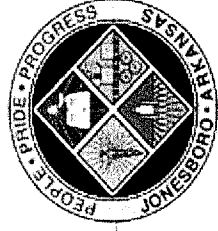


City of

SR 16-613

Jonesboro
ARKANSAS



APPLICATION FOR RESIDENTIAL BUILDING & ZONING PERMIT APPLICATION

Planning & Zoning, P.O. Box 1845, Jonesboro, AR 72403 – (870) 932-0406, fax (870) 336-3036
www.jonesboro.org

(OFFICE USE ONLY) PERMIT NO. ISSUED:		DATE:	
SR 16-613		9/20/16	
Property Information		Parcel No. (if known)	
Address: 3905 TEI DR		City: Jonesboro	
Zoning Classification: Residential			
Please describe proposed use: Residential			
Applicant's Name: Sullys Cabinets and Construction			
Address: 704 CR 620			
City: Jonesboro	State: AR	ZIP Code: 72404	
Phone: 870 891 9355	Email Address:		
Arkansas Contractor License #:	Privilege #: 13790		
Owner's Name: (If Same, Input Same) Michael Sullivan			
Address: 704 CR 620			
City: Jonesboro	State: AR	ZIP Code: 72404	
Phone: 870 897 9355	Email Address: Shevareh.cab@jonesboro.org		
One (1) Copy of Site Plan (Yes/ No (Please circle)) One (1) Set of Construction Documents: (Yes / No (Please circle))			
Type of Construction: Residential			
Code Review Included: Yes / No (Please circle)			
Seismic Zone #3 Signed Certification: Yes / No (Please circle)			
Engineering Firm:			
Engineer's Certification and Signature: Yes / No (Please circle)		Phone:	
Address:	City:	State:	
Architectural Firm/Plans Drawn By:			
Architect's Certification and Signature: Yes / No (Please circle)		Phone:	
Address:	City:	State:	
CONTRACTED PRICE OF PROJECT: \$ 225,000			
Flood Plain: Yes (No) (Please circle)			
Flood Zone District:			
Elevation Certificate Required: Yes / No (Please circle)			
FEMA CLOMA/LOMA Required: Yes / No (Please circle)		GF Issuance: Certificate #:	

(Please sign Page 2)

APPLICATION FOR RESIDENTIAL BUILDING & ZONING PERMIT APPLICATION PAGE 2

TYPE OF IMPROVEMENT:		PROPOSED USE:
New Building:	☒	Multi-Family: No of Units:
Addition:		Institution:
Alteration:		
Demolition:		Temporary Structure:
Moving:		Home Occupation:
Foundation Only:		Storage Shed:
Pool:		Fence:
Accessory Apartment:		Pool House:
Other:		

COMMENTS (OFFICE USE ONLY)

Planners Remarks:

*Don't know
10/4/16
House only. Must adhere to all setback requirements and any easements, on the property. call Bill and they will mark the utilities for you. Do not build in a setback or over an easement.*

Engineering Remarks:

Building Department Remarks:

Review Status:

Zoning:	Engineering:	Building:	C.O. Issuance Date:
---------	--------------	-----------	---------------------

APPLICANT'S CERTIFICATION

I certify that the answers to the above questions and any statements made on same are true and complete to the best of my knowledge.

Yes

Print Name :	<i>Michael Sullivan</i>	Designation:	Phone/Fax: <i>870 897 9355</i>
Email:	<i>Shamrockcabinets@yahoo.com</i>		
Signature:		Date:	

City of

Jonesboro
ARKANSAS



Planning Charge Sheet

Residential Approvals – Planning Review (select all that apply) 01-0731:

- ☒ Single Family Dwelling
☐ Single Family Additions
☐ Walls, Fences, Decks Etc
☐ Multiple Family Dwelling
☐ Single Family Alterations
☐ Multi Family Additions
☐ Detached/Accessory Bldg
☐ Swimming Pools
☐ Multi Family Accessory Bldg

Commercial Approvals – Planning Review (select all that apply) 01-0732:

- ☐ Building _____ Sqft.
☐ Accessory Bldgs, etc.
☐ Gravel Mining
☐ Temp Tents, Trailers & Structures
☐ Interior Alterations/Repairs
☐ Parking Lots
☐ Change of Use
☐ Awnings/Canopies
☐ Landfill and Extraction
☐ Storage Tanks

Residential Zoning Districts : (Zoning Map Amendments) 01-0516:

- ☐ Single Family Districts _____ Acres
☐ Multi Family Districts _____ Acres

Non-Residential Zoning Districts : (Zoning Map Amendments) 01-0516:

- ☐ Zoning Map Amendments _____ Acres

Special District Applications 01-0516:

- ☐ Village Residential Overlay
☐ Planned Development District
☐ JMA-O, Jonesboro Municipal Overlay District
_____ phase (preliminary, final, modification)

Board of Zoning Appeals Fee 01-0516:

- ☐ Residential
☐ Commercial
☐ Conditional Use
☐ Compatible Non-Conforming Use

Subdivision Planning Fees 01-0733:

- ☐ Minor Plats & Replats
☐ Reviews MAPC Approval: _____ Lots _____ Acres

On/Off-Premise Signage Permits – Planning Review 01-0734:

- ☐ Billboards
☐ Construction Sign
☐ Directional Sign _____ Sqft
☐ Promo Event
☐ Corner or Interior Parcel Sign _____ Sqft
☐ High Rise Interstate _____ faces
☐ Ground Sign _____ Sqft
☐ Pole Sign _____ Sqft
☐ Special Event Sign
☐ Bulletin Board _____ Sqft
☐ Wall & Awning _____ Sqft
☐ Marquee Sign _____ Sqft
☐ Grand Opening Sign

Zoning Sign Deposit 01-0155: _____ Number of Signs

Mapping and Duplicating Services Per Page 01-0735:

- ☐ 8 1/2" x 11" BW Copies
☐ Zoning Map 36"x50"
☐ Property Owner Search/Plat Map
☐ 8 1/2" x 11" Color Map
☐ Zoning Map 36"x44")
☐ Land Use (36"x44")
☐ Over Size Page
☐ 11"x17" Map
☐ Zoning Resolution
☐ Zoning Certification Letter

Total Pages _____

Description: House Total Amount Due: \$50.00

Site: Address: 3905 Teal Dr Tracking No.: SFL 16-613

Sullys Cabins & Construction Customer # _____ Date 9/20/16

Customer #

City Official

Date

SE 16-613

Borrower/Member Name: _____
 Property Address: _____
 City, State, Zip: _____
 Contact Phone: _____

CONSTRUCTION PROJECT - SPECIFICATION SHEET

Total Cost Home \$ _____ +

Total Cost: \$ _____

NO.	SPECIFICATION	Please specify type by an "x" in the box that applies or complete									
1	Foundation	Block	X	Poured	X	Styrofoam		Other			
2	Floor Framing	Joist		Trusses		Other	Concrete				
3	Exterior Wall Sheathing	Styrofoam		OSB	X	Other					
4	Siding	Vinyl	X	Full Log		Log Siding		Stucco			
5	Roof Framing	Eng. Truss		Framed	X	Other					
6	Roof Shingles	Standard		Other							
7	Interior Walls	Drywall	X	Plaster		Log					
8	Windows	Brand:	6.05	6.14	6.20	6.25	Type:				
9	Interior Trim	Pine		Oak		Birch		Painted	X		
10	Interior Doors	Pine		Oak		Flush		Solid	X		
11	Exterior Doors	Normal	X	Extra		No. of Sliders:					
12	Heating System	Type		Efficiency		Air Conditioning	X				
13	Utilities - Wiring to House	Overhead	X	Underground		Other					
14	Utilities	Well		Septic		Public Water	X	Public Sewer	X		
15	Driveway	Cement	X	Blacktop		Gravel					
16	Garage	Size:		Finished Interior		Not Finished					
17	Dock	Wood		Vinyl		Size:		Ratio: Type			
18	Built in Appliances	Refrig.	X	Oven	X	Microwave	X	Other			
19	Basement	Finished Area Size:				Unfinished Area Size:					
20	Light Fixture Allowance	\$									
21	Finish Flooring - Wood	Room(s):				Allowance: \$					
22	Finish Flooring - Ceramic	Room(s):				Allowance: \$					
23	Finish Flooring - Vinyl	Room(s):				Allowance: \$					
24	Finish Flooring - Carpet	Room(s):				Allowance: \$					
25	Fireplace	Gas		Wood		Allowance: \$					
26	Kitchen Counter Top	Formica		Granite		Solid Surfacing		Allowance: \$			
27	Bath Counter Top	Formica		Cult. Marble		Granite		Allowance: \$			
28	Landscaping Allowance	\$									
29	Sprinklers	\$									
30	Security System	\$									
31	OTHER: Back/Side	\$									
32	House Square Footage:	Total of ALL Your Concrete Square Footage?:									
	Style: Ranch	Two Story	X	Energy Efficient							

The Construction Loan Company, Inc. Main Office: (810) 629-8700 Fax: (810) 629-6806 (877) 562-6862 Toll Free

Cashed (attach) \$5,000
 219,800

License No. 0352570917

ACTIVATED

ID #42033

State of Arkansas
Residential Building Contractors Committee

SULLYS CABINETS AND CONSTRUCTION LLC
704 CR 620
JONESBORO, AR 72404

SULLYS CABINETS AND CONSTRUCTION LLC

This is to Certify That

is duly licensed under the provisions of Act 950 of 1999 Acts and is entitled to practice Contracting in the State of Arkansas within the following classification:

RESIDENTIAL BUILDER

This is a Residential Builders License. This License applies to single family residences only. This is not a commercial contracting license.

activated June 20, 2016 **until** September 30, 2017 **when this Certificate expires.**

Witness our hands of the Committee, dated at North Little Rock, Arkansas:



[Signature]
CHAIRMAN

[Signature]
SECRETARY

June 20, 2016 - da

Stormwater Pollution Prevention Plan (SWPPP) for Construction Activity
For Small Construction Sites

Natural Pollutant Discharge Elimination System (NPDES)

General Permit # ARR150000

Prepared for:

Sully's Cabinets and Construction, L.L.C.

704 CR 620

Jonesboro, AR 72404

Prepared by:

Michael Sullivan

Project Name and Location: Single Family Residence, 3905 Teal Drive

Property Parcel Number (Optional): _____

Operator Name and Address: Sully Cabinets and Construction, L.L.C
704 W 620, Jonesboro, AR 72404

A. Site Description

a. Project description, intended use after NOI is filed: _____
Single Family Residence

b. Sequence of major activities which disturb soils: Foundation work,
Framing, Brick work, Dirt work, Driveway

c. Total Area: • 25 Disturbed Area: • 25

B. Responsible Parties:

Individual/Company	Phone Number	Service Provided for SWPPP (i.e., Inspector, SWPPP revisions, Stabilization Activities, BMP Maintenance, etc.)
<u>Sully Cabinet and Construction</u>	<u>810-897-9355</u>	

C. Receiving Waters

a. The following waterbody (or waterbodies) receives stormwater from this construction site: Un-named Ditch then Cache River

b. Is the project located within the jurisdiction of an MS4? ☒ Yes ☐ No

i. If yes, Name of MS4: CITY OF JONESBORO

c. Ultimate Receiving Water:

☐ St. Francis River

☐ L'anguille River

☒ Cache River

D. Site Map Requirements (Attach Site Map):

a. Pre-construction topographic view; (www.efsedge.com/craighead/)

ARR150000

- b. Direction of stormwater flow (i.e., use arrows to show which direction stormwater will flow) and approximate slopes anticipated after grading activities;
- c. Delineate on the site map areas of soil disturbance and areas that will not be disturbed under the coverage of this permit;
- d. Location of major structural and nonstructural controls identified in the plan.
- e. Location of main construction entrance and exit;
- f. Location where stabilization practices are expected to occur;
- g. Locations of off-site materials, waste, borrow area, or equipment storage area;
- h. Location of areas used for concrete wash-out;
- i. Location of all surface water bodies (including wetlands);
- j. Locations where stormwater is discharged to a surface water and/or municipal separate storm sewer system if applicable;
- k. Locations where stormwater is discharged off-site (should be continuously updated);
- l. Areas where final stabilization has been accomplished and no further construction phase permit requirements apply.

