

DESCRIPTION:

A REPLAT OF PARTS OF LOTS 1, 2, & 3 OF CHARLES A. STUCK TURTLE CREEK RANCH ADDITION, RECORDED IN BOOK 48 PAGE 240, IN CIRCUIT CLERK OFFICE, CRAIGHEAD COUNTY COURTHOUSE, JONESBORO ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 9 OF CHARLES A. STUCK TURTLE CREEK RANCH ADDITION THENCE SOUTH 89°27'24" WEST 643.75 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°36'57" WEST 197.98 FEET; THENCE NORTH 01°39'17" EAST 76.51 FEET; THENCE NORTH 06°30'57" WEST 7.20 FEET; THENCE NORTH 89°36'57" EAST 176.85 FEET; THENCE NORTH 00°10'56" EAST 252.41 FEET; THENCE NORTH 89°23'24" EAST 20.00 FEET; THENCE SOUTH 00°10'56" WEST 336.12 FEET TO THE POINT OF BEGINNING PROPER.

HAVING AN AREA OF 21,518 SQUARE FEET, 0.49 ACRES MORE OR LESS.
BEING SUBJECT TO ALL PUBLIC AND PRIVATE ROADS AND EASEMENTS.

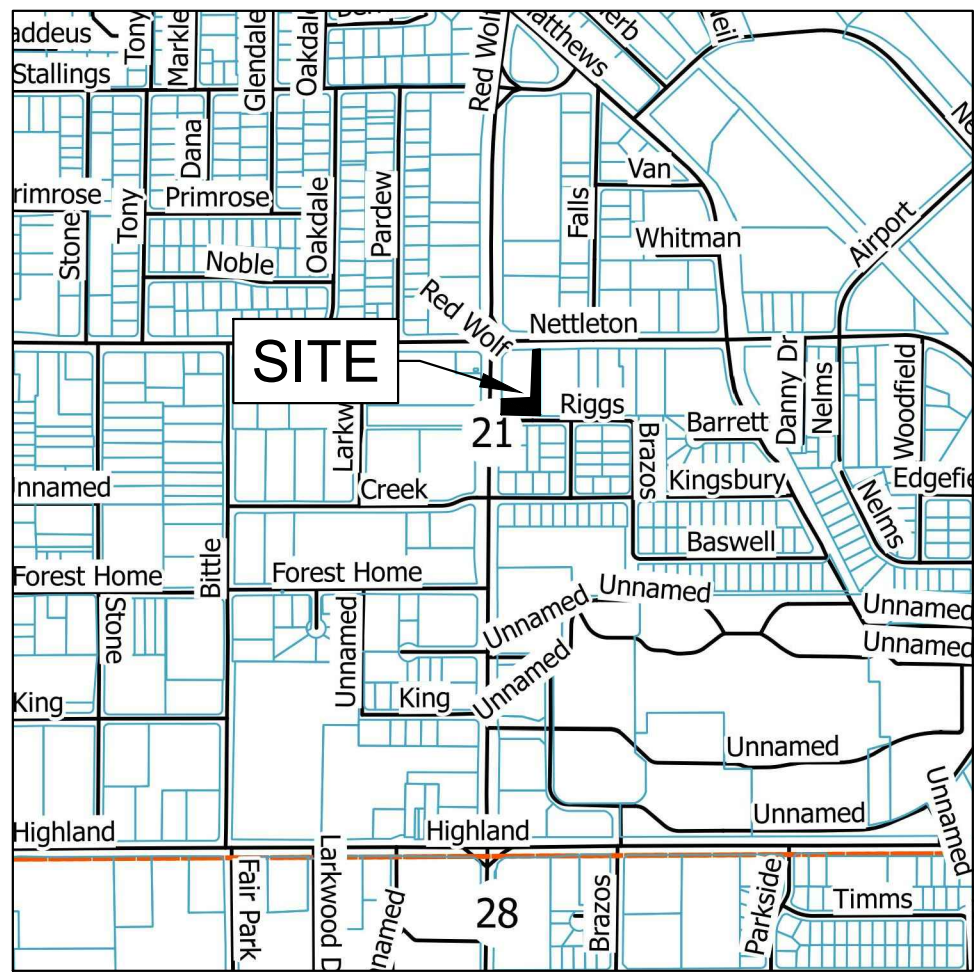
SURVEYOR'S NOTES:

- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD OR ANY OTHER FACTS THAT AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- SUBJECT PROPERTY IS ZONED C-3. BUILDING SETBACKS: STREET - 25', SIDE - 10', REAR - 25'
- THE PROPERTY DOES NOT LIE IN THE 100-YEAR SPECIAL FLOOD HAZARD AREA AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM): PANEL NO. 05031C0132C, EFFECTIVE DATE JUNE 25, 2007.
- MAPPING POINTS:
 - NORTHING: 546,795.35 ; EASTING: 1,707,227.25
 - NORTHING: 546,459.23 ; EASTING: 1,707,226.18
- THE FOLLOWING DOCUMENTS WERE USED AS REFERENCES FOR THIS SURVEY:
 - ALTA SURVEY - JONESBORO CARWASH LLC, BY G. HAMMAN PS # 1273, DATED 01/13/2006, PROVIDED G. HAMMAN
 - SURVEY PLAT - CHARLES A. STUCK TURTLE CREEK RANCH ADDITION, BY F. HAYWARD, CRAIGHEAD COUNTY COURTHOUSE, BOOK 48 PAGE 240, DATED 10/10/1947.
 - DEED - JONESBORO CARWASH LLC, CRAIGHEAD COUNTY COURTHOUSE, BOOK 677 PAGE 849, DATED 08/05/2004.

OWNER'S CERTIFICATION

WE, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE ABOVE DESCRIBED PROPERTY AND HAVE CAUSED SAME TO BE SURVEYED AS SHOWN HEREON AND DEDICATE THE PERPETUAL USE OF ALL STREETS AND EASEMENTS AS NOTED.

PRINTED NAME: _____ PRINTED NAME: _____
SIGNATURE: _____ SIGNATURE: _____
TITLE: _____ TITLE: _____



SURVEYOR'S CERTIFICATION :

I, BRANDON G. WOOD, CERTIFY THAT THE SURVEY SHOWN
HERON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS
OF "ARKANSAS STANDARDS OF PRACTICE FOR PROPERTY
BOUNDARY SURVEYS AND PLATS".
BRANDON G. WOOD, P.S. # 1817

LEGEND

- FOUND IRON PIPE (AS NOTED)
- FOUND REBAR (AS NOTED)
- SET 1/2" REBAR W/ B. WOOD P.S. # 1817 CAP
- CALCULATED CORNER
- COTTON PICKER SPINDLE (AS NOTED)
- PK / MAG NAIL (AS NOTED)
- MONUMENT (AS NOTED)
- BENCHMARK (CONTROL POINT)
- BOUNDARY LINE
- EASEMENT LINE
- ROAD CENTERLINE

BRANDON G. WOOD
ARKANSAS SURVEYOR
1817



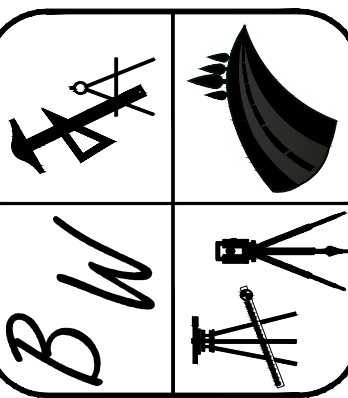
CHECKER'S REPLAT OF PART OF LOTS 1, 2, & 3 OF
CHARLES A. STUCK TURTLE CREEK RANCH ADDITION
SECTION 21, TOWNSHIP 14 N, RANGE 4 E
JONESBORO, CRAIGHEAD COUNTY, ARKANSAS
CLIENT: RAJEEV KUMAR

DATE: 8/27/18
REV:

DRAWN BY: BGW

BRANDON WOOD, P.E., P.S.
ENGINEERING & SURVEYING

112 CR 7625
BROOKLAND, AR 72417
PH: (870) 930-7504
FAX: (870) 972-0027
BWOOD@WOODENGR.COM
WWW.BWOODENGINEERING.COM



RED WOLF BLVD.
(HWY 49)

RIGGS ST.

GENERAL NOTES: SITE PLAN

1. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH RESPECTIVE TRADES, BUILDING/ FIRE/ HEALTH OFFICIALS AND OWNER
2. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN COORDINATION WITH NEW WORK. LOCATE AND SAFEGUARD ALL UNDERGROUND/ OVERHEAD UTILITY SERVICES & CONNECTIONS, STORM-WATER AND SANITARY SYSTEMS, ETC. PRIOR TO COMMENCEMENT OF WORK
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING ON-SITE UTILITY SERVICES & CONNECTIONS, STORM-WATER & SANITARY SYSTEMS, ETC. IN CONJUNCTION WITH PROPOSED NEW WORK
4. REFER TO LEGEND AND AREA TABULATIONS, THIS SHEET, FOR ADDITIONAL INFORMATION
5. REFER TO CIVIL PLANS FOR COORDINATION OF NEWLY PROPOSED WORK
6. PATCH/REPAIR ALL CRACKS IN CURBS, CONCRETE WALKS, PAVED SURFACES ETC. FOR AREAS NOT SCHEDULE FOR DEMOLITION AND NEW WORK
7. COORDINATE SCOPE OF NEW LANDSCAPING WORK PRIOR TO SUBMISSION OF BID
8. ALIGN NEW CONCRETE CURBS / EDGES TANGENTIALLY WITH EXISTING CURBS / EDGES
9. ALL STRIPING TO BE WHITE EXCEPT AS REQUIRED BY HANDICAPPED

CODED NOTES: SITE PLAN (#)

1. CONCRETE PAVEMENT (NEW)
2. PAVEMENT STRIPING- SEE GENERAL NOTE 9
3. GREASE INTERCEPTOR (1500 GA. BELOW GRADE, TRAFFIC RATE)
4. PROVIDE LED LIGHT POST ON CONCRETE PIER AND ELECTRICAL FEEDS.. INSTALL PER MANUFACTURES RECOMMENDATIONS. SEE DTL. SHT. A0.3
5. ACCESSIBLE PARKING SPACE SIGN LOCATION PER CITY REQUIREMENTS
6. LANDSCAPING AREA. COORDINATE SCOPE WITH OWNER
7. CONTRACTOR TO PROVIDE IN GROUND FEEDS FOR NEW MENU. ILLUMINATED SITE SIGNAGE. SUPPLIED BY OTHERS. CONTRACTOR TO DO FINAL CONNECTIONS
8. VEHICLE DETECTOR LOOP INSTALLED BY G.C. PICK UP WINDOW. ELECTRICAL FEEDS AND FINAL INSTALLATION BY G.C. IF CONCRETE IS EXISTING G.C. TO SAW CUT AND INSTALL
9. PYLON SIGN SPECIFIED BY SIGNAGE VENDOR. GC TO PROVIDE FOUNDATION AND ELECTRICAL FEEDS (SEE SITE DTL. SHEETS)
10. ACCESSIBLE CONCRETE RAMP
11. PIPE BOLLARD. SEE DETAIL SHEET A0.3
12. TRASH ENCLOSURE ON CONCRETE PAD
13. DOWN TURN CURB WHERE SIDEWALK MEETS PAVEMENT, SEE SITE DETAIL
14. CLEARANCE BAR ON CONCRETE FOUNDATION
15. BUN FREEZER ON CONCRETE FOUNDATION
16. LOCATION FOR ALTERNATE SECURITY CAGE CO2 TANK. PROVIDE STORAGE CABINET/ SECURITY CAGE BY MVE BEVERAGE SYSTEMS. COORDINATE SERVICE LINES AND INSTALLATION WITH VENDOR
17. COORDINATE PRIME & PAINT UTILITY SERVICE FIXTURES
18. SPEAKER PEDESTAL AND MENU BOARD
19. RAILING
20. OUTDOOR DINING TABLES. PROVIDED BY OWNER. INSTALLED BY G.C.
21. ILLUMINATED SITE SIGNAGE ON CONCRETE FOUNDATION. COORDINATE ELECTRICAL CONDUIT
22. EXPANSION JOINT WITH SEALANT AROUND BUILDING
23. CONTROL JOINTS TO BE SAW CUT (NOT TROWELED) ON A 30" X 30" PATTERN
24. GREASE WASTE CONTAINERS

LEGEND: ARCHITECTURAL SITE PLAN

- NEW CONCRETE AREAS
- DIRECTIONAL ARROWS
- LIGHT POLE: SEE SITE DETAIL SHEET
- ELECTRICAL CONDUIT
- APPROXIMATE LOCATION OF PROPERTY LINE

PROPOSED AREA TABULATIONS

DESCRIPTION	AREA (S.F.)	% OF TOTAL SITE
CONCRETE PAVEMENT:	11,173	52%
CONCRETE SIDEWALKS (ONSITE):	1,484	6.9%
CONCRETE SIDEWALKS (OFFSITE):	1,354	-----
LAWN AREA:	6,712	31%
LANDSCAPING AREA:	1,022	4.7%
TOTAL IMPERVIOUS AREA	13,734	64%
TOTAL PERVIOUS AREA	2,276	36%
TOTAL AREA	±21,518	

PROPOSED PARKING TABULATIONS

RESTAURANT: FAST-FOOD = 1 SPACE PER 75 FT² OF SERVICE / DINING AREA
PATIO DINING AREA = 350 FT² / 75 FT² = 4.7 = 5 SPACES

