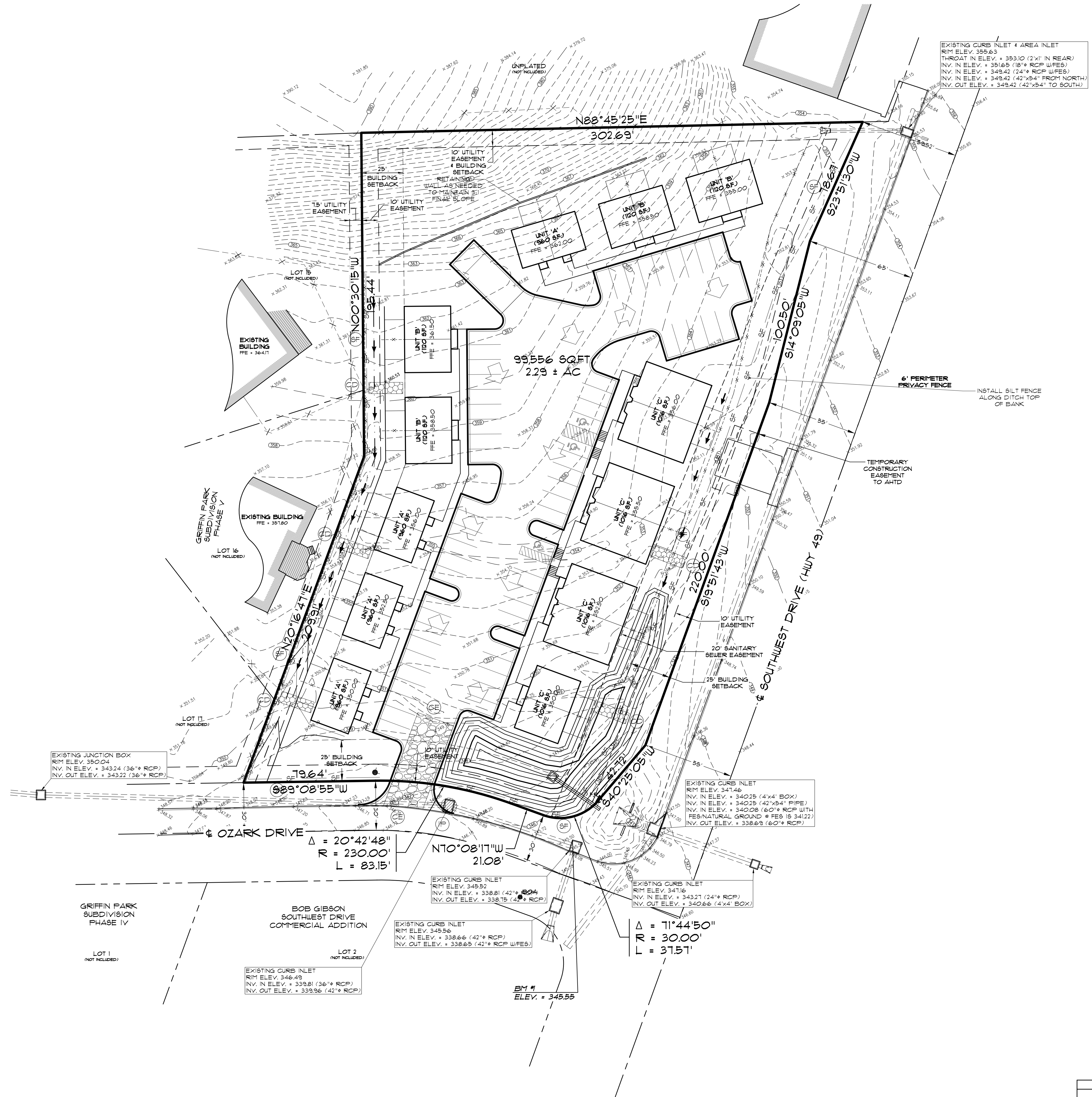
DUST SHALL BE KEPT TO A MINIMUM. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED LIQUIDS FOR DUST SUPPRESSION ARE PROHIBITED.

ALL WORK ON THIS SITE PERTAINING TO EXCAVATION AND DRAINAGE SHALL BE IN ACCORDANCE WITH THIS PLAN AND THE APPLICABLE PROVISIONS OF THE CITY OF JONESBORO STORM WATER MANAGEMENT REGULATIONS.

ADDITIONAL CONTROLS MAY BE REQUIRED BY THE CITY OF JONESBORO AND ADEQ DURING CONSTRUCTION. GUIDELINES ESTABLISHED BY THE SOIL CONSERVATION SERVICE MAY BE REQUIRED FOR SEEDING OPERATIONS IF DETERMINED NECESSARY.

DETAILS

- SF SEDIMENTATION/SILT FENCE (PLACE ON LEVEL CONTOURS PER LOCAL CODE) (SF)
- CC ROCK CHECK DAM (PER LOCAL CODE) (CC)
- CE CONSTRUCTION ENTRANCE (PER LOCAL CODE) (CE)
- IF INLET PROTECTION (PER LOCAL CODE) (IF)



EXISTING CURB INLET # AREA INLET
RIM ELEV. 359.63
THROAT IN ELEV. + 353.10 (2'x1' IN REAR)
INV. IN ELEV. + 351.65 (18" RCP W/FES)
INV. IN ELEV. + 349.42 (24" RCP W/FES)
INV. IN ELEV. + 349.42 (42"x54" FROM NORTH)
INV. OUT ELEV. + 349.42 (42"x54" TO SOUTH)

EXISTING CURB INLET
RIM ELEV. 347.46
INV. IN ELEV. + 340.25 (4'x4' BOX)
INV. IN ELEV. + 340.25 (42"x54" PIPE)
INV. IN ELEV. + 340.08 (60" RCP WITH FES/NATURAL GROUND # FES IS 341.22)
INV. OUT ELEV. + 338.63 (60" RCP)

EXISTING CURB INLET
RIM ELEV. 349.52
INV. IN ELEV. + 338.81 (42" RCP)
INV. OUT ELEV. + 338.15 (4" RCP)

EXISTING CURB INLET
RIM ELEV. 349.56
INV. IN ELEV. + 338.66 (42" RCP)
INV. OUT ELEV. + 338.65 (42" RCP W/FES)

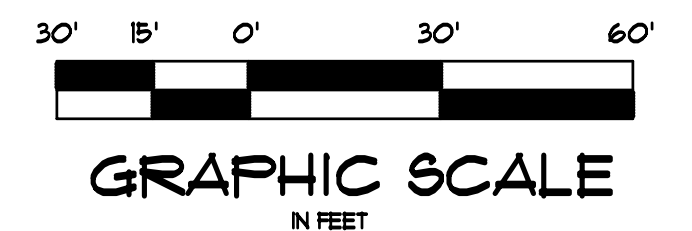
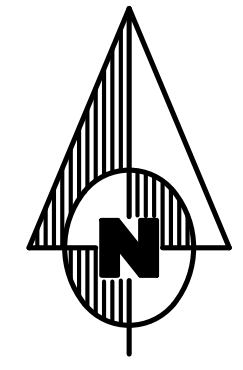
$\Delta = 71^{\circ}44'50"$
 $R = 30.00'$
 $L = 31.51'$

$\Delta = 20^{\circ}42'48"$
 $R = 230.00'$
 $L = 83.15'$

BM #1
ELEV. = 345.55

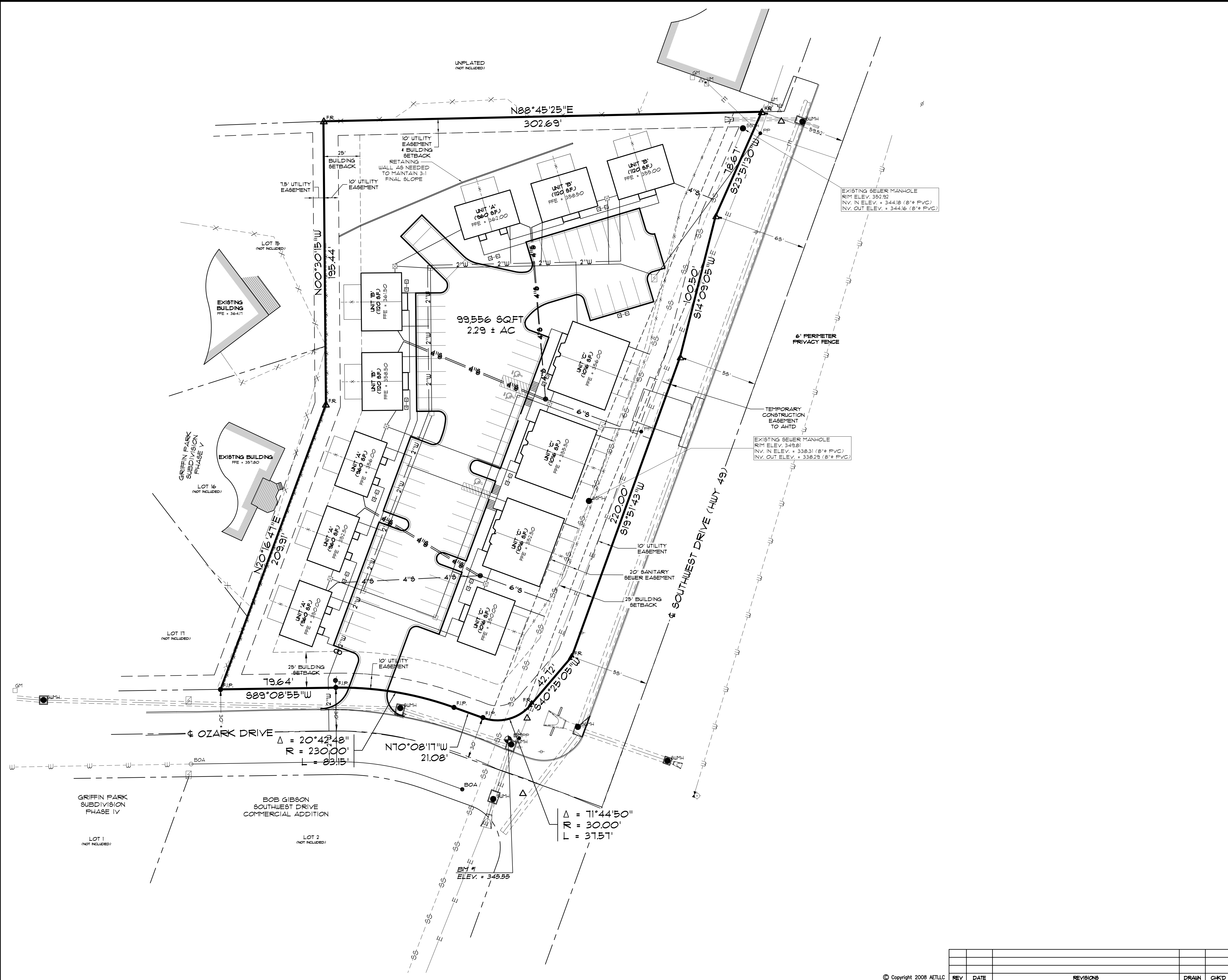
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CIVIL ENGINEERING, LAND SURVEYING AND MATERIALS TESTING
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
PH: 870-932-3934 FAX: 870-935-1263