E. Stormwater Controls

- a. Initial Site Stabilization, Erosion and Sediment Controls, and Best Management Practices:

- i. Initial Site Stabilization: Silt fence across the front of the lot and a class 7 Construction Entrance
- ii. Erosion and Sediment Controls: Silt Fence where needed Class 7 Construction Entrance
- iii. If periodic inspections or other information indicates a control has been used inappropriately or incorrectly, the operator will replace or modify the control for site situations: ☒ Yes ☐ No

If No, explain: _____

- iv. Off-site accumulations of sediment will be removed at a frequency sufficient to minimize off-site impacts: ☒ Yes ☐ No

If No, explain: _____

- v. Sediment will be removed from sediment traps or sedimentation ponds when design capacity has been reduced by 50%: ☒ Yes ☐ No

If No, explain: _____

ARR150000

- vi. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges: ☒ Yes ☐ No

If No, explain: _____

- vii. Off-site material storage areas used solely by the permitted project are being covered by this SWPPP: ☐ Yes ☒ No

If Yes, explain additional BMPs implemented at off-site material storage area: _____

b. Stabilization Practices

- i. Description and Schedule: Once exterior of house is completed there will be a concrete driveway and sod or hydro seed the entire yard

ii. Are buffer areas required? ☐ Yes ☒ No

If Yes, are buffer areas being used? ☐ Yes ☐ No

If No, explain why not: _____

If Yes, describe natural buffer areas: _____

- iii. A record of the dates when grading activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated shall be included with the plan.

☒ Yes ☐ No

If No, explain: _____

- iv. Deadlines for stabilization: Stabilization procedures will be initiated 14 days after construction activity temporarily ceases on a portion of the site.

c. Structural Practices

- i. Describe any structural practices to divert flows from exposed soils, store flows, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site: _____

ii. Sediment Basins:

Are 10 or more acres draining to a common point? ☐ Yes ☒ No

Is a sediment basin included in the project? ☐ Yes ☒ No

If Yes, what is the designed capacity for the storage?

☐ 3600 cubic feet per acre = : _____
or

☐ 10 year, 24 hour storm = : _____

☐ Other criteria were used to design basin: _____

If No, explain why no sedimentation basin was included and describe required natural buffer areas and other controls implemented instead: No Sedimentation basin is

needed for this project due to its small size

iii. Describe Velocity Dissipation Devices: _____

F. Other Controls

a. Solid materials, including building materials, shall be prevented from being discharged to Waters of the State: ☒ Yes ☐ No

b. Off-site vehicle tracking of sediments and the generation of dust shall be minimized through the use of:

☒ A stabilized construction entrance and exit

☐ Vehicle tire washing

☐ Other controls, describe: _____

c. Temporary Sanitary Facilities: will be provided for
this project

d. Concrete Waste Area Provided:

☒ Yes

☐ No. Concrete is used on the site, but no concrete washout is provided.

Explain why: _____

☐ N/A, no concrete will be used with this project

e. Fuel Storage Areas, Hazardous Waste Storage, and Truck Wash Areas: N/A

G. Non-Stormwater Discharges

a. The following allowable non-stormwater discharges comingled with stormwater are present or anticipated at the site:

☐ Fire-fighting activities;

☐ Fire hydrant flushings;

- ☐ Water used to wash vehicles (where detergents or other chemicals are not used) or control dust in accordance with Part II.A.4.H.2;
- ☐ Potable water sources including uncontaminated waterline flushings;
- ☒ Landscape Irrigation;
- ☐ Routine external building wash down which does not use detergents or other chemicals;
- ☐ Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled materials have been removed and where detergents or other chemicals are not used;
- ☒ Uncontaminated air conditioning, compressor condensate (See Part I.B.12.C of the permit);,
- ☐ Uncontaminated springs, excavation dewatering and groundwater (See Part I.B.12.C of the permit);
- ☐ Foundation or footing drains where flows are not contaminated with process materials such as solvents (See Part I.B.12.C of the permit);
- b. Describe any controls associated with non-stormwater discharges present at the site: N/A

H. Applicable State or Local Programs: The SWPPP will be updated as necessary to reflect any revisions to applicable federal, state, or local requirements that affect the stormwater controls implemented at the site. ☒ Yes ☐ No

I. Inspections

a. Inspection frequency:

☒ Every 7 calendar days

or

☐ At least once every 14 calendar days and within 24 hours of the end of a storm even 0.5 inches or greater (a rain gauge must be maintained on-site)

b. Inspections:

Completed inspection forms will be kept with the SWPPP.

☒ ADEQ's inspection form will be used (See Appendix B)

or

☐ A form other than ADEQ's inspection form will be used and is attached (See inspection form requirements Part II.A.4.L.2)

c. Inspection records will be retained as part of the SWPPP for at least 3 years from the date of termination.

d. It is understood that the following sections describe waivers of site inspection requirements. All applicable documentation requirements will be followed in accordance with the referenced sections.

- i. Winter Conditions (Part II.A.4.L.3)
- ii. Adverse Weather Conditions (Part II.A.4.L.4)

J. Maintenance:

The following procedures to maintain vegetation, erosion and sediment control measures and other protective measures in good, effective operating condition will be followed:

Any necessary repairs will be completed, when practicable, before the next storm event, but not to exceed 3 business days of discovery, or as directed by officials
Any necessary repairs will be completed, when practicable, before the next storm event, but not to exceed a period of 3 business days of discovery, or as otherwise directed by state or local officials.

K. Employee Training:

The following is a description of the training plan for personnel (including contractors and subcontractors) on this project: All sub contractors on this job will be notified of the requirements that must be met to keep storm water run off clean and to keep adjacent street and properly clean and free of debris

**Note, Formal training classes given by Universities or other third-party organizations are not required, but recommended for qualified trainers; the permittee is responsible for the content of the training being adequate for personnel to implement the requirements of the permit.

Certification

"I certify under penalty of law that this document and all attachments such as Inspector Form were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Responsible or Cognizant Officer: [Signature]

Title: President Date: 9-8-16

Signature of Builder or Contractor: [Signature]

Date: 9-8-16

ARR150000 Inspection Form

Appendix A

Inspector Name: _____
 Inspector Title: _____

Date of Inspection: _____

Date of Rainfall: _____
 Days Since Last Rain Event: _____ days

Duration of Rainfall: _____
 Rainfall Since Last Rain Event: _____ inches

Description of any Discharges During Inspection: _____

Location of Discharges of Sediment/Other Pollutant (specify pollutant & location): _____

Locations in Need of Additional BMPs: _____

Information on Location of Construction Activities

Location	Activity Begin Date	Activity Occurring Now (y/n)?	Activity Ceased Date	Stabilization Initiated Date	Stabilization Complete Date

Information on BMPs in Need of Maintenance

Location	In Working Order?	Maintenance Scheduled Date	Maintenance Completed Date	Maintenance to be Performed By

Changes required to the SWPPP: _____

Reasons for changes: _____

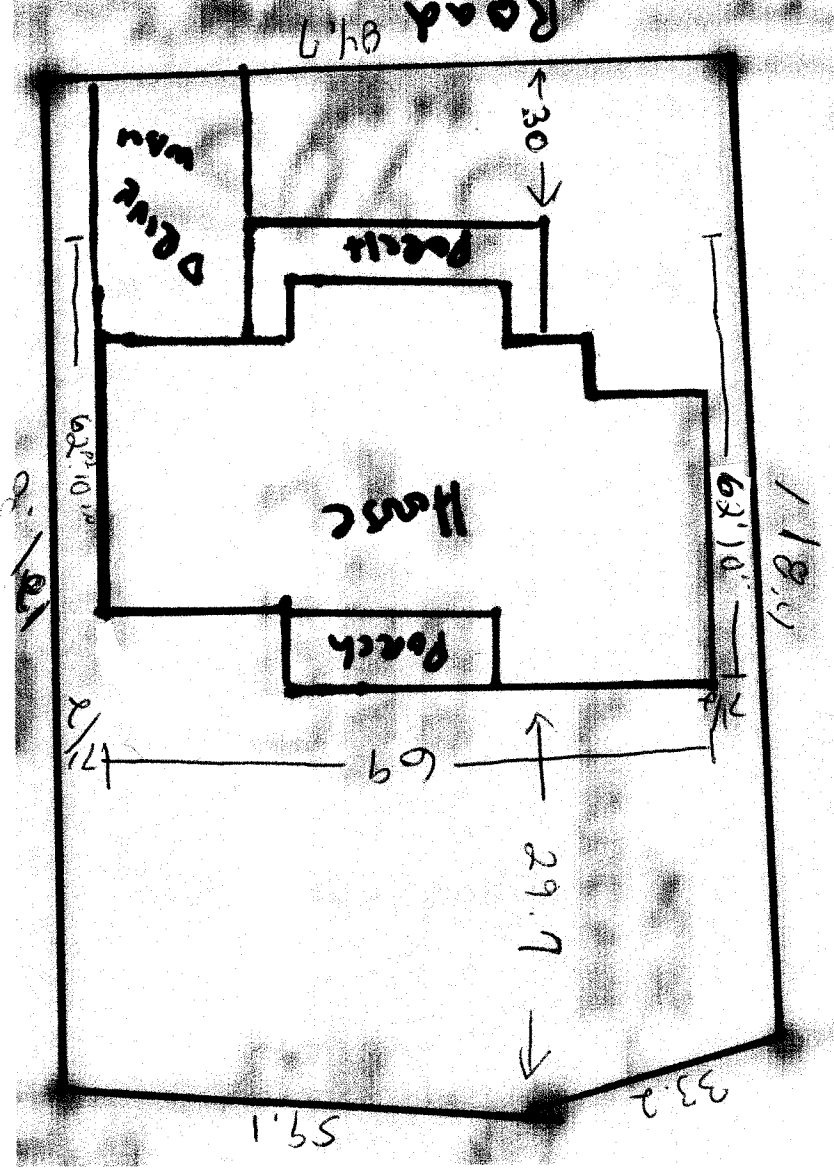
SWPPP changes completed (date): _____

"I certify under penalty of law that this document and all attachments such as Inspection Form were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Responsible or Cognizant Officer: _____ Date: _____

