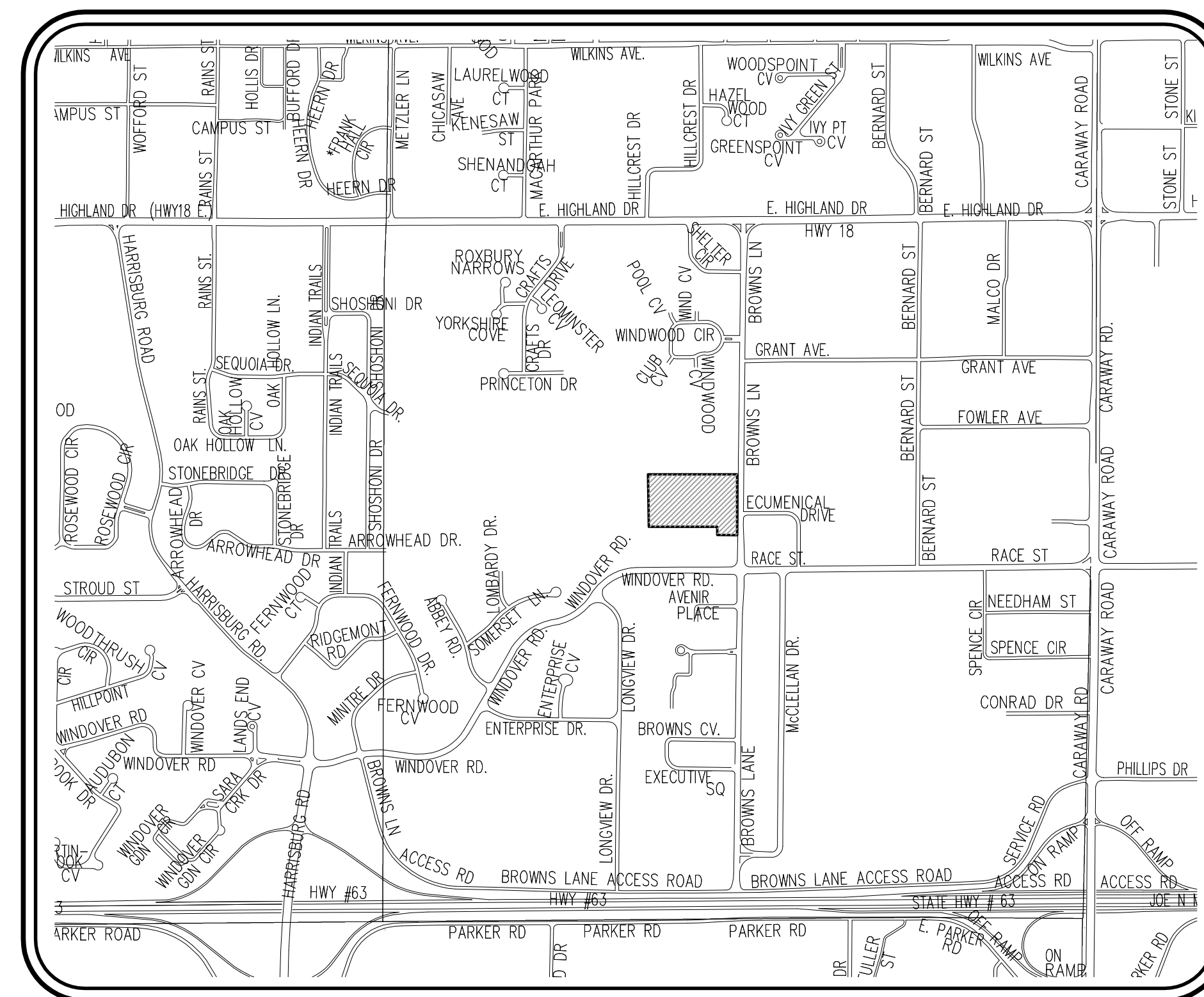


RITTER CENTRE

JONESBORO, ARKANSAS



Know what's below.
Call before you dig.



LEGEND

These standard symbols will be found in the drawing.

⊕	FIRE HYDRANT
⊗	WATER VALVE
- s - s - s - s -	EXISTING SANITARY SEWER LINE
- s -	PROPOSED SANITARY SEWER LINE
⊕	WATER METER
⊗	SPRINKLER VALVE
⊙	GAS METER
⊙	TELEPHONE PEDESTAL
●	POWER POLE
⊙	PROPOSED SEWER MANHOLE
⊙	EXISTING SEWER MANHOLE
x	BLOW OFF ASSEMBLY
- w - w - w - w -	EXISTING WATER LINE
- w - w - w - w -	PROPOSED WATER LINE
△	GAS MARKER

DEVELOPER:

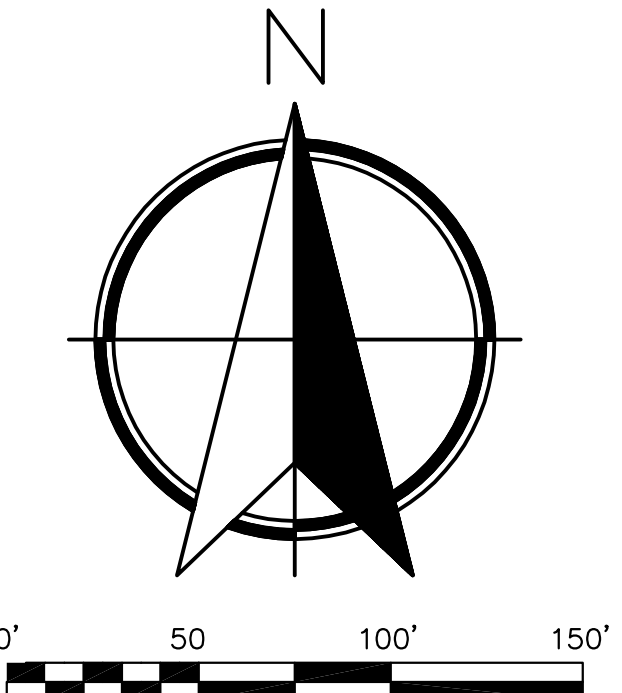
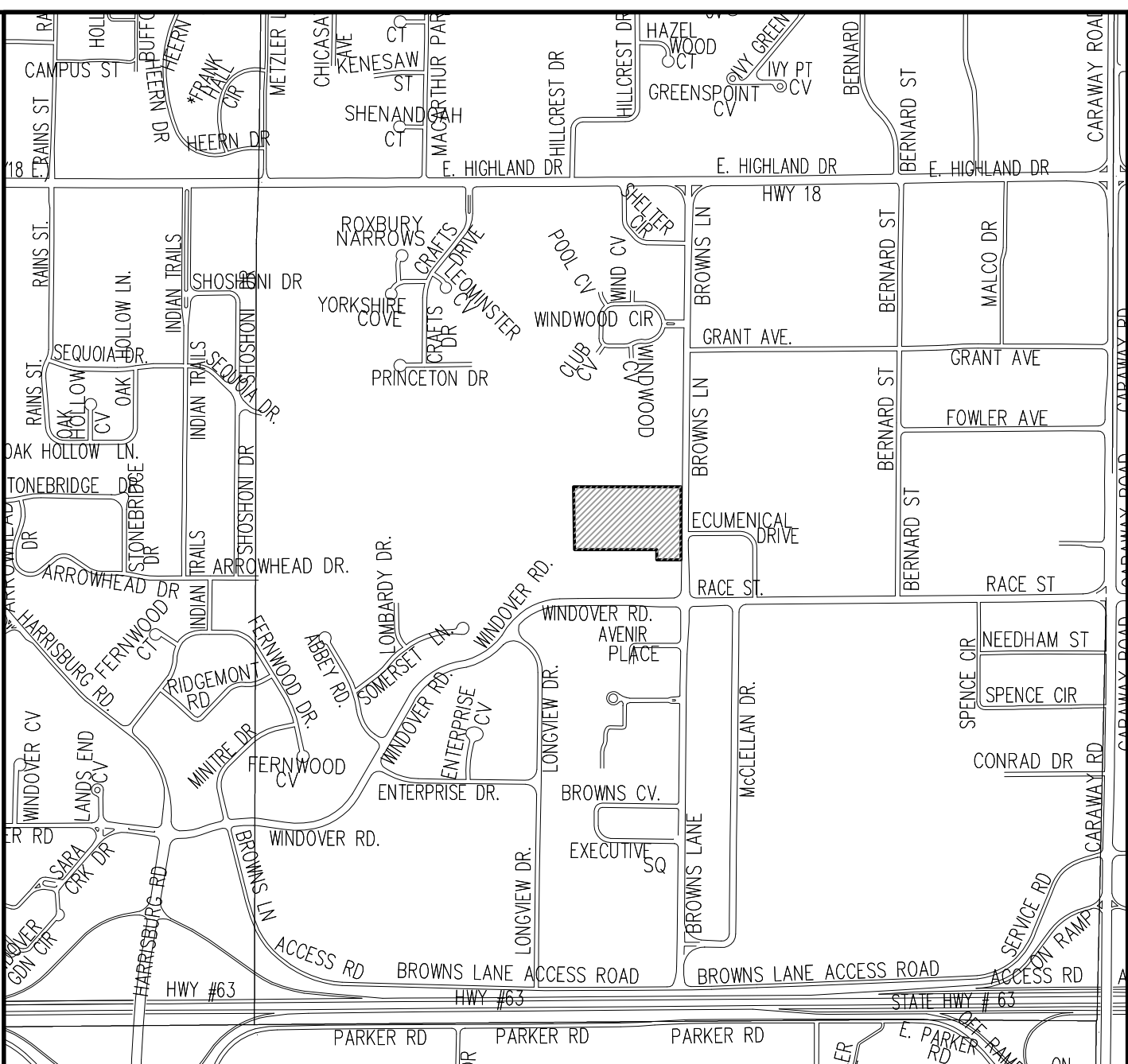
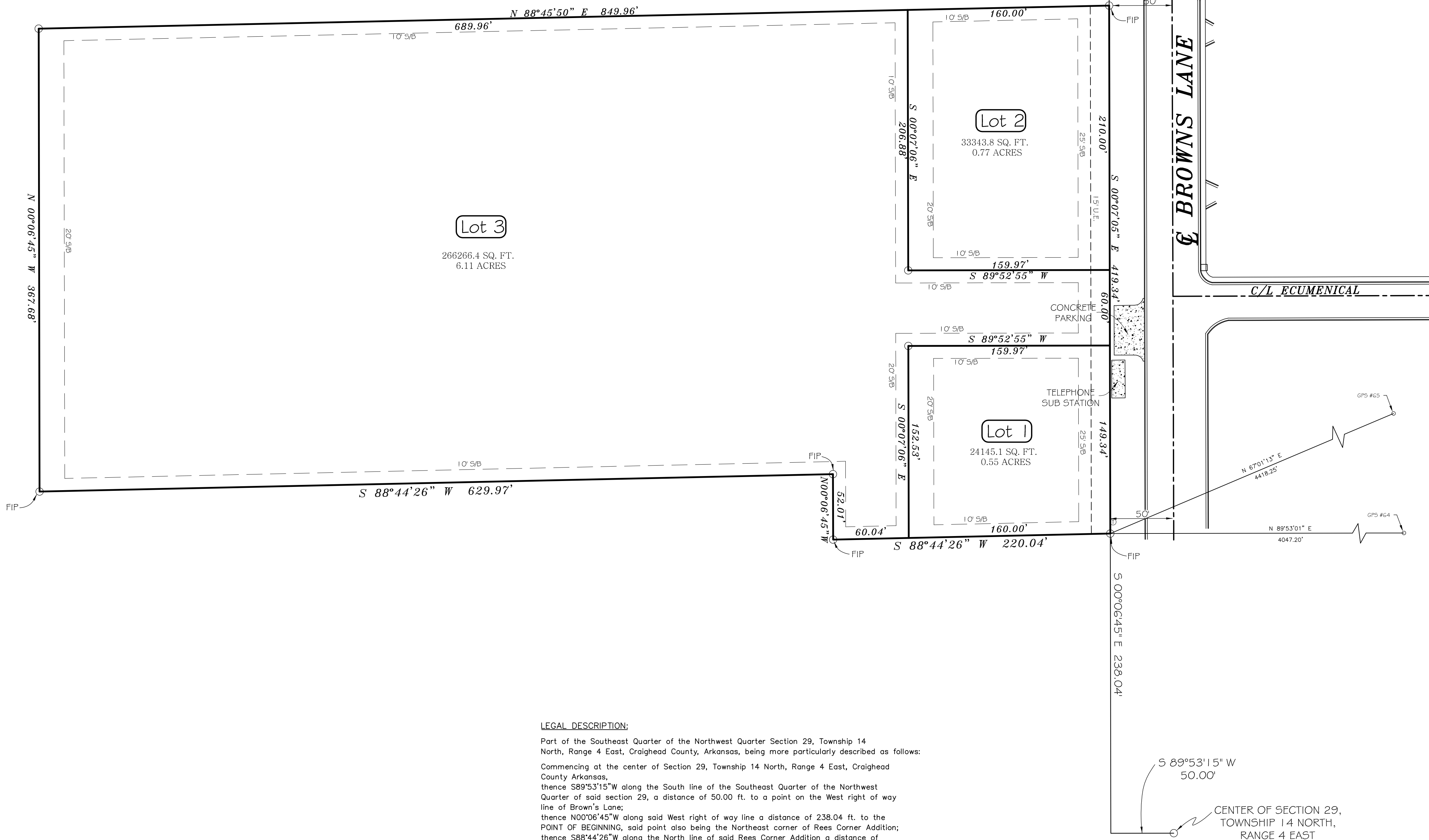
MR. PAUL WAITS, PRESIDENT
RITTER COMMUNICATIONS
3300 ONE PLACE
JONESBORO, AR 72404
870-336-2336

ENGINEER/SURVEYOR:

Civilogic
GEORGE HAMMAN, P.E., P.S.
203 SOUTHWEST DRIVE
JONESBORO, AR 72401
870-932-7880

INDEX OF SHEETS:

- 1) MINOR PLAT
- 2) PROPOSED MINOR PLAT
- 3) OVERALL UTILITY & DRAINAGE PLAN
- 4) OVERALL SANITARY SEWER PLAN
- 5) OVERALL DRAINAGE PLAN
- 6) OVERALL WATER DISTRIBUTION PLAN
- 7) SOIL & EROSION CONTROL PLAN
- 8) STREET PLAN & PROFILE
- 9) STREET PLAN & PROFILE
- 10) STREET CONSTRUCTION DETAILS
- 11) UTILITY CONSTRUCTION DETAILS
- 12) CLEARING LIMITS



RITTER COMMUNICATIONS
MINOR PLAT
JONESBORO, ARKANSAS

LEGAL DESCRIPTION:
Part of the Southeast Quarter of the Northwest Quarter Section 29, Township 14 North, Range 4 East, Craighead County, Arkansas, being more particularly described as follows:
Commencing at the center of Section 29, Township 14 North, Range 4 East, Craighead County Arkansas;
thence S89°53'15"W along the South line of the Southeast Quarter of the Northwest Quarter of said section 29, a distance of 50.00 ft. to a point on the West right of way line of Brown's Lane;
thence N00°06'45"W along said West right of way line a distance of 238.04 ft. to the POINT OF BEGINNING, said point also being the Northeast corner of Rees Corner Addition;
thence S88°44'26"W along the North line of said Rees Corner Addition a distance of 220.04 ft. to the Northwest corner of said Rees Corner Addition, point also lying on the East line of Dacus Windover 1st Addition;
thence N00°06'45"W along said East line 52.01 ft. to the Northeast corner of said Dacus Windover 1st Addition;
thence S88°44'26"W along the North line of said Dacus Windover 1st Addition a distance of 629.97 ft. to a point;
thence N00°06'45"W a distance of 367.68 ft. to a point;
thence N88°45'50"E a distance of 849.96 ft. to a point on the West right of way line of Brown's Lane;
thence S00°07'05"E along said right of way line a distance of 419.34 ft. to the POINT OF BEGINNING, containing in all 7.43 acres, more or less and being subject to easements, restrictions, reservations and rights of way of record.

OWNER'S CERTIFICATION:
We hereby certify that we are the owners of the property shown and described hereon, that we adopt the plan of subdivision and dedicate perpetual use of all streets and easements as noted.
The sub-divider or developer must, before the sale of any lot or lots, either complete the improvements defined in Section 15.16.01 of the Jonesboro Subdivision Regulations and as specifically identified on this Record Plat and supporting plans and documentation OR furnish the Metropolitan Area Planning Commission evidence that an appropriately funded escrow agreement in the amount of the contract cost of improvements required by Section 15.16.01 that are not completed at the date of sale of the lot or lots from the closest improved street to and including all front footage of said lot or lots.
The record plat or plats will not be signed by the Chairman and Secretary of the Metropolitan Area Planning Commission until all conditions imposed by the Commission have been satisfied and all required site improvements have been either completed or their completion guaranteed and secured by an appropriate financial instrument.