EROSION CONTROL LAYOUT
OZARK MANOR
OZARK DR AND SOUTHWEST DR (HWY 49)
JONESBORO, ARKANSAS



ENGINEER'S NOTES

- FOR BENCHMARK LOCATION AND ELEVATION PLEASE REFER TO BENCHMARK LISTINGS ON SHEET 2 OF THESE PLANS.
- EASEMENTS ARE AS SHOWN.
- LOCATION OF UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY. EXACT LOCATION SHALL BE DETERMINED IN THE FIELD.
- THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY SITE WORK.
- WATER AND SANITARY SEWER SHALL MAINTAIN 10 FEET HORIZONTAL SEPARATION.
- THE INSTALLER OF THE SANITARY SEWER DISPOSAL SYSTEM MUST BE LICENSED IN THE STATE OF ARKANSAS TO INSTALL LOW PRESSURE PIPE SYSTEMS.
- ARCHITECT WILL SUBMIT PLUMBING PLANS TO STATE.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANY. CONTRACTOR ALSO SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO THE CONSTRUCTION OR CONNECTION TO ANY UTILITY, THE CONTRACTOR SHALL EXCAVATE AND VERIFY ALL UTILITY CROSSINGS AND REPORT THE OWNER'S REPRESENTATIVE OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION. THE COSTS OF SUCH PROTECTION IS INCLUDED IN THE BASE BID.
- EXISTING WATERLINE ALONG THE EAST SIDE OF SOUTHWEST DRIVE (HIGHWAY 49).
- EXISTING 8" PVC SANITARY SEWER LINE ALONG THE WEST SIDE OF SOUTHWEST DRIVE (HIGHWAY 49).
- CONTRACTOR SHALL COORDINATE UTILITY SERVICE CONNECTIONS WITH THE APPROPRIATE PROVIDER.
- REFER TO MECHANICAL PLANS FOR BUILDING CONNECTIONS DETAILS.

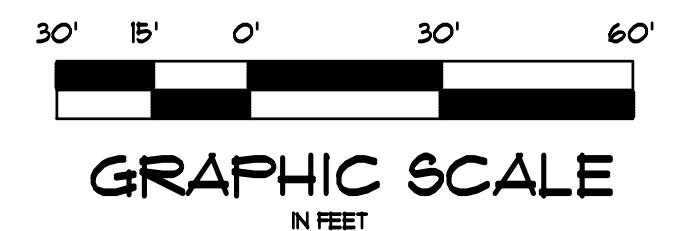
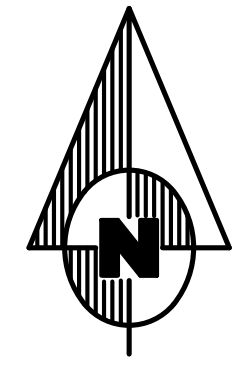


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SITE UTILITY LAYOUT
OZARK MANOR
OZARK DR AND SOUTHWEST DR (HWY 49)
JONESBORO, ARKANSAS

DRAWN: CC/CCH	CHECKED: KP	DATE: 05/23/08	SHEET
SCALE: 1" = 30'	CADD FILE: 0935-8DP	DWG#: 093021001	1 OF 10

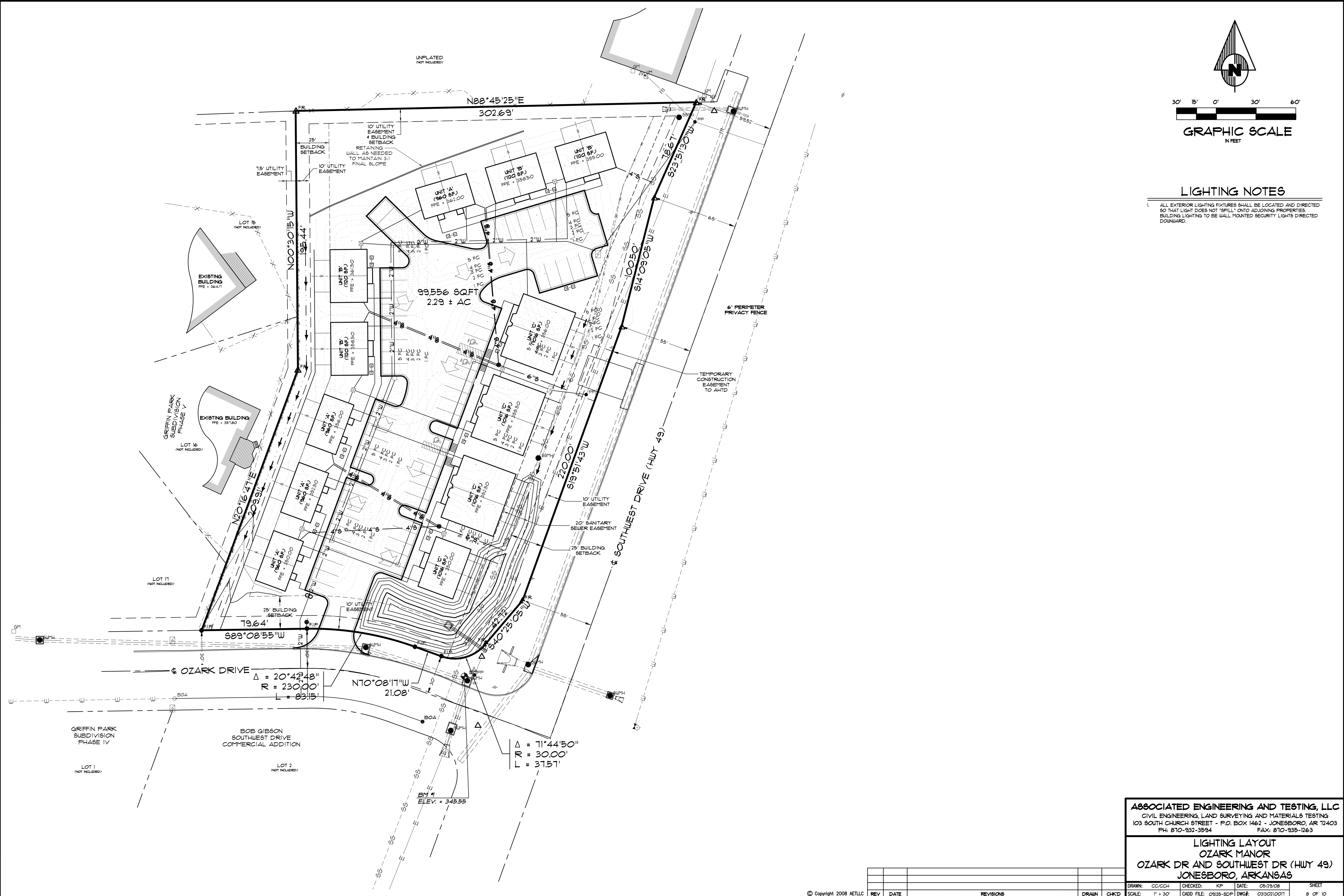
REV	DATE	REVISIONS	DRAWN	CHK'D



GRAPHIC SCALE
IN FEET

LIGHTING NOTES

1. ALL EXTERIOR LIGHTING FIXTURES SHALL BE LOCATED AND DIRECTED SO THAT LIGHT DOES NOT "SPILL" ONTO ADJOINING PROPERTIES. BUILDING LIGHTING TO BE WALL MOUNTED SECURITY LIGHTS DIRECTED DOWNWARD.