Title: _____

SPR 16-613

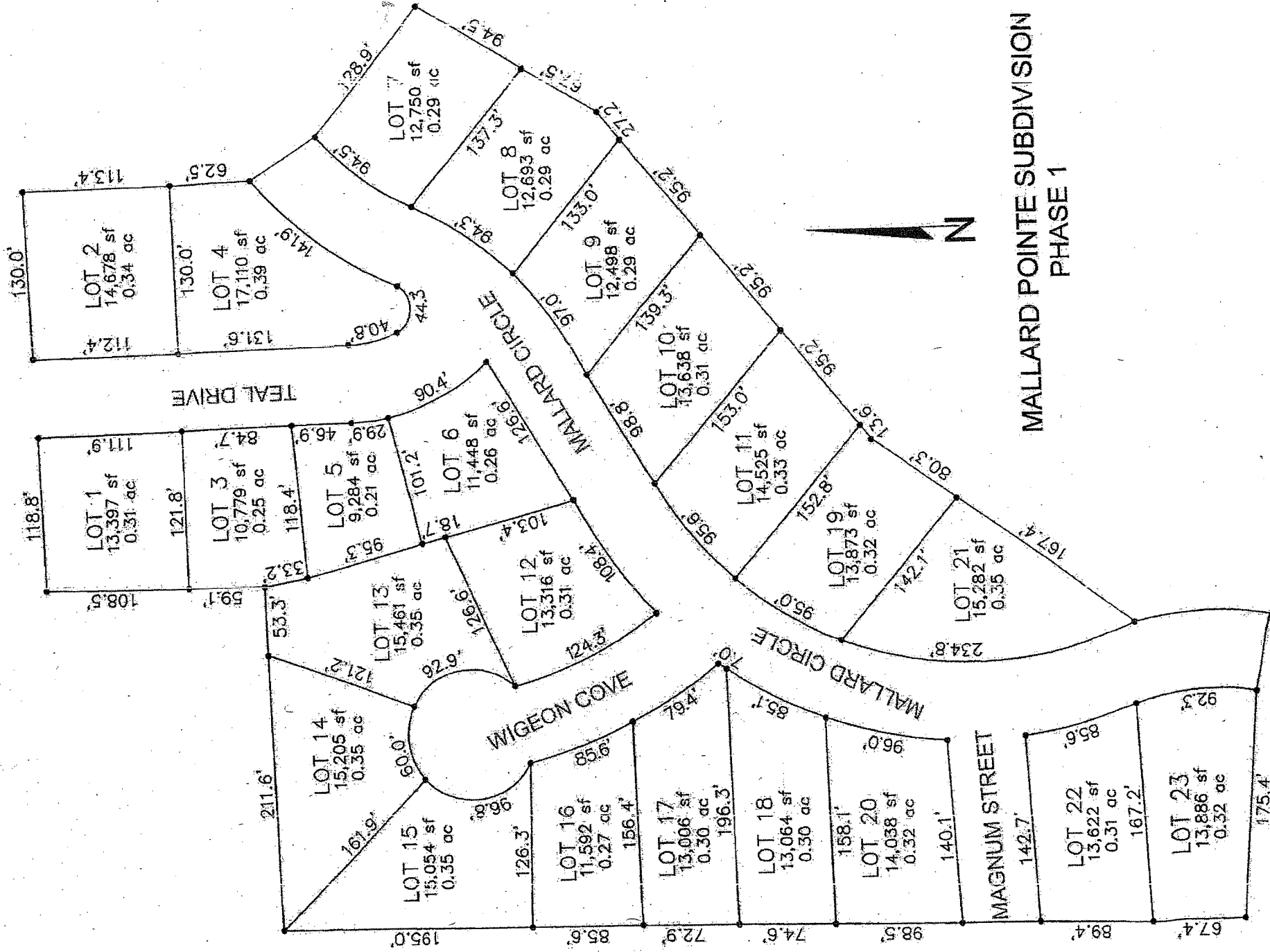


LOT 3

Mallozo Point

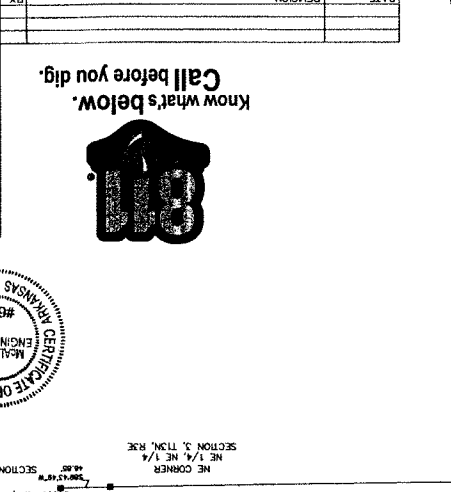
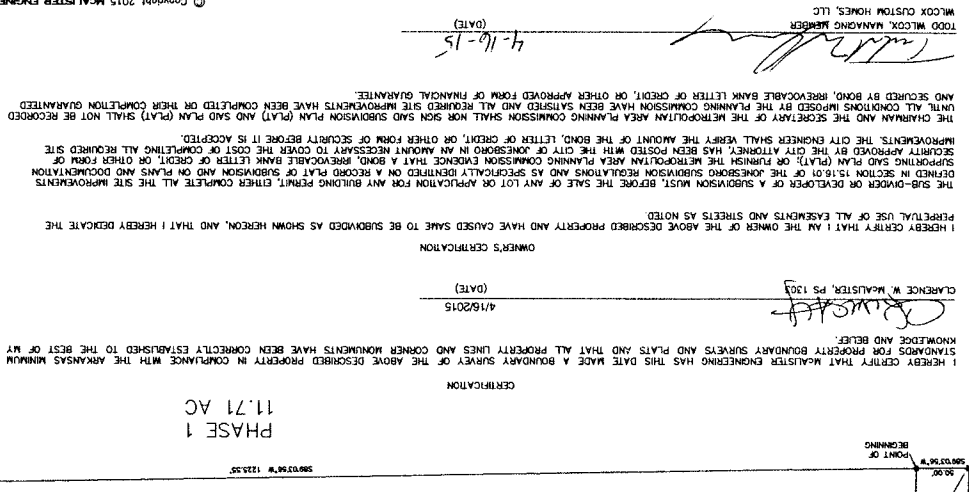
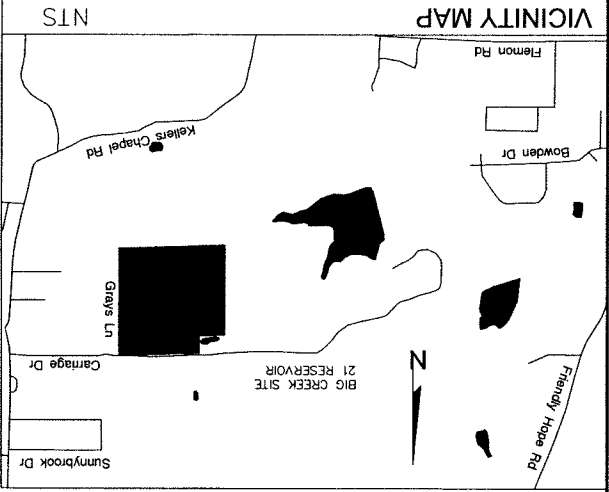
3905 Teal Drive

CARRIAGE DRIVE



MALLARD POINTE SUBDIVISION
PHASE 1

Curve #	Length	Radius	Chord Direction
C1	173.51'	300.20'	N88°28'11"W
C2	68.88'	360.20'	N15°56'04"W
C3	103.23'	230.00'	N14°36'38"W
C4	5.78'	170.00'	N20°58'29"W
C5	81.54'	200.00'	S40°51'00"W
C6	51.12'	200.00'	N14°37'41"W
C7	51.12'	200.00'	N14°37'41"W
C8	64.30'	200.00'	N15°41'77"
C9	105.78'	300.00'	S11°30'58"E
C10	221.47'	300.00'	S19°24'02"W
C11	100.24'	300.00'	S50°07'16"W
C12	51.52'	200.00'	N52°17'05"E
C13	56.35'	200.00'	N56°46'29"E
C14	130.85'	129.75'	S59°48'06"E
C15	124.27'	330.00'	S53°08'41"E
C16	75.45'	330.00'	S53°08'41"E
C17	124.27'	330.00'	S53°08'41"E
C18	92.86'	50.00'	S10°06'23"E
C19	60.00'	50.00'	N82°18'51"E
C20	60.00'	50.00'	N73°05'5"W
C21	96.82'	50.00'	N73°05'5"W
C22	7.05'	330.00'	N33°03'16"W
C23	79.23'	330.00'	N33°03'16"W
C24	85.07'	330.00'	N27°23'10"E
C25	95.85'	330.00'	N11°40'17"E
C26	85.33'	330.00'	N14°31'20"W
C27	82.32'	170.00'	N48°31'3"W
C28	29.50'	230.00'	S18°16'35"E
C29	205.00'	270.00'	S01°11'59"E
C30	94.47'	20.1512'	S31°37'36"W
C31	64.43'	17.8903'	S50°41'53"W
C32	57.02'	14.4000'	S52°34'23"W
C33	67.37'	16.7826'	S37°03'43"W
C34	65.86'	170.00'	S39°50'23"W
C35	98.08'	N46°43'37"E	
C36	35.80'	S87°50'01"E	
C37	40.47'	S12°37'56"E	
C38	10.13'	N57°56'07"E	
C39	89.41'	158.75'	N27°52'44"W
C40	28.90'	N67°47'7"W	



MCALISTER ENGINEERING

CIVIL ENGINEERING AND LAND SURVEYING

1462430WILCOXPILOT.DWG

DATE: 18SEP14

SCALE: 1" = 80'

CHECKED BY: CM/JH

DRAWN BY: DM/AH

JONESBORO, ARKANSAS

IN SE1/4, SE1/4 SEC 34, T14N, R3E

MALLARD POINTE PHASE 1

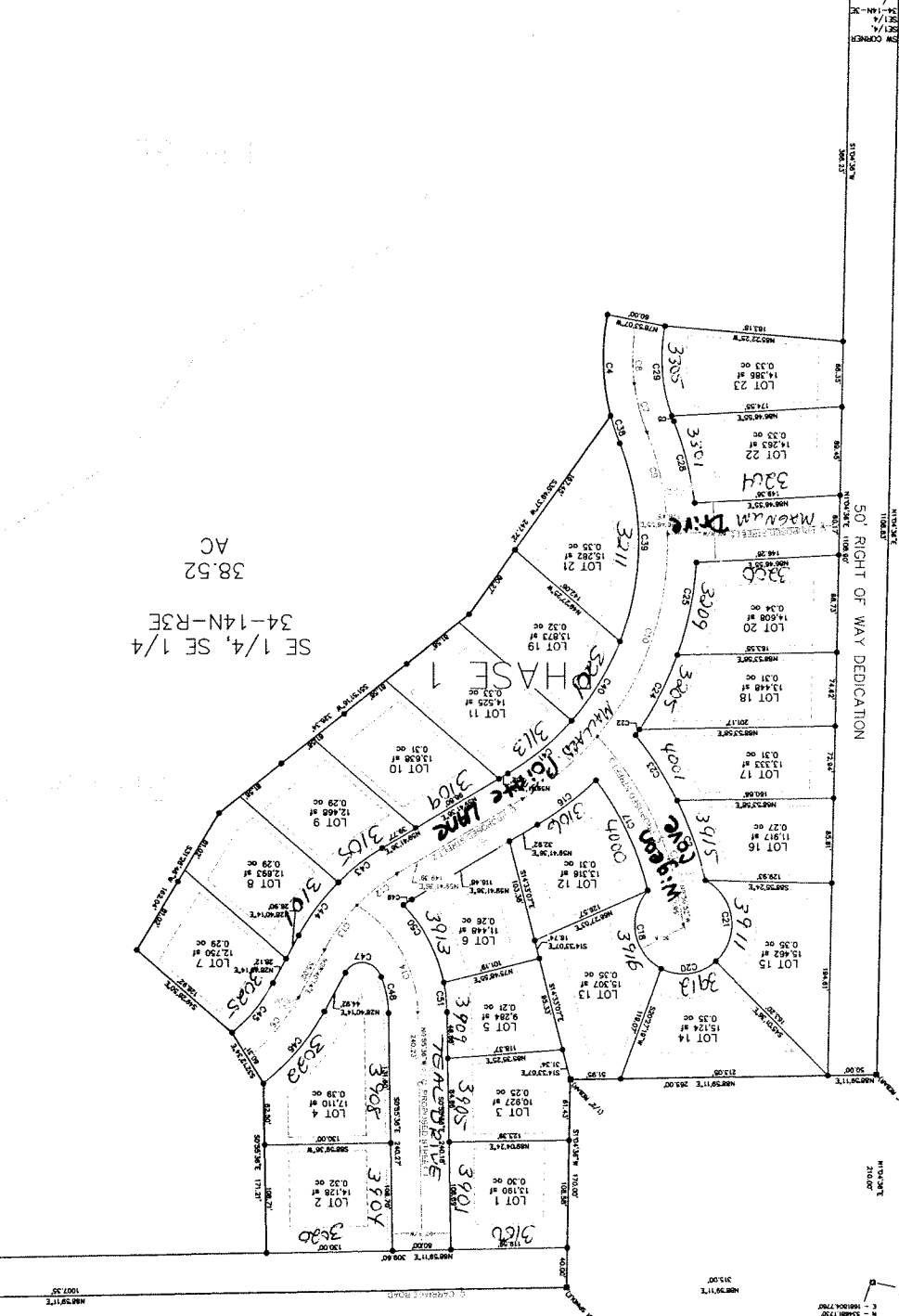
RECORD PLAT

FILED

JAN - 8 2015

CANADAGE EDWARDS

COMPUT COUNT CLERK



MAIN FLOOR PLAN / NOTES

MICHAEL SULLIVAN

Seth M. Nelson
designs

Member
American Institute of Design
RELATIONS@AIAAID.COM
800.598.4253

NATIONALLY PUBLISHED

2200 FOWLER AV
JONESBORO, AR 72403
810.931.7727
FAX 810.931.7728

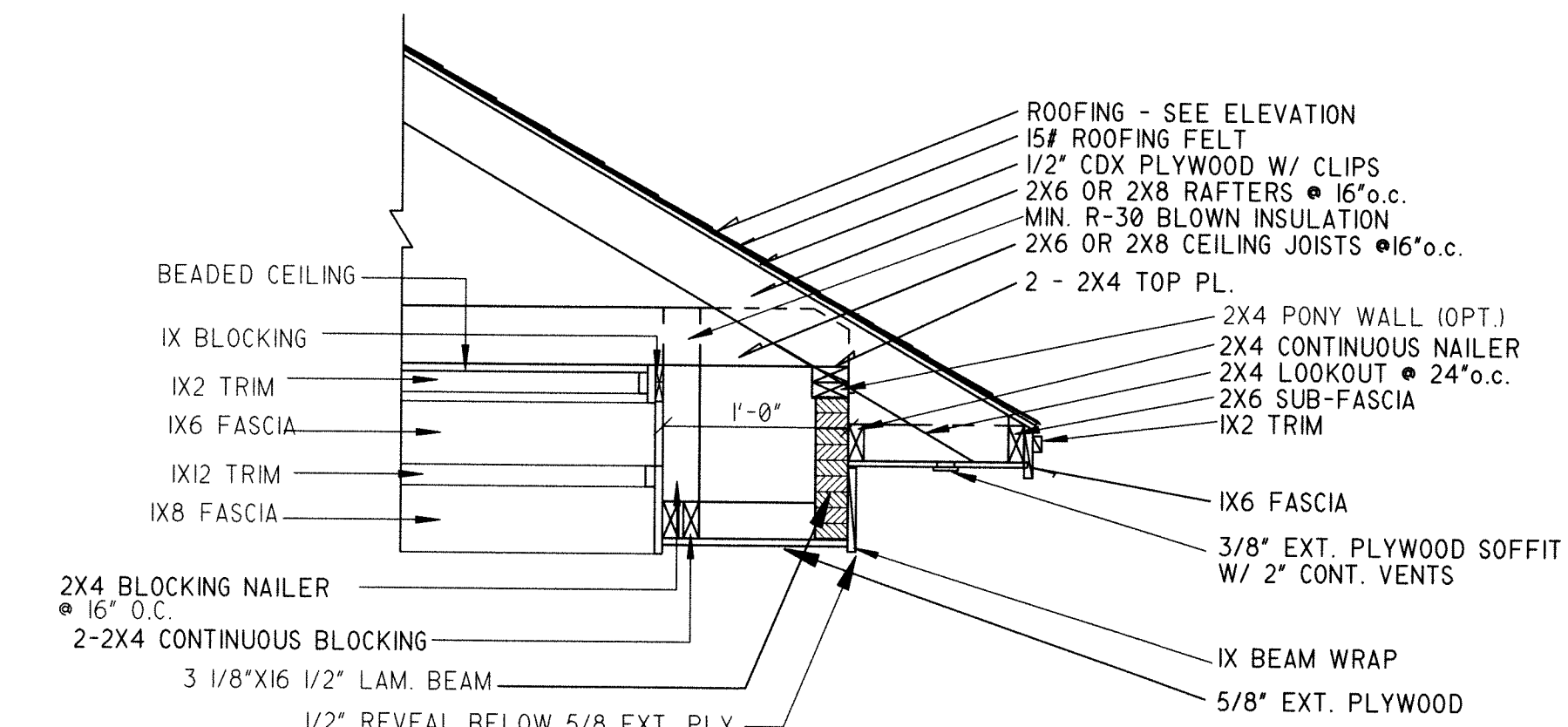
NATIONALLY PUBLISHED

DATE	9/6/2016
SCALE	1/4" = 1'-0"
BUILDER	
DRAWN BY	SMN



1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
5. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS. CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLOOR HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
6. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
7. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY.
8. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
9. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5' 7" SQ.FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20". A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.