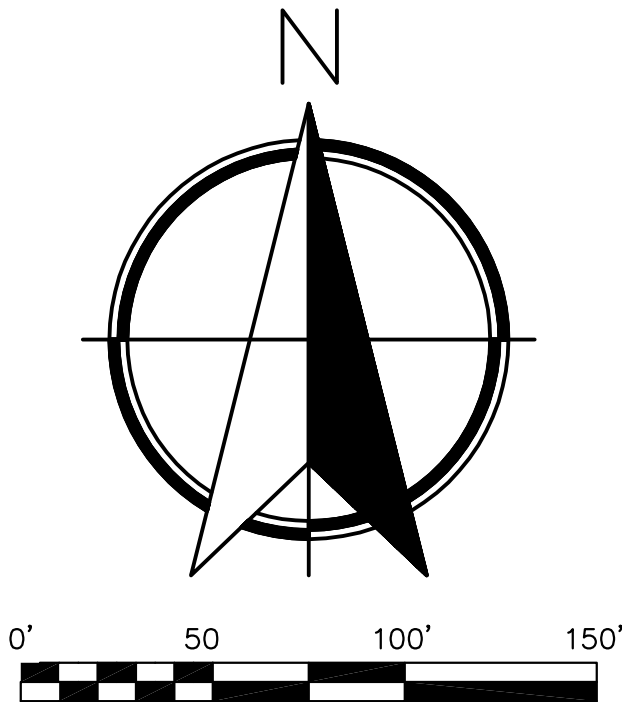
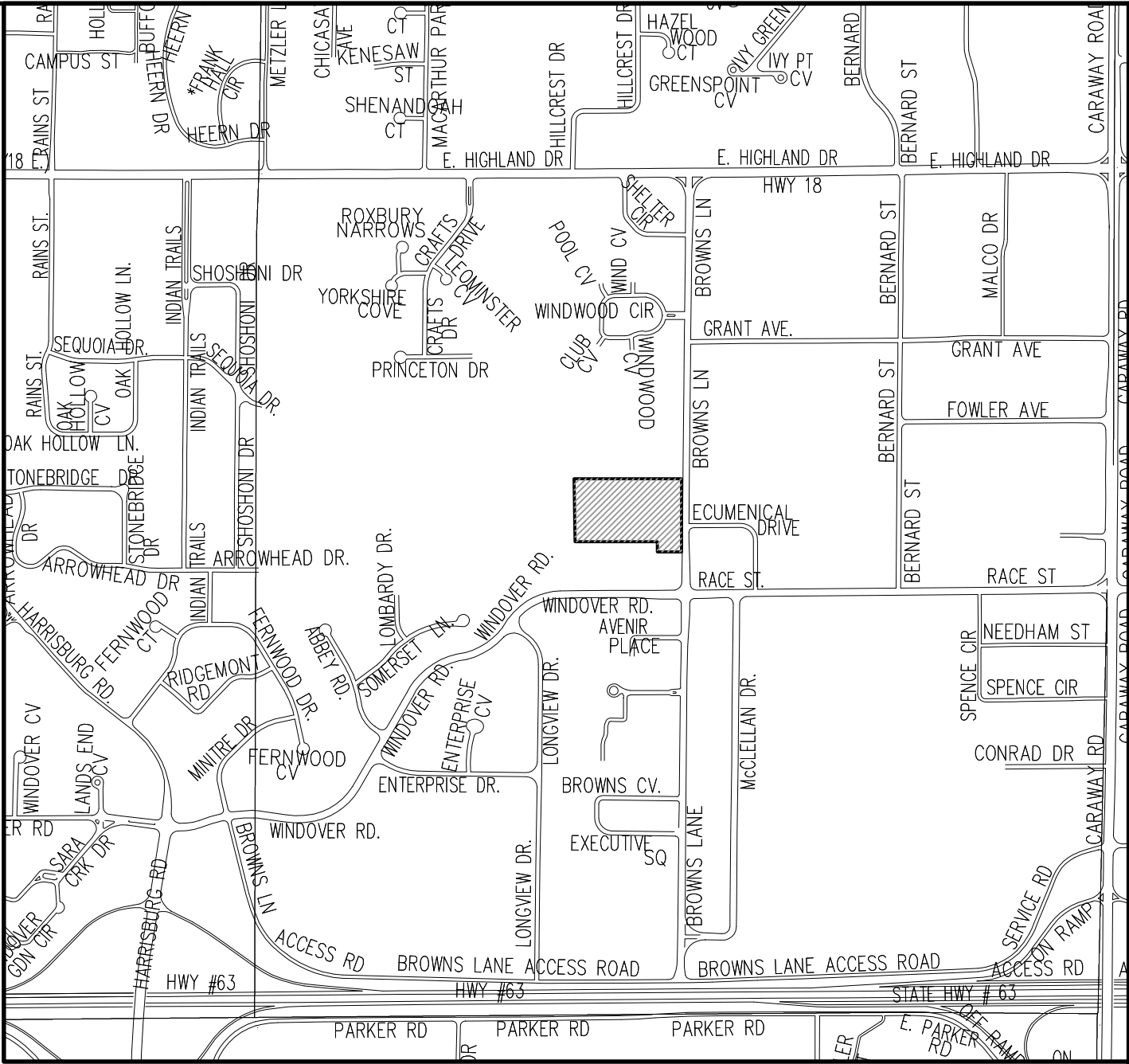
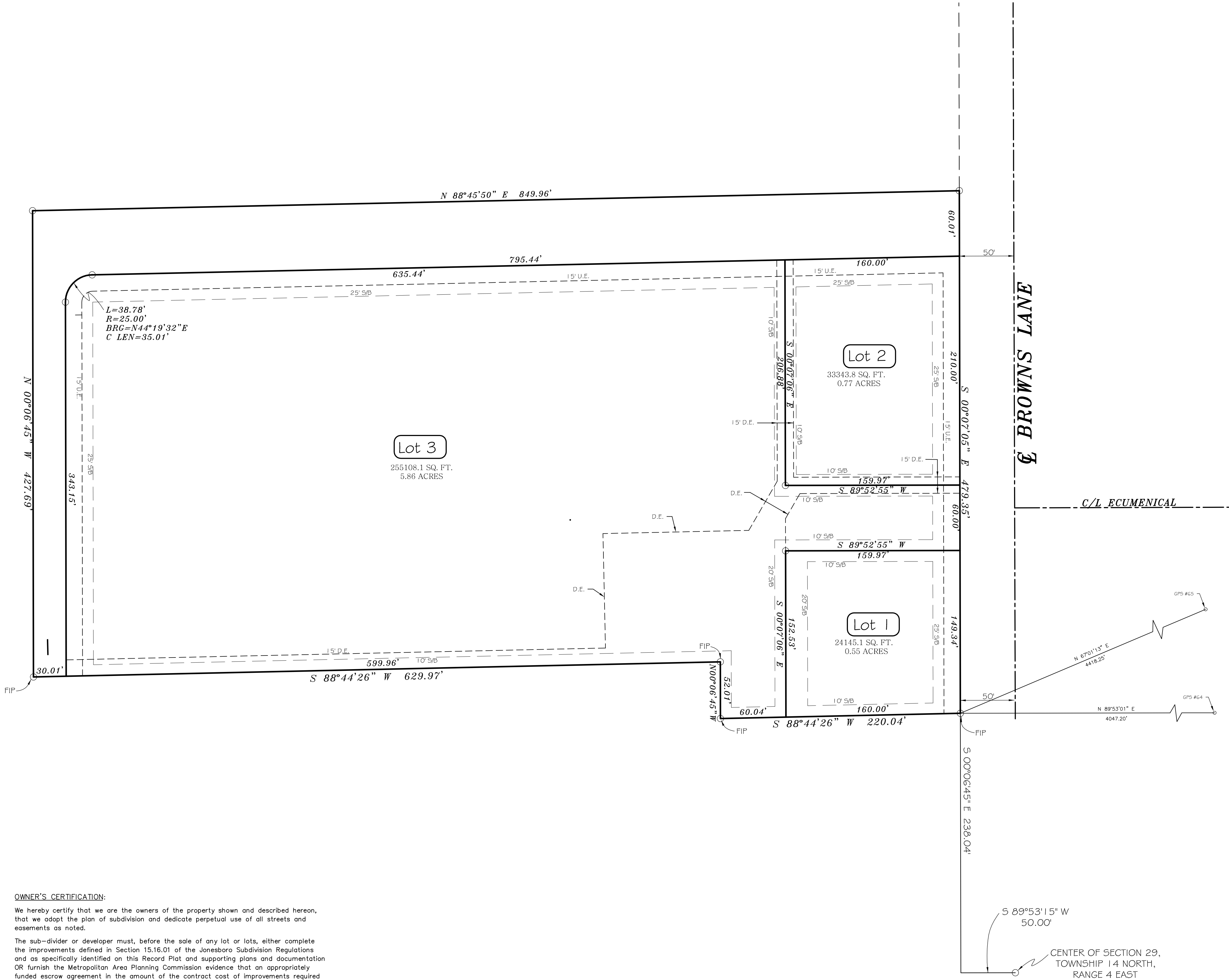
CERTIFICATE OF SURVEY:
To all parties interested in Title to these premises: I hereby certify that I have prior to this day made a survey of the above described property as shown on the Plat of Survey hereon. The property lines and corner monuments, to the best of my knowledge and ability, are correctly established: the improvements are as shown on the Plat of Survey. Encroachments, if any, as disclosed by Survey, are shown hereon.

CITY OF JONESBORO
Jonesboro, AR
PRELIMINARY
FINAL
AS NOTED
SITE PLAN
PLANNING
ENGINEERING
DATE

COUNTY RECORDING STAMP
BOOK
PAGE
DATE
CRAIGHEAD COUNTY
ANN HUSON, CLERK
BY

- NOTES:
- 1) THIS SURVEY AND PLAT ARE THE PROPERTY OF THE SURVEYOR AND ARE INTENDED FOR THE SOLE USE AND BENEFIT OF THE SURVEYOR & CLIENT.
 - 2) THE BOUNDARY INFORMATION SHOWN HEREON WAS ESTABLISHED FROM A PREVIOUS SURVEY BY ASSOCIATED ENGINEERING AND TESTING, LLC, SURVEY DATED 2-05-07.
 - 3) THE RESEARCH COMPLETED FOR THIS SURVEY INCLUDES LEGAL DESCRIPTION, AND PREVIOUS SURVEY PROVIDED.
 - 4) ALL PINS SET ARE "X" REBAR, UNLESS NOTED OTHERWISE.
 - 5) FLOOD PLAN: THIS TRACT DOES/DOES NOT LIE WITHIN THE 100-YR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP OF CRAIGHEAD CO., ARK. AND INCORPORATED AREAS, COMMUNITY PANEL NO. 0503100132 C, DATED 09/27/91. THIS TRACT DOES LIE WITHIN A ZONE "X" FLOOD PLAIN, FOR THE MAP REFERENCED ABOVE.
 - 6) THIS PROPERTY IS ZONED: C-3 LUO

ENGINEERS PLANNERS SURVEYORS
Civilogic
203 Southwest Dr.-Jonesboro, AR-(870)932-7880-www.civilogic.net
MINOR PLAT
OF
PART OF SECTION 29
TOWNSHIP 14 NORTH, RANGE 4 EAST
FOR
RITTER COMMUNICATIONS
Date 01-21-10 Scale 1"=50' Job No. 109026 Sheet No. 1 of 12
Section 29 Township 14N Range 4E County CRAIGHEAD
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES
© 2010, Civilogic Drawn By: RE Checked By: GH
REGISTERED
STATE OF ARKANSAS
No. 1590
SIGNATURE
DATE
PROFESSIONAL SURVEYOR
DANNY R. BURNS
01-21-10
CERTIFICATE OF AUTHORIZATION
CIVILOGIC
No. 329
ARKANSAS-ENGINEER



RITTER COMMUNICATIONS
MINOR PLAT
JONESBORO, ARKANSAS

OWNER'S CERTIFICATION:

We hereby certify that we are the owners of the property shown and described hereon, that we adopt the plan of subdivision and dedicate perpetual use of all streets and easements as noted.

The sub-divider or developer must, before the sale of any lot or lots, either complete the improvements defined in Section 15.16.01 of the Jonesboro Subdivision Regulations and as specifically identified on this Record Plat and supporting plans and documentation OR furnish the Metropolitan Area Planning Commission evidence that an appropriately funded escrow agreement in the amount of the contract cost of improvements required by Section 15.16.01 that are not completed at the date of sale of the lot or lots from the closest improved street to and including all front footage of said lot or lots.

The record plat or plats will not be signed by the Chairman and Secretary of the Metropolitan Area Planning Commission until all conditions imposed by the Commission have been satisfied and all required site improvements have been either completed or their completion guaranteed and secured by an appropriate financial instrument.

CERTIFICATE OF SURVEY:

To all parties interested in Title to these premises: I hereby certify that I have prior to this day made a survey of the above described property as shown on the Plat of Survey hereon. The property lines and corner monuments, to the best of my knowledge and ability, are correctly established: the improvements are as shown on the Plat of Survey. Encroachments, if any, as disclosed by Survey, are shown hereon.

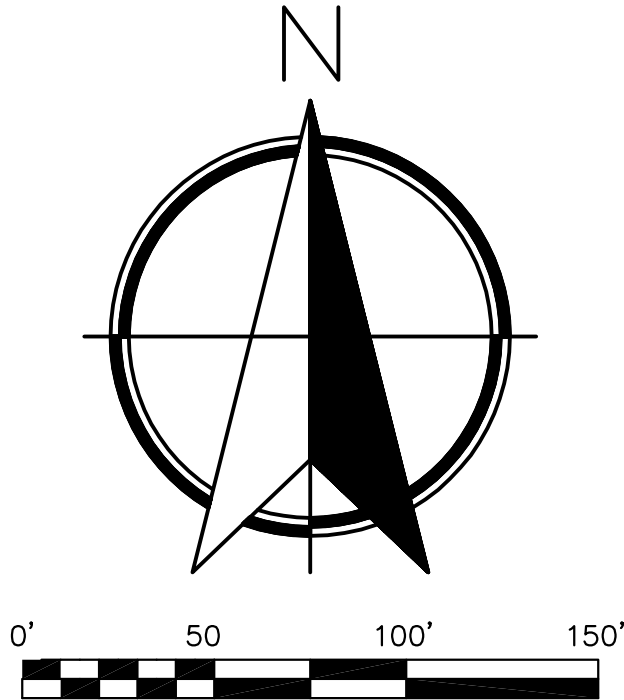
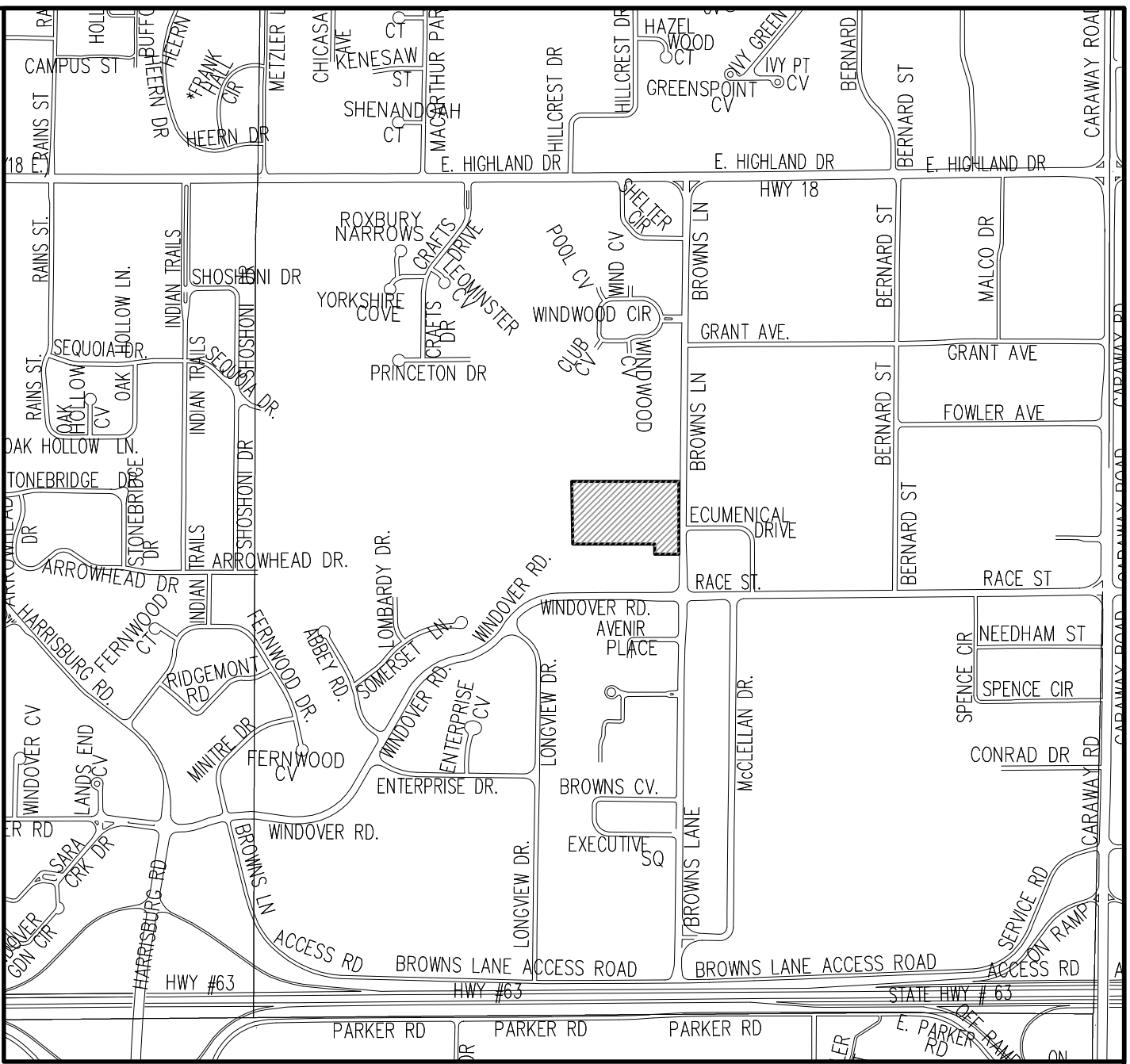
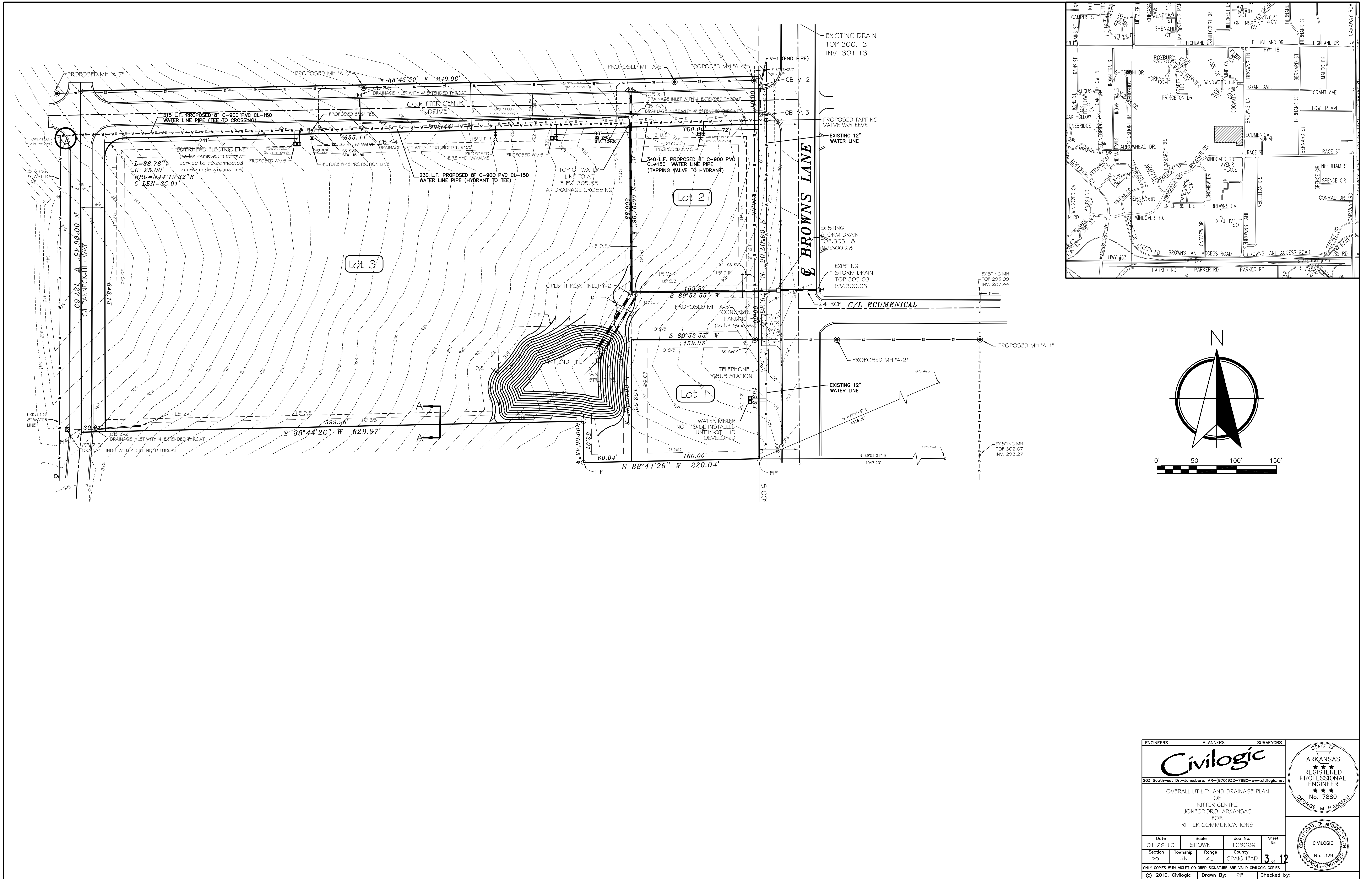
NOTES:

- 1) THIS SURVEY AND PLAT ARE THE PROPERTY OF THE SURVEYOR AND ARE INTENDED FOR THE SOLE USE AND BENEFIT OF THE SURVEYOR & CLIENT.
- 2) THE BOUNDARY INFORMATION SHOWN HEREON WAS ESTABLISHED FROM A PREVIOUS SURVEY BY ASSOCIATED ENGINEERING AND TESTING, LLC, SURVEY DATED 2-05-07.
- 3) THE RESEARCH COMPLETED FOR THIS SURVEY INCLUDES LEGAL DESCRIPTION, AND PREVIOUS SURVEY PROVIDED.
- 4) ALL PINS SET ARE "X" REBAR, UNLESS NOTED OTHERWISE.
- 5) FLOOD PLAN: THIS TRACT DOES/DOES NOT LIE WITHIN THE 100-YR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP OF CRAIGHEAD CO., ARK. AND INCORPORATED AREAS, COMMUNITY PANEL NO. 0503100132 C, DATED 09/27/91. THIS TRACT DOES LIE WITHIN A ZONE "X" FLOOD PLAIN, FOR THE MAP REFERENCED ABOVE.
- 6) THIS PROPERTY IS ZONED: C-3 LUO

ENGINEERS	PLANNERS	SURVEYORS
Civilogic		
203 Southwest Dr.-Jonesboro, AR-(870)932-7880-www.civilogic.net		
MINOR PLAT OF PART OF SECTION 29 TOWNSHIP 14 NORTH, RANGE 4 EAST FOR RITTER COMMUNICATIONS		
Date 01-26-10	Scale 1"=50'	Job No. 109026
Section 29	Township 14N	Range 4E
County CRAIGHEAD		Sheet No. 2 of 12
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES		
© 2010, Civilogic	Drawn By: RE	Checked By: GH

REGISTERED
STATE OF
ARKANSAS
NO. 1590
SIGNATURE
DANNY R. BURNS
DATE
01-21-10
PROFESSIONAL SURVEYOR

CERTIFICATE OF AUTHORIZATION
CIVILOGIC
No. 329
ARKANSAS-ENGINEER



ENGINEERS

PLANNERS

SURVEYORS

Civilogic

203 Southwest Dr.—Jonesboro, AR—(870)932-7880—www.civilogic.net

OVERALL UTILITY AND DRAINAGE PLAN
OF
RITTER CENTRE
JONESBORO, ARKANSAS
FOR
RITTER COMMUNICATIONS

Date
01-26-10

Scale
SHOWN

Job No.
109026

Sheet
No.
3 of 12

Section
29

Township
14N

Range
4E

County
CRAIGHEAD

ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES

© 2010, Civilogic

Drawn By: RE

Checked by:

STATE OF
ARKANSAS

REGISTERED
PROFESSIONAL
ENGINEER

No. 7880

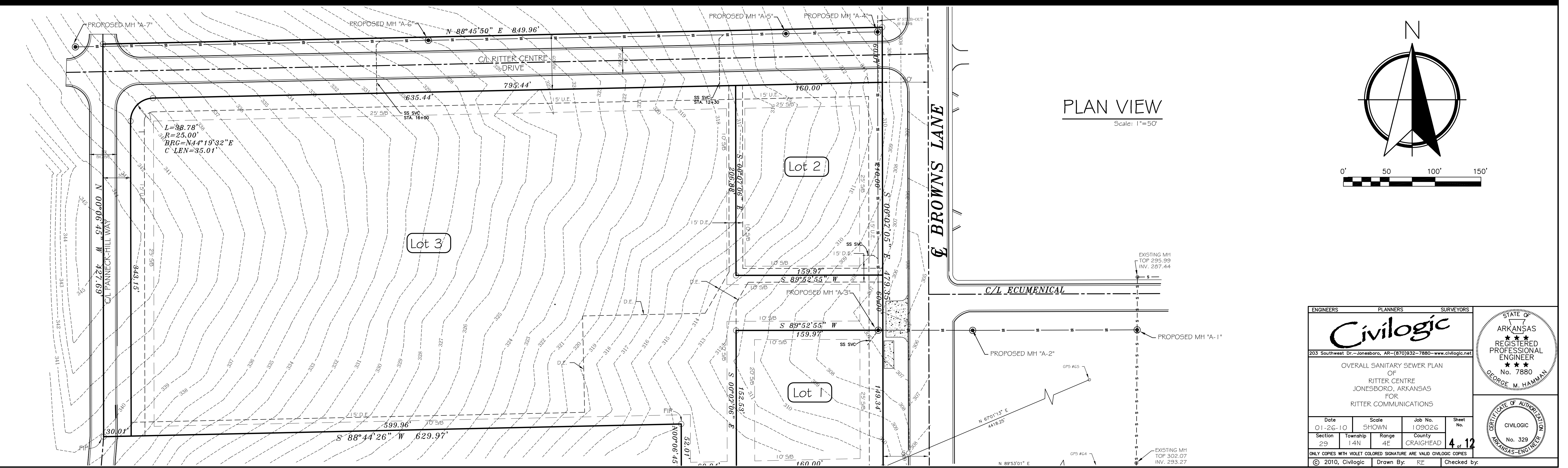
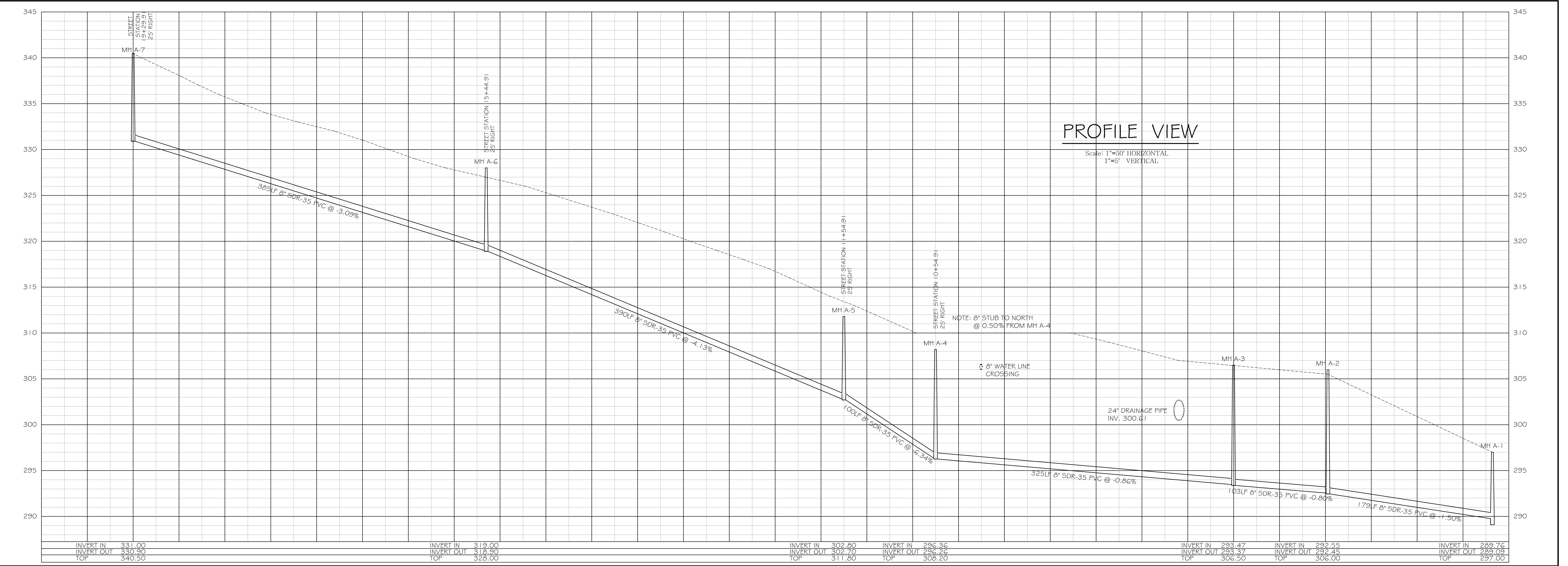
GEORGE M. HAMMAN