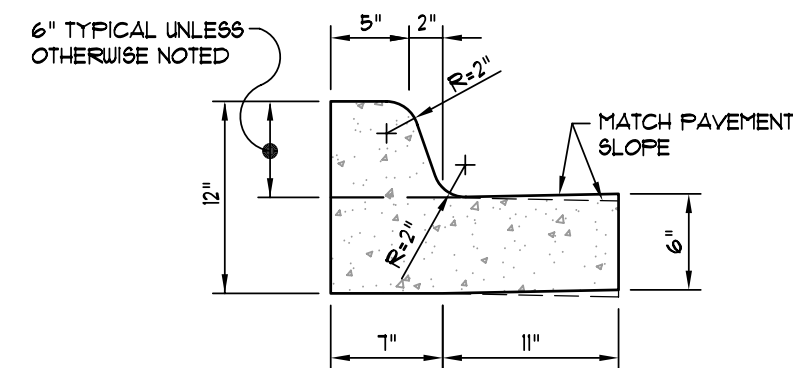
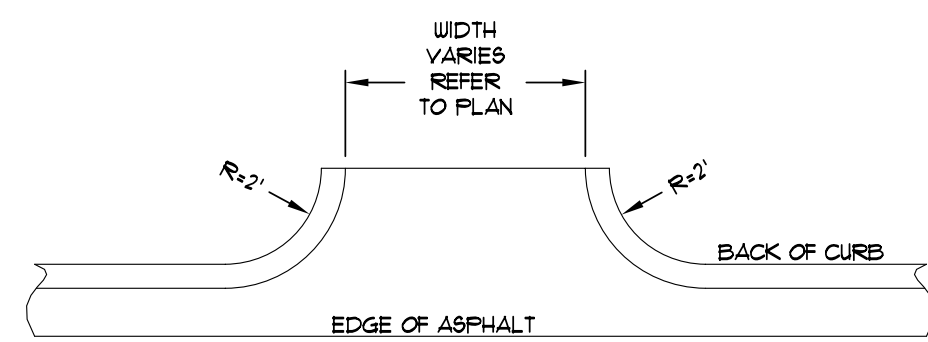
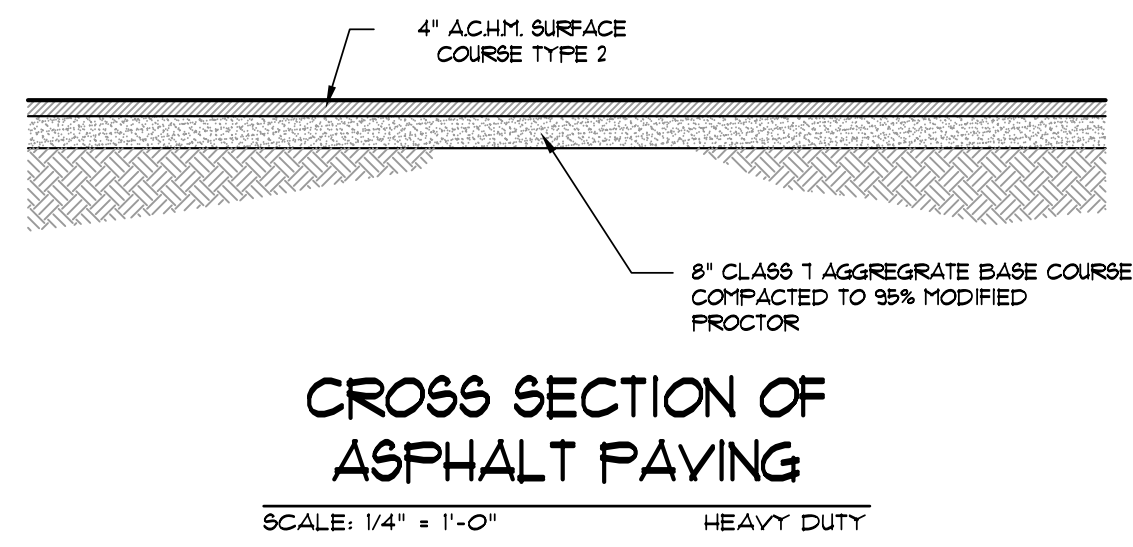
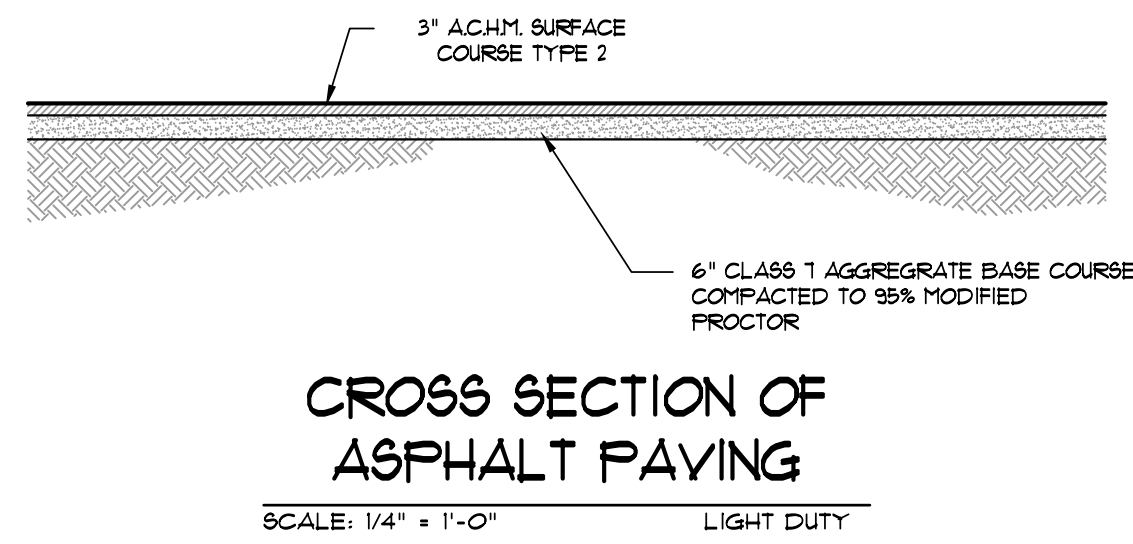
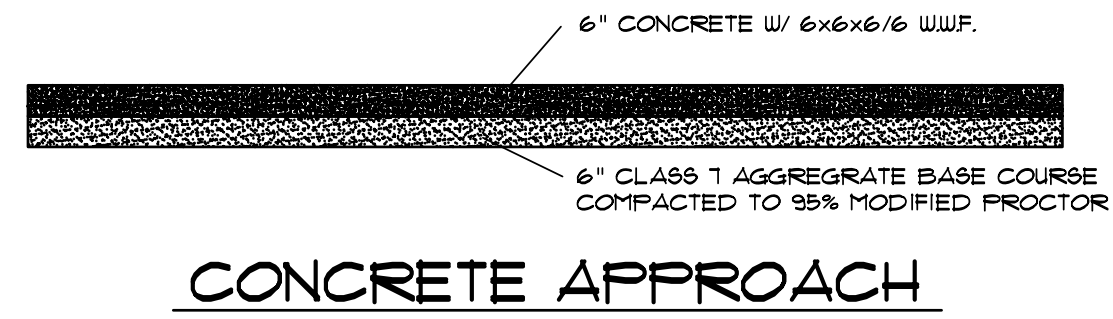
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LIGHTING LAYOUT
OZARK MANOR
OZARK DR AND SOUTHWEST DR (HWY 49)
JONESBORO, ARKANSAS

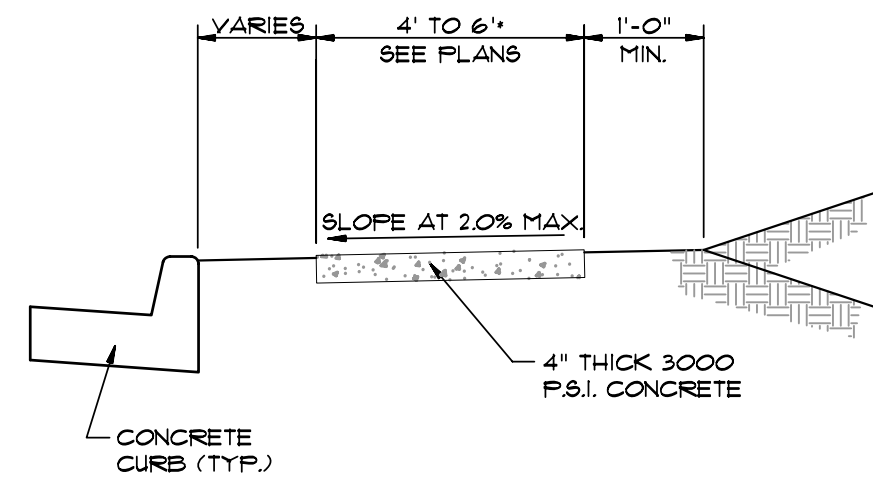
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DRAWN: CC/CCH	CHECKED: KP	DATE: 05/23/08	SHEET
SCALE: 1" = 30'	CADD FILE: 0935-8DP	DWG#: 093021001	8 OF 10

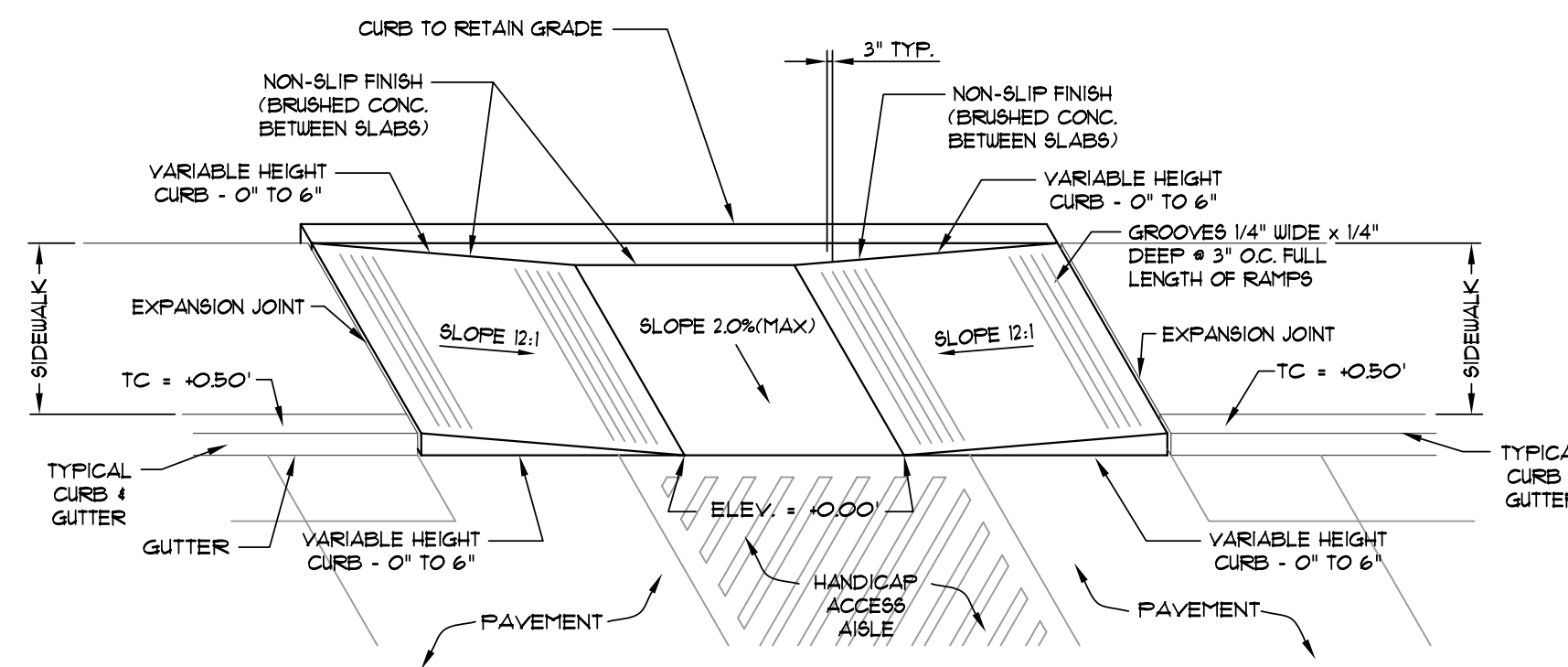


NOTE: CONTRACTION AND EXPANSION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