10. ALL GLASS LOCATED WITHIN 18' OF FLOOR, 12' OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
11. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
12. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
13. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
14. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
15. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 1/2" GYPSUM BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
16. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL "DRAFT STOPS" AT EACH FLOOR LEVEL BY PACKING 6" (R-19) INSULATION THROUGH L24 JOISTS.
17. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
18. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.



1 BOX LAM. BEAM SECTIONAL DETAIL

HEAT/COOLED:	2506 SQ. FT.
GARAGE, STORAGE:	529 SQ. FT.
PORCHES:	347 SQ. FT.
TOTAL:	3382 SQ. FT.

NOTE:

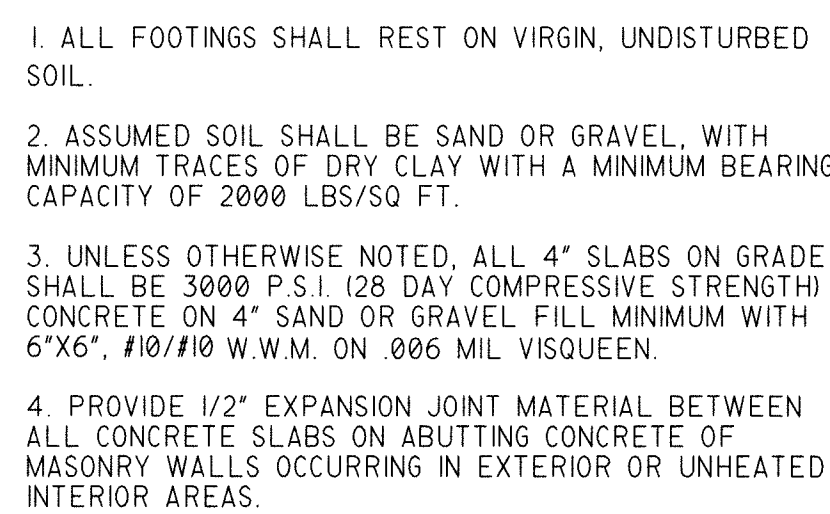
- 1.- ALL CEILINGS TO BE 9" UNLESS NOTED.
- 2.- BUILDER TO APPROVE & VERIFY ALL PLANS BEFORE CONSTRUCTION.
- 3.- VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
- 4.- HVAC & W.H. TO BE IN ATTIC UNLESS OTHERWISE NOTED.
- 5.- PROVIDE SHUT-OFF VALVE FOR ALL GAS APPLIANCES, REFERENCE IRC SECTION G2419
- 6.- ALL GLASS LOCATED WITHIN 18" OF FLOOR, 24" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, JACUZZIS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
- 7.- TO COMPLY WITH IRC SECTION R308.4.8

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FOUNDATION (SLAB) PLAN / NOTES
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5. PLACE 1/2" DIAMETER X 18" OR 12" SILL PLATE ANCHOR BOLTS AT EACH VERTICAL REBAR (WHERE OCCURRING) OR AT 4'0" O.C. AND AT EACH CORNER AND BOTH SIDES OF OPENINGS.

6. FOOTING SIZES SHOWN ARE ONLY TYPICAL FOR STATED SOIL PRESSURES AND CONTINENT COMPACTON; WHICHEVER IS MORE RESTRICTIVE.

7. CONTRACTOR TO VERIFY FOOTINGS DEPTHS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS; WHICHEVER IS MORE RESTRICTIVE.

8. PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.

9. PROVIDE DEEP SCORE CONTROL JOINTS AT MID POINTS OF ALL GARAGES, BOTH DIRECTIONS.

10. MASONRY VENEER MUST BE ANCHORED TO BACK-UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" O.C. HORIZONTALLY AND 24" O.C. VERTICALLY.

11. INSTALL CONTINUOUS APPROVED FLASHINGS AND COTTON CORD WEEPS AT 48" O.C. WITHIN FIRST EXPOSED COURSE ABOVE GRADE.

12. CRAWL SPACE FOUNDATIONS: PROVIDE CRAWL SPACE VENTILATION PER LOCAL CODE REQUIREMENTS.

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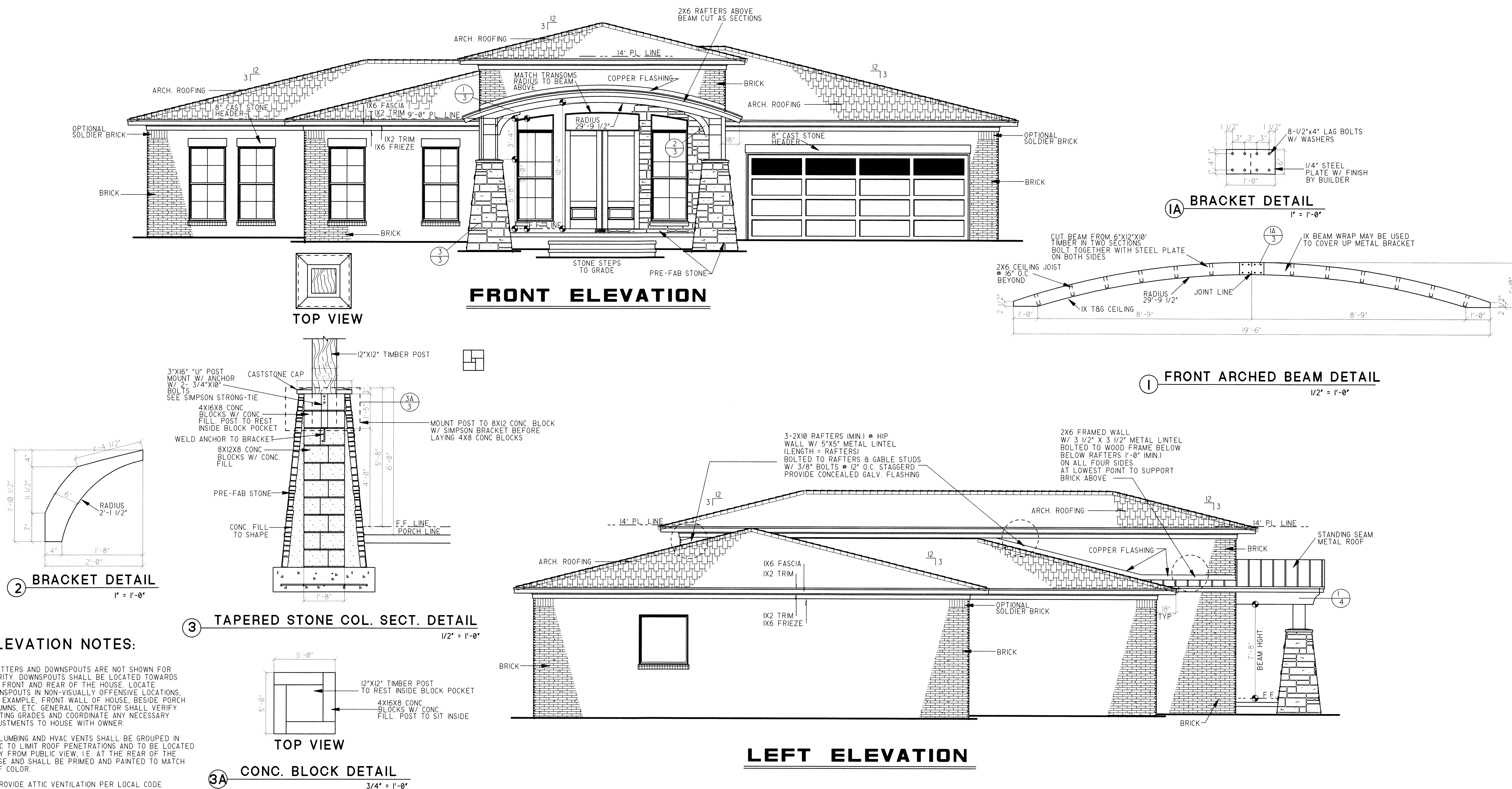
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3



ELEVATION NOTES:

I. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY, DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS, FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER

2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR

3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.

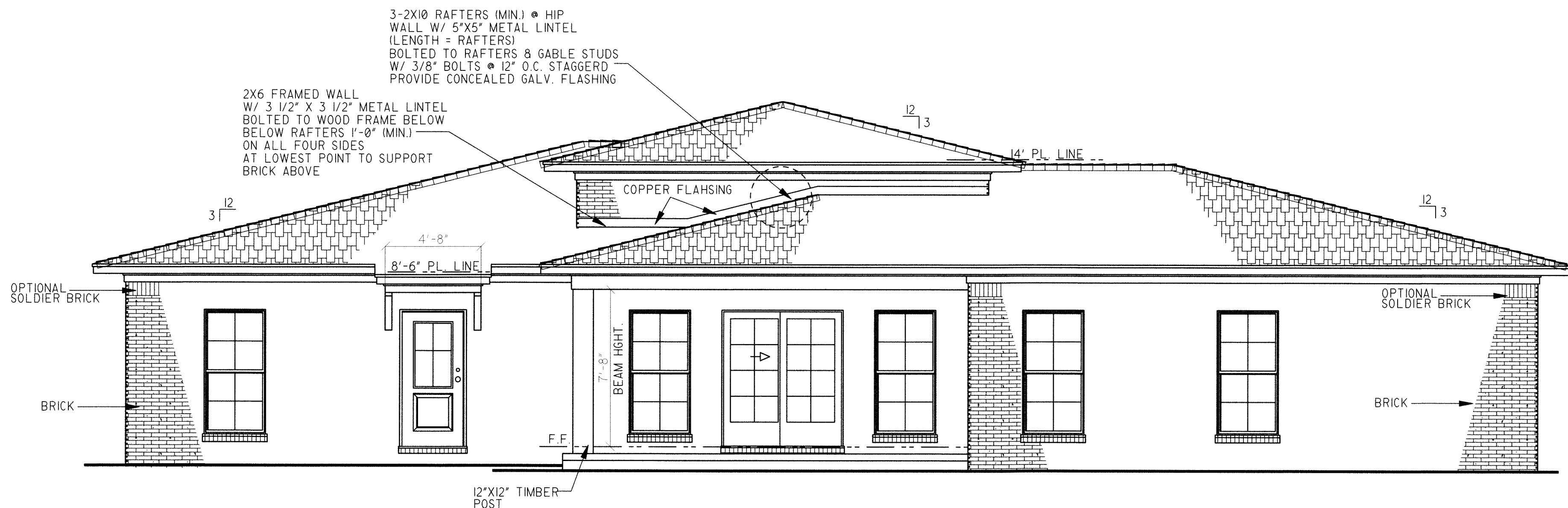
4. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES

5. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS / ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.