REGULAR SPACES PROVIDED: 7

ACCESSIBLE SPACES PROVIDED: 1

TOTAL SPACES: 8



Checkers and Rally's
Drive-in Restaurants, Inc.
4300 W. Cypress
Suite 600,
Tampa, Florida 33607

RESTAURANT
#3790

1498 Red Wolf Blvd
Jonesboro Arkansas
72401



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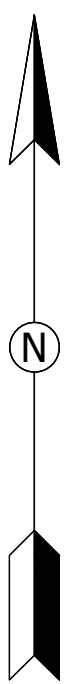
Job No.:
Store # : 3790
Date : 08-27-2018
Drawn By : BGW
Checked By: _____

VERSION:
ISSUE DATE: 08-27-2018
SHEET TITLE
SITE PLAN

SHEET

A0.2

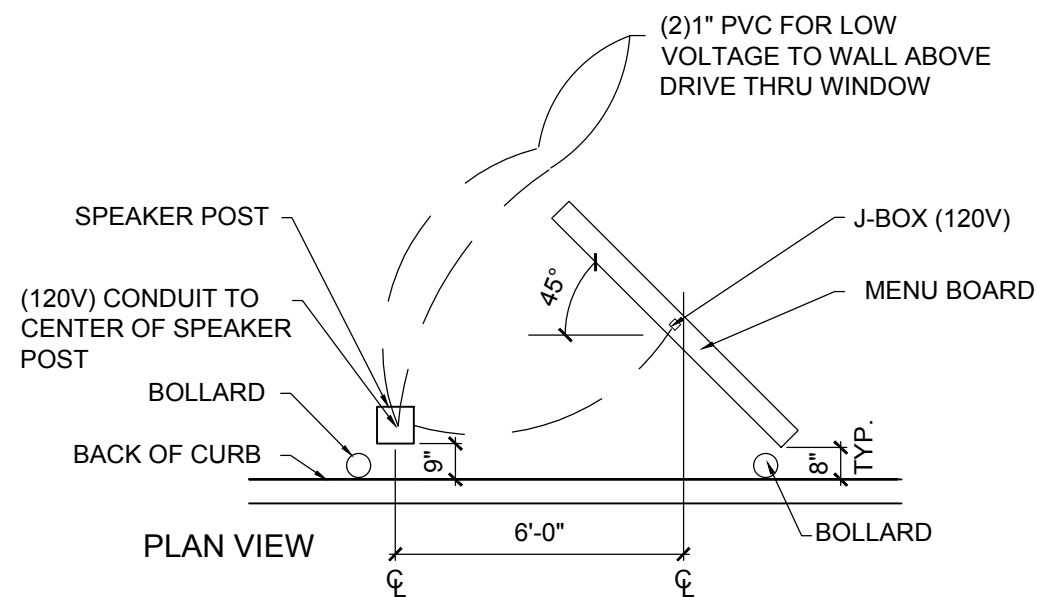
NORTH



0 10' 20'
SCALE: 1" = 10'

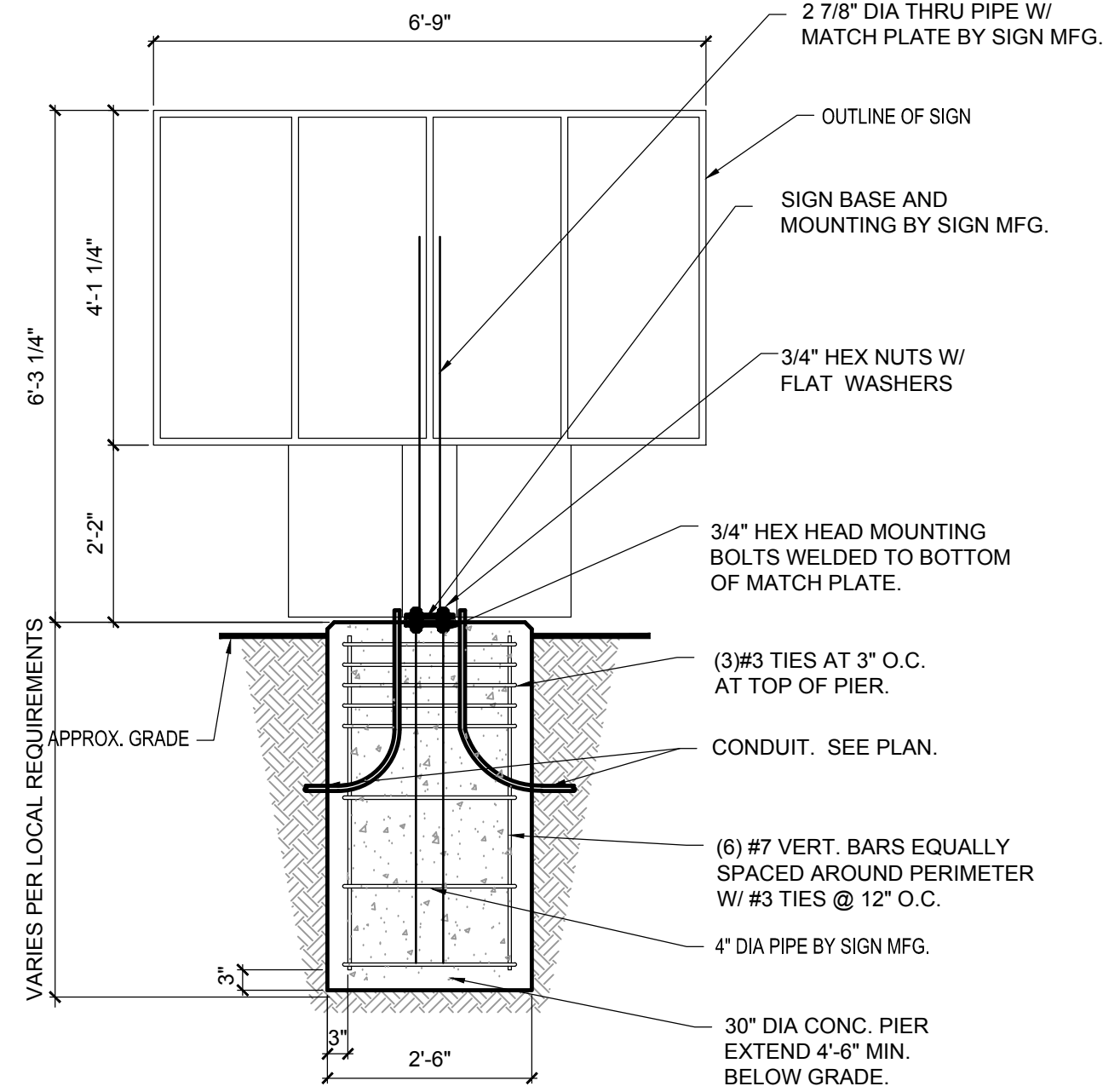


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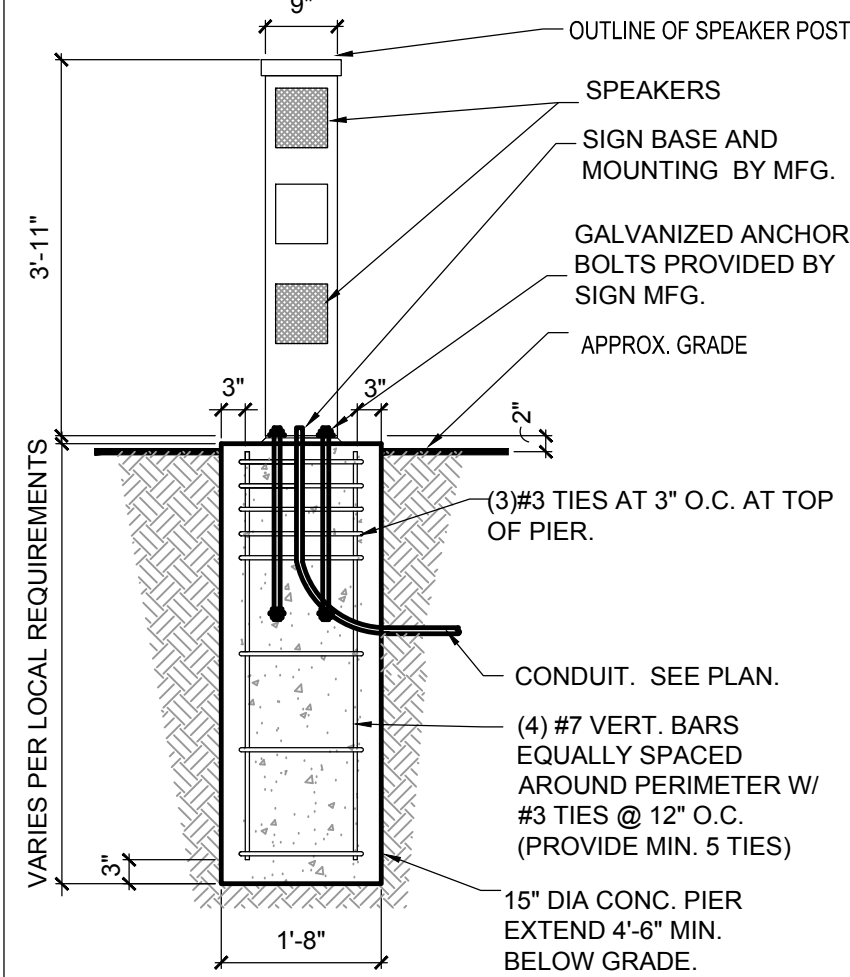


NOTES:
ALL FORMWORK (FOOTINGS AND FOUNDATIONS) FOR THE SPEAKER POST, MENU BOARD AND SITE BOLLARDS ARE TO BE INSTALLED BY CONTRACTOR. MENU BOARD IS 12"Ø AND SPEAKER POST IS 15"Ø. SPEAKER POST IS ANCHORED BY (4) 18" ANCHOR BOLTS INTO FOUNDATION. COORDINATE STUBBING OF ELECTRICAL PRIOR TO POUR.

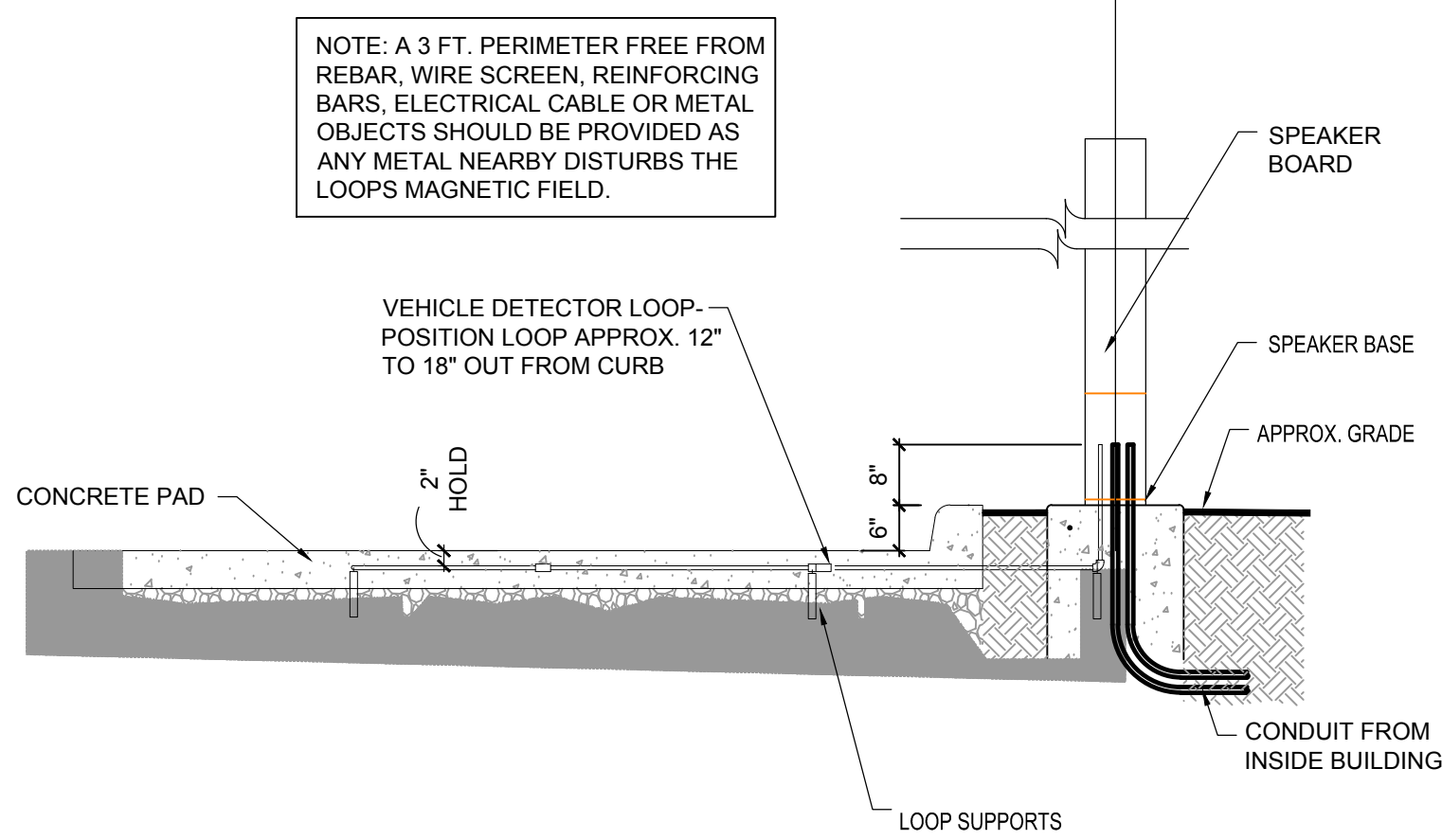
1
A0.3
SPEAKER/ MENU BD. DETAIL
SCALE: 1/4" = 1'-0"