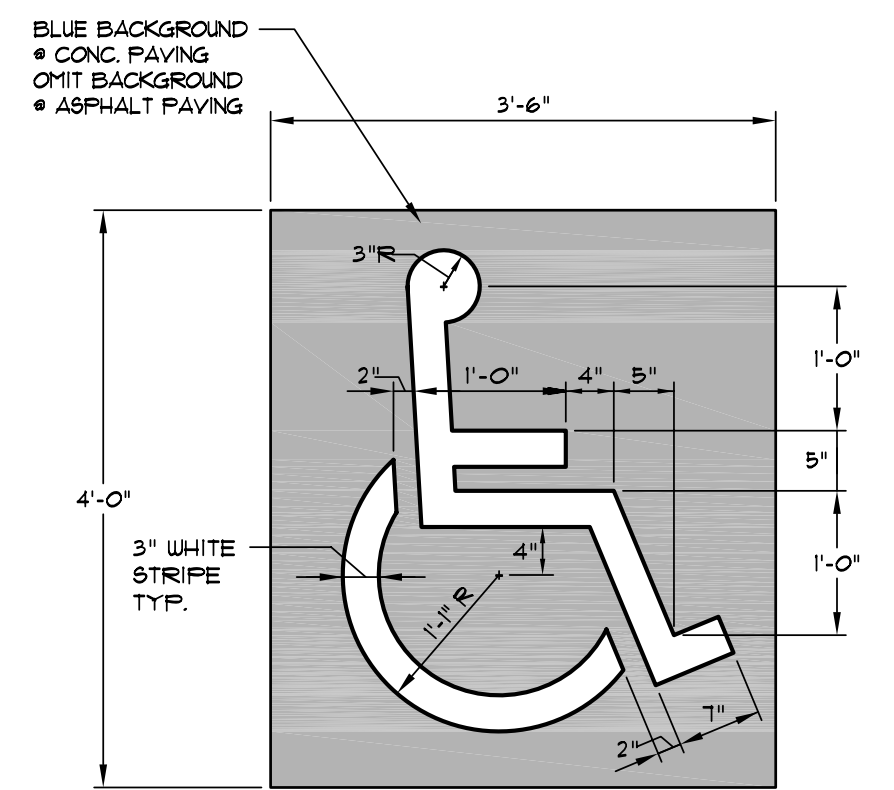


TYPICAL SECTION - SIDEWALK

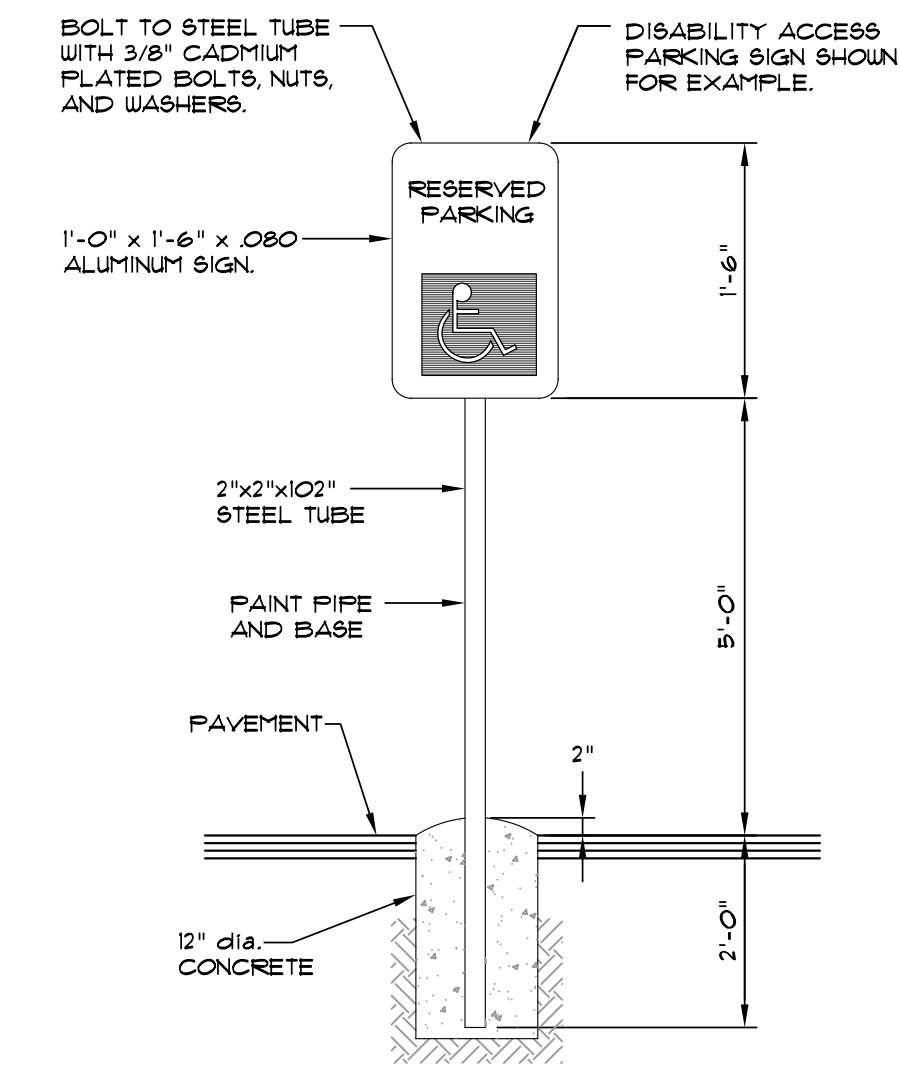
NOT TO SCALE
* MINIMUM WIDTH FOR SIDEWALK ADJACENT TO CURB IS 5' FOR CITY STREETS AND 6' FOR STATE OR U.S. HIGHWAYS.



HANDICAP ACCESS RAMP 'E' DETAIL
NOT TO SCALE

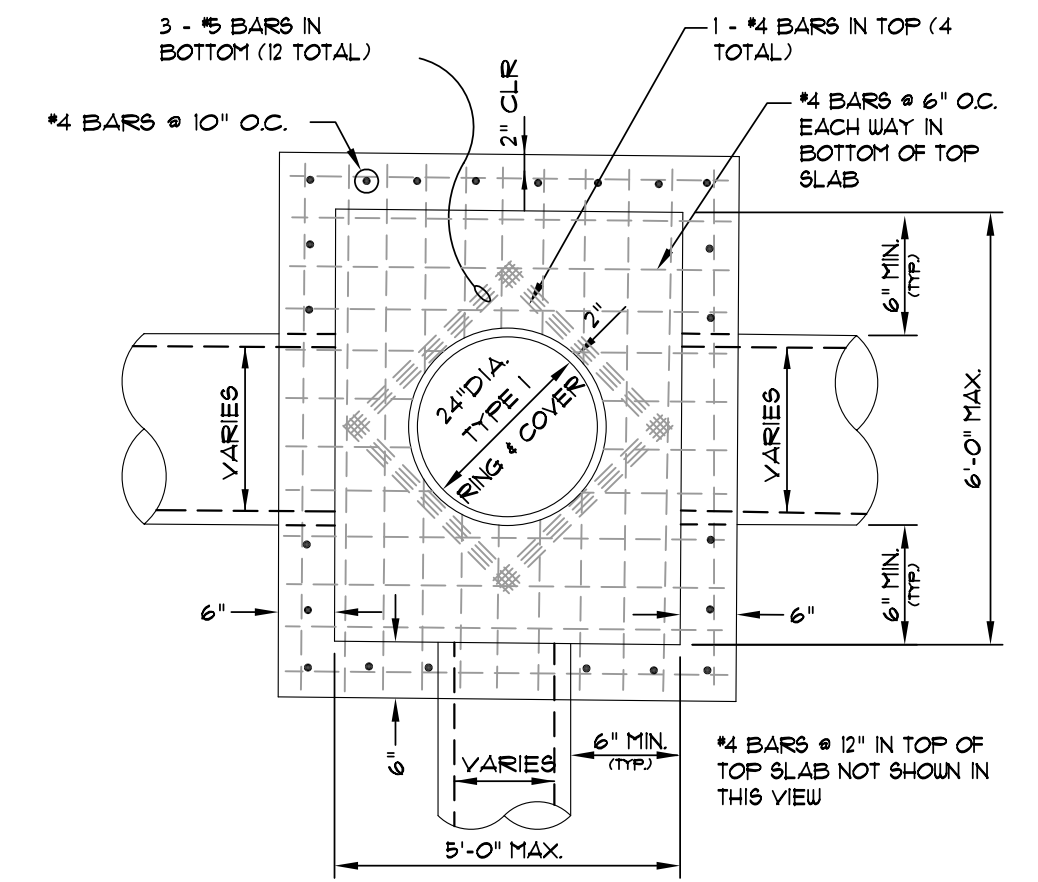


HANDICAP SYMBOL DETAIL
NOT TO SCALE



NOTE: ALL SIGNS SHALL CONFORM TO MUTCD AND SHALL BE HIGH INTENSITY.

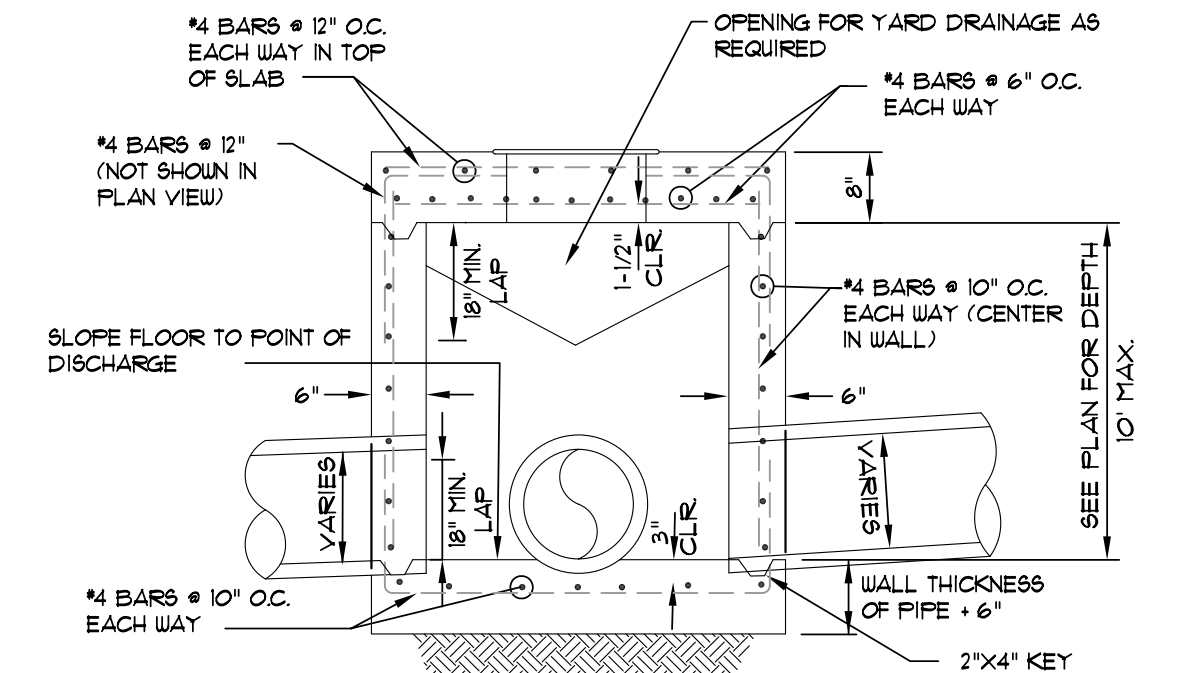
HANDICAP SIGN DETAIL
NOT TO SCALE



PLAN - JUNCTION BOX - LIGHT

SCALE: 1/4" = 1'-0"