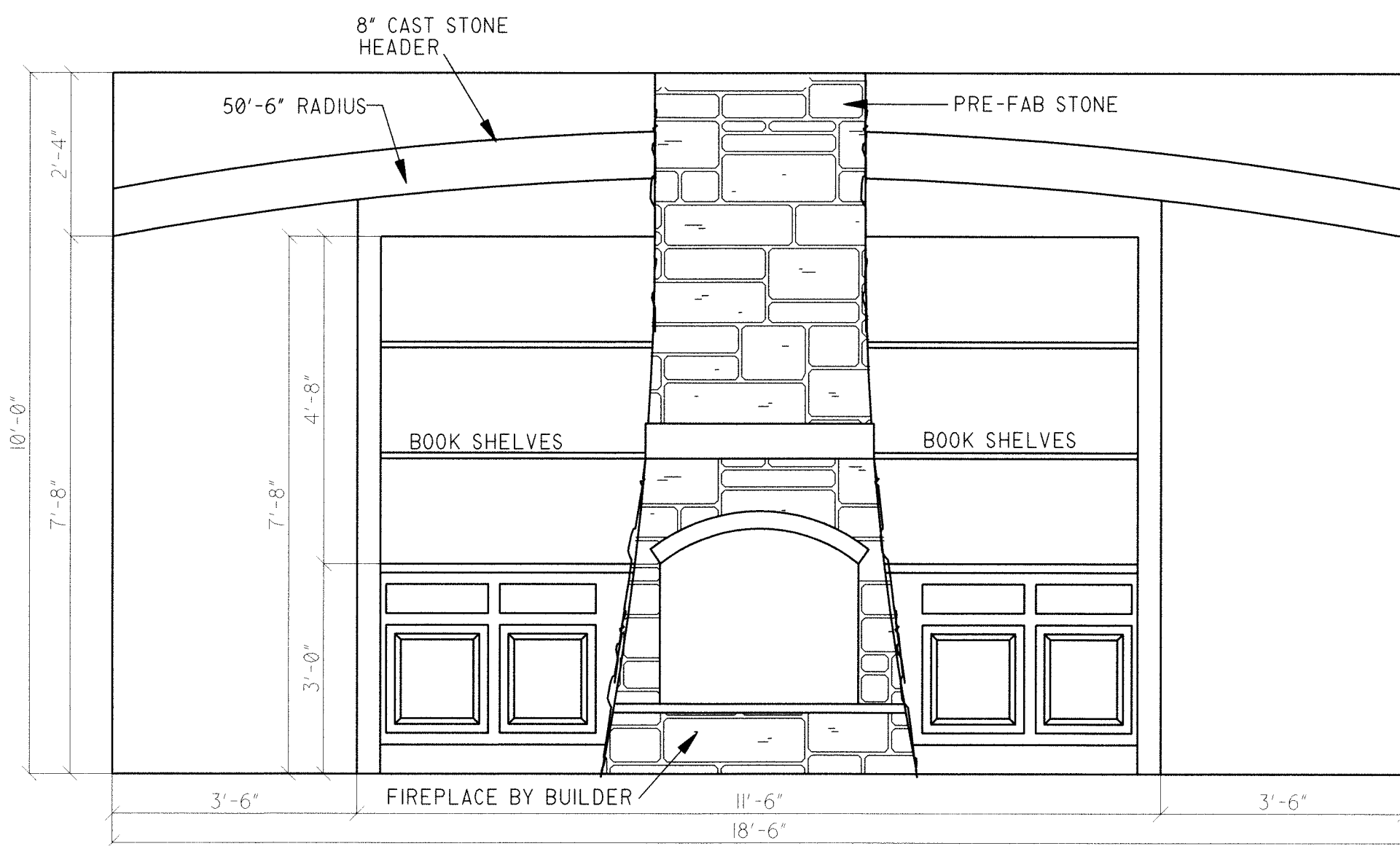
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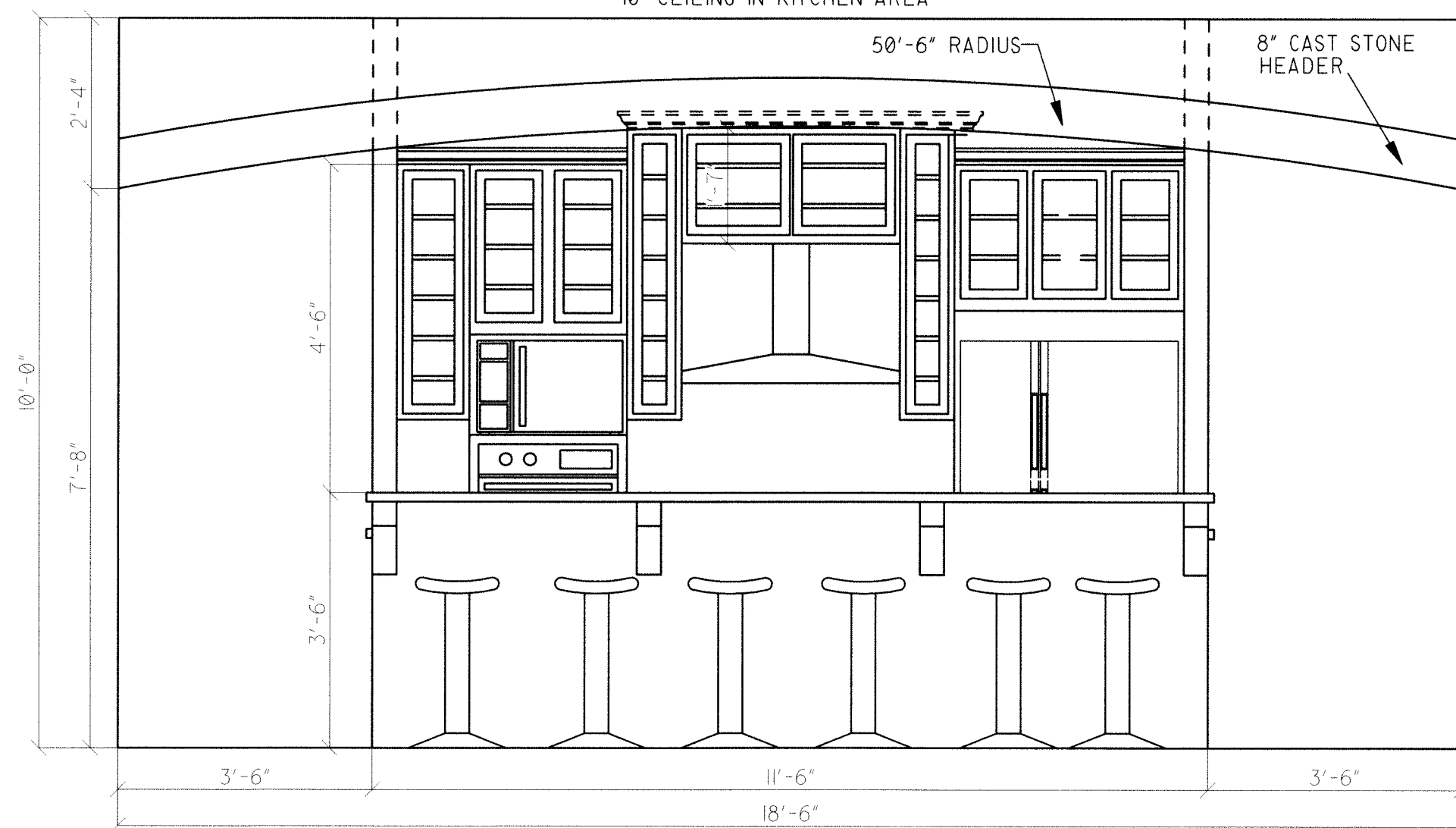
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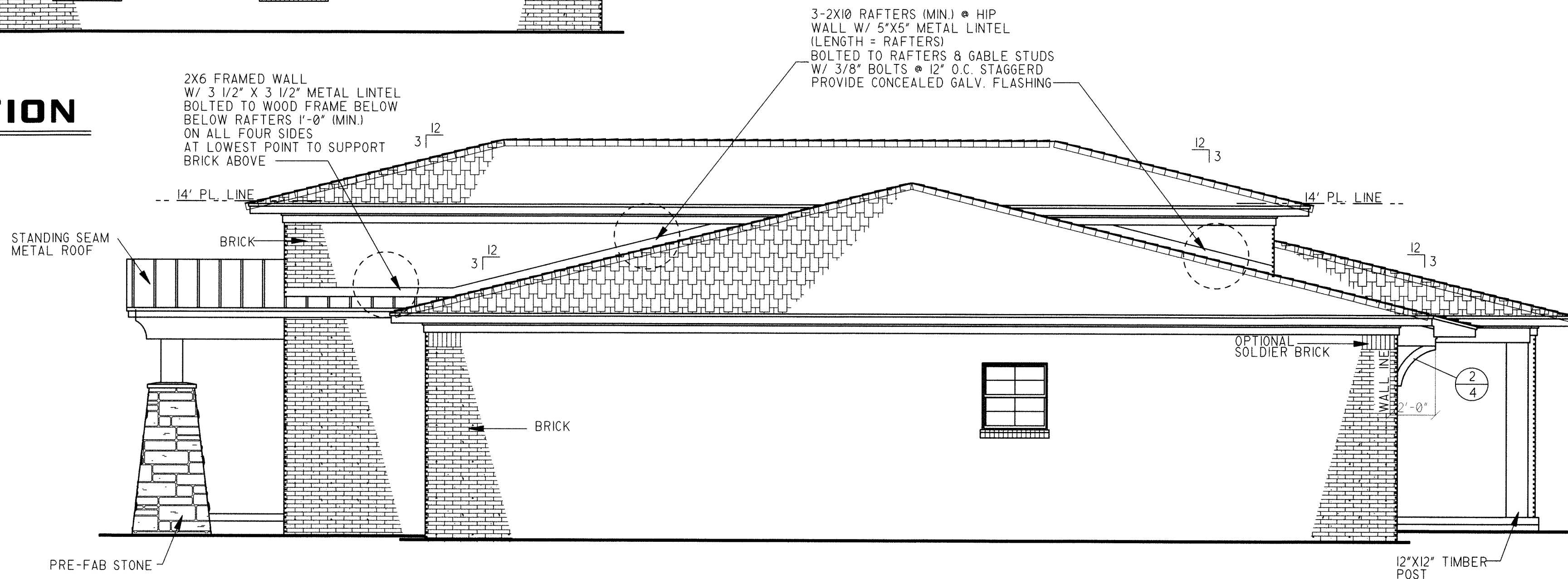
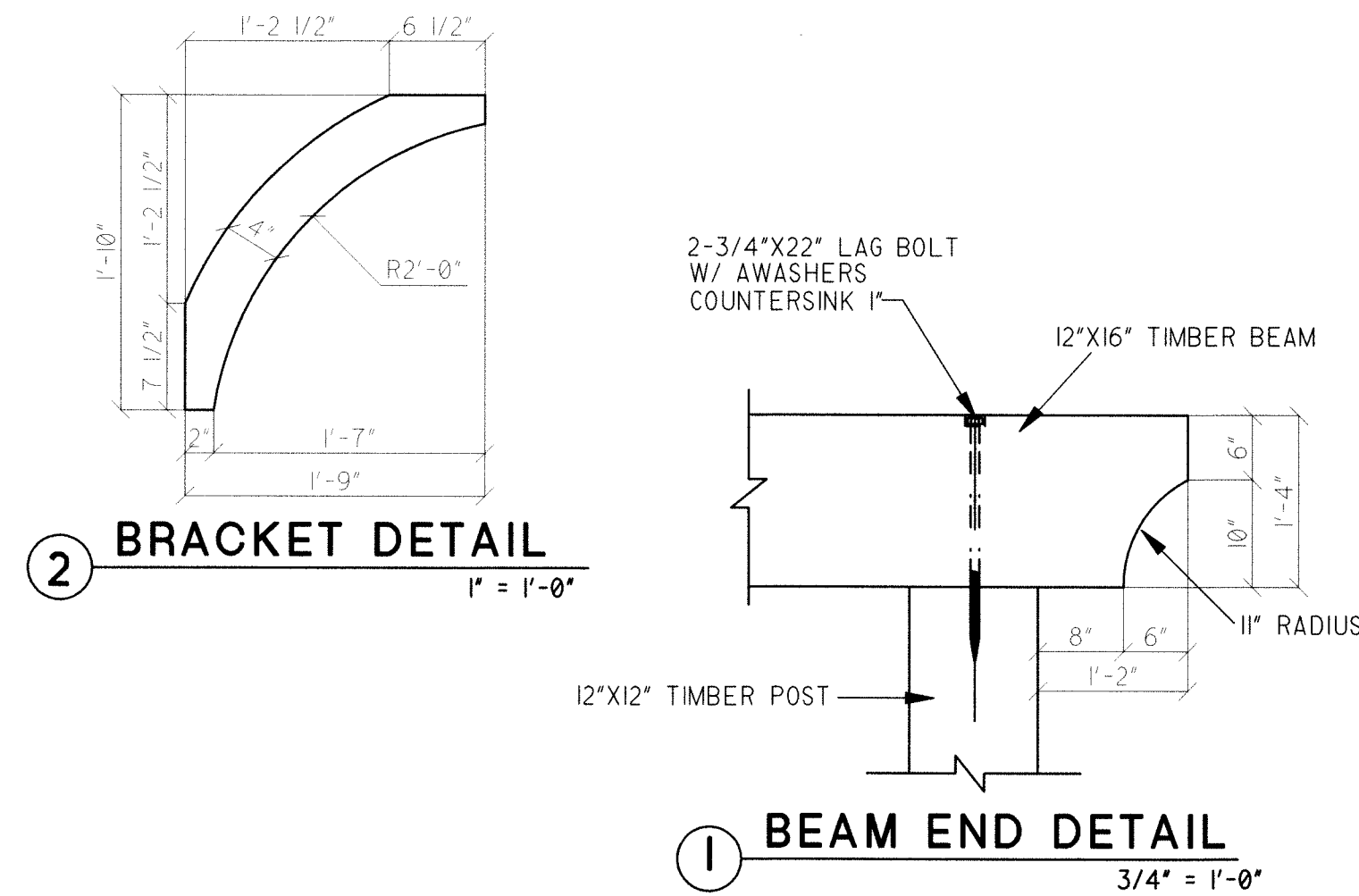
REAR ELEVATION