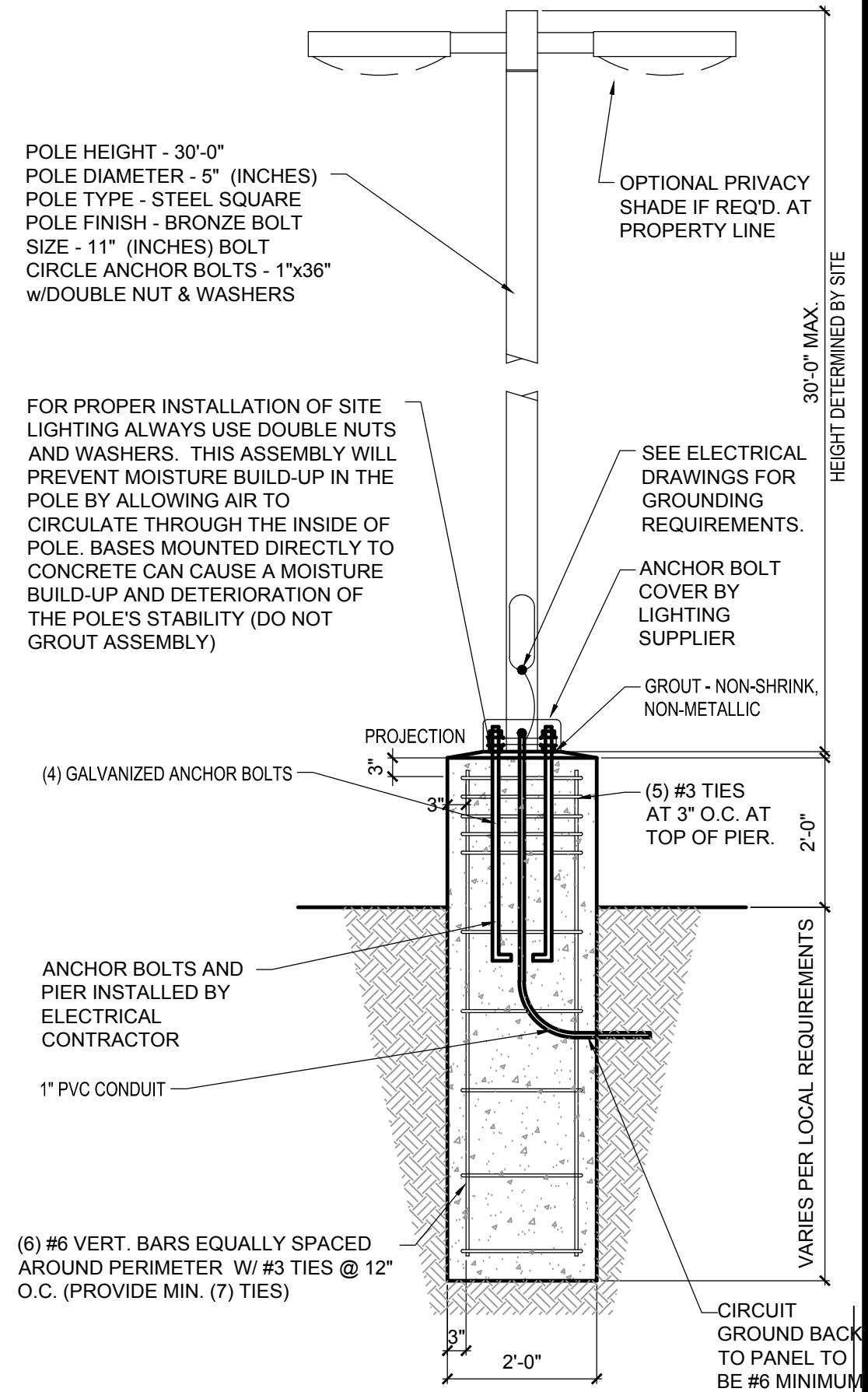
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A0.3
EXTERIOR MENU BOARD DETAIL
SCALE: 1/2" = 1'-0"



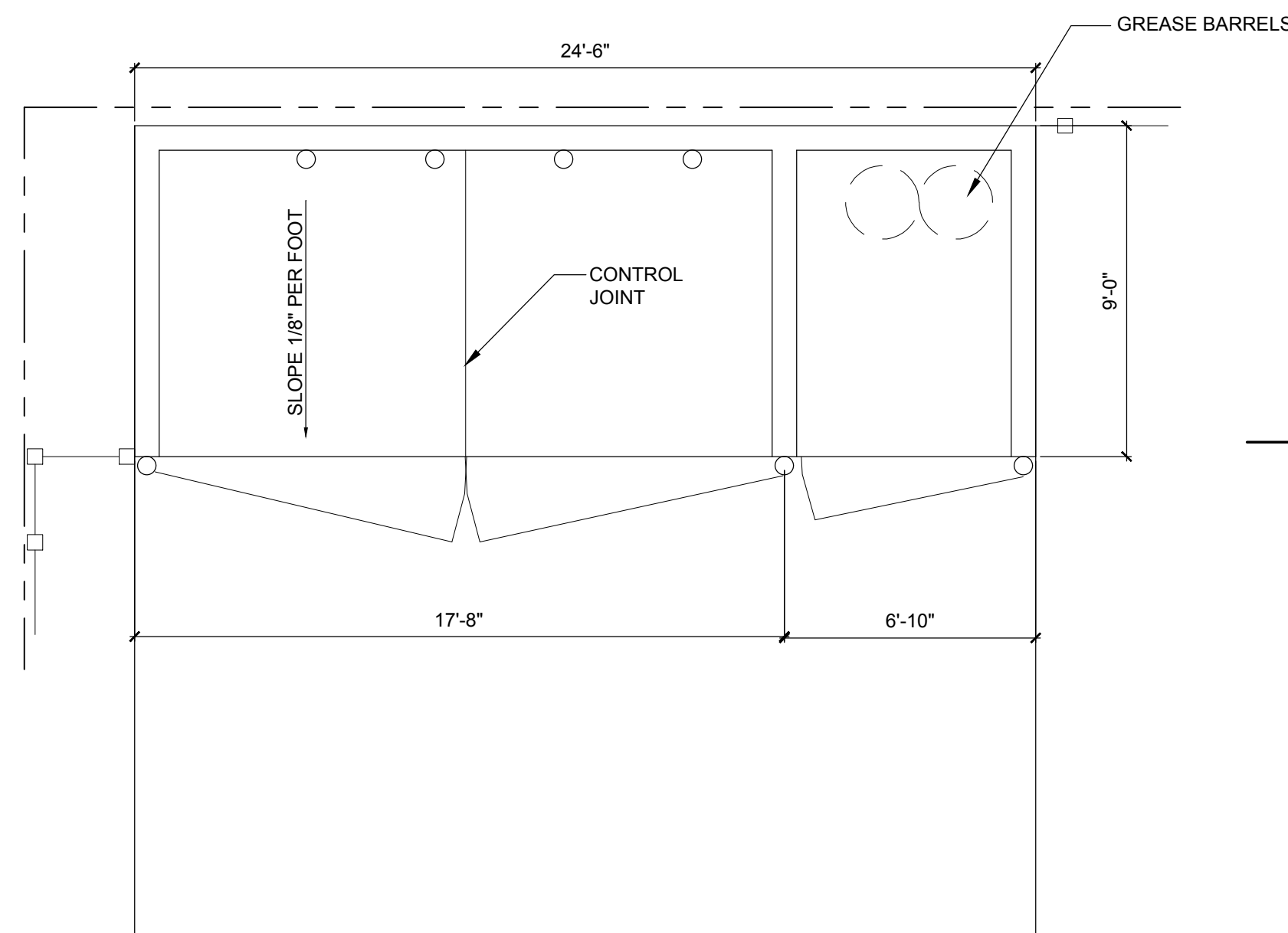
3
A0.3
SPEAKER POST DETAIL
SCALE: 1/2" = 1'-0"



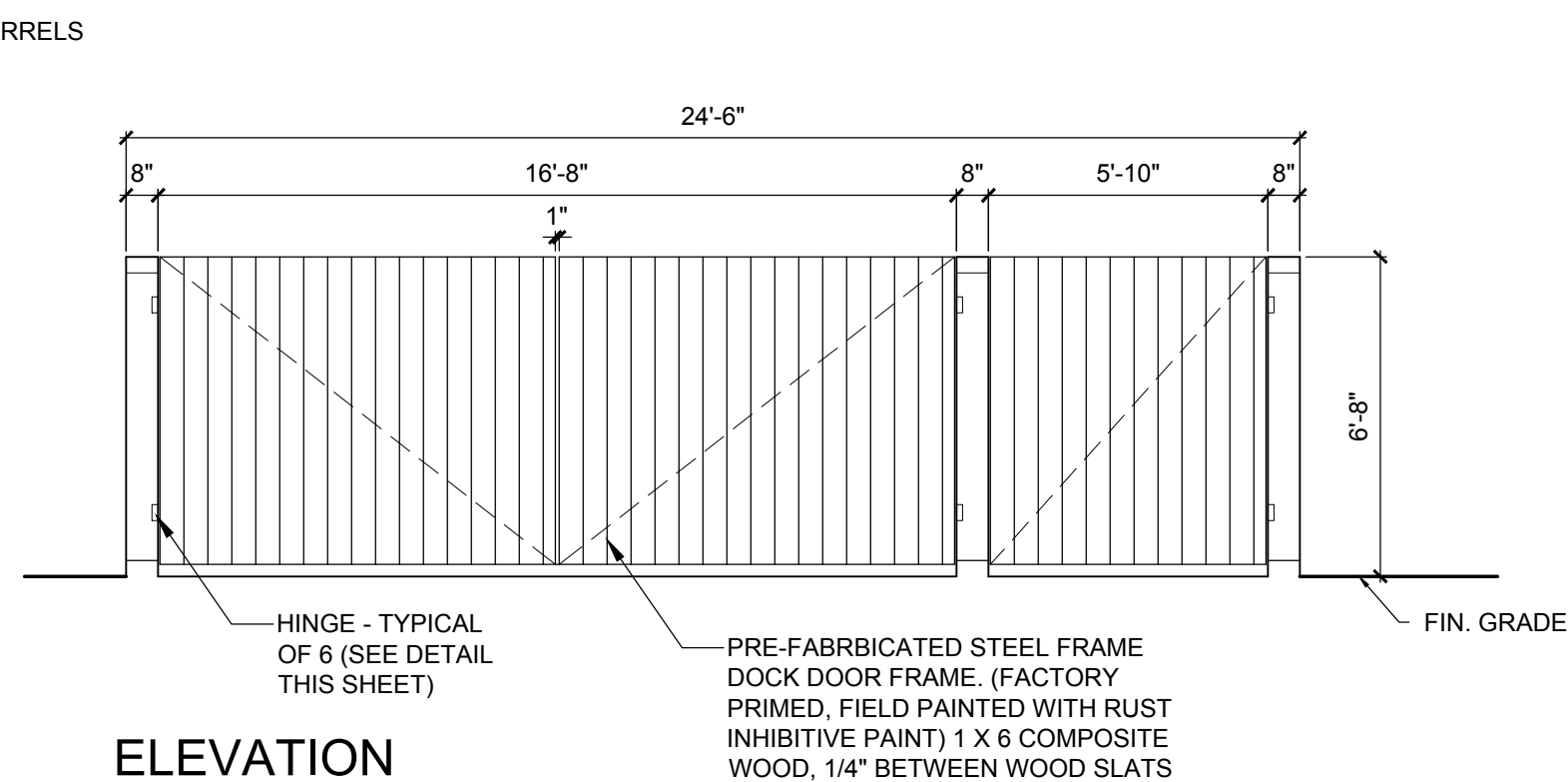
4
A0.3
LOOP DETECTOR DETAIL
SCALE: 1/2" = 1'-0"