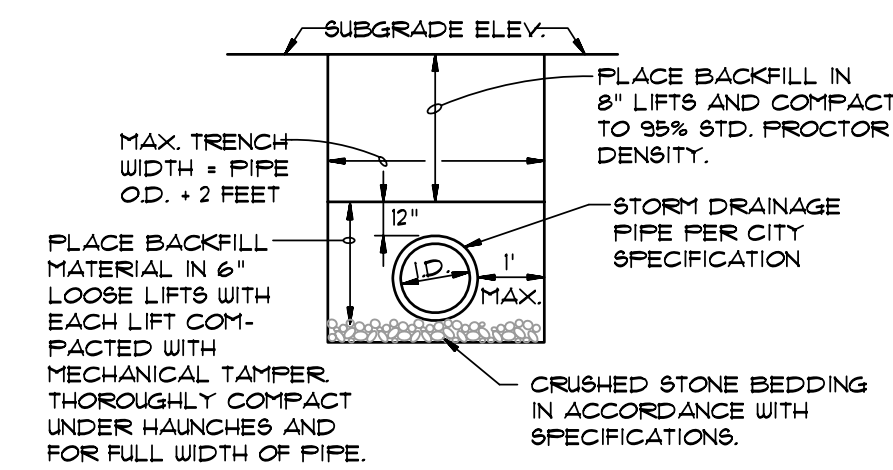
NOTE: DO NOT USE UNDER VEHICULAR TRAFFIC.



SECTION - JUNCTION BOX - LIGHT

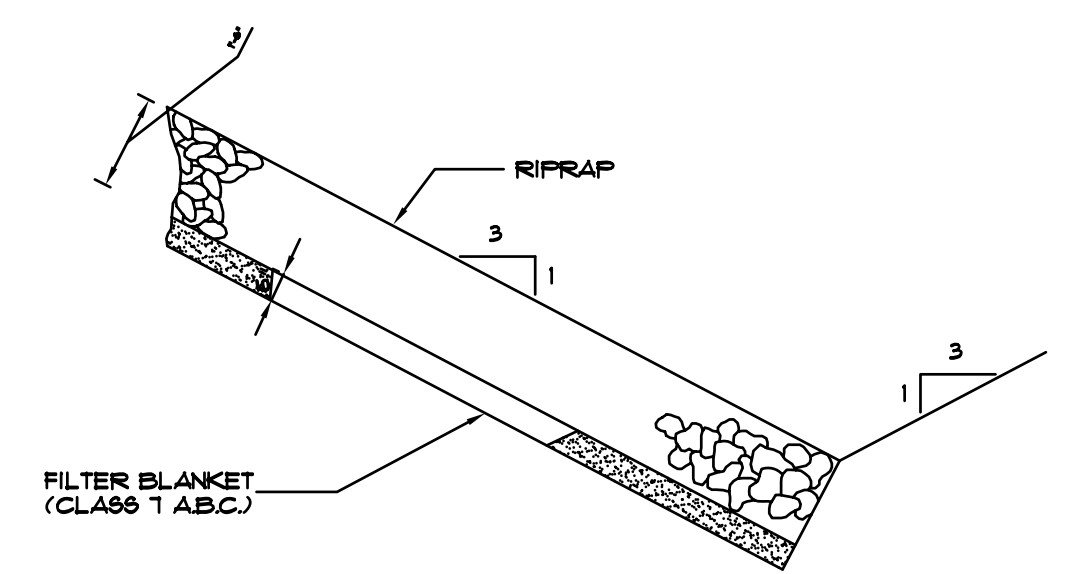
SCALE: 1/4" = 1'-0"

- NOTE: DO NOT USE UNDER VEHICULAR TRAFFIC.
- JUNCTION BOXES MORE THAN 3 FEET DEEP SHALL HAVE STANDARD MANHOLE STEPS PLACED @ 15" O.C.
 - SEE REINFORCING DETAIL FOR OPENING IN WALL OR SLAB.



DRAINAGE PIPE TRENCH DETAIL

NOTE: TO BE USED WITH NEW STREET CONSTRUCTION. SEE DRAWING NO. PT-1 FOR EXISTING STREET CUTS.



NOTE: IN LIEU OF AN AGGREGATE FILTER BLANKET, A SYNTHETIC FIBER GEOTEXTILE FABRIC MEETING THE REQUIREMENTS OF AASHTO M288 MAY BE USED. IN LIEU OF RIPRAP, AN EROSION CONTROL MAT MAY BE USED.

SECTION - DUMPED RIPRAP
TOE EXCAVATION IN SOIL

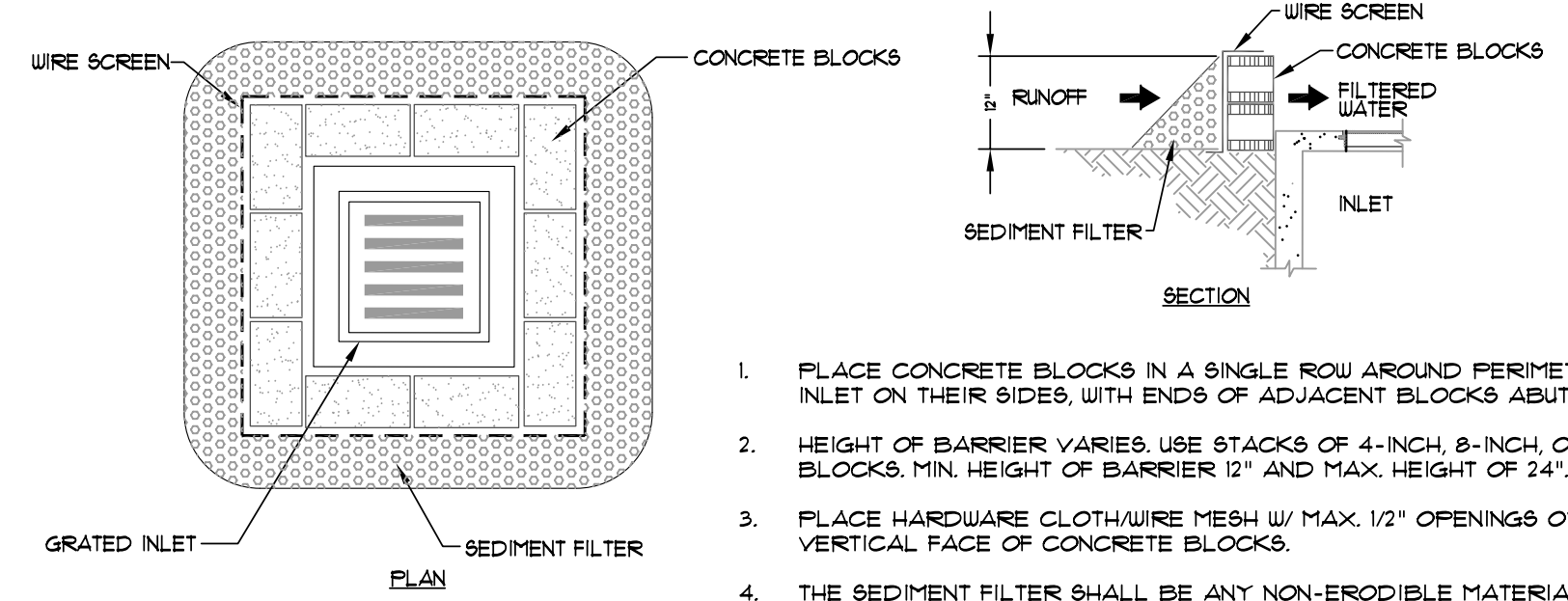
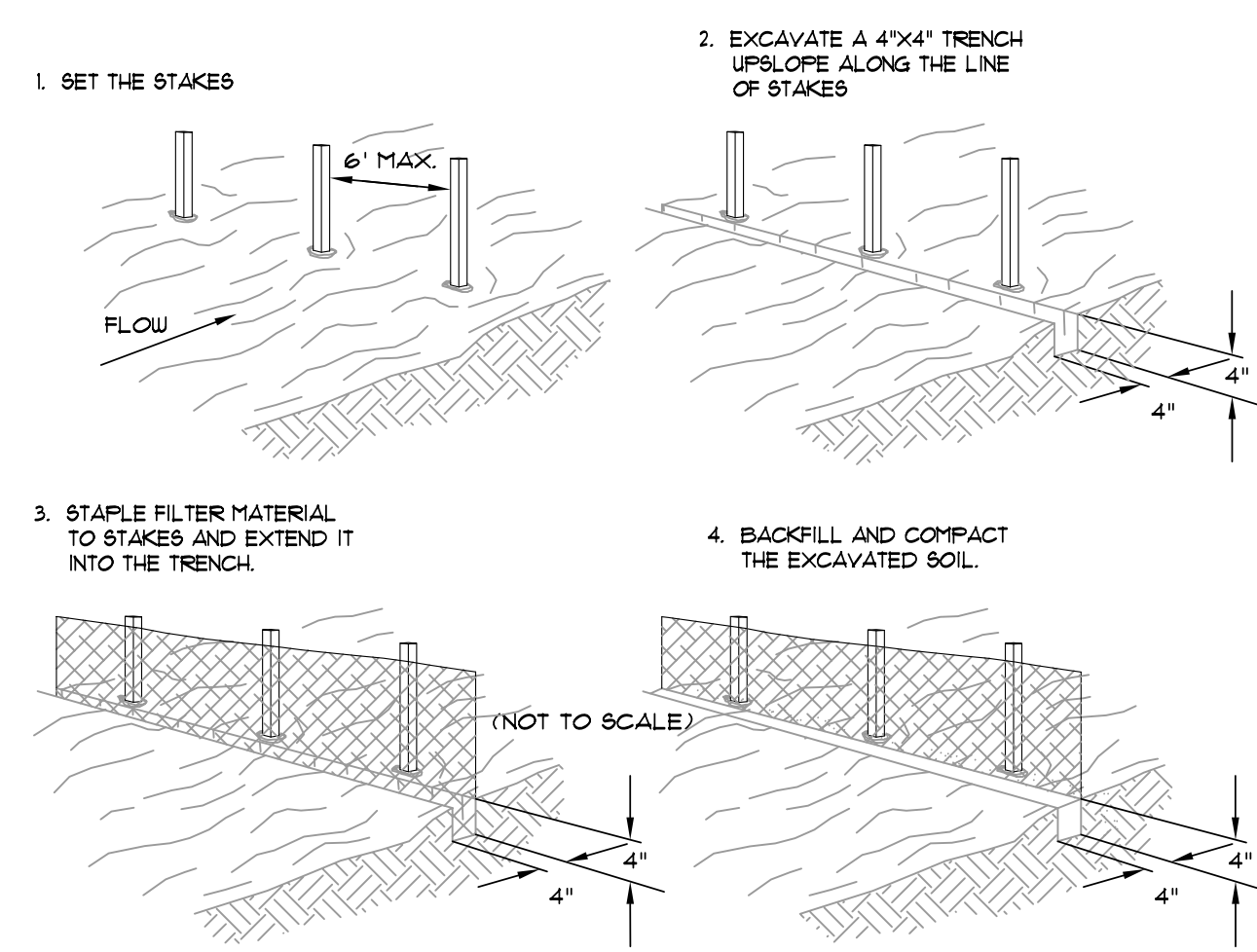
TYPE 'A' CURB & GUTTER DETAIL
NOT TO SCALE