CERTIFICATE OF AUTHORIZATION

CIVILOGIC

No. 329

ARKANSAS-ENGINEER



ENGINEERS

PLANNERS

SURVEYORS

Civilogic

203 Southwest Dr. - Jonesboro, AR - (870) 932-7880 - www.civilogic.net

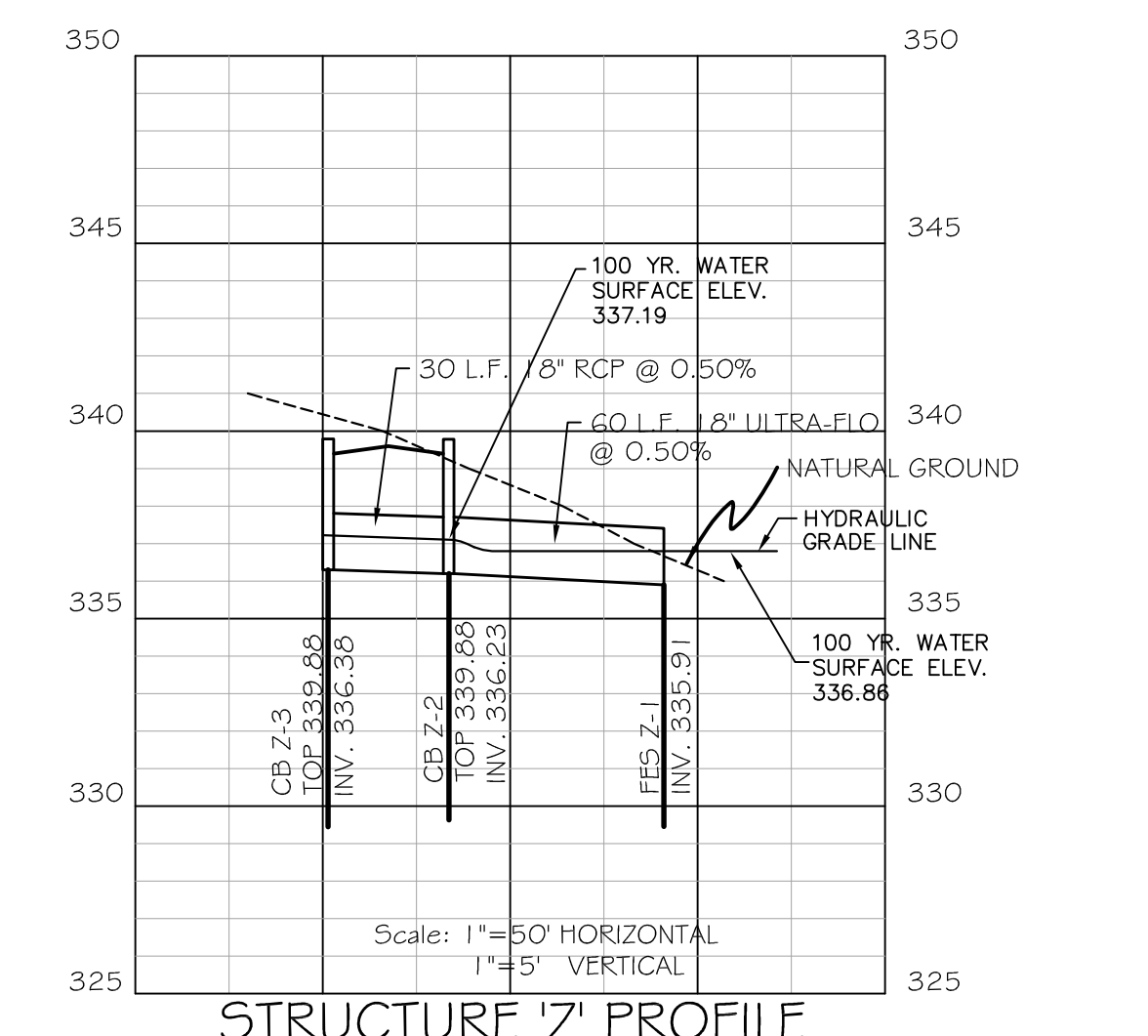
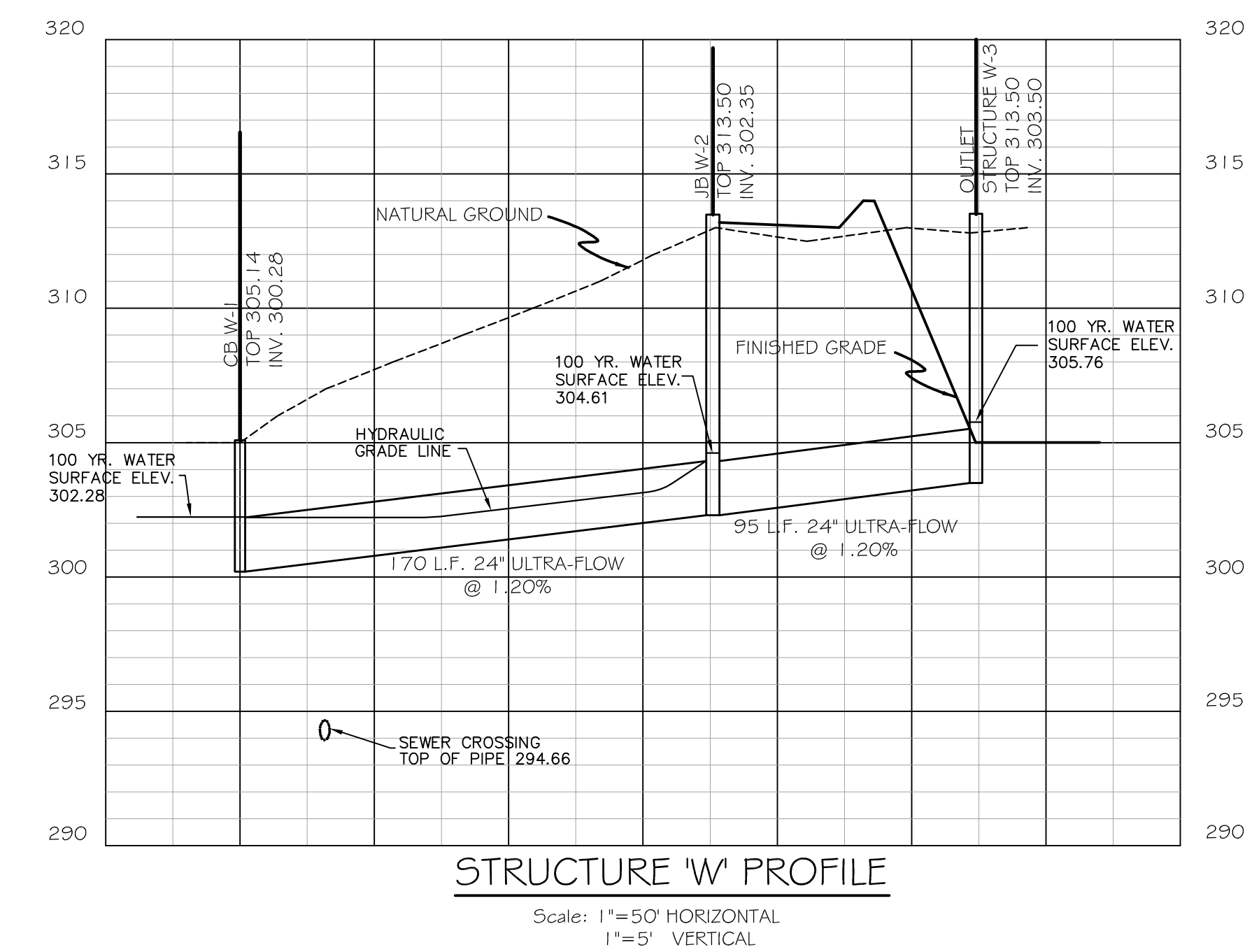
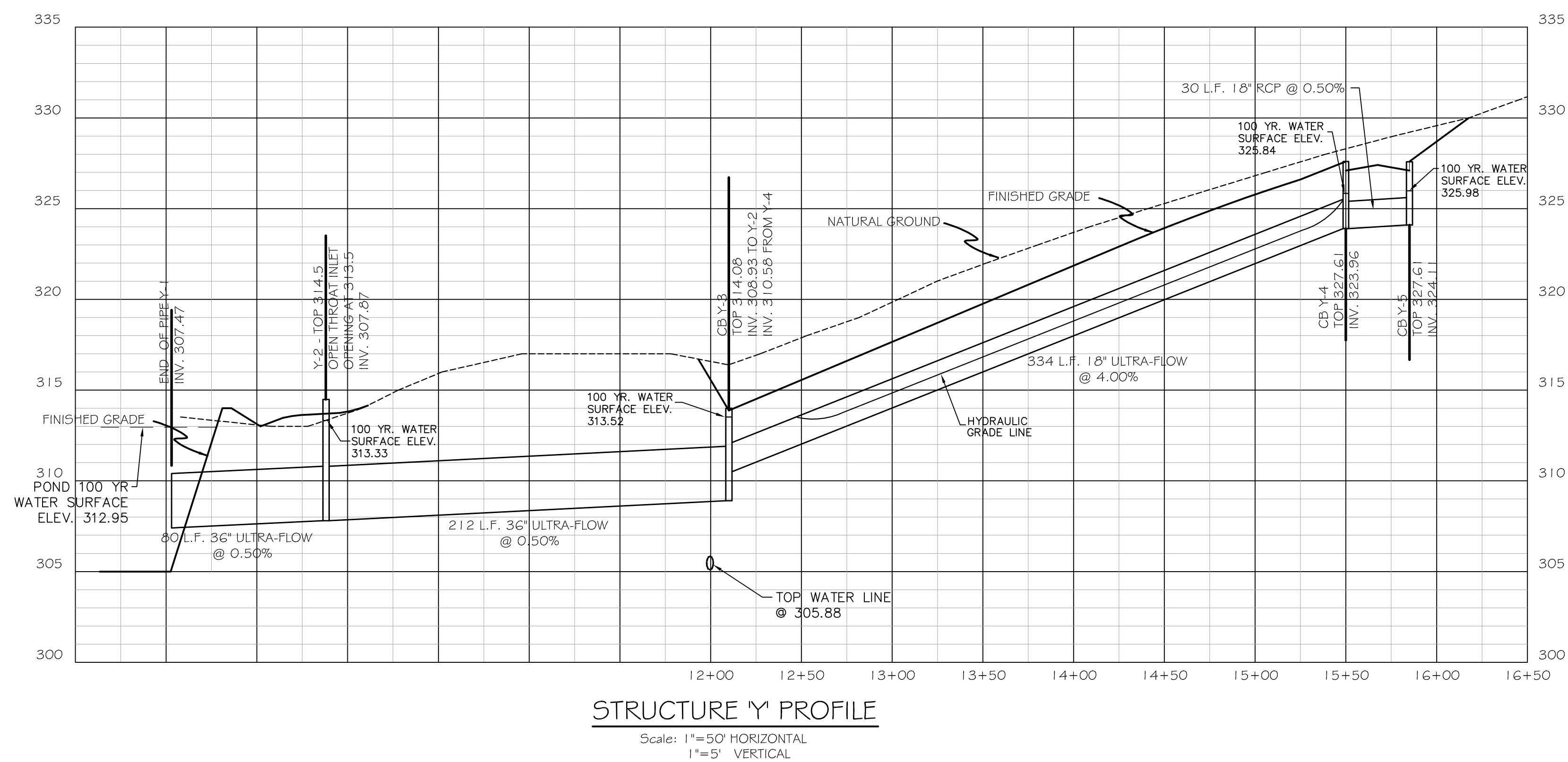
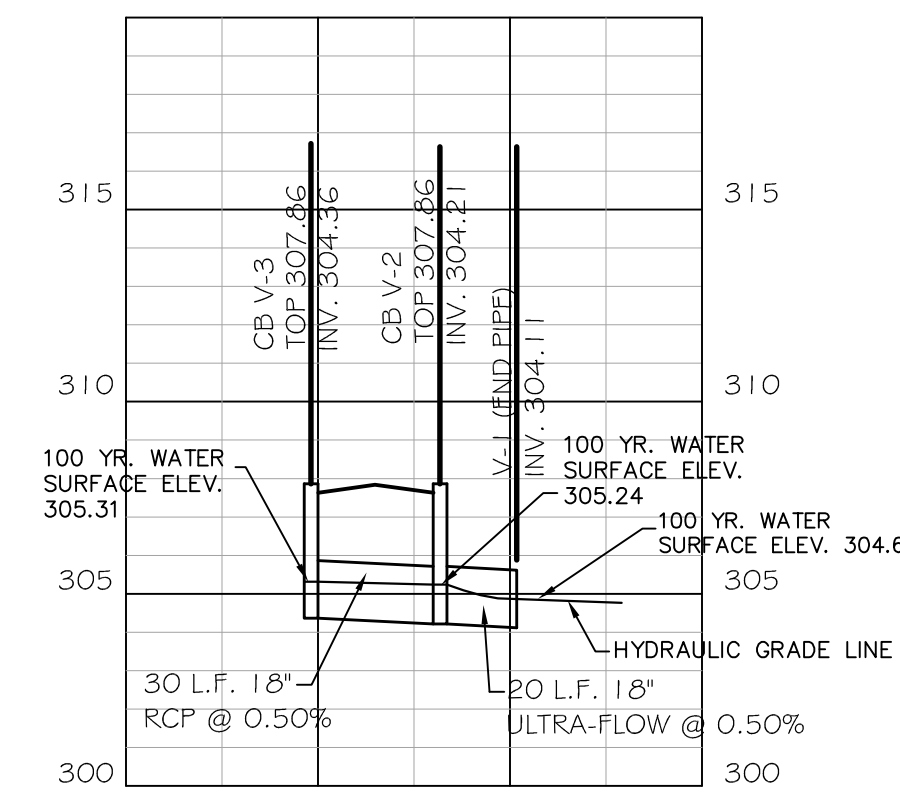
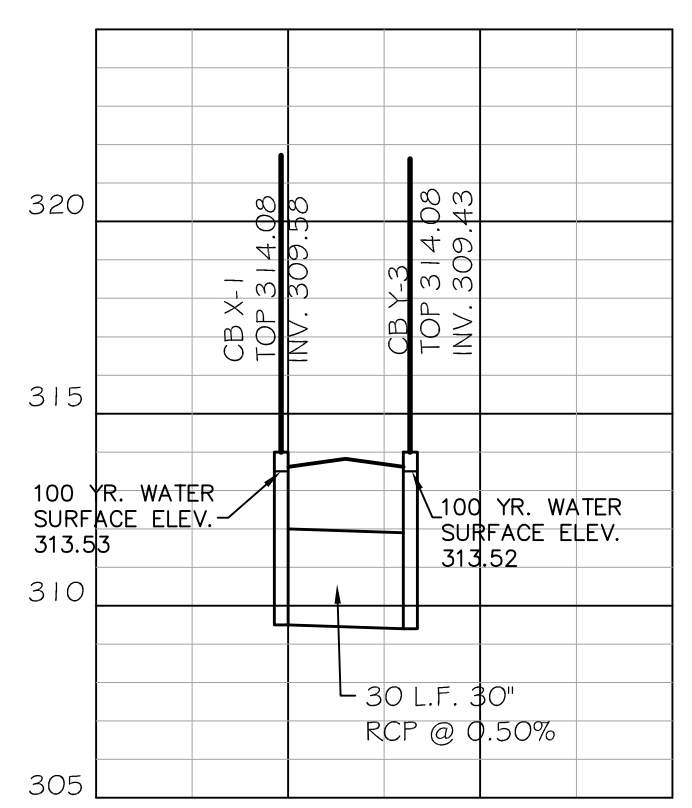
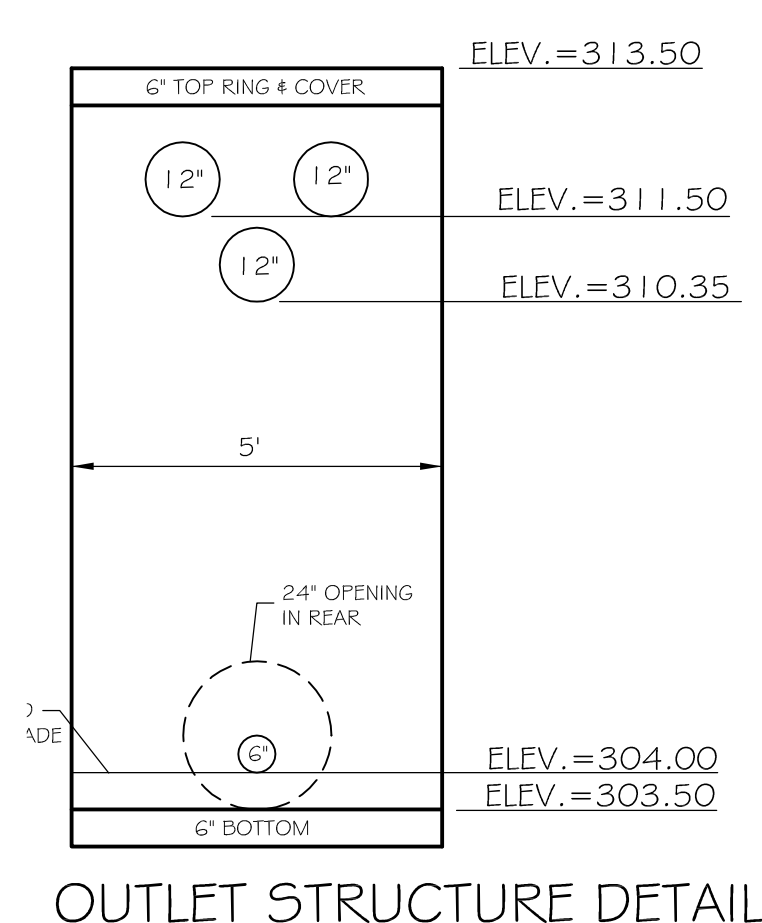
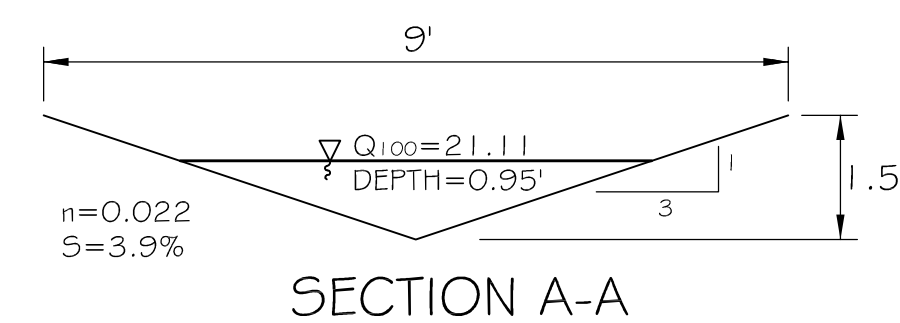
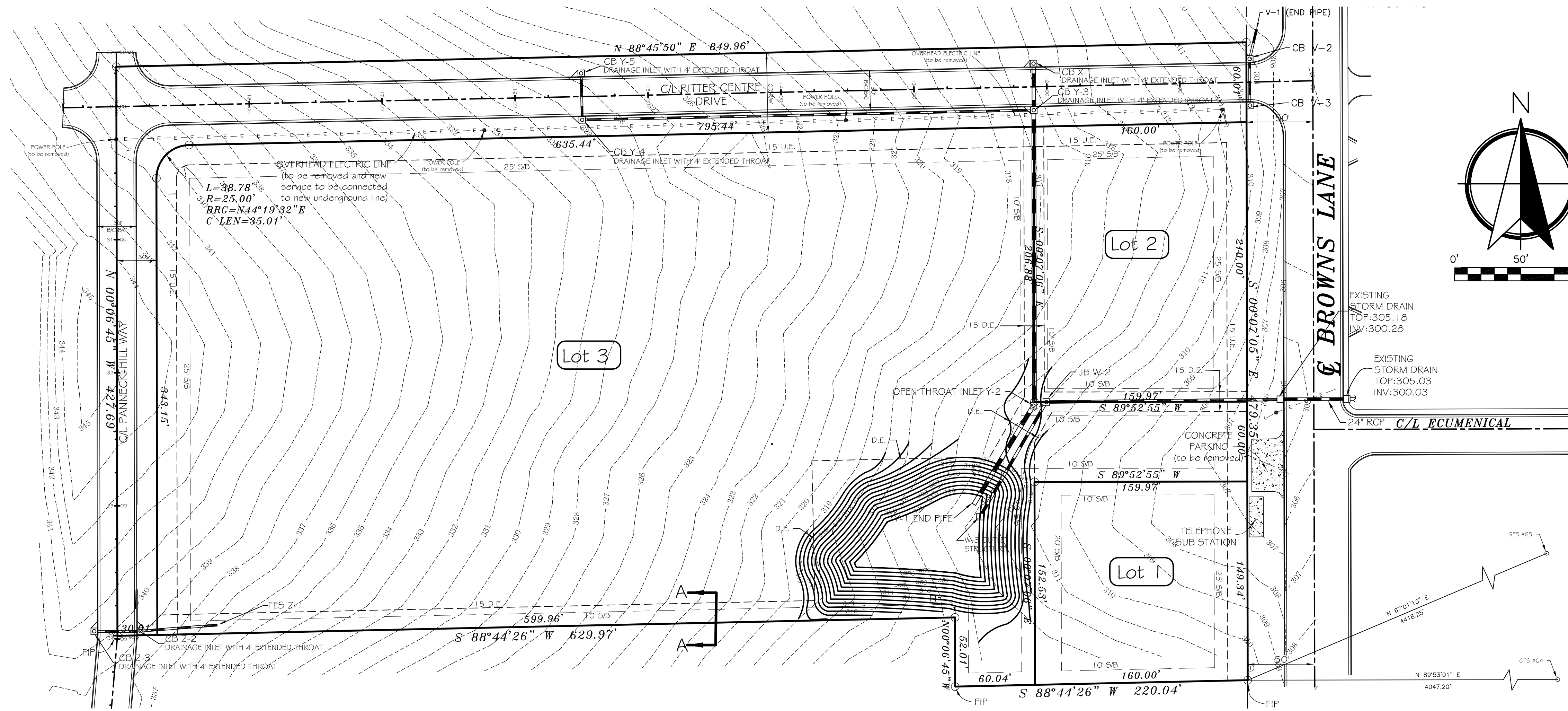
OVERALL SANITARY SEWER PLAN
OF
RITTER CENTRE
JONESBORO, ARKANSAS
FOR
RITTER COMMUNICATIONS

Date 01-26-10	Scale SHOWN	Job No. 109026	Sheet No. 4 of 12
Section 29	Township 14N	Range 4E	County CRAIGHEAD

ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES
© 2010, Civilogic Drawn By: RE Checked by:

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 7880
GEORGE M. HAMMAN

CERTIFICATE OF AUTHORIZATION
CIVILOGIC
No. 329
ARKANSAS-ENGINEER



ENGINEERS PLANNERS SURVEYORS

Civilogic

203 Southwest Dr.—Jonesboro, AR—(870)932-7880—www.civilogic.net

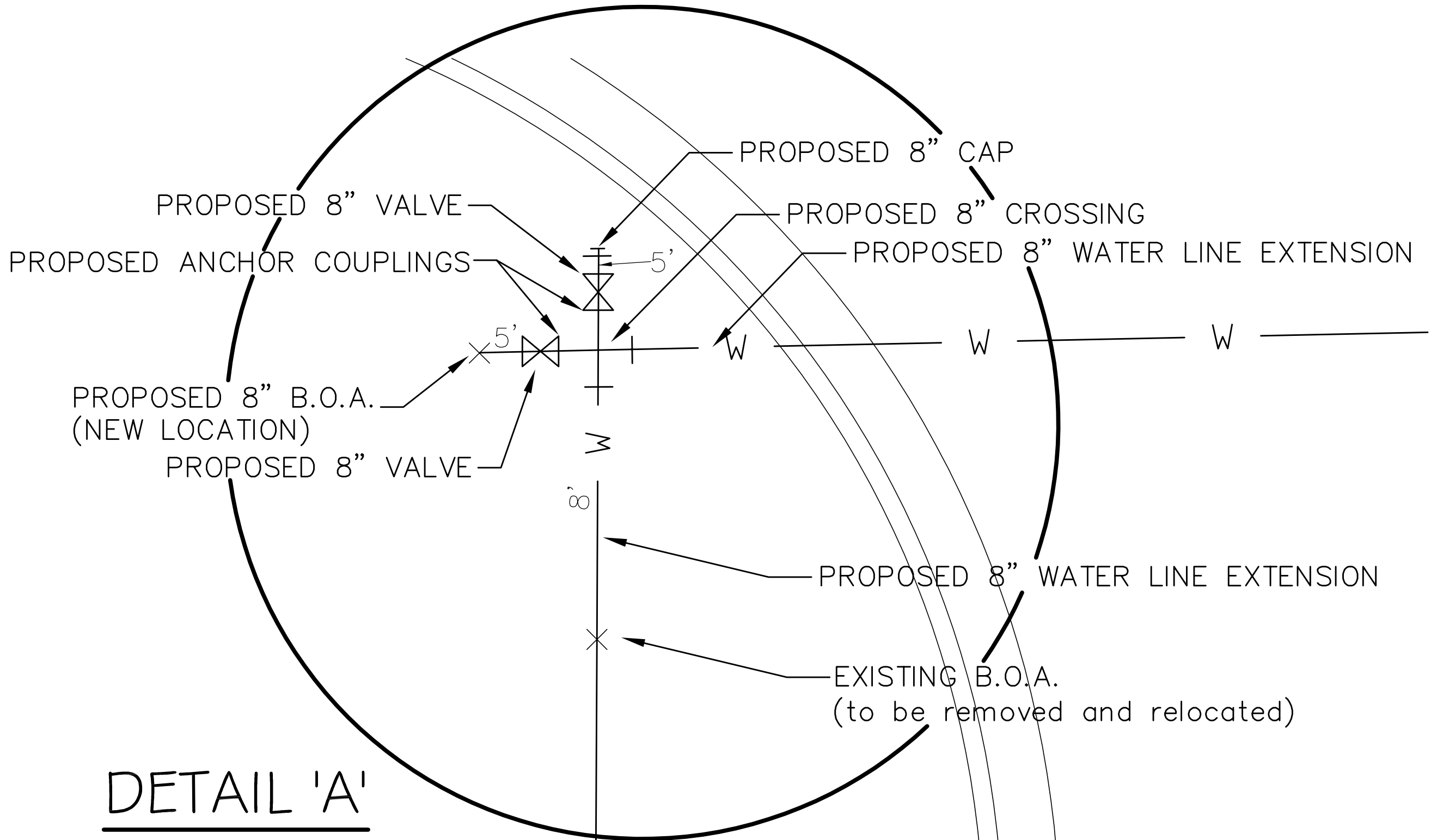
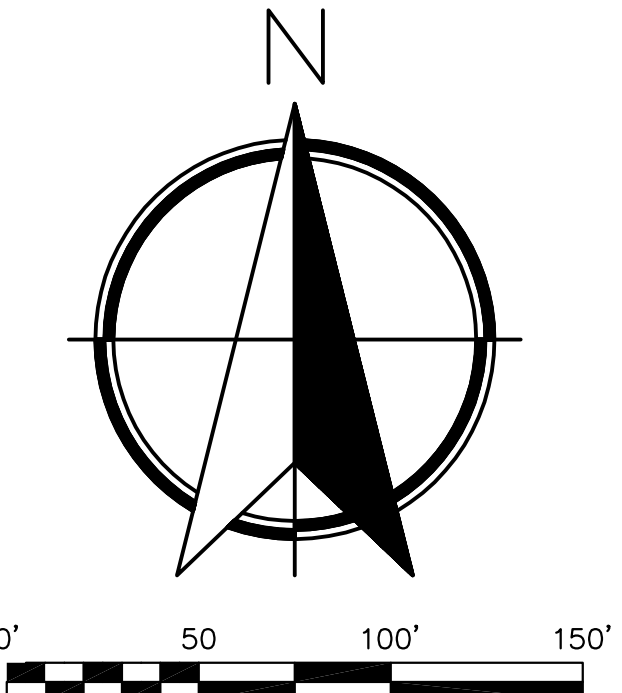
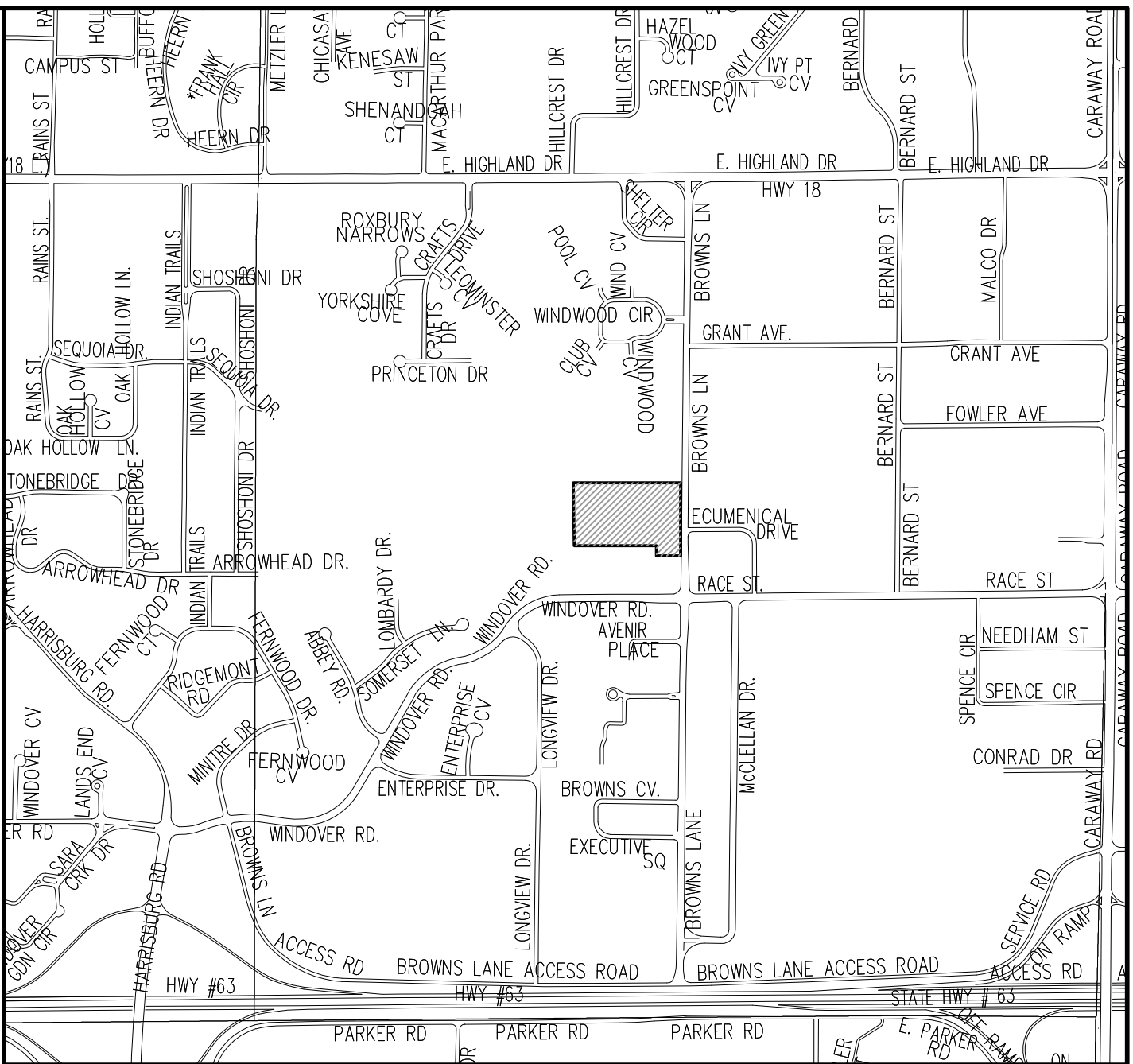
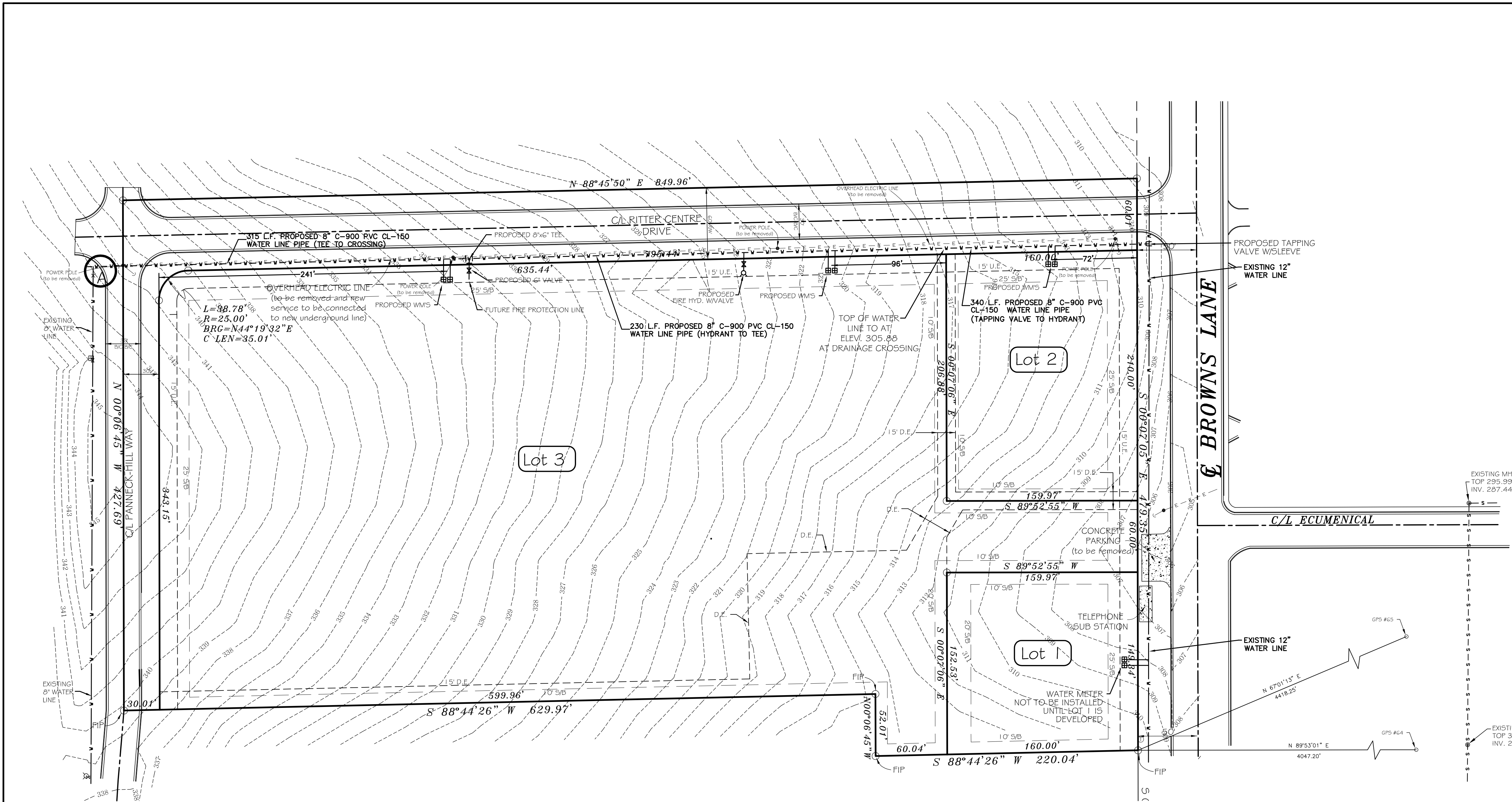
PROPOSED DRAINAGE PLAN
OF
RITTER CENTRE
JONESBORO, ARKANSAS
FOR
RITTER COMMUNICATIONS

Date: 01-26-10 Scale: SHOWN Job No. 109026 Sheet No. 5 of 12
Section: 29 Township: 14N Range: 4E County: CRAIGHEAD

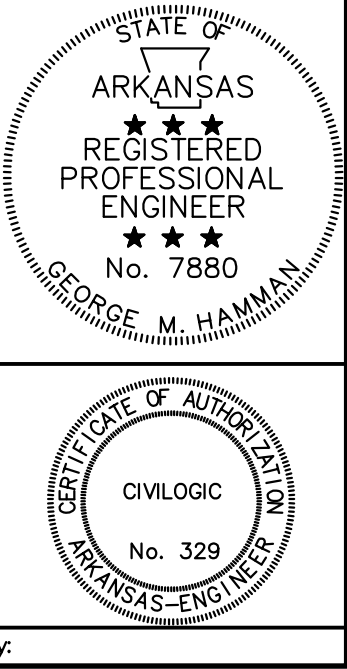
© 2010, Civilogic Drawn By: RF Checked by:

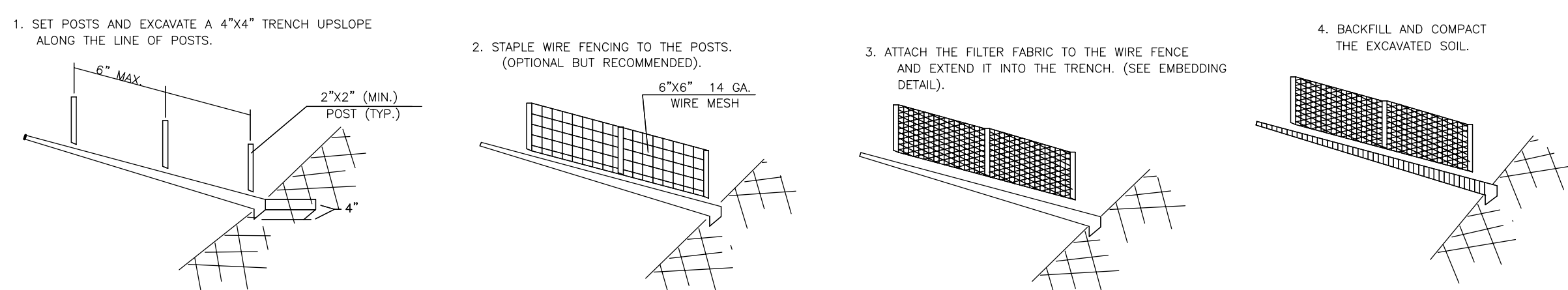
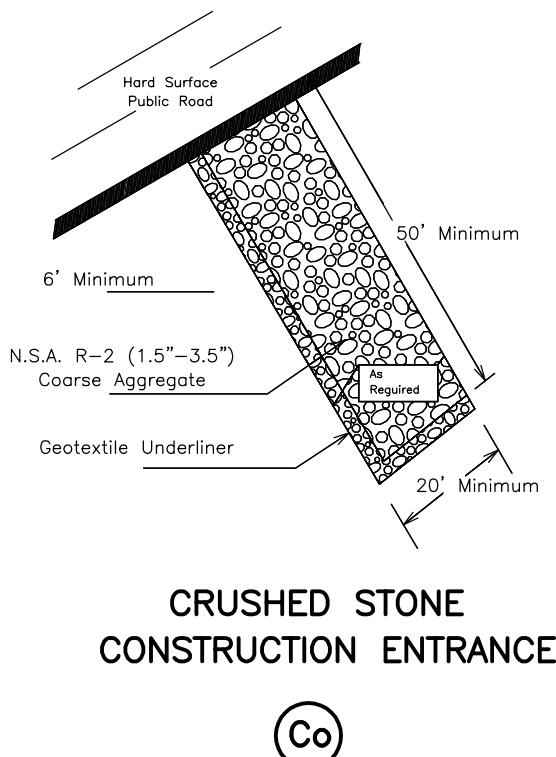
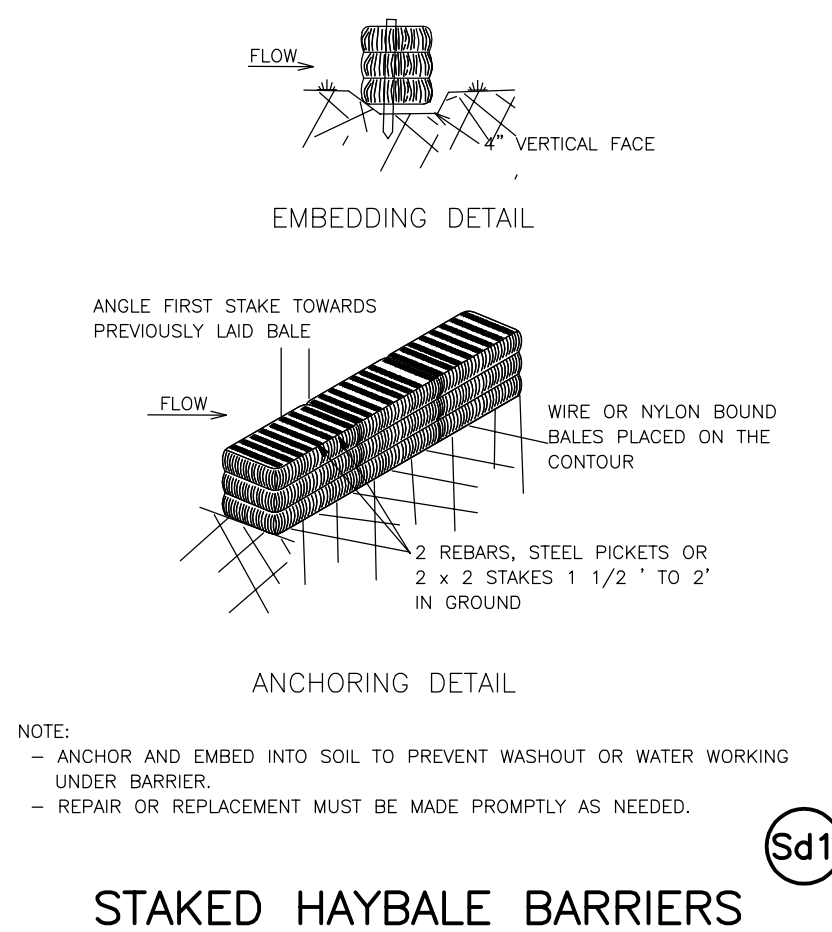
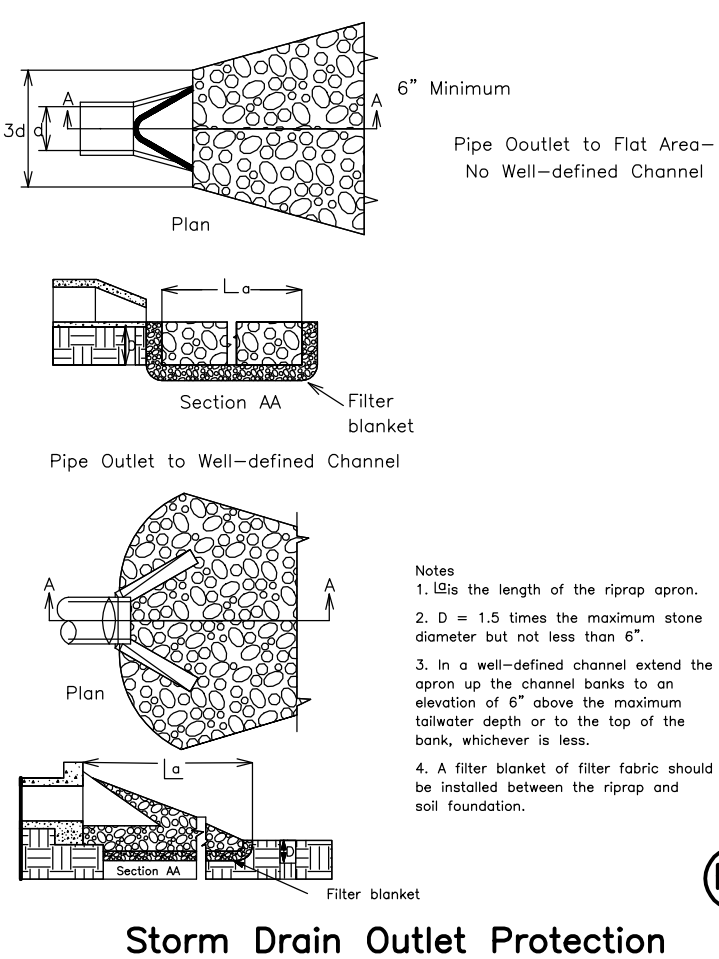
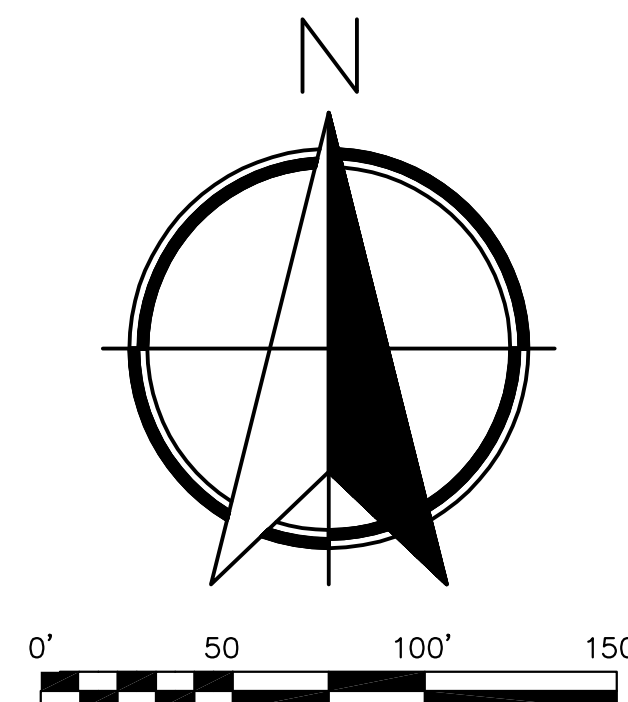
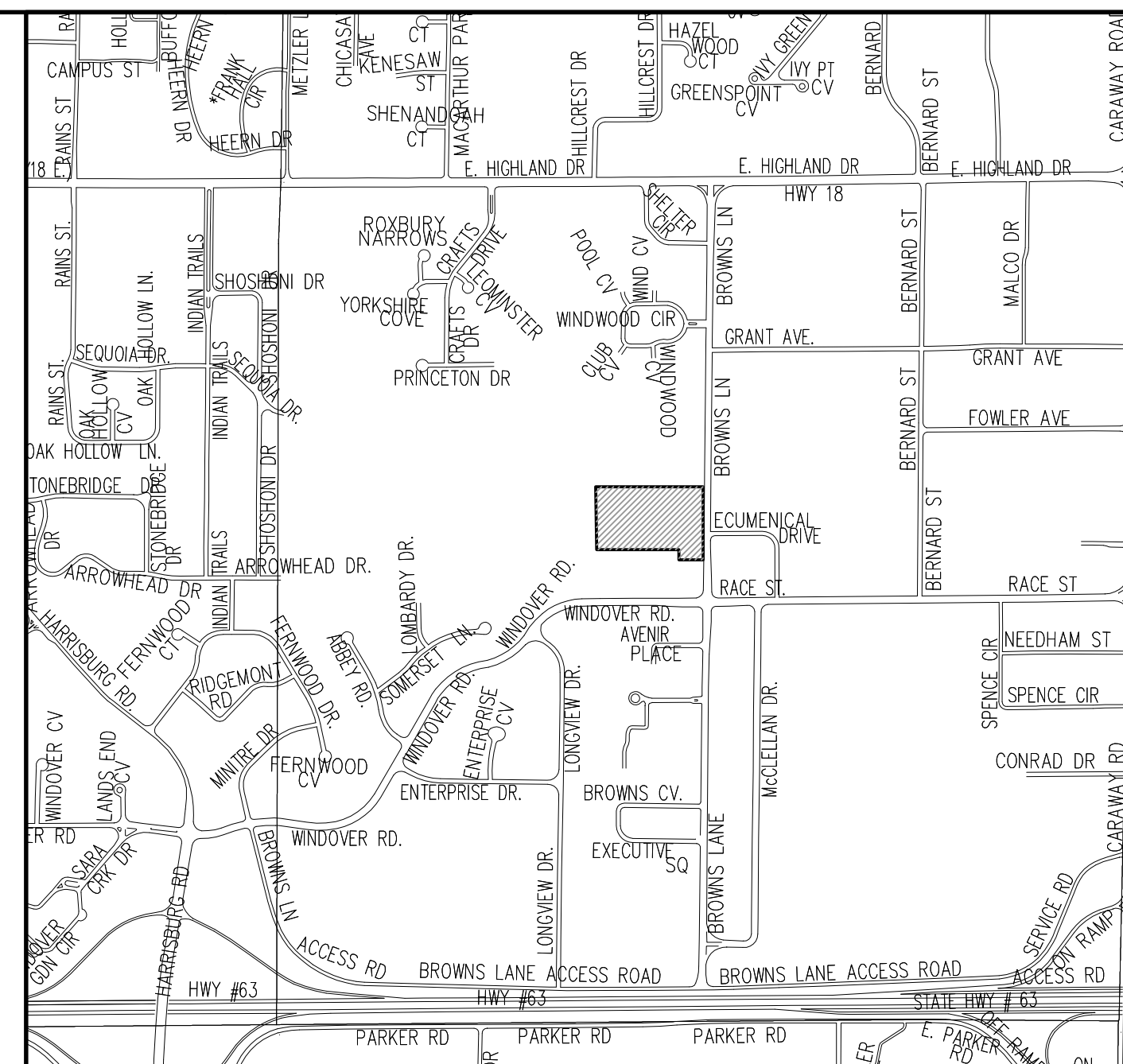
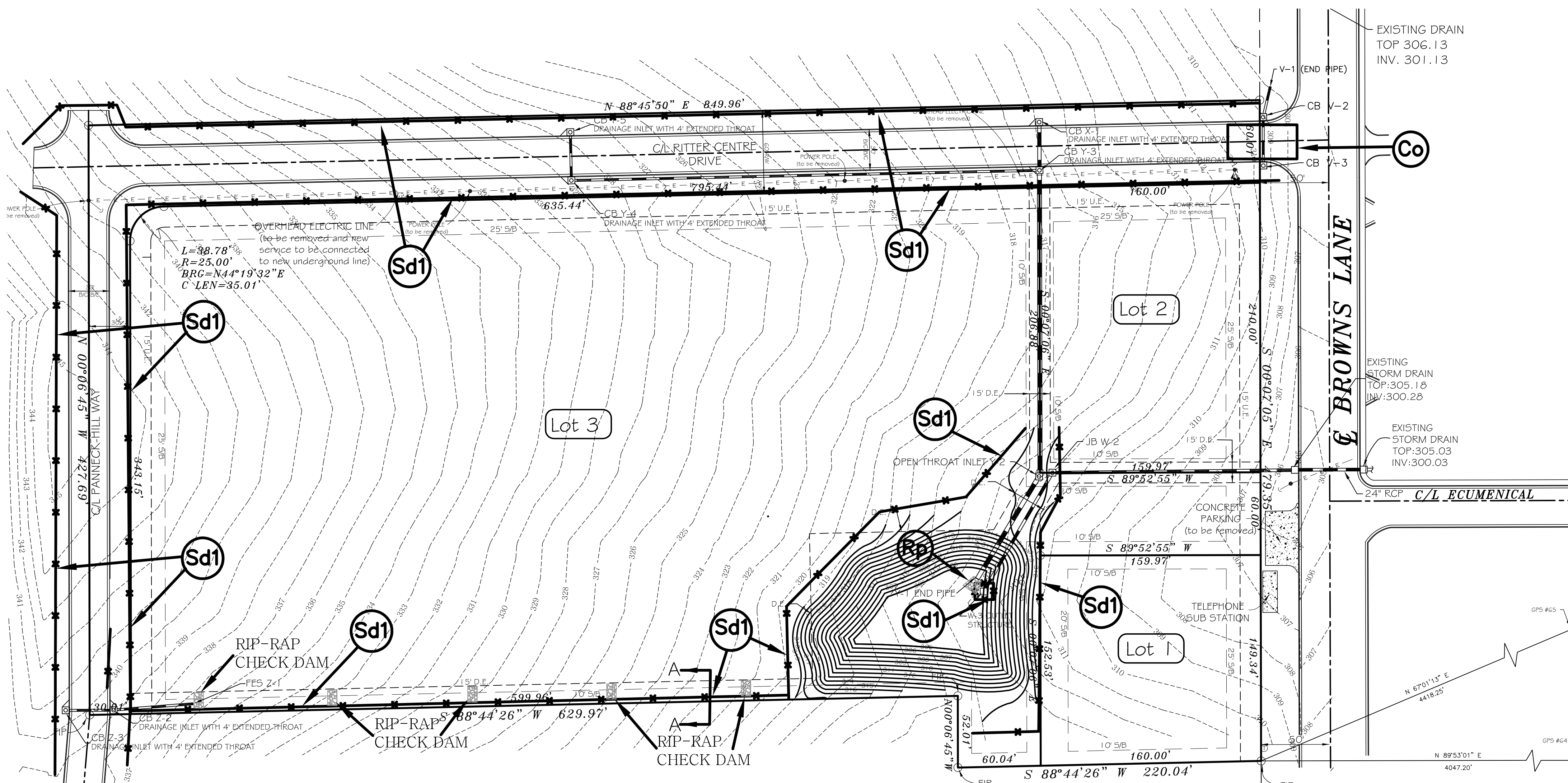
STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 7880
GEORGE M. HAMMAN

CIVILOGIC
No. 329
ARKANSAS-ENGINEER



ENGINEERS		PLANNERS		SURVEYORS	
<i>Civilogic</i>					
203 Southwest Dr. - Jonesboro, AR - (870) 932-7880 - www.civilogic.net					
PROPOSED WATER DISTRIBUTION PLAN OF RITTER CENTRE JONESBORO, ARKANSAS FOR RITTER COMMUNICATIONS					
Date	Scale		Job No.	Sheet	6 of 12
01-26-10	SHOWN		109026	No.	
Section	Township	Range	County		
29	14N	4E	CRAIGHEAD		
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES					
© 2010, Civilogic		Drawn By: RF		Checked by:	

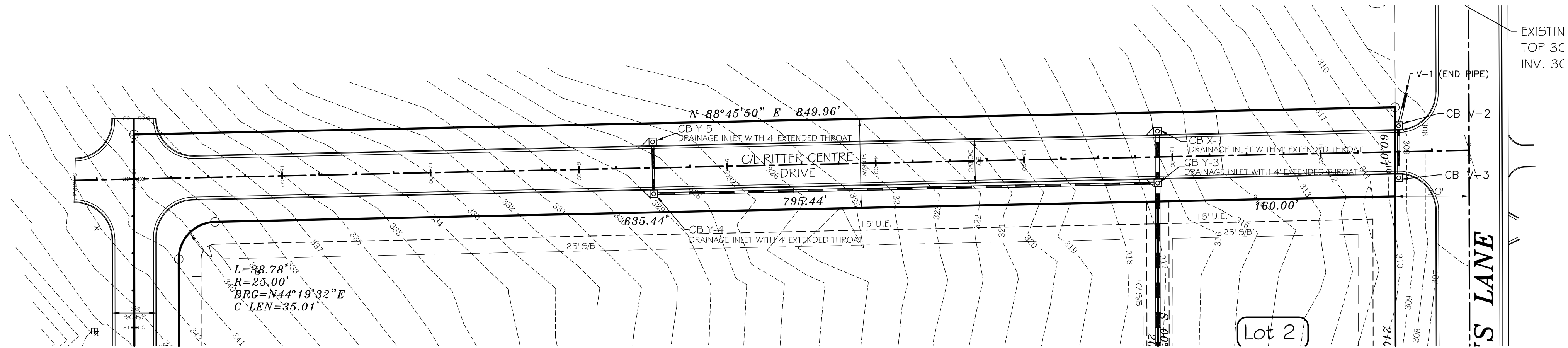




ENGINEERS		PLANNERS		SURVEYORS	
Civilogic 203 Southwest Dr.—Jonesboro, AR—(870)932-7880—www.civilogic.net					
PROPOSED SOIL AND EROSION CONTROL PLAN OF RITTER CENTRE JONESBORO, ARKANSAS FOR RITTER COMMUNICATIONS					
Date 01-26-10	Scale SHOWN	Job No. 109026	Sheet No.		
Section 29	Township 14N	Range 4E	County CRAIGHEAD	7 of 12	
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES					
© 2010, Civilogic		Drawn By: RF		Checked by: GH	

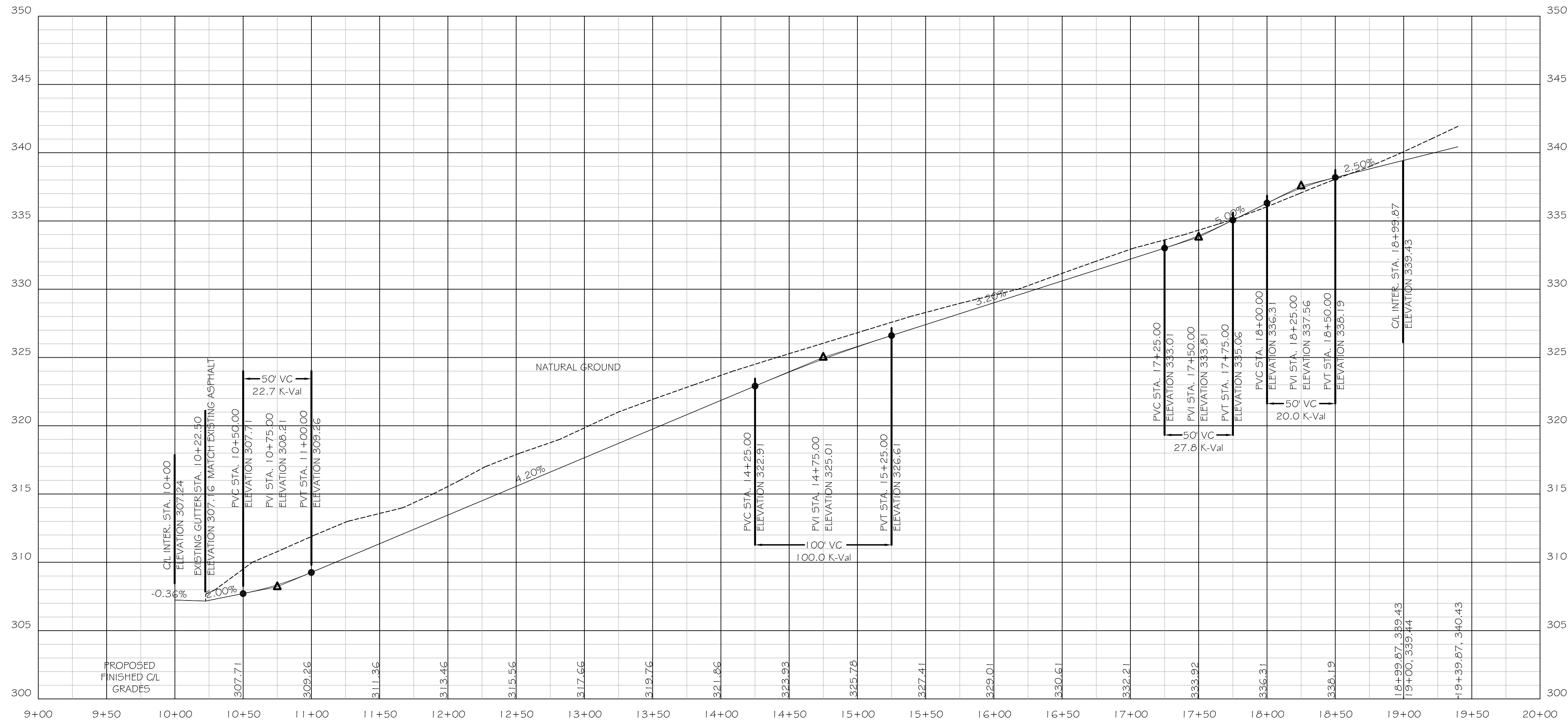
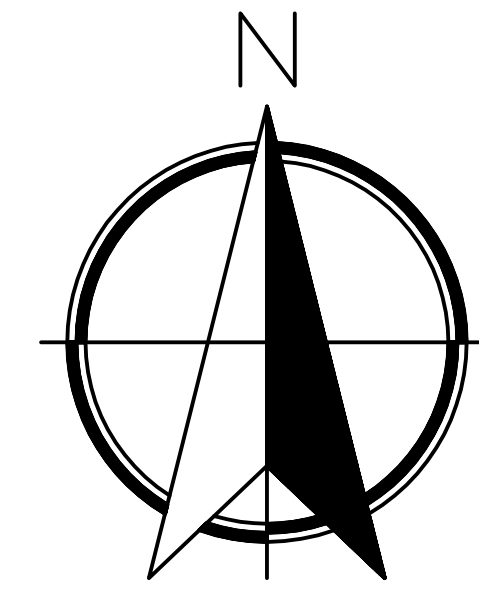
STATE OF
ARKANSAS
REGISTERED
PROFESSIONAL
ENGINEER
No. 7880
GEORGE M. HAMMAN