5
A0.3
PARKING LIGHT POLE DETAIL
SCALE: 1/2" = 1'-0"



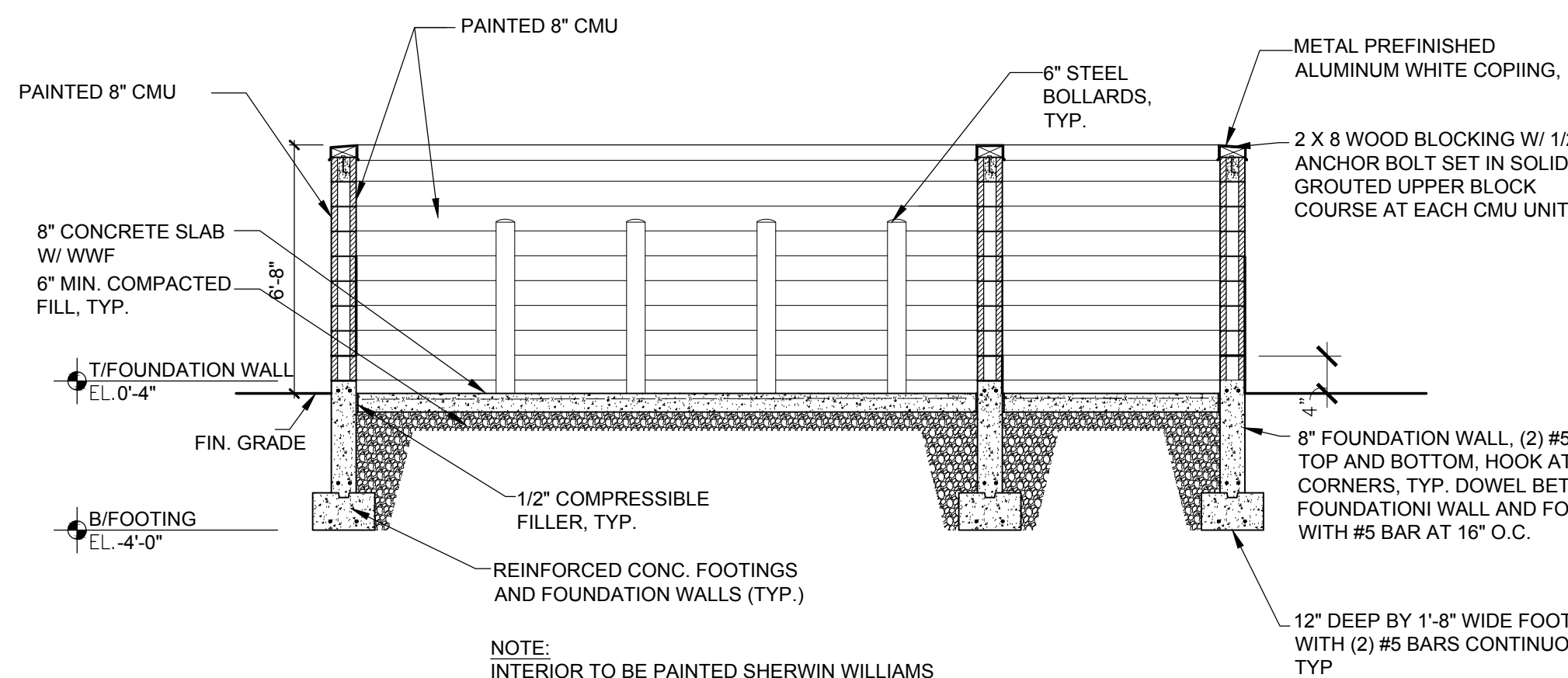
PLAN VIEW



ELEVATION

NOTES:
-TOP OF SLAB ELEVATION ON THIS SHEET FOR REFERENCE ONLY AND NOT RELATED TO THE BUILDING SLAB ELEVATION. SEE SITE PLAN FOR ACTUAL ELEVATIONS.
-SEE SHEET A10 & A11 EXTERIOR ELEVATIONS FOR EXTERIOR PAINT COLORS & FINISHES

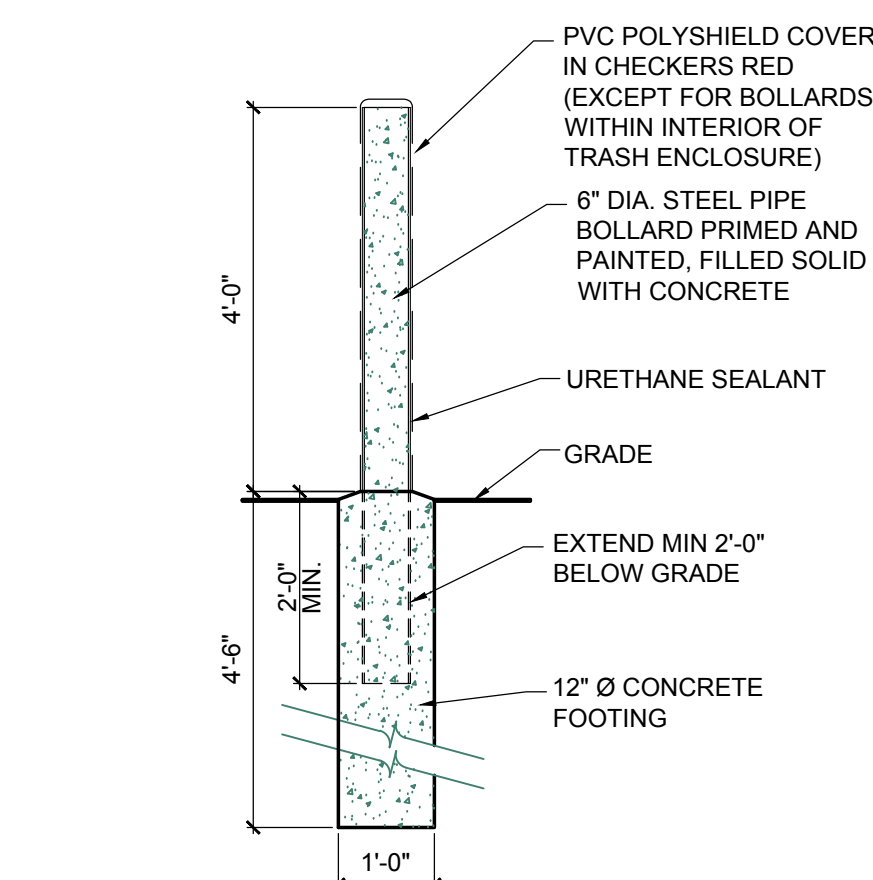
NOTE:
STEEL FOR TRASH ENCLOSURES & GATE AVAILABLE THROUGH:
FORTIN IRONWORKS
944 W. 5TH AVENUE
COLUMBUS, OH 43212 PH: 614 291 4342



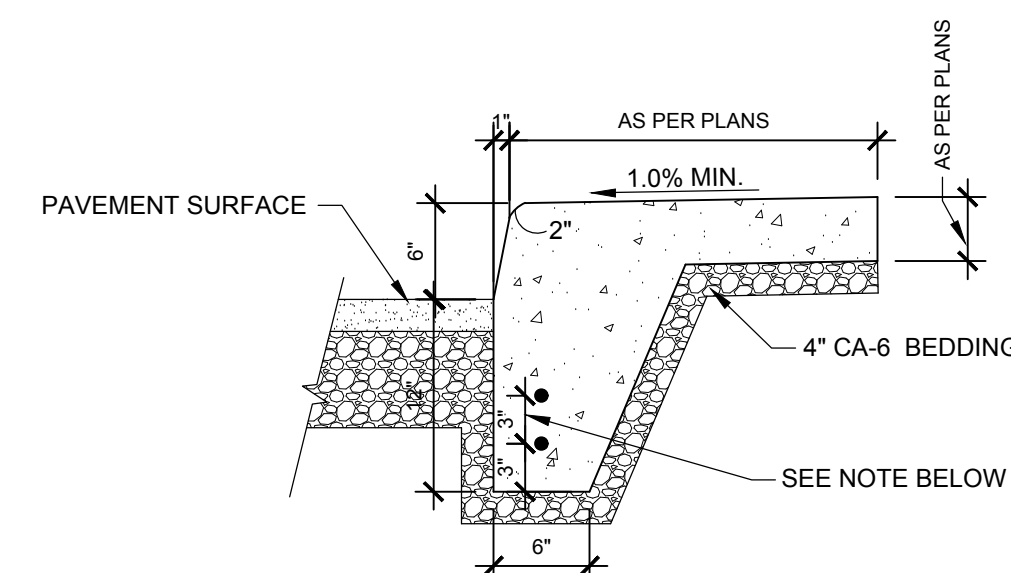
NOTE:
INTERIOR TO BE PAINTED SHERWIN WILLIAMS BLACK. EXTERIOR TO BE PAINTED SHERWIN WILLIAMS EXTRA WHITE TO MATCH BUILDING. PAINT BOLLARDS ON INTERIOR OF ENCLOSURE BLACK.

SECTION

6
A0.3
TRASH ENCLOSURE DETAILS
SCALE: 1/4" = 1'-0"

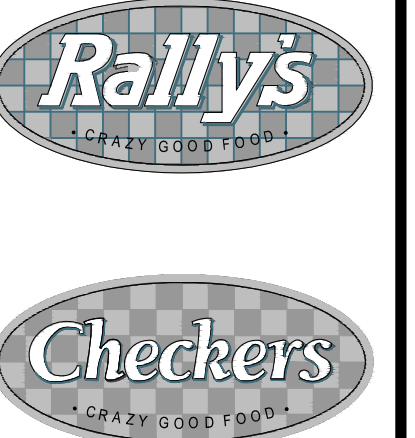


7
A0.3
BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



NOTES:
1. EXPANSION JOINTS T BE LOCATED AT HIGH POINTS, INLETS, CATCH BASINS, CURB RETURNS, COLD JOINTS OR 60' MAX.
2. CONTRACTION JOINTS ARE TO BE SAW CUT 2" DEEP AT 20' INTERVALS MAX.
3. INSTALL 2-#4 DEFORMED BARS X 10'-0" LONG OVER ALL TRENCHES

8
A0.3
DOWN TURN CURB DETAIL
SCALE: 1" = 1'-0"



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COMMENCING WORK.

Job No.: --
Store # : 3790
Date : XX-XX-2018
Drawn By : XX
Checked By: XX

VERSION:
ISSUE DATE: 07.12.18

SHEET TITLE
SITE PLAN DETAILS

SHEET

A0.3

RED WOLF BLVD.
(HWY 49)

RIGGS ST.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- TW = TOP WALK
- TC = TOP CURB
- G = GUTTER
- PE = PAVEMENT EDGE
- EXISTING SPOT ELEVATION

- GENERAL NOTES:**
1. SELECT FILL MATERIAL FOR THE BUILDING AND PARKING AREAS TO BE SPECIFIED BY A GEOTECHNICAL ENGINEER.
 2. CONCRETE SHALL BE AT A MINIMUM 4000 PSI 28 DAY COMPRESSIVE STRENGTH, W/ 5% AIR ENTRAINMENT (± 1%), OR AS RECOMMENDED BY GEOTECHNICAL REPORT.
 3. PAVEMENT AREA SHALL HAVE AT A MINIMUM THE FOLLOWING (OR AS RECOMMENDED BY A GEOTECHNICAL ENGINEER):
 - 3.1. 5" CONCRETE 4000 PSI @ 28 DAY COMPRESSIVE STRENGTH, W/ 5% AIR ENTRAINMENT (± 1%)
 - 3.2. 4" COMPACTED CLASS 7 (SB-2) BASE COARSE @ 95% MODIFIED PROCTOR.
 - 3.3. 8" COMPACTED SUBGRADE @ 95% STANDARD PROCTOR.
 4. DIMENSIONS AND RADII ARE MEASURED TO THE BACK OF CURB.
 5. ALL PIPE SHALL BE RCP CLASS III OR CLASS IV (ASTM C-76, ASTM C-506, ASTM C-507)



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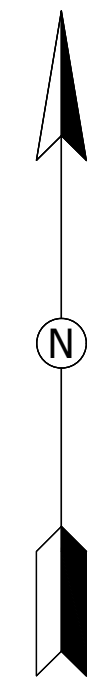
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Job No. : _____
Store # : 3790
Date : 08-27-2018
Drawn By : BGW
Checked By: _____