GREAT ROOM
1/2" = 1'-0"



KITCHEN
1/2" = 1'-0"



RIGHT ELEVATION

SECTION NOTES:

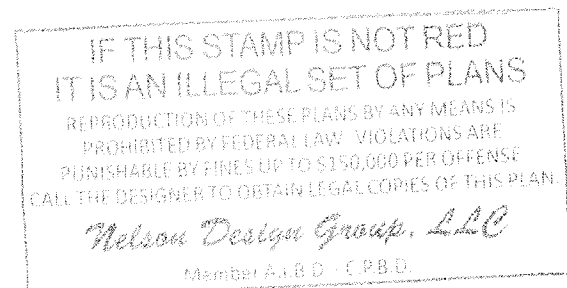
1. PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS / TRUSSES.
2. RIDGES, VALLEY AND HIP MEMBERS SHALL BE FULL VERTICAL DEPTH OF FRAMING MEMBERS
3. PROVIDE 2X6 COLLAR TIES AT 48" O.C.
4. PROVIDE CONTINUOUS 2X6 PURLINS AT MID-SPAN OF RAFTERS, SPACE AT 8'-6" MAX.
5. PROVIDE 2X4 STRUTS AT 48" O.C. FROM PURLINS TO BEARING WALLS AT 45 MINIMUM ANGLE.
6. HANDRAILS SHALL BE MOUNTED 34" ABOVE NOSING OF STAIRS. GUARDRAILS SHALL BE MOUNTED AT 36".

PLUMBING NOTES:

1. PLUMBING SHALL MEET ALL LOCAL CODES.
2. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILIARY DRAIN TO EXTERIOR.
3. ALL GAS WATER HEATERS SHALL BE VENTED AT TOP/OUT.
4. PROVIDE INSIDE MAIN WATER CUT-OFF.
5. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.

INSULATION NOTES:

1. PROVIDE R-19 BATT INSULATION IN 2X6 WALLS, R-13 IN 2X4 WALLS. MINIMUM R-30 INSULATION IN FLAT CEILINGS AND R-30 MINIMUM BLANKET INSULATION IN VAULTED CEILINGS, ALLOW 1/2" MINIMUM AIRSPACE BETWEEN SHEATHING AND INSULATION, FACE FOIL DOWN TO WARM SIDE.
2. INSTALL SIDE WALL AND CEILING INSULATION IN CONTINUOUS BLANKETS WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHT FIXTURES OR HEATING DUCTWORK. CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
3. INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER AGAINST INSIDE OF ALL INSULATION. LAP JOINTS 18" MINIMUM.
4. FLOORS OVER UNHEATED SPACE SHALL HAVE R-25 FOIL BACK INSULATION BETWEEN JOISTS.
5. SLAB EDGE INSULATION R-5.
6. HVAC DUCTS LOCATED IN UNHEATED SPACES SHALL BE INSULATED WITH R-8.



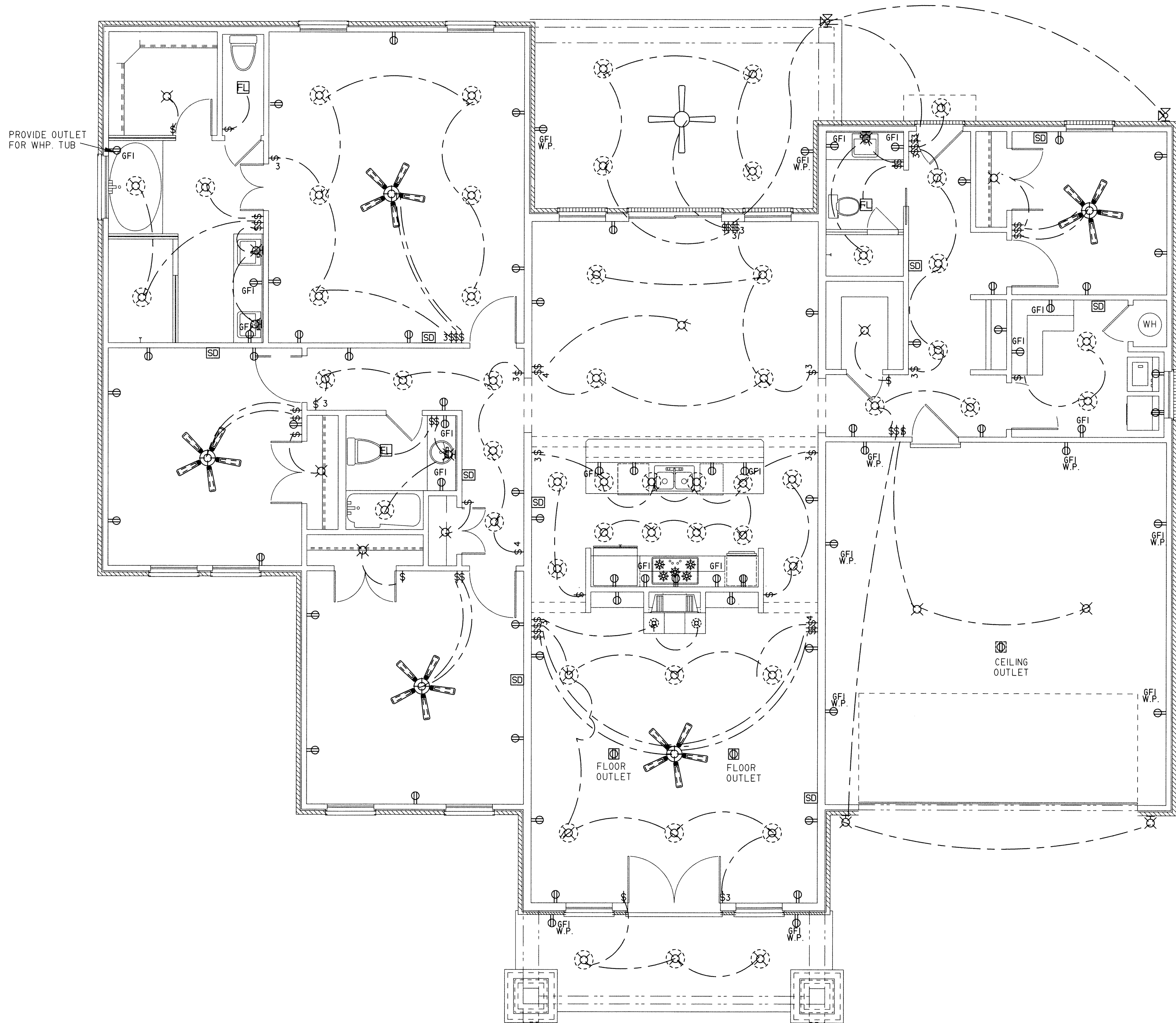
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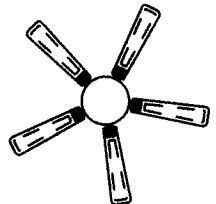
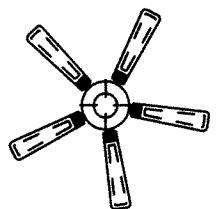
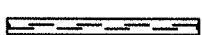
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ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
	EXHAUST FAN
	CEILING FAN
	CEILING FAN W/ LIGHT
	EXHAUST FAN W/ LIGHT
	HEAT, LIGHT AND VENT
	LIGHT
	4' FLORESCENT LIGHT
	2' X 4' FLORESCENT LIGHT

NOTE:
1.- OWNER TO VERIFY & APPROVE ALL ELECTRICAL & POSSIBLE FLOOR OUTLET LOCATIONS NOT NOTED.
2.- PROVIDE ARC-FAULT INTERRUPTER PROTECTION FOR ALL BEDROOMS. REFERENCE IRC SECTION E3802
3.- OWNER TO LOCATE AND VERIFY PHONE & CABLE JACKS.

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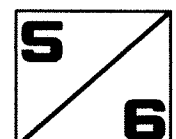
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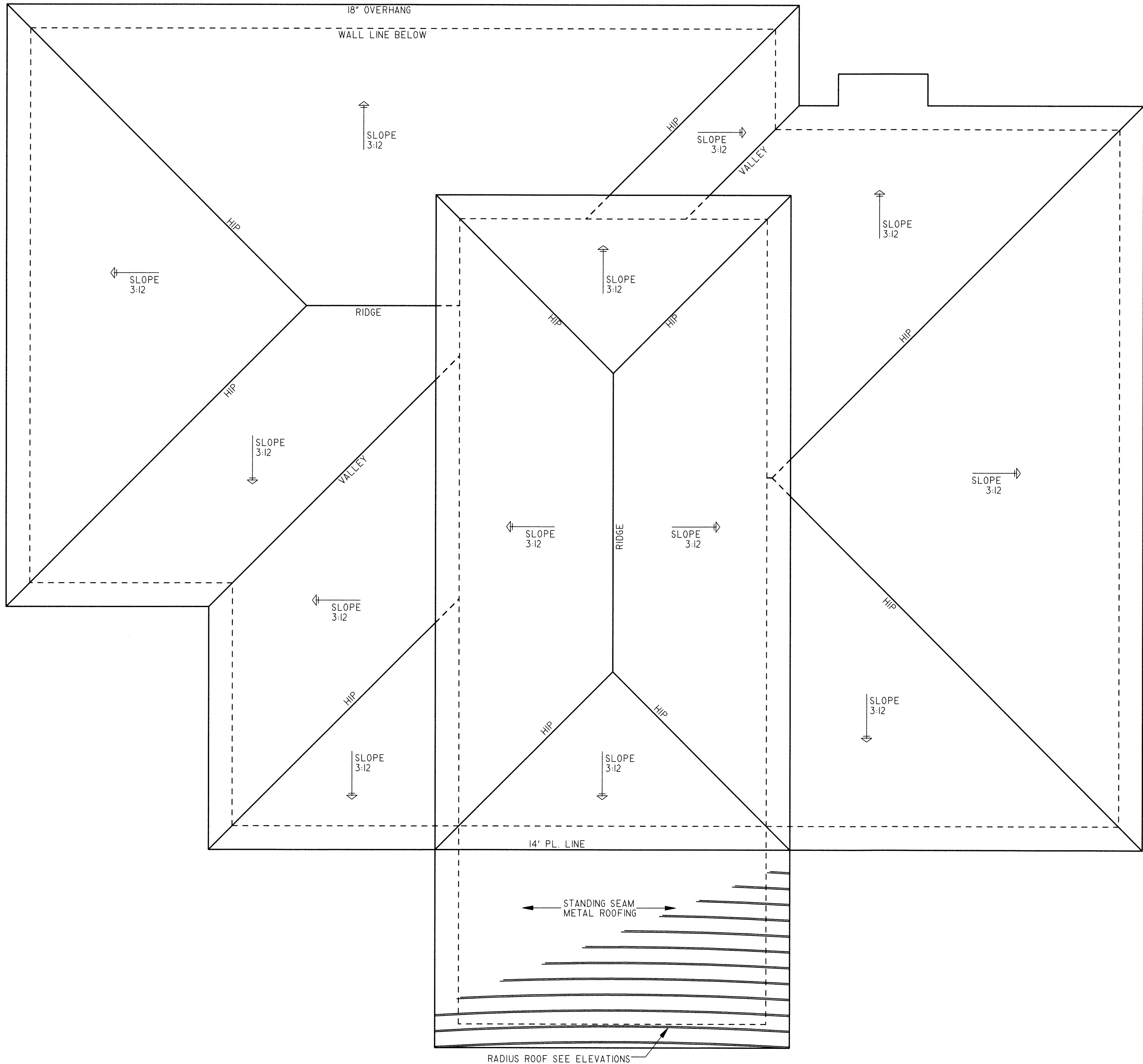
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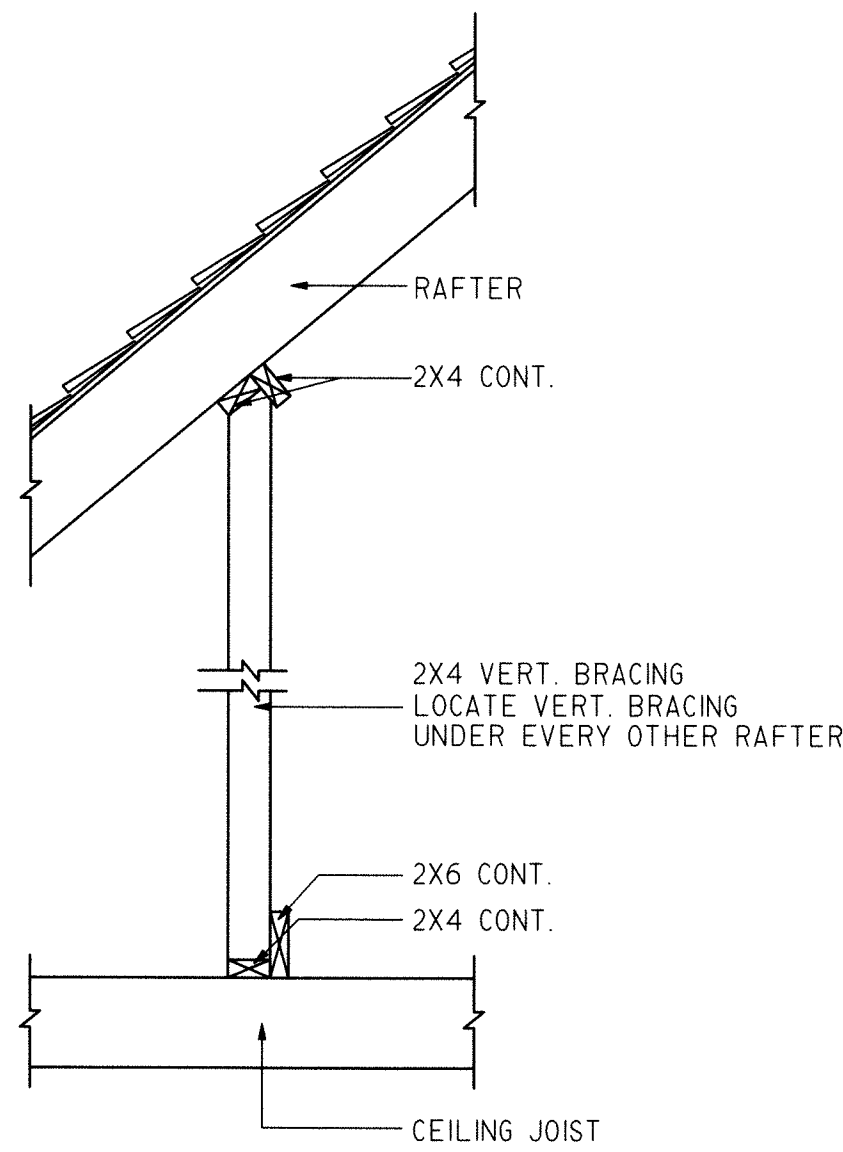