REV	DATE	REVISIONS	DRAWN	CHK'D

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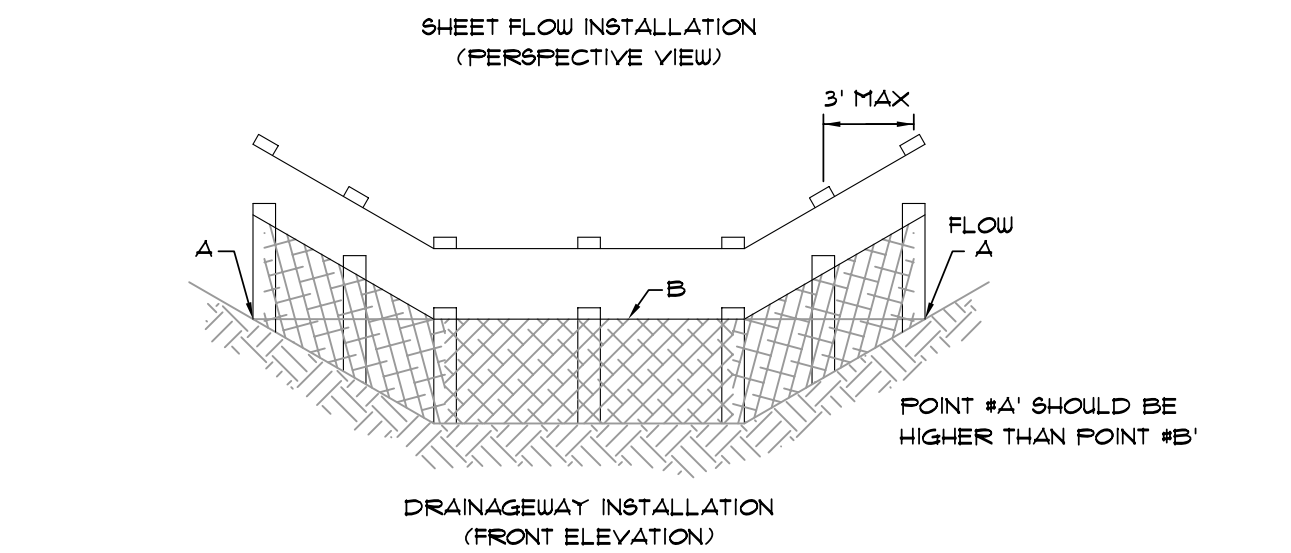
STANDARD DETAILS
OZARK MANOR
OZARK DR AND SOUTHWEST DR (HWY 49)
JONESBORO, ARKANSAS

DRAWN: CC/CCH	CHECKED: KP	DATE: 05/23/08	SHEET
SCALE: 1" = 30'	CADD FILE: 09335-8DP	DWG#: 0933021001	3 OF 10

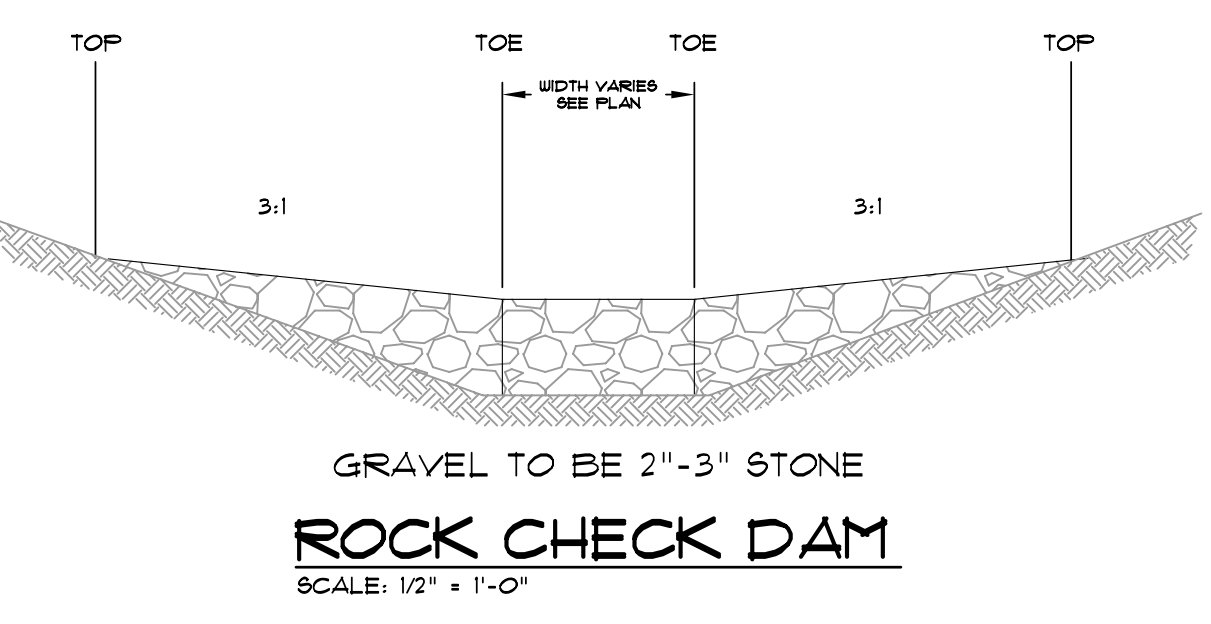
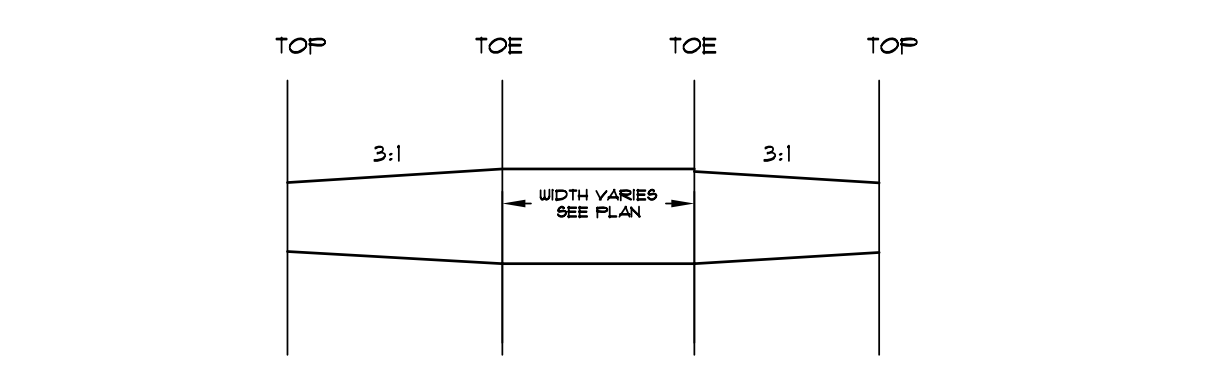


1. PLACE CONCRETE BLOCKS IN A SINGLE ROW AROUND PERIMETER OF INLET ON THEIR SIDES, WITH ENDS OF ADJACENT BLOCKS ABUTTING.
2. HEIGHT OF BARRIER VARIES USE STACKS OF 4-INCH, 8-INCH, OR 12\"/>

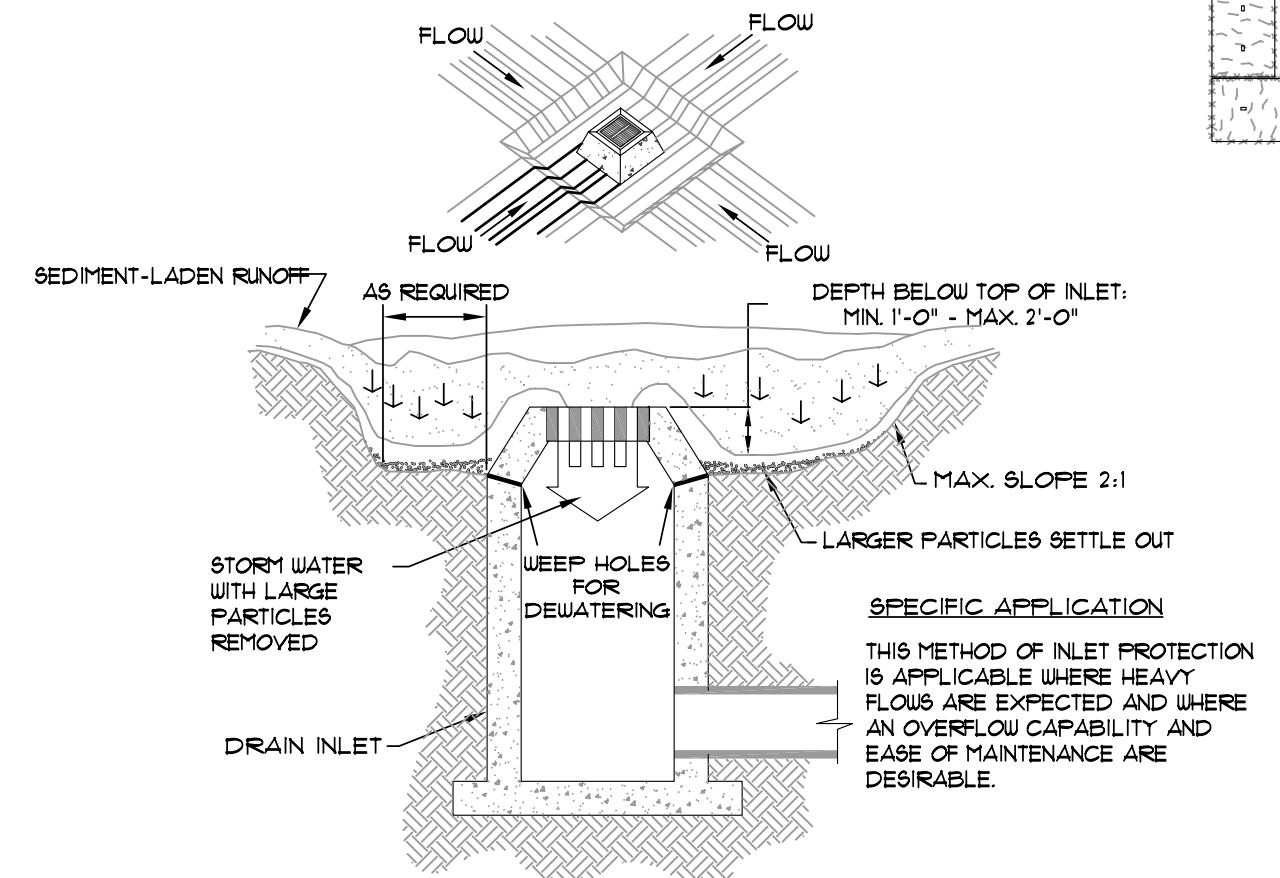
BLOCK AND AGGREGATE INLET SEDIMENT FILTER
SCALE: 1/2" = 1'-0"