VERSION:
ISSUE DATE: 08-27-2018
SHEET TITLE
GRADING PLAN

SHEET
C1.0

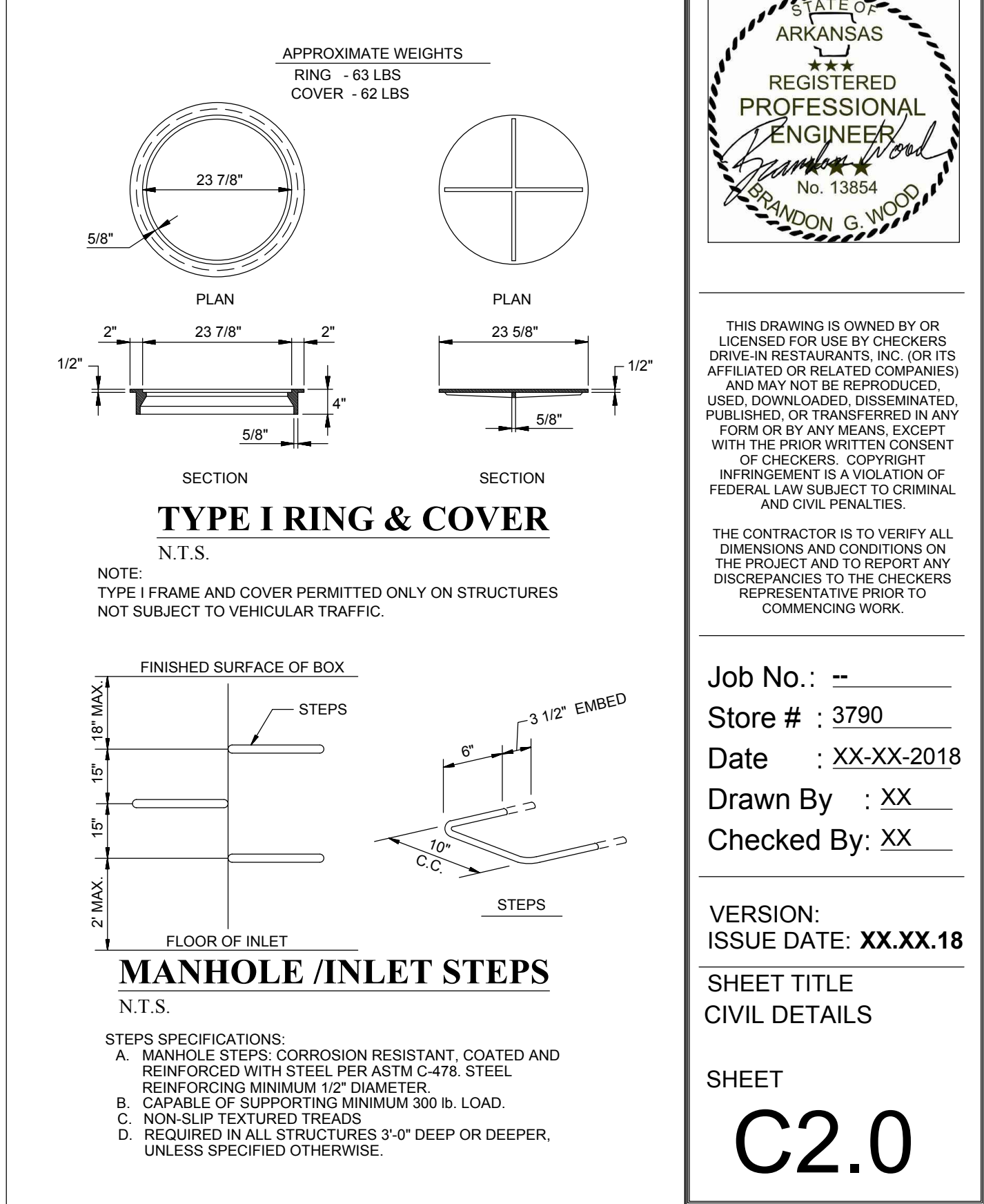
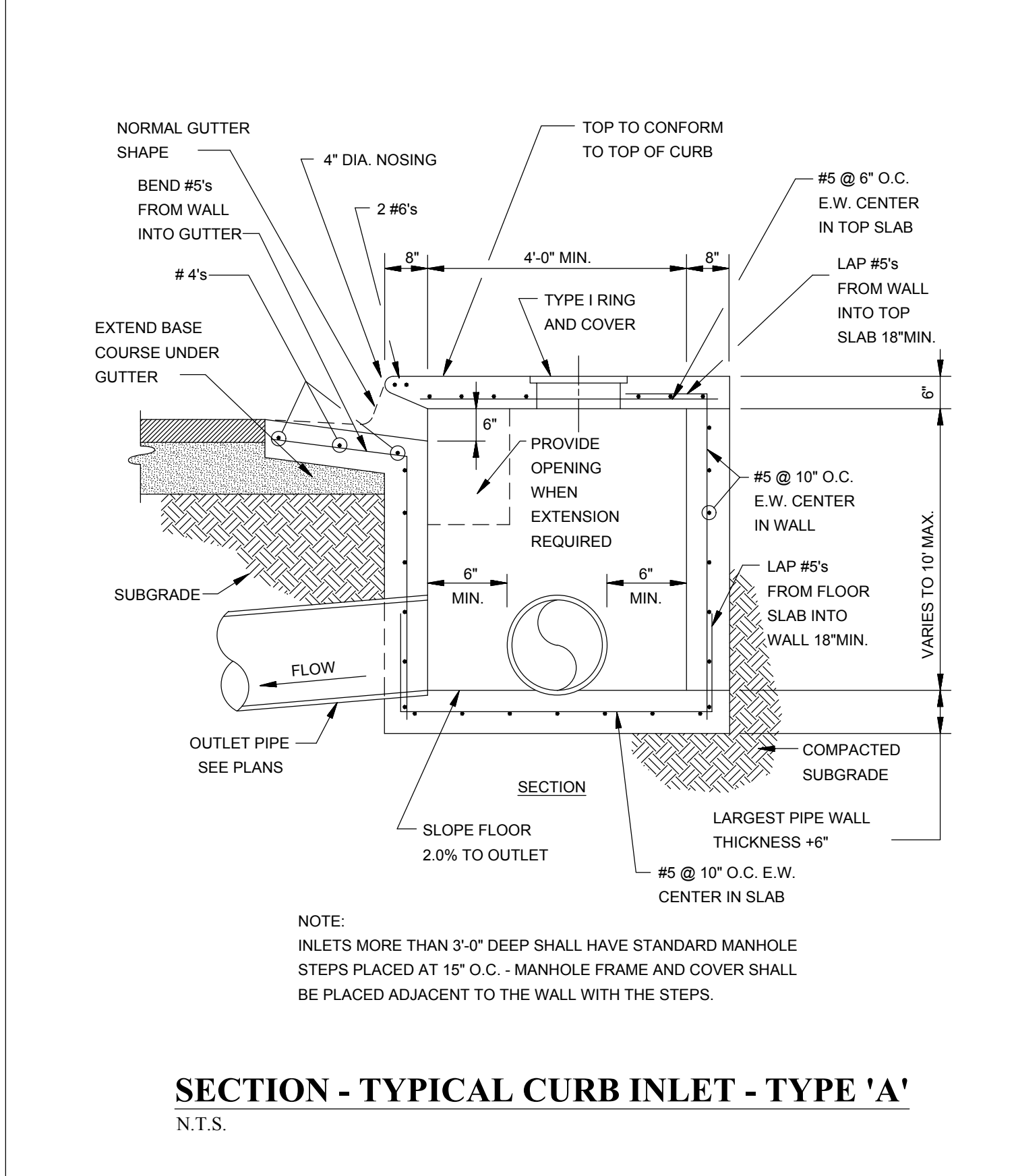
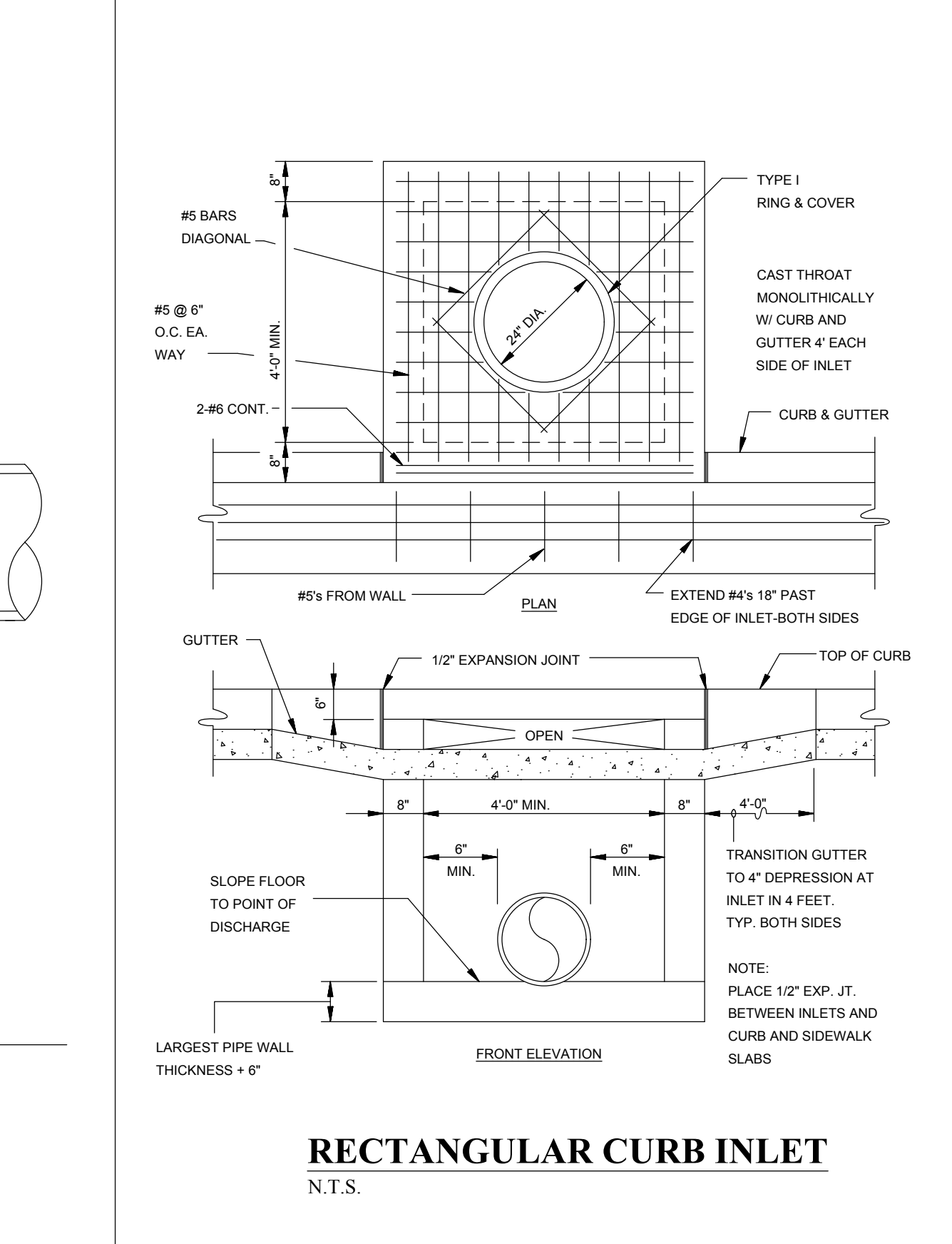
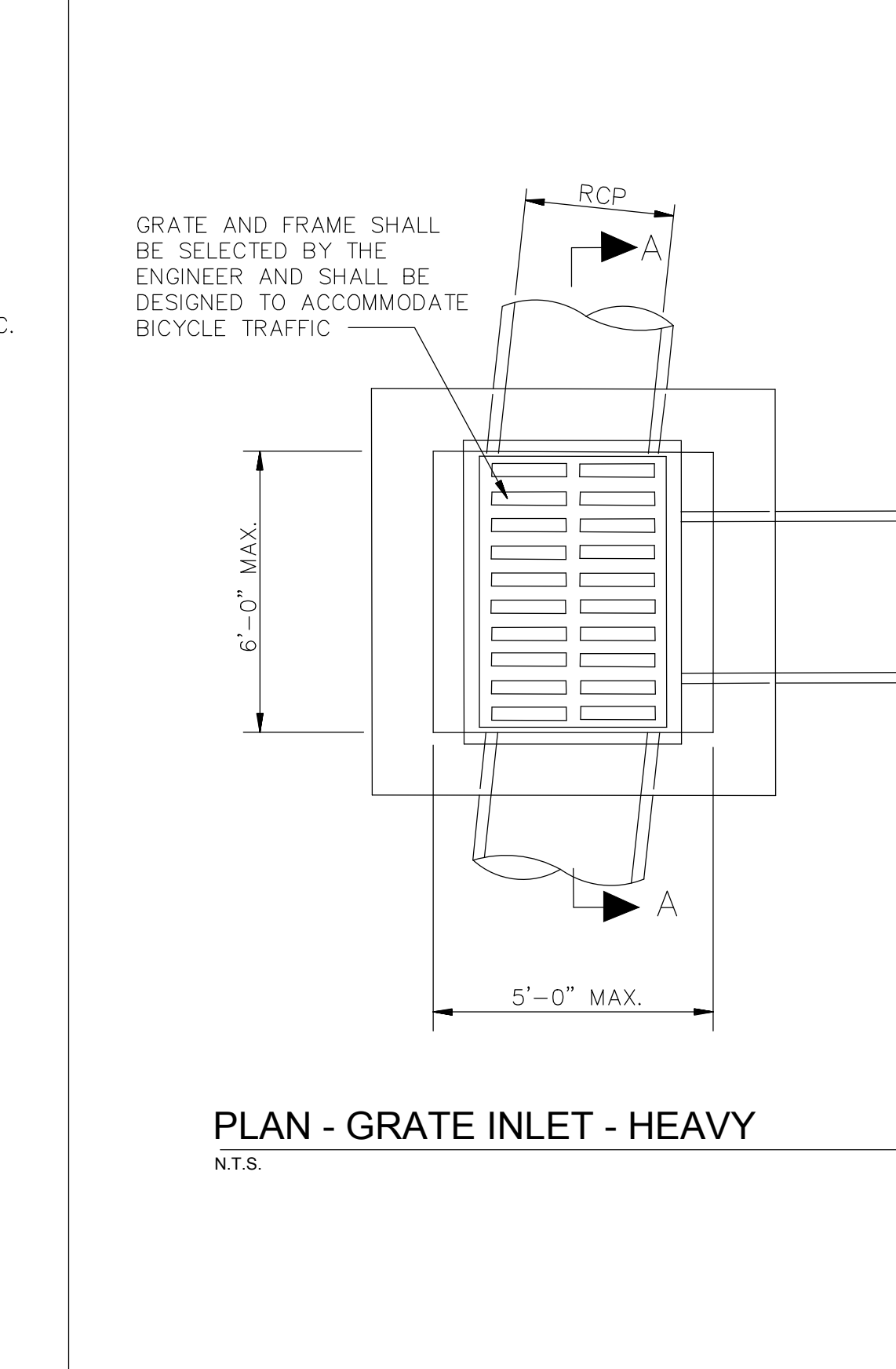