ROOF PLAN

1/4" = 1'-0"

NOTE:

- 1.- MAIN ROOF PITCH TO BE 3:12 UNLESS NOTED.
- 2.- MAIN PLATE LINE TO BE 9'-0" UNLESS NOTED.

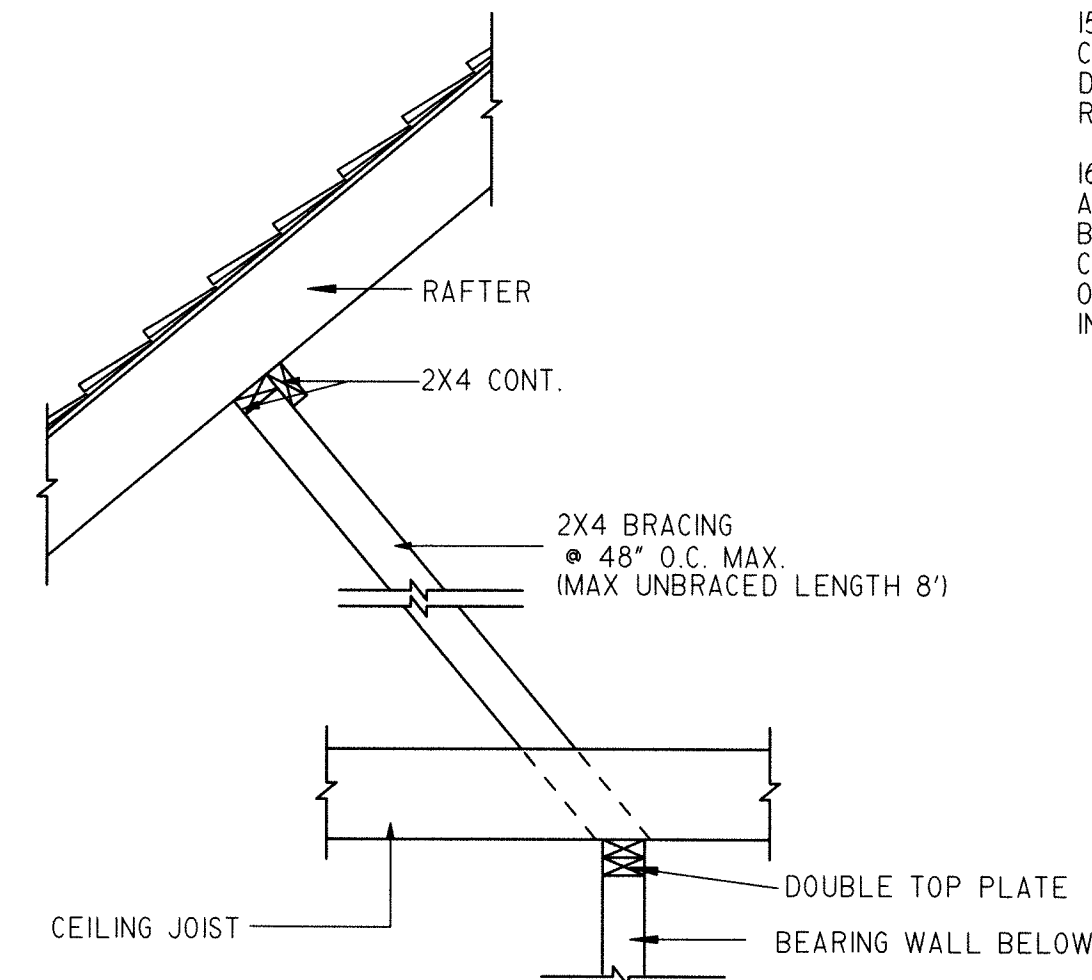


RAFTER BRACING DETAIL

3/4" = 1'-0"

FRAMING NOTES:

- 1.- RAFTERS TO BE SUPPORTED BY CONT. BRACING FOR HORIZONTAL SPANS OF 15'-0" OR GREATER.
- 2.- SUPPORT ALL HIP, VALLEY, AND RIDGES @ 8'-0" O.C. MAX.
- 3.- ALL RAFTERS TO BEAR ON SECOND FLOOR WALLS WHERE APPLICABLE.
- 4.- RAFTERS MAY BE SPLICED ONLY @ CONT. BRACING OR SECOND FLOOR WALLS.
- 5.- RAFTERS TO BE PLACED IN COMPLIANCE WITH ALL LOCAL CODES.
- EXAMPLES:
 - A.- 2X6 RAFTERS @ 16" O.C. MAX. WITH 1/2" P.W. DECKING.
 - B.- 2X6 RAFTERS @ 24" O.C. MAX. WITH 5/8" P.W. DECKING.
 - C.- 2X8 RAFTERS @ 24" O.C. MAX. WITH 5/8" P.W. DECKING.
 - D.- 2X8 RAFTERS @ 16" O.C. MAX. WITH 1/2" P.W. DECKING.
- 6.- FASCIA OVERHANG TO BE 12" (TYP.) UNLESS NOTED ON ELEVATIONS.
- 7.- ALL HIP / VALLEY RAFTERS TO BE 2X10 UNLESS NOTED.



OPT. RAFTER BRACING DETAIL (PURLIN)

3/4" = 1'-0"

NOTE:

PURLINS ARE PERMITTED TO BE INSTALLED TO REDUCE THE SPAN OF RAFTERS. PURLINS SHALL BE SUPPORTED BY 2-INCH BY 4-INCH BRACES INSTALLED TO BEARING WALLS AT A SLOPE OF NOT LESS THAN 45 DEGREES. THE BRACES SHALL NOT BE SPACED MORE THAN 48" APART ON CENTER AND THE UNBRACED LENGTH OF BRACES SHALL NOT EXCEED 8 FT. PURLINS SHALL BE CONTINUOUS. (REFER IRC R802.5.1)

CONSTRUCTION AND FRAMING NOTES:

1. DESIGN LOADS ARE AS FOLLOWS PER 50 FT.:

LOCATION	LIVE	DEAD	DEFLECT LIMIT
1ST FLOOR	40 LB	10 LB	L/360
2ND FLOOR (SLEEPING AREAS)	30 LB	10 LB	L/360
ATTIC (NON STORAGE)	10 LB	5 LB	L/240
ATTIC (STORAGE)	20 LB	10 LB	L/240
ROOF (WITH FINISHED CEILING)	30 LB	15 LB SNOW	L/240
ROOF (NO FINISHED CEILING)	30 LB	7 LB	L/180
DECKS	60 LB	10 LB	L/360

SNOW LOADS HAVE BEEN ADJUSTED TO REFLECT THE SLIDEOFF FACTOR, AS A FUNCTION OF ROOF PITCH. RAFTER SIZES MAY HAVE TO BE INCREASED TO ACCOMADATE HIGHER SNOW LOADS. VERIFY WITH LOCAL CODES.

2. LUMBER SHALL BE DOUGLAS-FIR-LARCH, HEM-FIR OR SOUTHERN-YELLOW-PINE WITH FB=1450 AND E=1.6 MINIMUM.

3. ALL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES.

4. UNLESS NOTED OTHERWISE, PROVIDE DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS, DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, DOUBLE 2X12 HEADERS WITH 1/2" PLYWOOD, GLUED BETWEEN AND NAILED, FOR ALL OPENINGS IN 2X6 WALLS, DOUBLE 2X12 HEADERS NAILED TOGETHER FOR ALL OPENINGS IN 2X4 WALLS.

5. FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE SUBFLOOR WITH FINISH MATERIAL OVER.

6. STAIR CONSTRUCTION SHALL CONSIST OF (3)2X12 STRINGERS, 5/4" OR 2X THICK TREADS AND 3/4" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.

7. ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE "PRESSURE TREATED" & SILICONE SEALED.

8. "MICRO-LAM" BEAMS SHALL HAVE BENDING STRESS: FB=2,800 PSI. VERIFY WITH LOCAL CODES.

9. SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE "SIMPSON STRONG TIE" ANCHORS OR EQUAL.

10. MINIMUM HEADER SIZE SHALL BE (2)2"X6" UNLESS NOTED OTHERWISE. EXTERIOR WALLS SHALL BE (2) 2X12 WITH 1/2" PLYWOOD.

11. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.

12. UNLESS OTHERWISE NOTED, PROVIDE A 2X PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 24" ON CENTER. RIGIDLY FASTEN ALL CONNECTING RAFTERS AND JOISTS AS APPROVED BY GOVERNING CODES, UNLESS OTHERWISE NOTED.

13. FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH THE GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK. FLOOR TRUSS LAYOUT TO BE ENGINEERED BY TRUSS MANUFACTURE.

14. PROVIDE BRIDGING OR BLOCKING AT MIDSPAN OF JOISTS/RAFTERS/TRUSSES, MAXIMUM SPACING BETWEEN BEARING WALL AND BLOCKING IS 8'-0".

15. THESE FRAMING PLANS WERE DESIGNED USING STANDARD CONSTRUCTION PRACTICES. THEY CONFORM TO STANDARD BUILDING CODES. DUE TO VARIATIONS IN LOCAL CODES AND GEOLOGICAL CONDITIONS REVISIONS MAY BE REQUIRED TO THESE PLANS.

16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, AND FHA/VA MPS. THE BUILDER SHALL VERIFY ALL CONDITIONS BEFORE BEGINNING CONSTRUCTION. CONSULT WITH LOCAL STRUCTURAL ENGINEERS AND CODE OFFICIALS PRIOR TO USING THE FRAMING MATERIALS PROVIDED TO INSURE COMPLIANCE WITH CODES AND STRUCTURAL INTEGRITY.

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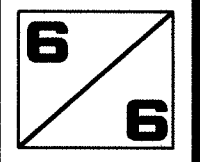
Written dimensions on these drawings shall have precedence over scaled dimensions, contractors shall verify and be responsible for all dimensions and conditions on the job. This office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication or construction.