FILTER BARRIER
SCALE: 1/4" = 1'-0"

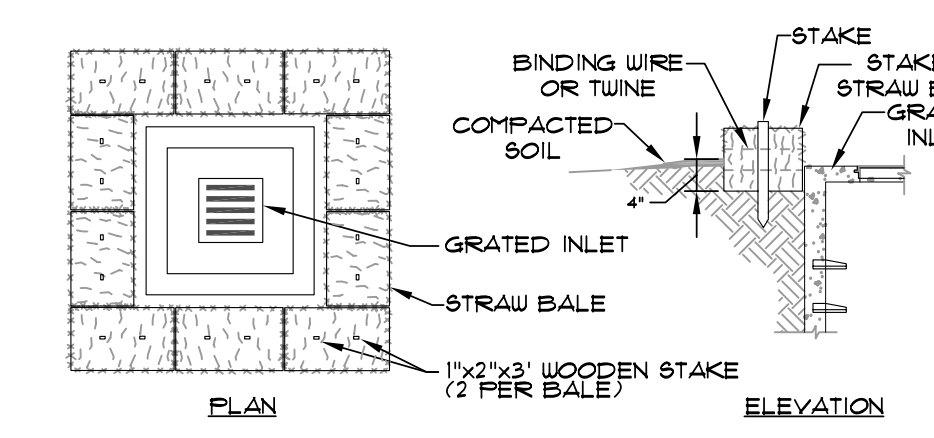


ROCK CHECK DAM
SCALE: 1/2" = 1'-0"

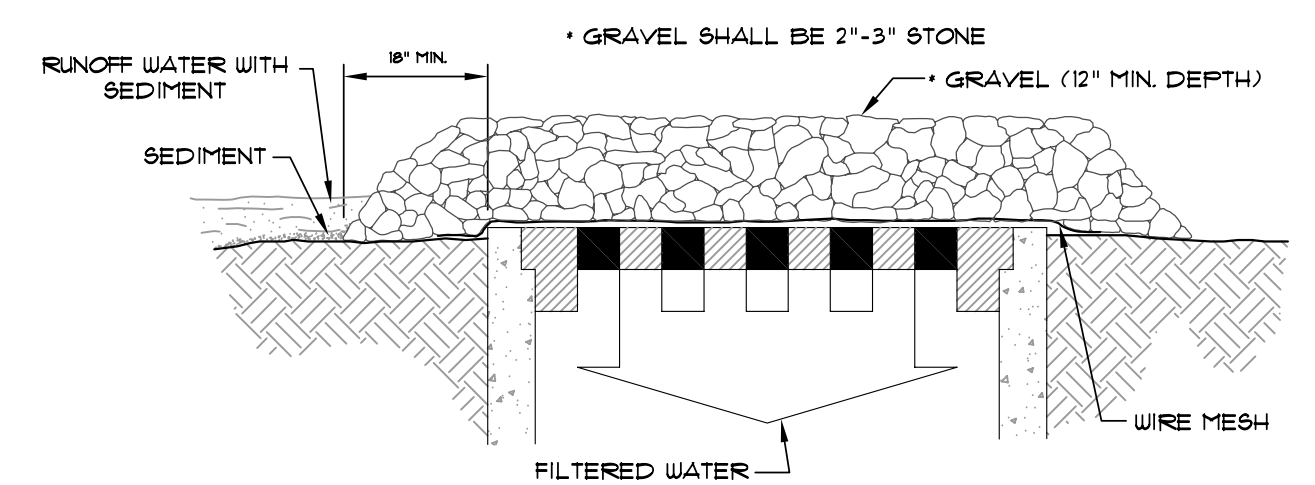


EXCAVATED INLET SEDIMENT TRAP
SCALE: 1/4" = 1'-0"

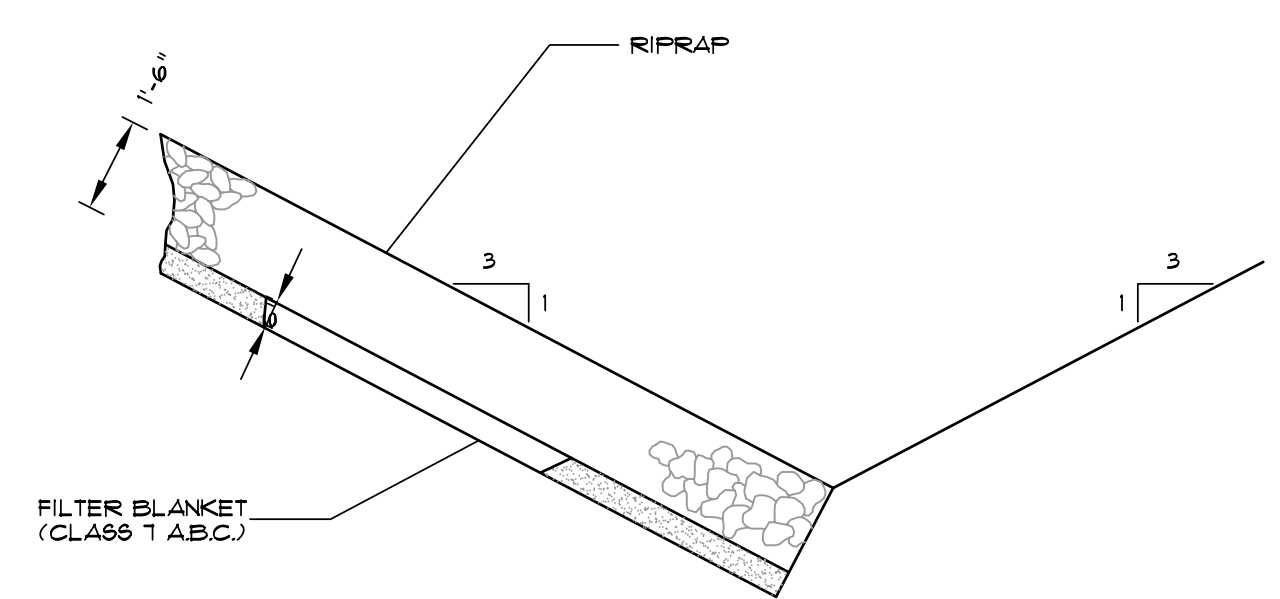
STRAW BALE INLET SEDIMENT FILTER
SCALE: 1/2" = 1'-0"



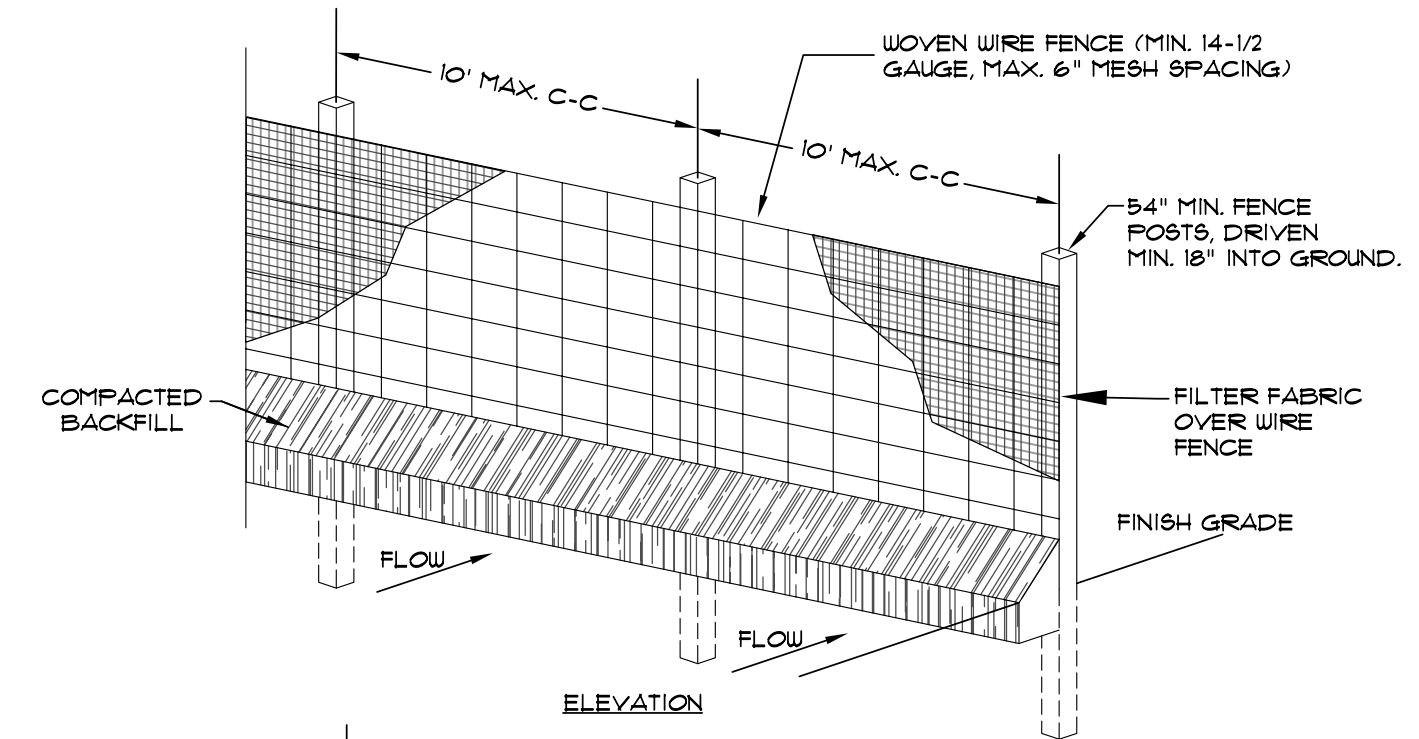
- GENERAL NOTES:
1. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
 2. BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH ENDS OF ADJACENT BALES FREESSED TOGETHER.
 3. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET THE WIDTH OF A BALE TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
 4. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
 5. LOOSE STRAW SHALL BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.