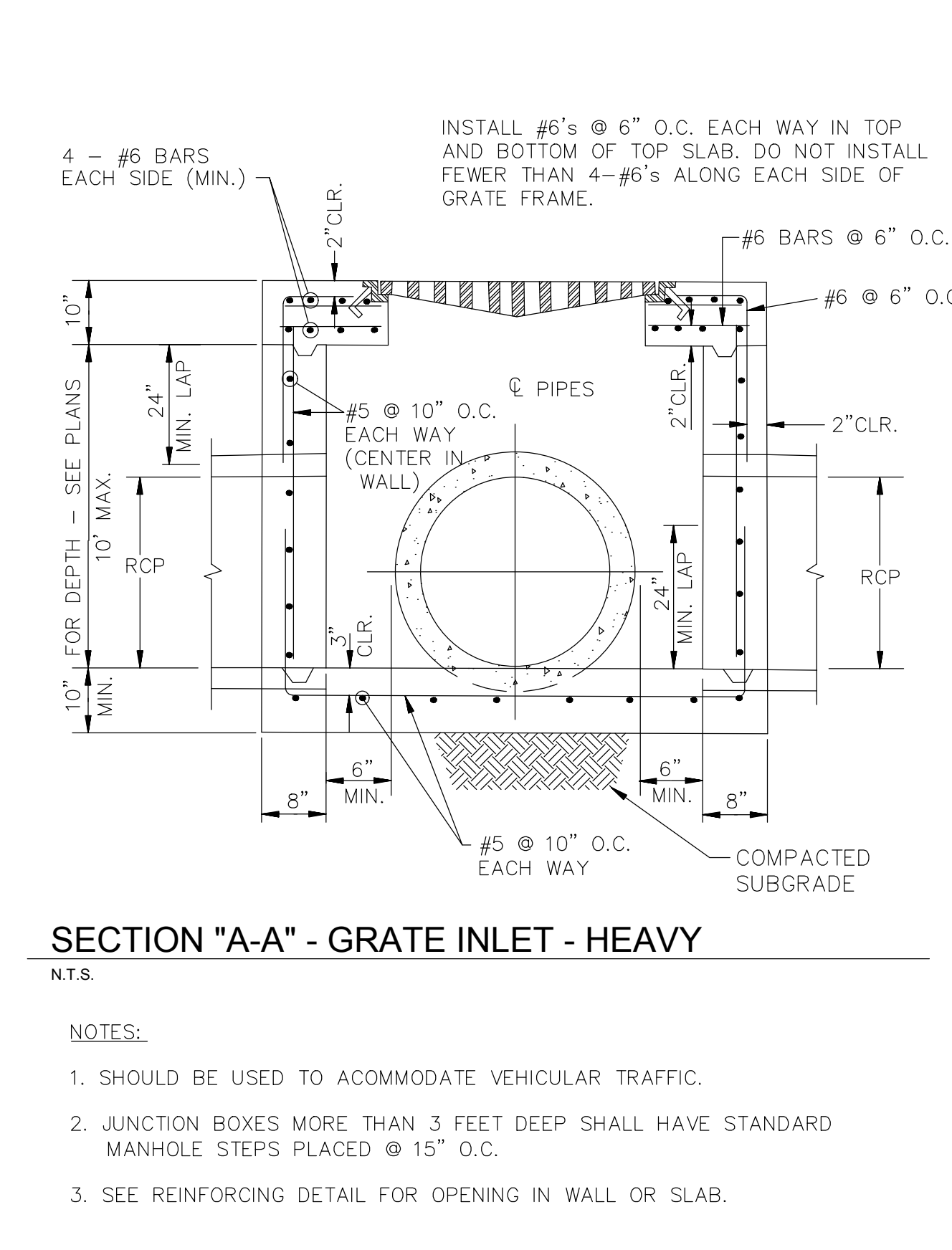
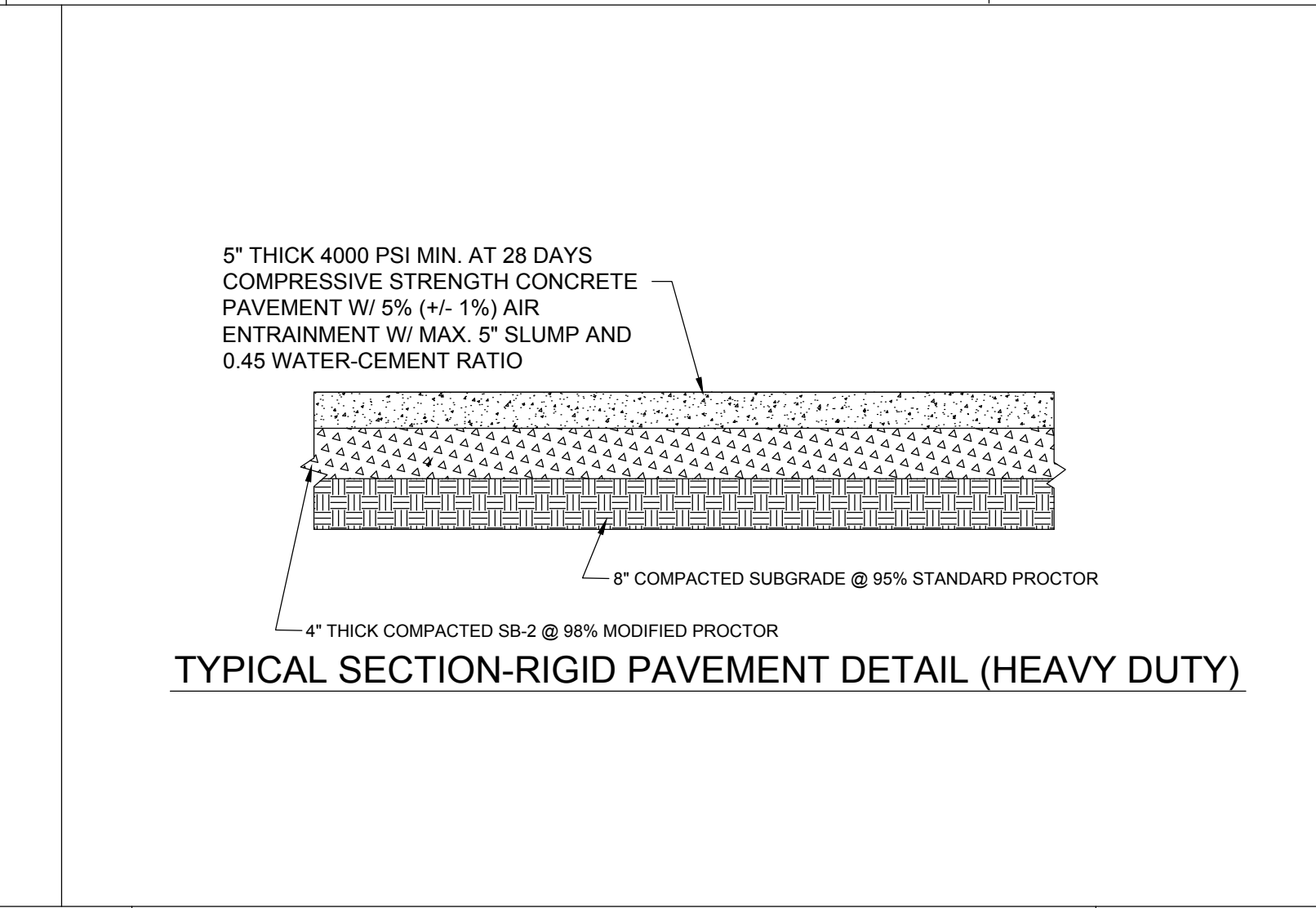
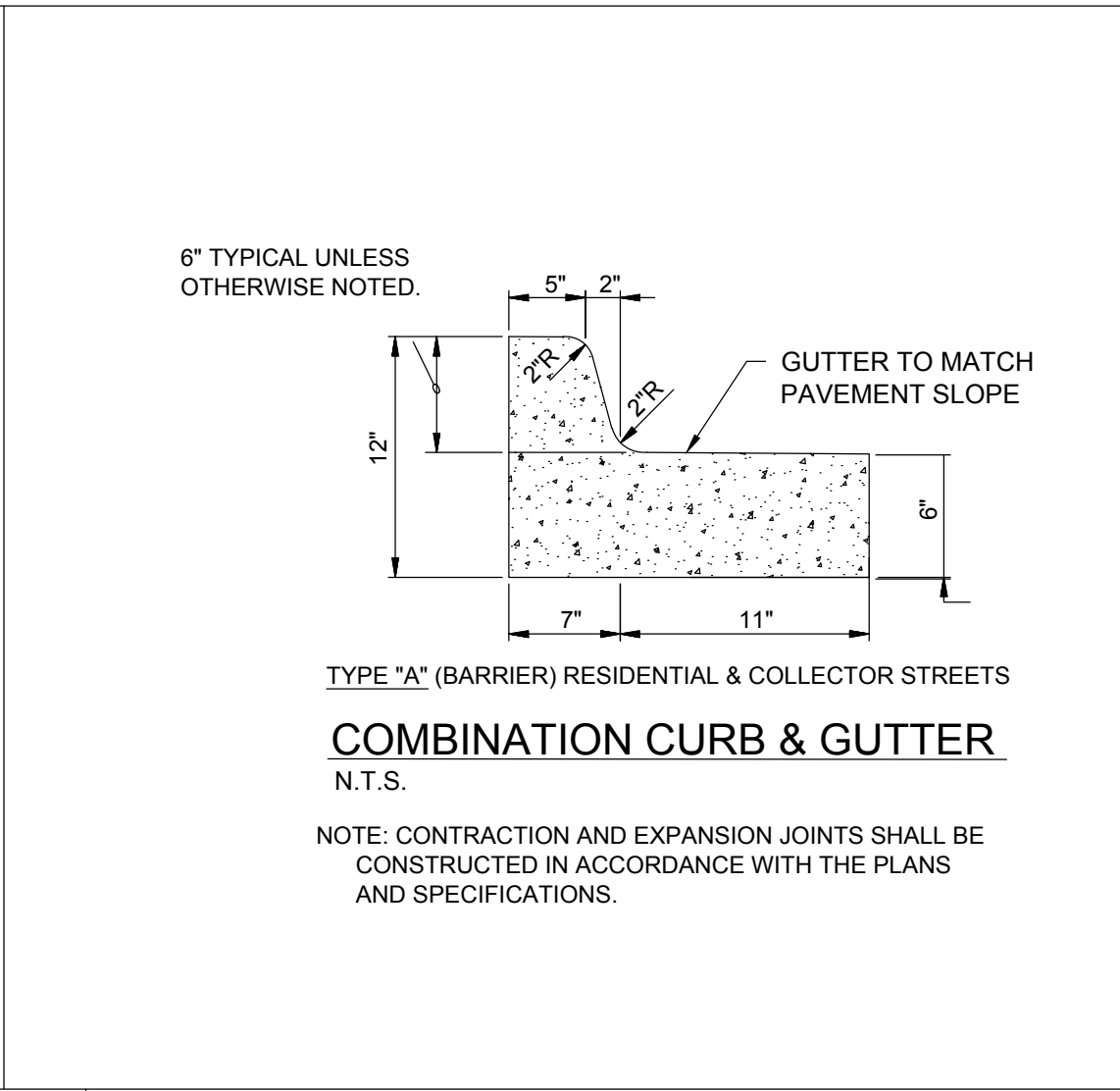
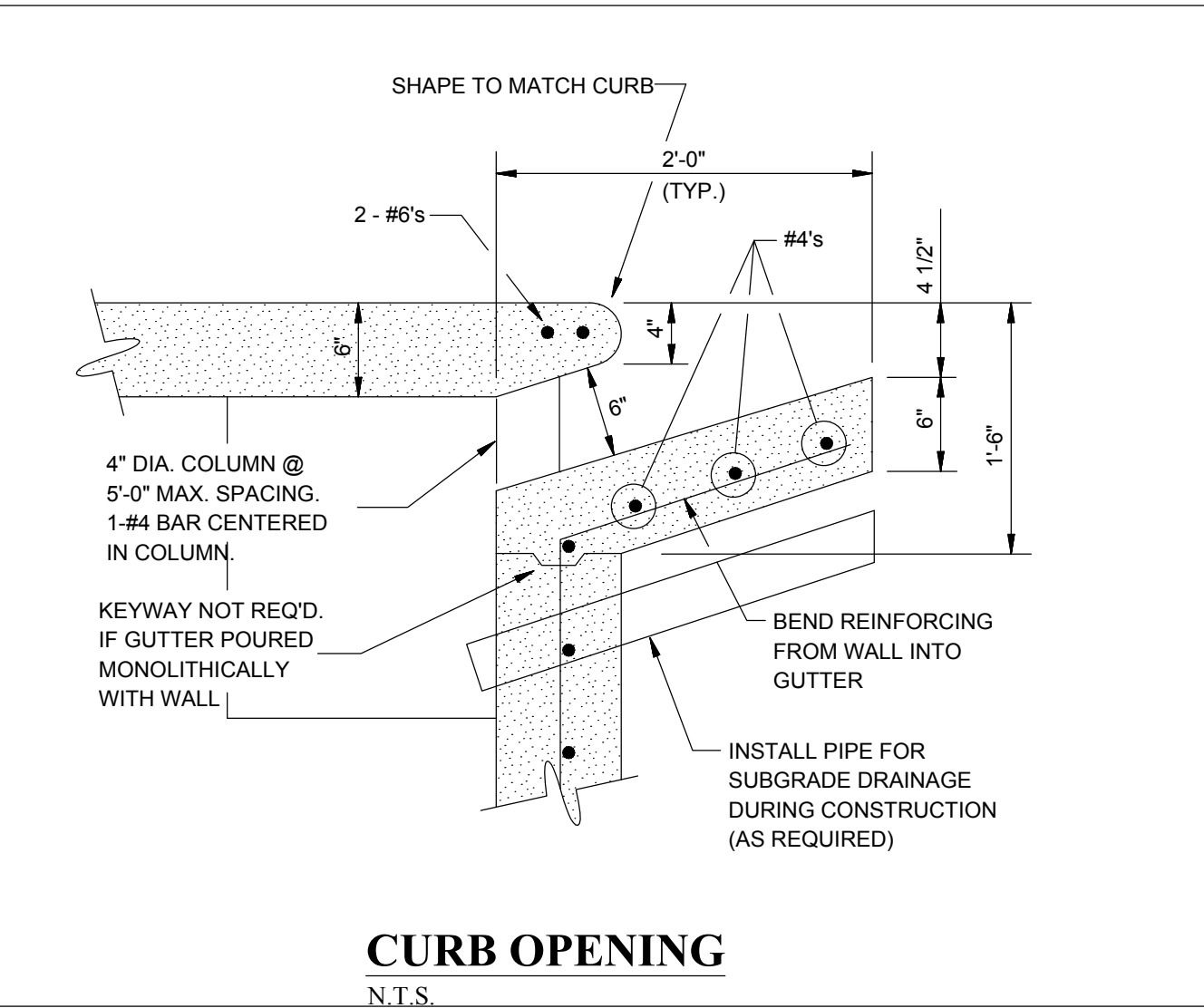
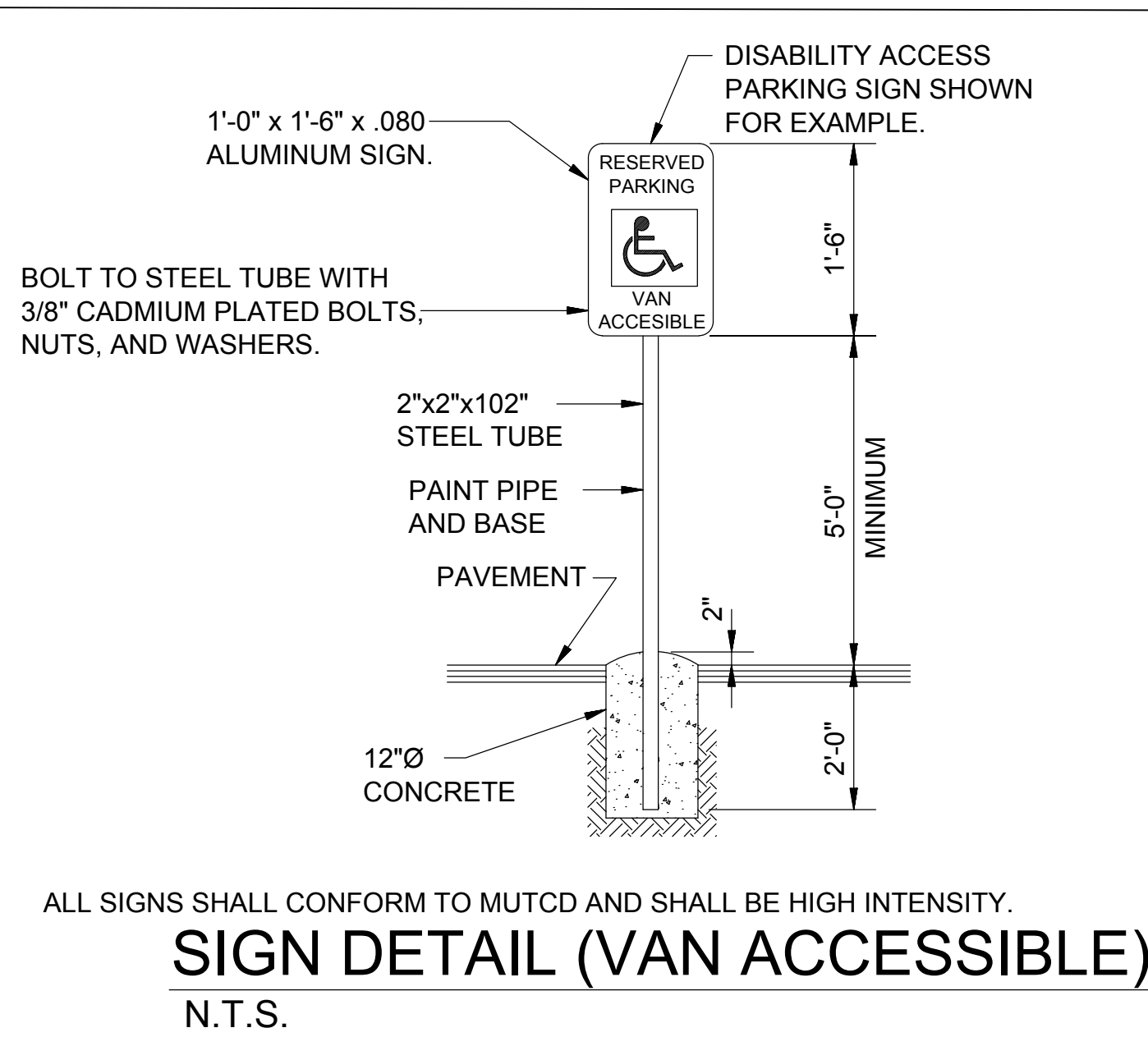
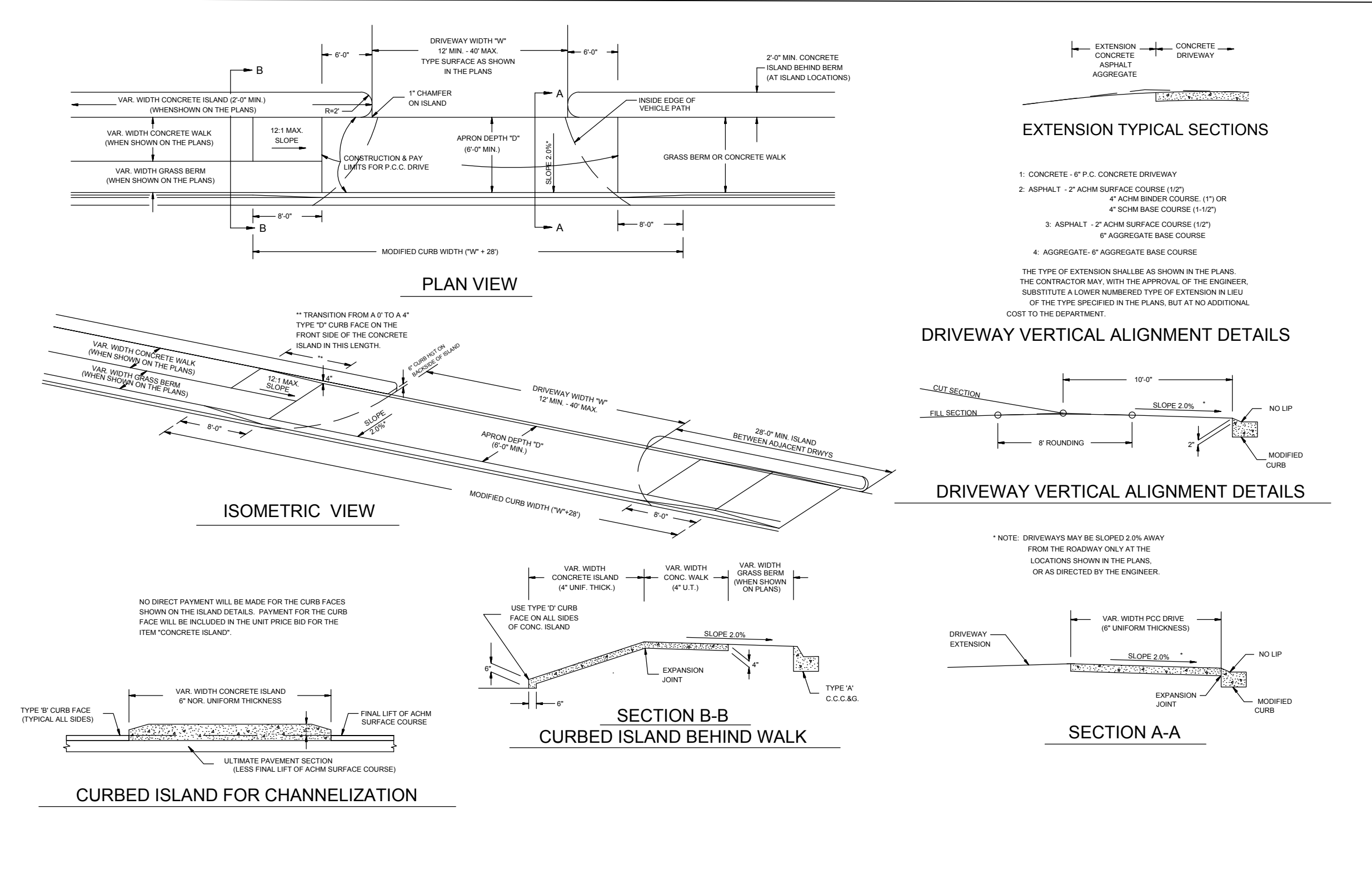
NORTH