REVISIONS	BY
	24x36

ROOF PLAN / NOTES
MICHAEL SULLIVAN

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DATE	9/6/2016
SCALE	1/4" = 1'-0"
BUILDER	
JOB	MENB135-16
DRAWN BY	SMN



CEILING JOIST SPAN DATA													
* THE REQUIRED EXTREME FIBER STRESS IN BENDING F_b , IN POUNDS/IN ² , MODULUS OF ELASTICITY IS 1,000,000 psi. WHERE 1/8 IS EQUAL TO 1,000,000 psi													

LIMITED ATTIC STORAGE WHERE DEVELOPMENT OF FUTURE ROOMS IS NOT POSSIBLE														
Douglas Fir - Larch - 20lbs./Ft ² - Live Load														
		2x4			2x6			2x8			2x10			
	"F _b "	"E"	12"	16"	24"	12"	16"	24"	12"	16"	24"	12"	16"	24"
SELECT STRUCTURAL	2050	1.8	10-3	9-4	8-1	16-1	14-7	12-9	21-2	19-3	16-10	27-1	24-7	21-6
DENSE #1	2050	1.9	10-5	9-6	8-3	16-1	14-11	13-8	21-7	19-4	16-11	27-2	24-8	21-7
DENSE #2	1700	1.7	10-0	9-1	7-7	15-9	14-4	11-11	20-10	18-11	15-9	26-6	24-1	19-10
#2	1450	1.7	9-11	8-0	7-0	15-7	13-6	11-8	20-7	17-10	14-5	26-3	22-8	18-6
#3	850	1.5	7-8	6-7	5-5	12-0	10-7	8-5	15-8	13-8	11-4	20-2	17-5	14-2

LIMITED ATTIC STORAGE WHERE DEVELOPMENT OF FUTURE ROOMS IS NOT POSSIBLE															
Southern Yellow pine - 20lbs./Ft ² - Live Load															
	2x4			2x6			2x8			2x10					
	"F _b "	"E"		12"	16"	24"	12"	16"	24"	12"	16"	24"	12"	16"	24"
SELECT STRUCTURAL	2150	1.8	10-3	9-4	8-1	16-1	14-7	12-9	21-2	19-3	16-10	27-1	24-7	21-6	
#1 DENSE	2150	1.9	10-5	9-6	8-3	16-1	14-11	13-8	21-7	19-4	16-11	27-2	24-8	21-7	
#2	1750	1.7	10-0	9-1	7-9	15-9	14-4	11-11	20-10	18-11	15-9	26-6	24-1	19-10	
#2	1500	1.6	9-10	8-9	7-2	15-6	13-9	11-3	20-5	18-2	14-9	26-0	23-2	18-10	
#3	875	1.5	7-9	6-8	5-6	12-0	10-8	8-6	15-9	13-9	11-5	20-3	17-6	14-3	
MAXIMUM DEFLECTION IS 1/240 OF SPAN															

ALLOWABLE RAFTER SPANS													
------------------------	--	--	--	--	--	--	--	--	--	--	--	--	--

FLAT OR SLOPED RAFTERS (FLAT ROOF OR CATHEDRAL CEILING WITH NO ATTIC SPACE) SUPPORTING DRYWALL CEILING														
Douglas Fir - Larch - 20lbs./ft ²														
	2x6			2x8			2x10			2x12				
	F _b *	E**	12*	16*	24*	12*	16*	24*	12*	16*	24*	12*	16*	24*
SELECT STRUCTURAL	2050	1.8	16-1	14-6	12-2	21-2	19-1	16-0	27-0	24-7	20-6	32-10	29-9	24-10
DENSE #1	2050	1.9	16-5	14-10	12-3	21-6	19-7	16-0	27-4	24-8	20-6	33-4	30-5	24-10
DENSE #2	1700	1.7	15-8	13-7	11-1	20-8	17-10	14-7	26-4	22-10	18-7	32-0	27-9	22-8
#2	1450	1.7	14-5	12-6	10-2	19-1	16-6	13-5	24-4	21-0	17-2	29-7	25-7	20-10
#3	850	1.5	11-1	9-7	7-10	14-7	12-7	10-3	18-7	16-2	13-1	22-6	19-7	16-0

FLAT OR SLOPED RAFTERS (FLAT ROOF OR CATHEDRAL CEILING WITH NO ATTIC SPACE) SUPPORTING DRYWALL CEILING														
Southern Yellow pine - 20lbs./F ²														
			2x6			2x8			2x10			2x12		
	"F _b "	"E**"	12"	16"	24"	12"	16"	24"	12"	16"	24"	12"	16"	24"
SELECT STRUCTURAL	2150	1.8	16-1	14-6	12-5	21-3	19-2	16-5	27-0	24-5	20-11	32-10	29-9	25-5
#1 DENSE	2150	1.9	16-4	14-10	12-5	21-6	19-7	16-5	27-4	24-8	20-11	33-4	30-5	26-10
#2 DENSE	1750	1.7	15-10	13-9	11-3	20-11	18-1	14-9	26-8	23-1	18-10	31-7	28-1	22-11
#2	1500	1.6	14-8	12-9	10-5	19-5	16-9	13-8	24-9	21-5	17-6	30-1	26-0	21-3
#3	875	1.5	11-3	9-8	7-11	14-9	12-10	10-5	18-10	16-4	13-3	23-0	19-11	16-3

FLAT OR LOW SLOPED RAFTERS (NO ATTIC SPACE) SLOPE 3 IN 12 OR LESS														
Douglas Fir - Larch - 20lbs./Ft ²														
	F _b *	E**	2x6			2x8			2x10			2x12		
			12*	16*	24*	12*	16*	24*	12*	16*	24*	12*	16*	24*
SELECT STRUCTURAL	2050	1.8	16-2	14-7	12-10	21-3	19-3	16-10	27-1	24-7	21-6	33-0	29-11	26-1
DENSE #1	2050	1.9	16-6	14-10	12-1	21-7	19-7	16-11	27-3	24-8	22-1	33-6	30-4	26-10
DENSE #2	1700	1.7	15-10	14-6	11-11	20-10	19-0	15-9	26-7	24-2	20-1	32-5	29-6	24-5
#2	1450	1.7	15-7	13-6	11-0	20-7	17-10	14-7	26-3	22-9	18-7	31-11	27-8	22-7
#3	850	1.5	11-11	10-4	8-6	15-9	13-6	11-2	18-4	14-2	11-5	24-5	21-1	17-3

FLAT OR LOW SLOPED RAFTERS (NO ATTIC SPACE) SLOPE 3 IN 12 OR LESS															
Southern Yellow pine - 20lbs./FT ²															
		2x6					2x8			2x10			2x12		
		F _b *	E**	12*	16*	24*	12*	16*	24*	12*	16*	24*	12*	16*	24*
SELECT STRUCTURAL #1 DENSE #2 DENSE #3	2150	1.8	16-2	14-7	12-10	21-3	19-3	16-10	27-1	24-7	21-6	33-0	29-11	26-1	
	2150	1.9	16-6	14-10	12-1	21-7	19-7	16-11	27-3	24-8	22-1	33-6	30-4	26-10	
	1750	1.7	15-10	14-6	12-1	20-10	19-0	16-0	26-7	24-2	20-4	32-5	29-6	24-9	
	1500	1.6	15-7	13-9	11-3	20-9	18-2	14-10	26-6	23-2	18-11	31-5	28-2	23-0	
	875	1.5	12-0	10-5	8-7	15-10	13-7	11-3	20-2	17-6	14-3	24-6	21-2	17-4	

MEDIUM OR HIGH SLOPED RAFTERS (NO ATTIC SPACE) SLOPE 3 IN 12 OR LESS														
Douglas Fir - Larch - 20lbs./Ft ²														
	2x4					2x6			2x8			2x10		
	F _b *	E**	12*	16*	24*	12*	16*	24*	12*	16*	24*	12*	16*	24*
SELECT STRUCTURAL	2050	1.8	11-2	10-3	8-10	17-9	16-0	13-10	23-5	21-2	18-2	29-11	27-0	23-4
DENSE #1	2050	1.9	11-6	10-7	8-10	18-0	16-6	13-10	23-8	21-9	18-8	30-5	29-9	23-10
DENSE #2	1700	1.7	11-2	9-10	8-0	17-4	15-5	12-7	22-10	20-4	16-10	29-2	25-3	21-2
#2	1450	1.7	10-5	9-1	7-4	16-5	14-3	11-7	21-8	18-9	15-4	27-8	24-0	19-7
#3	850	1.5	8-0	7-0	5-8	12-8	11-11	8-11	17-6	14-4	11-9	21-2	18-4	15-0

MEDIUM OR HIGH SLOPED RAFTERS (NO ATTIC SPACE) SLOPE 3 IN 12 OR LESS														
Southern Yellow pine - 20lbs./FT ²														
	2x4					2x6			2x8			2x10		
	"F _b "	"E"	12"	16"	24"	12"	16"	24"	12"	16"	24"	12"	16"	24"
SELECT STRUCTURAL	2150	1.8	11-2	10-3	9-0	17-9	16-0	14-2	23-5	21-2	18-6	29-11	27-0	23-8
#1 DENSE	2150	1.9	11-6	10-7	9-0	18-0	16-6	14-2	23-10	21-9	18-8	30-5	29-9	23-10
#2 DENSE	1750	1.7	11-2	9-1	8-1	17-4	15-8	12-9	22-10	20-7	16-10	29-2	25-3	21-6
#3	1500	1.6	10-8	9-3	7-6	16-8	14-6	11-10	22-1	19-1	15-7	28-2	24-5	19-11
#3	875	1.5	8-1	7-1	5-9	12-8	11-0	9-0	16-8	14-5	11-0	21-3	18-5	15-1

TABLE R703.7.3 ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER ^{a,b,c}													
--	--	--	--	--	--	--	--	--	--	--	--	--	--

SIZE OF STEEL ANGLE ^a inches	NO STORY ABOVE	ONE STORY ABOVE	TWO STORY ABOVE	NO. OF 1/2 OR EQUIVALENT REINFORCING BARS ^c
3 X 3 X 1/4	6'-0"	3'-6"	3'-0"	1
4 X 3 X 1/4	8'-0"	5'-0"	3'-0"	1
6 X 3-1/2 X 1/4	14'-0"	8'-0"	5'-0"	2
2-6 X 3-1/2 X 1/4	12'-0"	11'-0"	5'-0"	4

For SI: 1 inch=25.4 mm; 1 foot=304.8 mm.
a. Long leg of the angle shall be placed in a vertical position.
b. Depth of reinforced linteis shall not be less than 8 inches and all cells of hollow masonry linteis shall be grouted solid. Reinforcing bars shall extend not less than 8 inches into the support.
c. Steel members indicated are adequate typical examples; other steel members meeting structural design requirements may be used.

R703.7.3 Lintels
Masonry veneer shall not support any vertical load other than the dead load of the veneer above.
Veneer above openings shall be supported on lintels of non-combustible materials and the allowable span shall not exceed the values set forth in Table R703.7.3.
The lintels shall have a length of bearing of not less than 4 inches (102mm).

FLOOR JOIST SPAN DATA													
* MODULUS OF ELASTICITY E , IN 1,000,000 psi. OR 1/10 IS EQUAL TO 1,000,000 psi													

Douglas Fir - Larch - 30lbs./Ft ² - Live Load														
	*F _b	*E**	2x6			2x8			2x10			2x12		
			12*	16*	24*	12*	16*	24*	12*	16*	24*	12*	16*	24*
SELECT STRUCTURAL	2050	1.8	12-3	11-2	9-9	16-2	14-8	12-10	20-8	18-9	16-5	25-1	22-10	19-11
DENSE #1	2050	1.9	12-6	11-4	9-11	16-6	15-0	13-7	21-0	19-1	16-8	25-7	23-3	20-3
DENSE #2	1700	1.7	12-0	10-11	9-7	15-10	14-5	12-7	20-3	18-5	16-1	24-8	22-5	19-7
#3	850	1.5	10-4	9-0	7-2	13-8	11-10	9-8	17-5	15-1	12-3	21-3	18-3	15-0

Douglas Fir - Larch - 40lbs./Ft ² - Live Load														
	F _b *	E**	2x6			2x8			2x10			2x12		
			12*	16*	24*	12*	16*	24*	12*	16*	24*	12*	16*	24*
SELECT STRUCTURAL	2050	1.8	11-2	10-2	8-10	14-8	13-4	11-8	18-9	17-0	14-11	22-10	20-9	18-1
DENSE #1	2050	1.9	11-4	10-4	8-6	15-0	13-7	11-11	19-1	17-4	15-2	23-3	21-1	18-5
DENSE #2	1700	1.7	10-11	9-11	8-8	14-5	13-1	11-5	18-5	16-9	14-7	22-5	20-4	17-9
#3	850	1.5	9-11	9-11	8-6	14-5	13-1	11-5	18-5	16-9	14-7	22-5	20-4	17-9
DENSE #3	850	1.5	9-11	7-11	6-13	12-3	10-7	8-8	15-7	13-6	11-8	18-18	16-4	13-5