CIVILOGIC
No. 329
ARKANSAS-ENGINEER



PLAN VIEW - RITTER CENTRE DRIVE

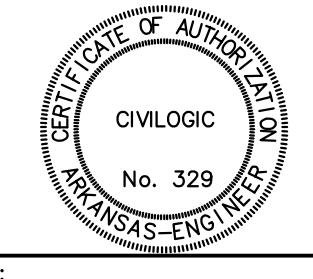
Scale: 1"=50' HORIZONTAL
1"=5' VERTICAL

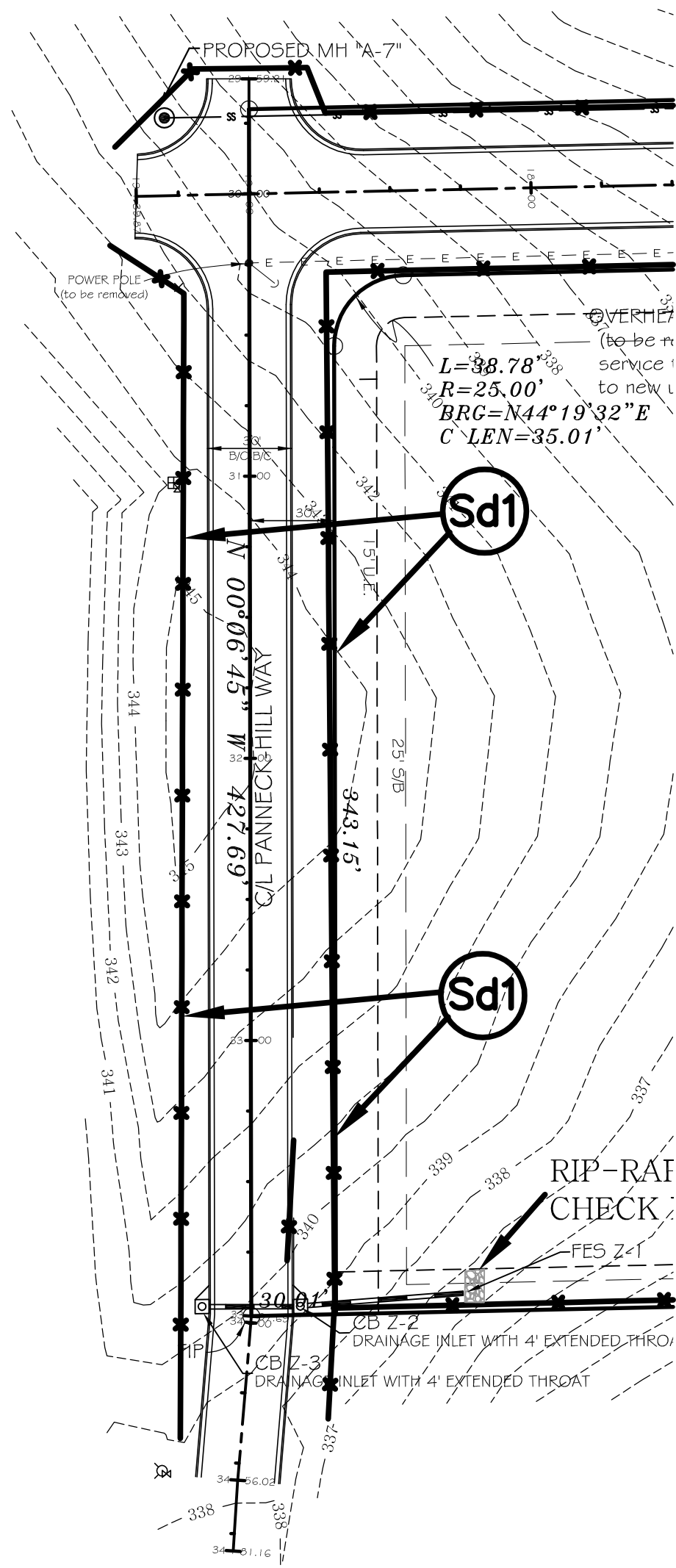
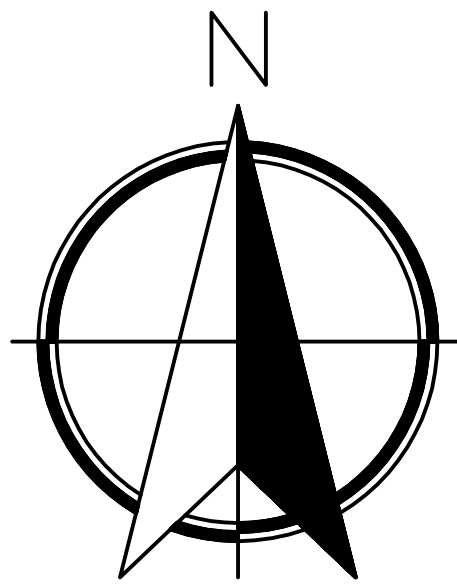


PROFILE VIEW - RITTER CENTRE DRIVE

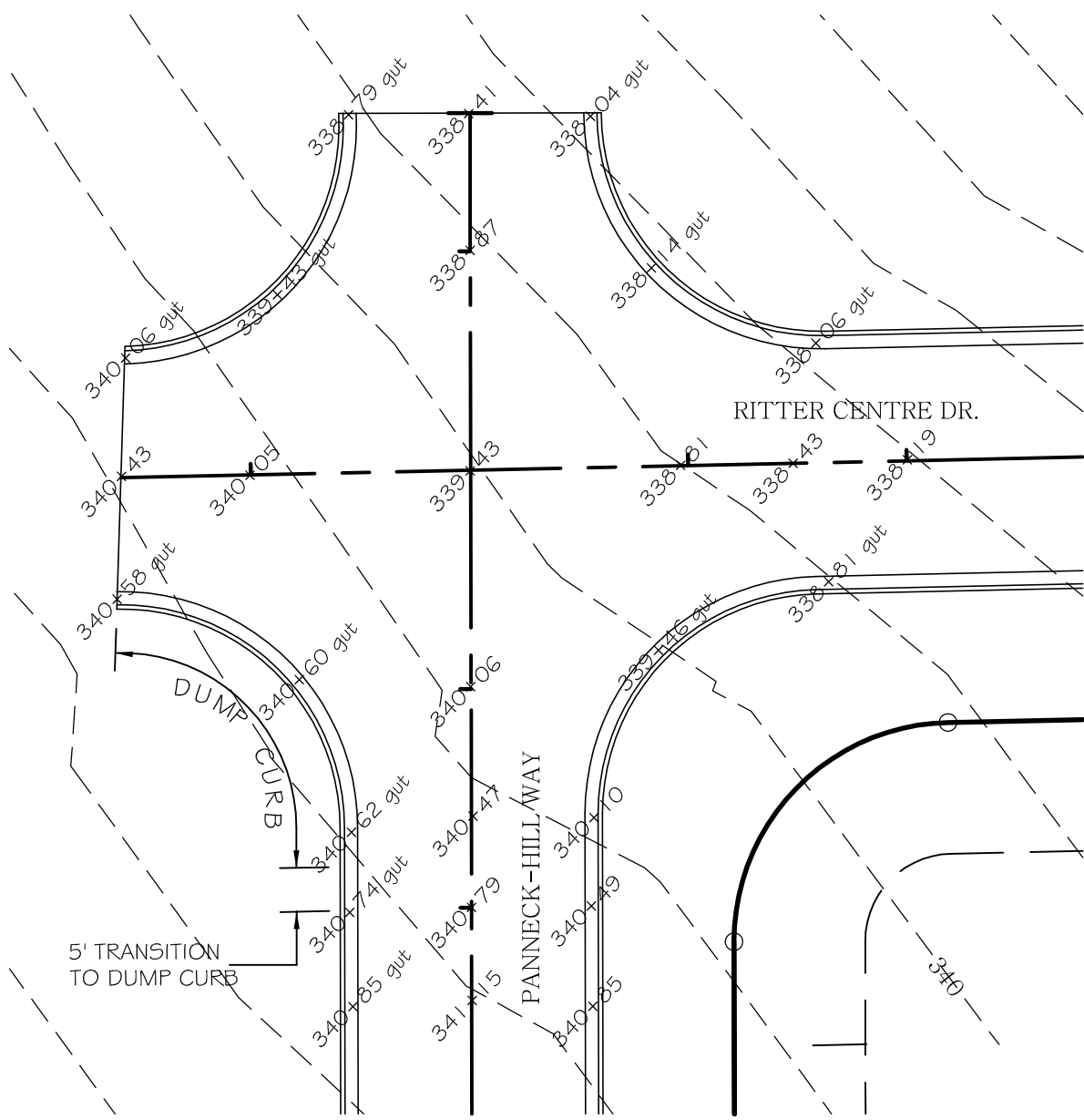
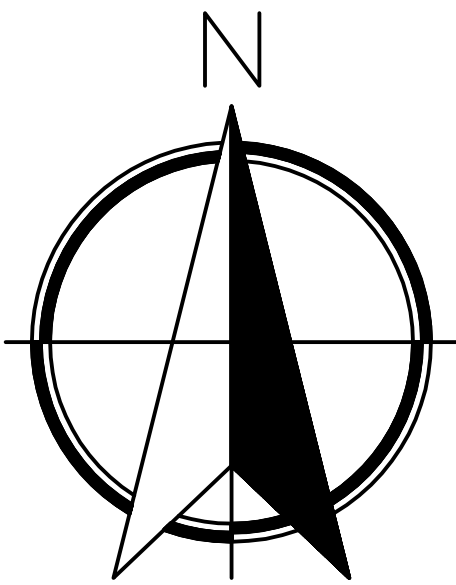
Scale: 1"=50' HORIZONTAL
1"=5' VERTICAL

ENGINEERS		PLANNERS		SURVEYORS	
 203 Southwest Dr.-Jonesboro, AR-(870)932-7880-www.civilogic.net					
PROPOSED STREET PLAN & PROFILE OF RITTER CENTRE JONESBORO, ARKANSAS FOR RITTER COMMUNICATIONS					
Date 01-26-10	Scale SHOWN	Job No. 109026	Sheet No.		
Section 29	Township 14N	Range 4E	County CRAIGHEAD	8 of 12	
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES					
© 2010, Civilogic		Drawn By: RE		Checked by:	

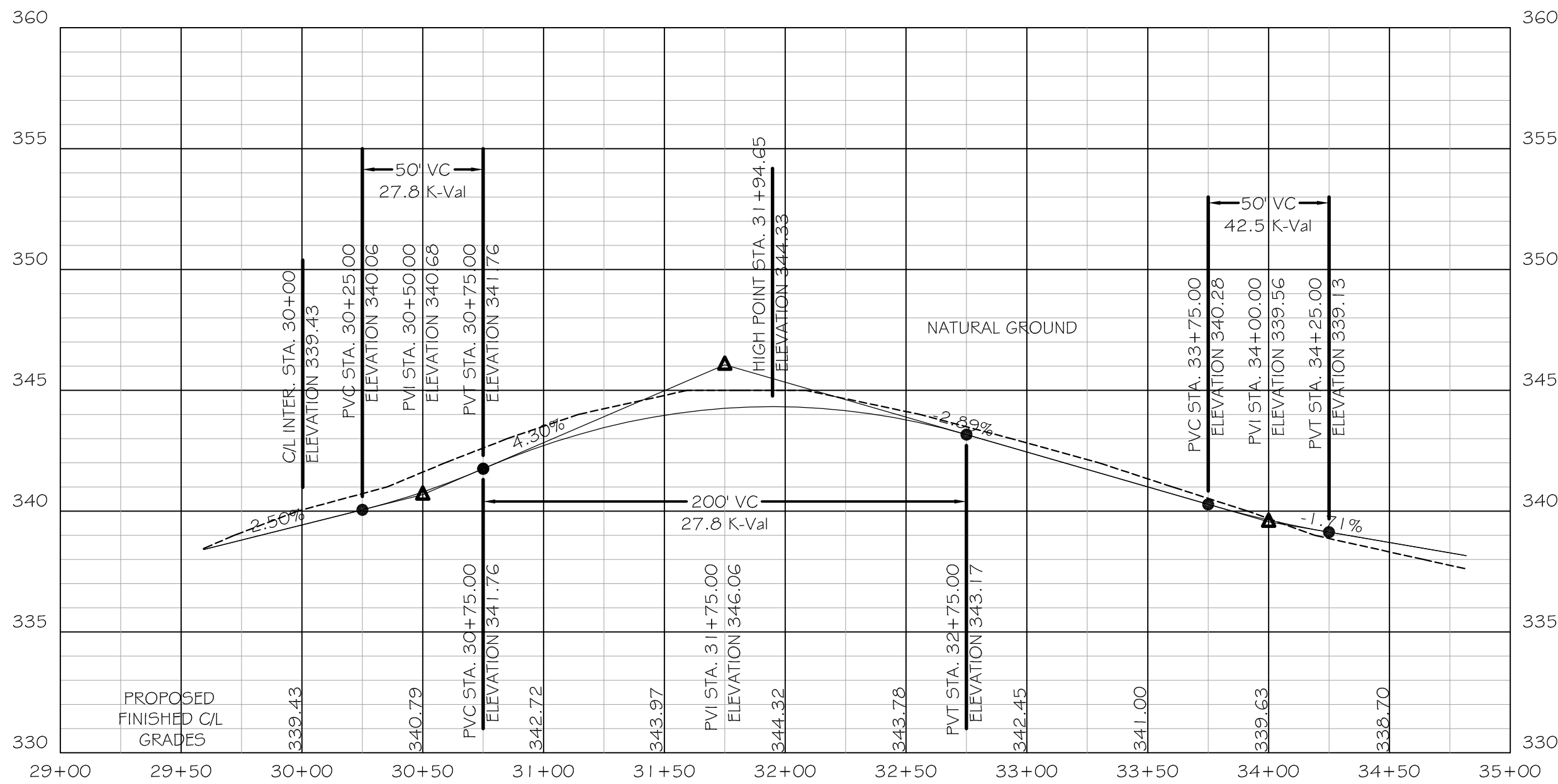





PLAN VIEW - PANNECK-HILL WAY
Scale: 1"=50'

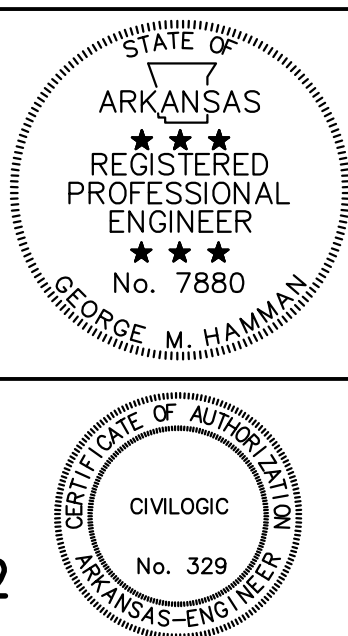


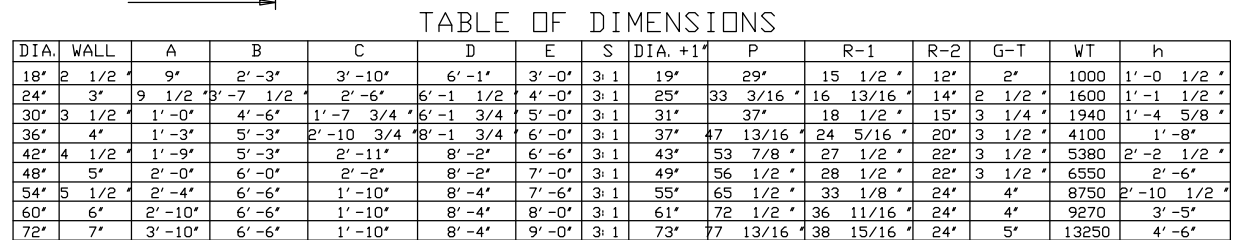
INTERSECTION DETAIL
Scale: 1"=20'



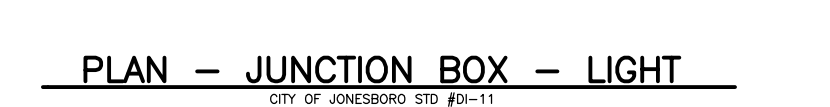
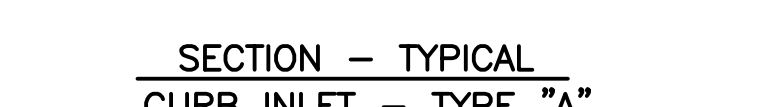
PROFILE VIEW - PANNECK HILL WAY
Scale: 1"=50' HORIZONTAL
1"=5' VERTICAL

ENGINEERS		PLANNERS		SURVEYORS	
Civilogic					
203 Southwest Dr.—Jonesboro, AR—(870)932-7880—www.civilogic.net					
PROPOSED STREET PLAN & PROFILE OF RITTER CENTRE JONESBORO, ARKANSAS FOR RITTER COMMUNICATIONS					
Date 01-26-10		Scale SHOWN		Job No. 109026	
Section 29		Township 14N		Range 4E	
		County CRAIGHEAD		9 of 12	
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES					
© 2010, Civilogic		Drawn By: RE		Checked b	





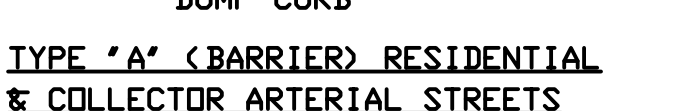
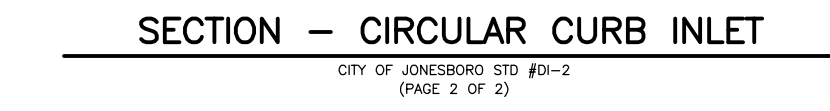
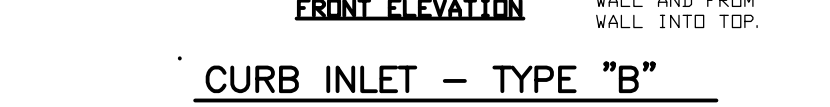
- ## FLARED END SECTION DETAILS FOR REINFORCED CONCRETE PIPE CULVERT



- (PAGE 1 OF 2)
- NOTE:
DO NOT USE UNDER VEHICULAR TRAFFIC.