0 10' 20'
SCALE: 1" = 10'



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Rally's
CRAZY GOOD FOOD

Checkers
CRAZY GOOD FOOD

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4300 W. Cypress Suite 600,
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RESTAURANT
#3790

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STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 13854
BRANDON G. WOOD

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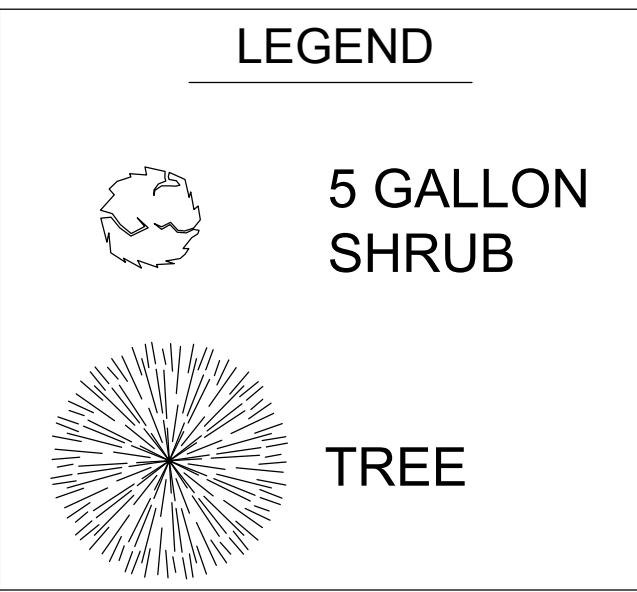
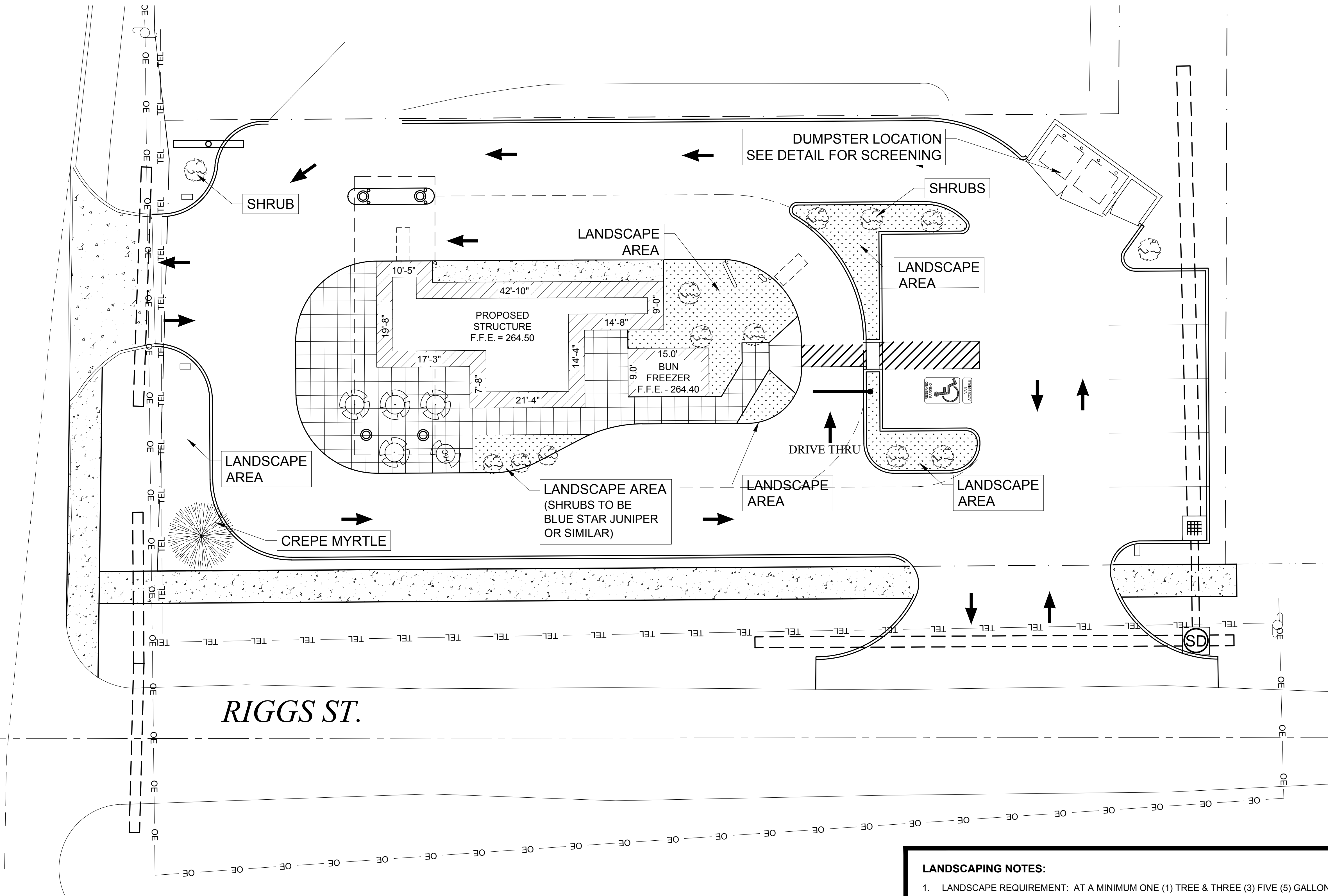
Job No.: --
Store # : 3790
Date : XX-XX-2018
Drawn By : XX
Checked By: XX