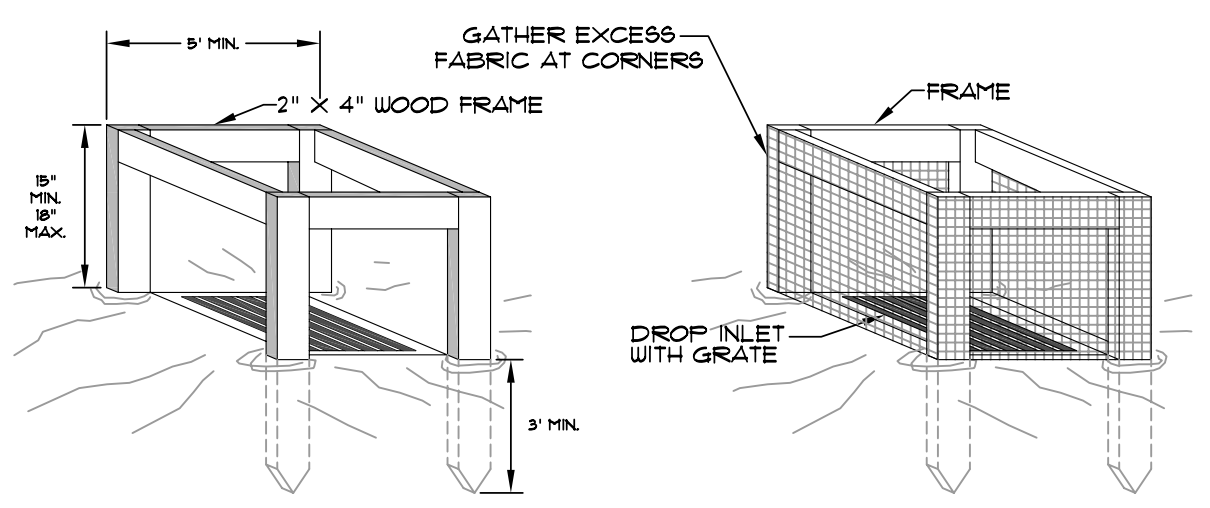
GRAVEL AND WIRE MESH INLET SEDIMENT FILTER
SCALE: 1/2" = 1'-0"



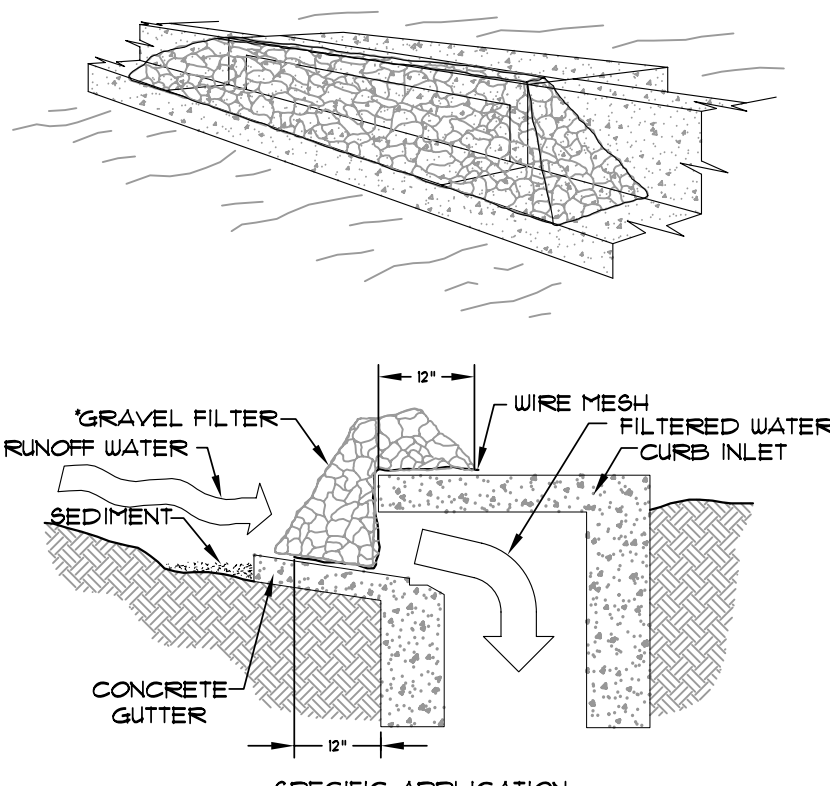
SECTION - DUMPED RIPRAP
TOE EXCAVATION IN SOIL



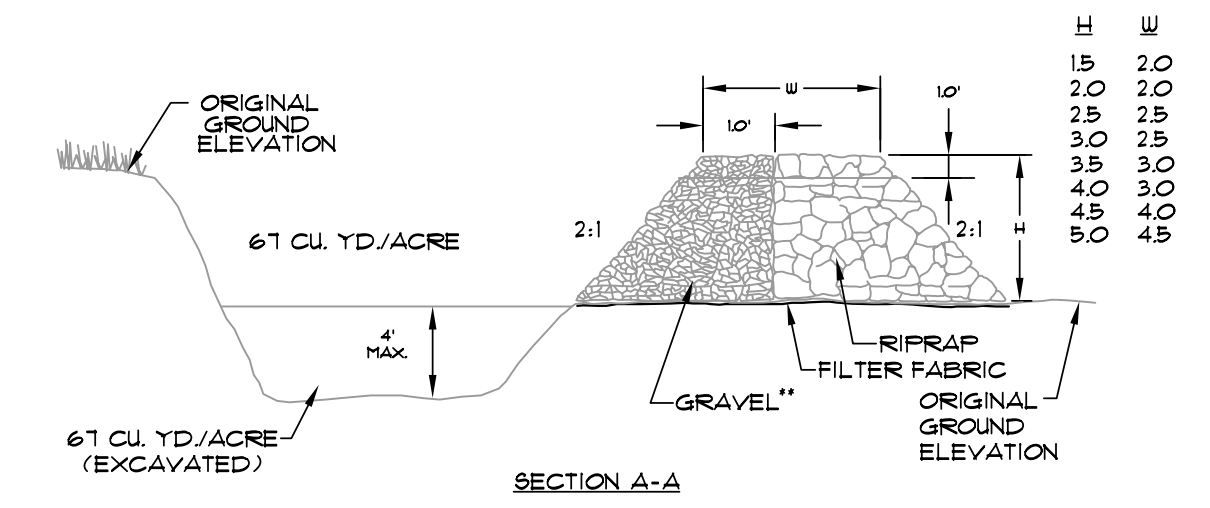
SEDIMENTATION/SILT FENCE
SCALE: 1/2" = 1'-0"



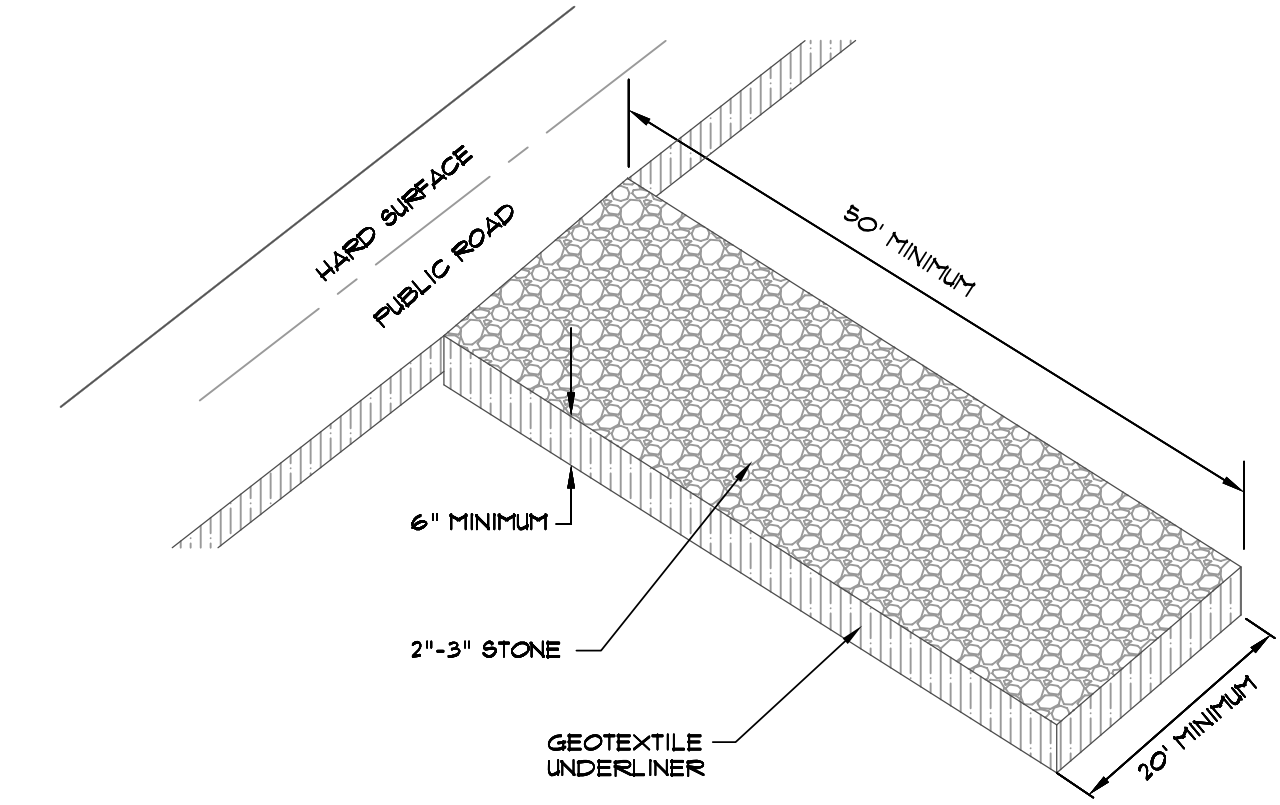
SILT FENCE INLET PROTECTION
SCALE: 1/2" = 1'-0"



GRAVEL CURB INLET SEDIMENT FILTER
SCALE: 1/2" = 1'-0"



TEMPORARY SEDIMENT TRAP
SCALE: 3/8" = 1'-0"



CONSTRUCTION ENTRANCE
SCALE: 1/2" = 1'-0"

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EROSION CONTROL DETAILS
OZARK MANOR
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