- NOTES:
1. AS APPROVED BY THE ENGINEER, WALLS MAY BE 8" BLOCK WITH 1/2" MORTAR. FILL CELLS WITH CONCRETE AND WITH #4'S @ 16" O.C. BLOCK WALLS SHALL NOT BE USED UNDER VEHICULAR LOADING. MINIMUM DISTANCE FROM WALL TO PIPE SHALL BE 8" IF BLOCK WALLS ARE USED.
 2. JUNCTION BOXES MORE THAN 3 FEET DEEP SHALL HAVE STANDARD MANHOLE STEPS PLACED @ 15" O.C.
 3. SEE REINFORCING DETAIL FOR OPENING IN WALL OR SLAB.



NOTE:

EXPANSION JOINTS: Shall be placed at all driveway radii, intersection, and all permanent stationary structures. Preformed expansion joint filler shall be of non extruding type and conform to ASTM designation D1751 or ASHFTO M153. Acceptable materials shall be found on the current AHTD "Qualified Products List". Materials shall be separately separate concrete the full width and depth of the curb gutter section.

CONTRACTION JOINTS: Contraction joints shall be saw cut with a minimum spacing of fifteen (15') feet. All joints shall be cut to a depth of twenty-five percent (25%) of the thickness of the curb section.

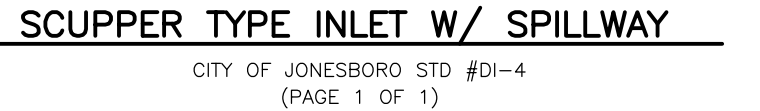
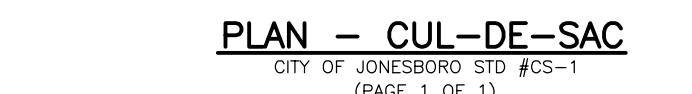
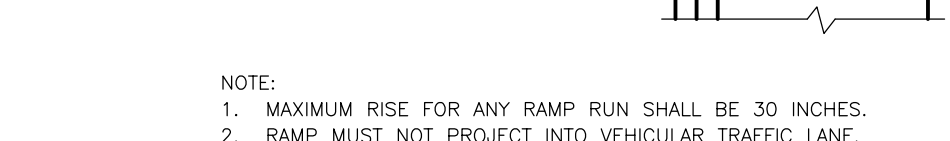
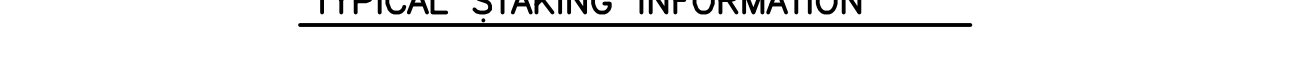


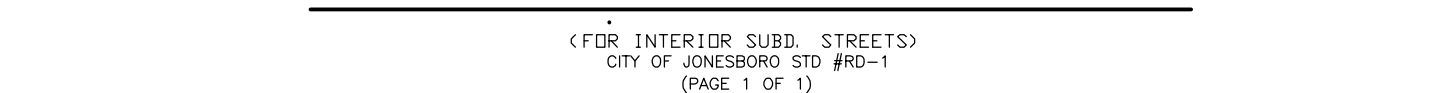
Diagram illustrating the cross-section of a flume. The top width is 6". The bottom width is 4'-0". The side slope is 3'-0". The depth of flow is indicated. The central weir has a coefficient $n = 0.013$. A vertical dimension on the left shows a 1' height above a 6" base.

FLUME	SLOPE	DEPTH OF FLOW	Q
D	0.33%	0.10	0.44 cfs
E	17.04%	0.18	7.26 cfs
F	2.32%	0.39	9.34 cfs
G	10.00%	0.16	4.59 cfs

FLUME DETAIL

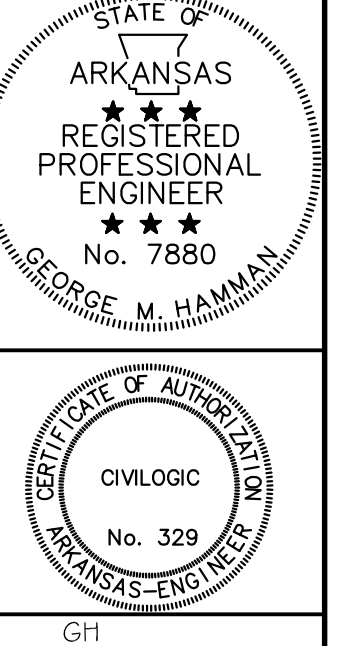
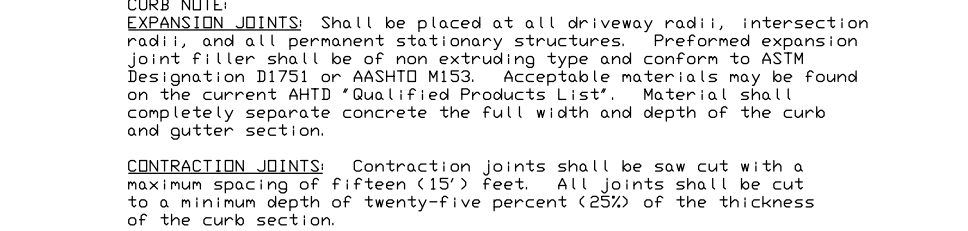


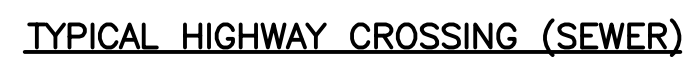
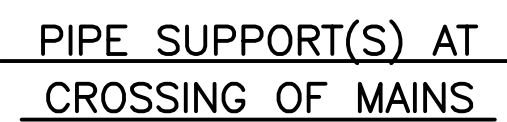
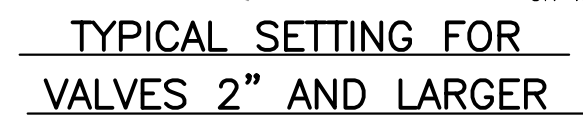
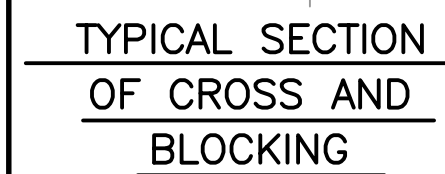
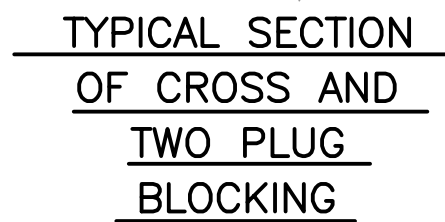
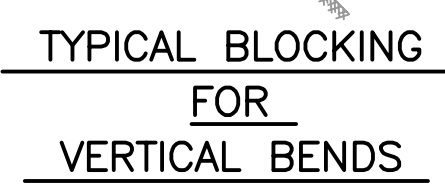
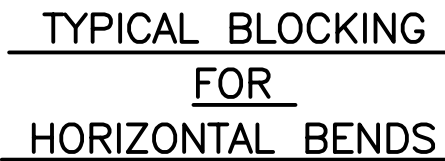
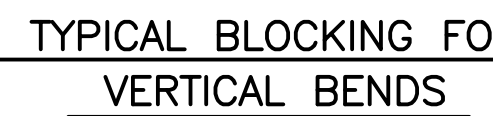
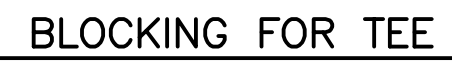
- COMBINATION CURB AND GUTTER**
CITY OF JONESBORO STD #CG-3
(PAGE 1 OF 1)
- NOTE: CONTRACTION AND EXPANSION JOINTS SHALL BE CONSTRUCTED
IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- NO DRIVEWAY CUTS ALLOWED WITH THIS TYPE OF CURB**



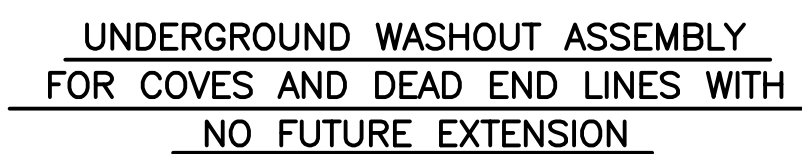
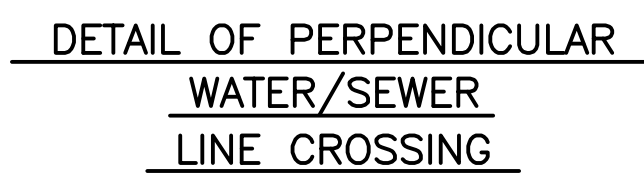
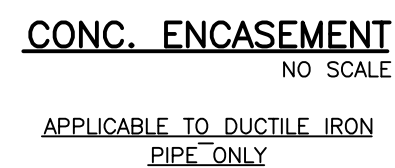
CLASSIFICATION	FLEXIBLE	RIGID
ARTERIAL	1. 1/2" x ACHM SURFACE COURSE 2" ACHM BINDER COURSE 4" ACHM BASE COURSE 8" CRUSHED AGG BASE COURSE PREPARED SUBGRADE	7" PCC PREPARED SUBGRADE
COLLECTOR	4" ACHM SURFACE COURSE (2-2" LIFTS) 6" CRUSHED AGG BASE COURSE PREPARED SUBGRADE	6" PCC PREPARED SUBGRADE
RESIDENTIAL	3" ACHM SURFACE COURSE (2-1 1/2" LIFTS) 6" CRUSHED AGG BASE COURSE PREPARED SUBGRADE	5" PCC PREPARED SUBGRADE

INFORMATION TABLE REPRESENTS MINIMUM PAVEMENT SECTIONS FOR EACH STREET CLASSIFICATION AS SPECIFIED IN THE JONESBORO CITY CODE. ACTUAL PAVEMENT SECTIONS WILL BE DESIGNED AND/OR SELECTED ON A PROJECT-SPECIFIC BASIS AND APPROVED BY THE CITY ENGINEER.





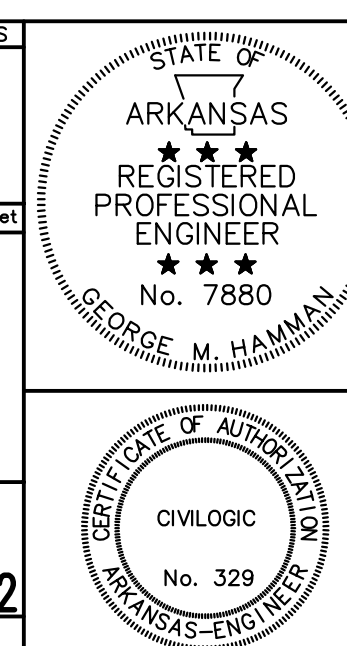
NOTE:
ALL SANITARY SEWER
PIPE TO BE ASTM
D-3034 SDR-35



NOTE:
ALL WATER PIPE TO BE
AWWA C-900 PRESSURE
CLASS 150/DR 18

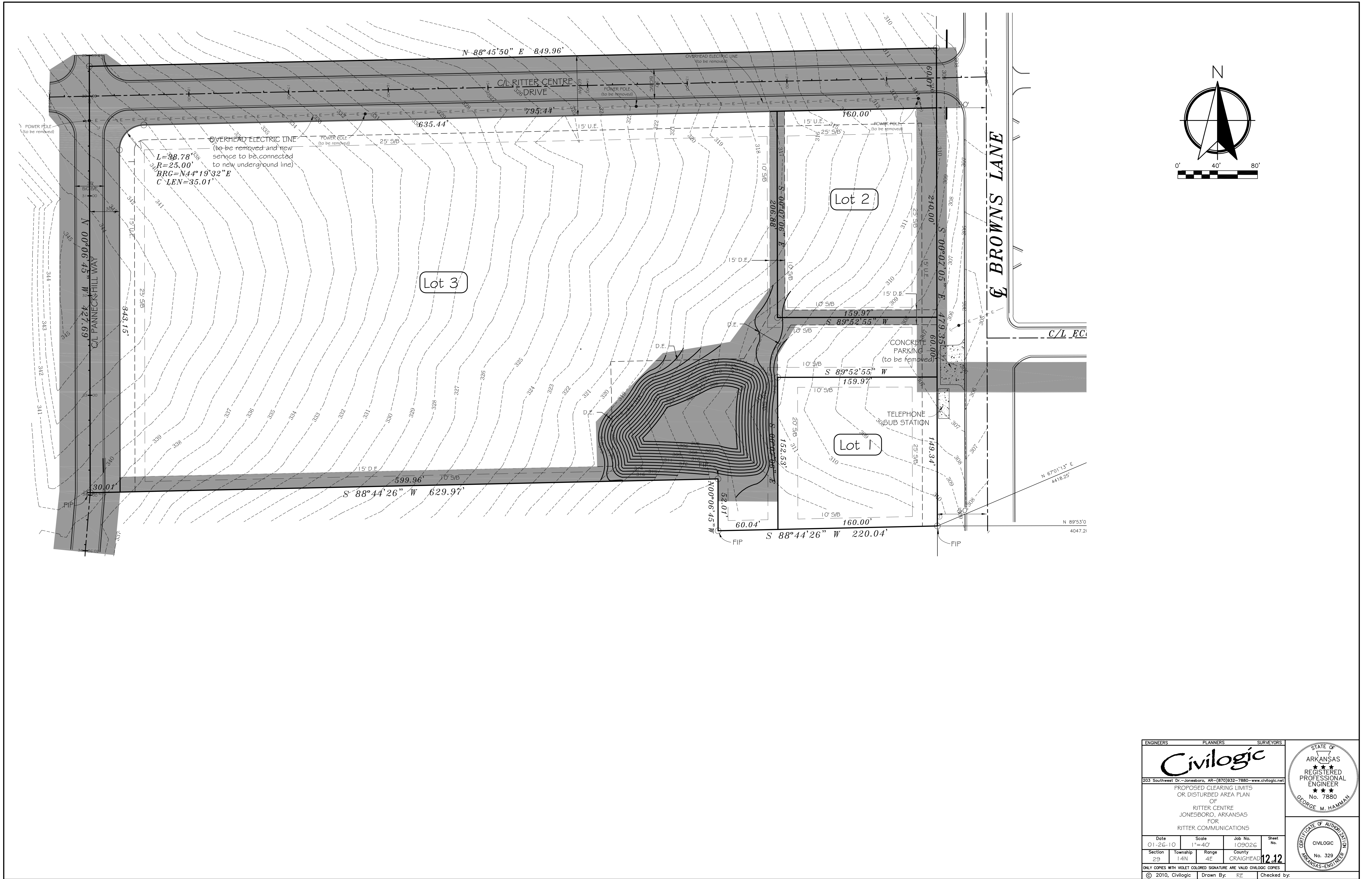


ENGINEERS	PLANNERS	SURVEYORS
		
203 Southwest Dr. - Jonesboro, AR - (870)932-7880 - www.civilogic.net		
WATER DISTRIBUTION AND SANITARY SEWER CONSTRUCTION DETAILS FOR RITTER CENTRE JONESBORO, ARKANSAS FOR RITTER COMMUNICATIONS		
Date 01-26-10	Scale SHOWN	Job No. 109026
Section 29	Township 14N	Range 4E
County CRAIGHHEAD		Sheet No. 11 of 11
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES		
© 2010, Civilogic Drawn By: RE Checked		



SANITARY SEWER DETAILS

WATER DISTRIBUTION DETAILS



ENGINEERS		PLANNERS		SURVEYORS	
Civilogic 203 Southwest Dr - Jonesboro, AR - (870) 932-7880 - www.civilogic.net					
PROPOSED CLEARING LIMITS OR DISTURBED AREA PLAN OF RITTER CENTRE JONESBORO, ARKANSAS FOR RITTER COMMUNICATIONS					
Date 01-26-10	Scale 1"=40'	Job No. 109026	Sheet No.		
Section 29	Township 14N	Range 4E	County CRAIGHEAD	12.12	
ONLY COPIES WITH VIOLET COLORED SIGNATURE ARE VALID CIVILOGIC COPIES					
© 2010, Civilogic		Drawn By: RE	Checked by:		

STATE OF
ARKANSAS
REGISTERED
PROFESSIONAL
ENGINEER
No. 7880
GEORGE M. HAMMAN

CIVILOGIC
No. 329
ARKANSAS-ENGINEER