VERSION:
ISSUE DATE: XX.XX.18

SHEET TITLE
CIVIL DETAILS

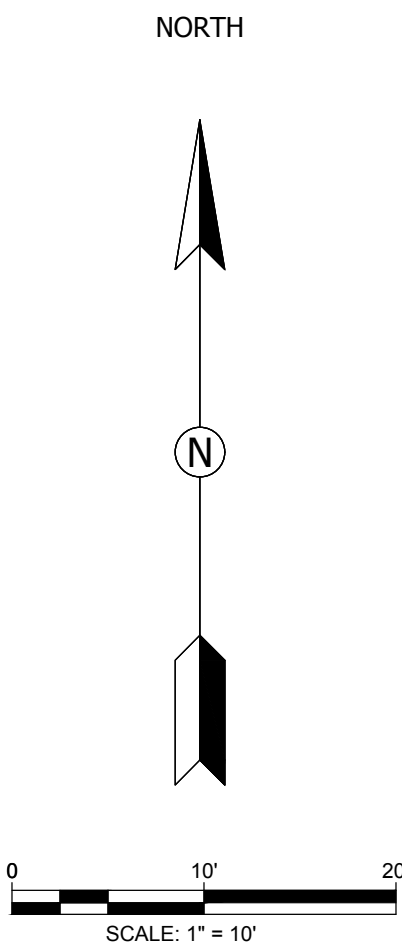
SHEET
C2.0

RED WOLF BLVD.
(HWY 49)



LIGHTING NOTE:

ALL EXTERIOR LIGHTING FIXTURES SHALL BE LOCATED & DIRECTED SO THAT LIGHT DOES NOT "SPILL" ONTO ADJOINING PROPERTIES. UNIT LIGHT FIXTURES LOCATED ADJACENT TO FRONT & REAR ENTRANCES.



LANDSCAPING NOTES:

- LANDSCAPE REQUIREMENT: AT A MINIMUM ONE (1) TREE & THREE (3) FIVE (5) GALLON SHRUBS SHALL BE PROVIDED FOR EVERY 10 PARKING SPACES.
8 SPACES = 1 TREE & 3 SHRUBS
- TREES SHALL BE MIXED SPECIES OF ORNAMENTAL, EVERGREEN, OR LARGE DECIDUOUS TYPES (EXCLUDING BOX ELDER, SOFT MAPLE, HUCKLEBERRY OR AMERICAN ELM).
- LARGE TREES SHALL BE MIN. 3" DIAMETER AND 8' TALL; ORNAMENTAL TREES SHALL BE MIN. 4' TALL; EVERGREEN TREES SHALL BE MIN. 6' TALL.
- SHRUBS SHALL BE MIN (5) GALLON SIZE NURSERY GROWN FOR LOCAL AREA AND MEET PLANT QUALITY STANDARDS OF CURRENT EDITION OF AMERICAN STANDARD FOR NURSERY STOCK MANUAL.
- LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH SOUND NURSERY PRACTICES THAT ENCOURAGE VIGOROUS GROWTH. THEY SHALL BE IN PLACE PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- LANDSCAPE MATERIALS SHALL BE REGULARLY MAINTAINED IN GOOD CONDITION AND ORDERLY APPEARANCE.
- ALL OTHER PERVIOUS AREAS SHALL BE VEGETATED WITH SEASONAL GRASSES AS SPECIFIED IN THE CURRENT EDITION OF AHTD SPECIFICATIONS OR LOCAL SOIL CONSERVATION AGENCY, OR LOCAL SOD.ALL LANDSCAPING SHALL MEET CITY OF JONESBORO CODE OF ORDINANCES, SECTION 117-362.
- DUMPSTER SCREENING: DUMPSTER SHALL BE COMPLETELY SCREENED FROM VIEW ON ALL SIDES VISIBLE TO THE PUBLIC BY A FENCE OR WALL WITH A MINIMUM HEIGHT OF SIX FEET, OR ONE FOOT TALLER THAN THE DUMPSTER, WHICHEVER IS GREATER. THE FENCE OR WALL SHALL PROVIDE COMPLETE VISUAL SCREENING OF THE DUMPSTER, AND BE COMPATIBLE IN MATERIAL AND COLOR WITH THE PRINCIPAL STRUCTURE ON THE LOT.



Checkers and Rally's
Drive-in Restaurants, Inc.
4300 W. Cypress
Suite 600,
Tampa, Florida 33607

RESTAURANT
#3790

1498 Red Wolf Blvd
Jonesboro Arkansas
72401



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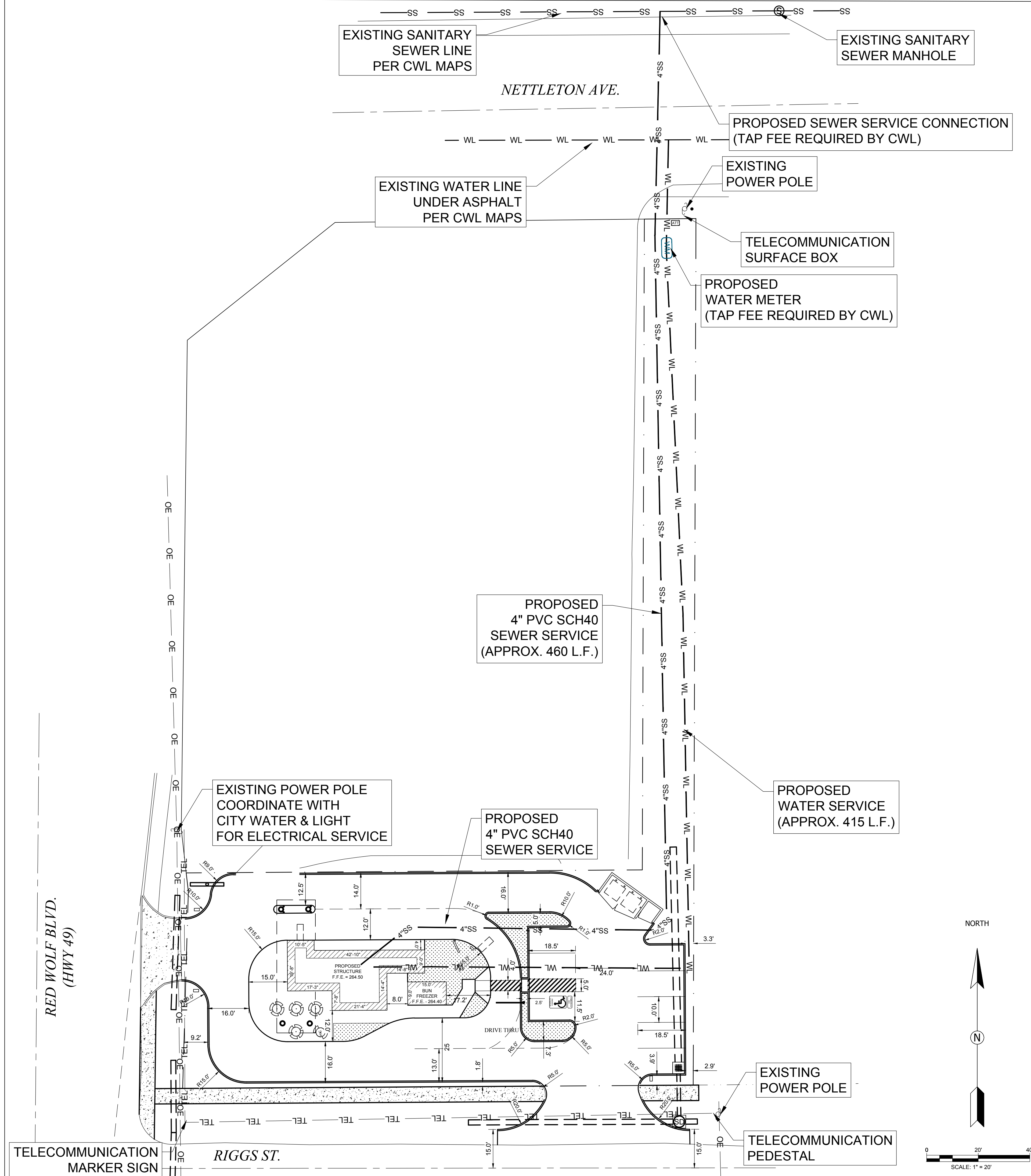
THE CONTRACTOR IS TO VERIFY ALL
DIMENSIONS AND CONDITIONS ON
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SHEET TITLE
LANDSCAPE PLAN



SHEET

C3.0



- UTILITY NOTES:**
- THIS SHEET SHOWS THE APPROXIMATE LOCATIONS OF EXISTING UTILITIES PER INFORMATION PROVIDED BY CORRESPONDING UTILITY COMPANIES AND PER FIELD OBSERVATION OF VISIBLE APPURTENANCES. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND CONTACT 811 FOR LOCATES.
 - CONTRACTOR TO REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, & ELECTRICAL PLANS FOR SIZES AND LOCATIONS OF ALL UTILITIES SERVICING THE STRUCTURE.
 - PLUMBER SHALL SUBMIT PLUMBING PLANS TO ARKANSAS HEALTH DEPARTMENT FOR APPROVAL.
 - CITY WATER & LIGHT IS TO BE CONTACTED REGARDING INSTALLATION OF DOMESTIC WATER METER & SANITARY SEWER SERVICE.

LEGEND	
SS	SANITARY SEWER
4"SS	4" PVC SCH40 SEWER SERVICE LINE
WL	WATER LINE
WM	WATER METER
PP	POWER POLE
TEL	TELE COMMUNICATIONS LINE
OE	OVERHEAD ELECTRIC



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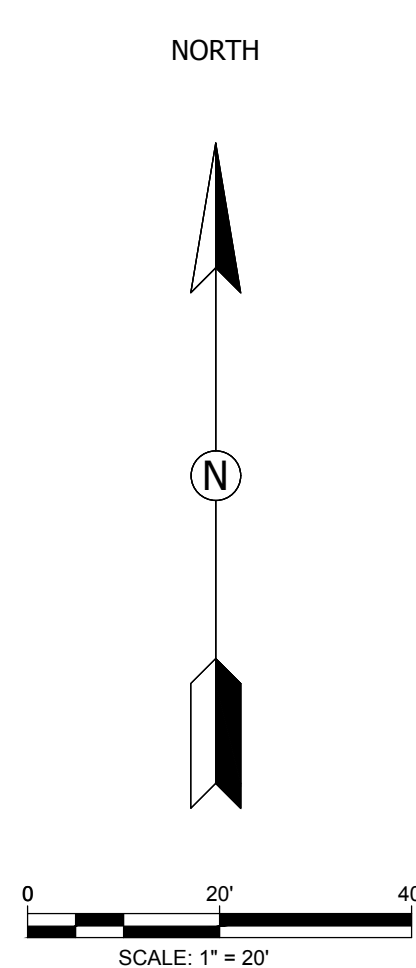
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SHEET TITLE
SITE UTILITY MAP

SHEET
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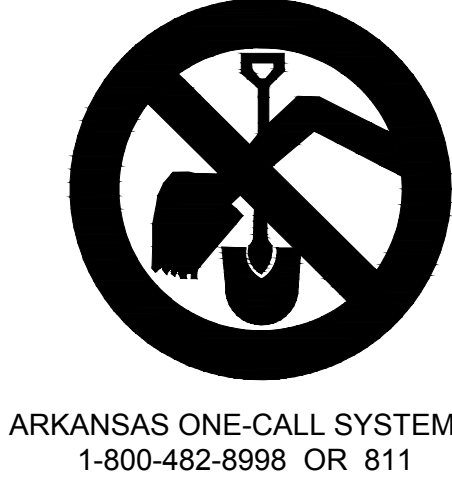
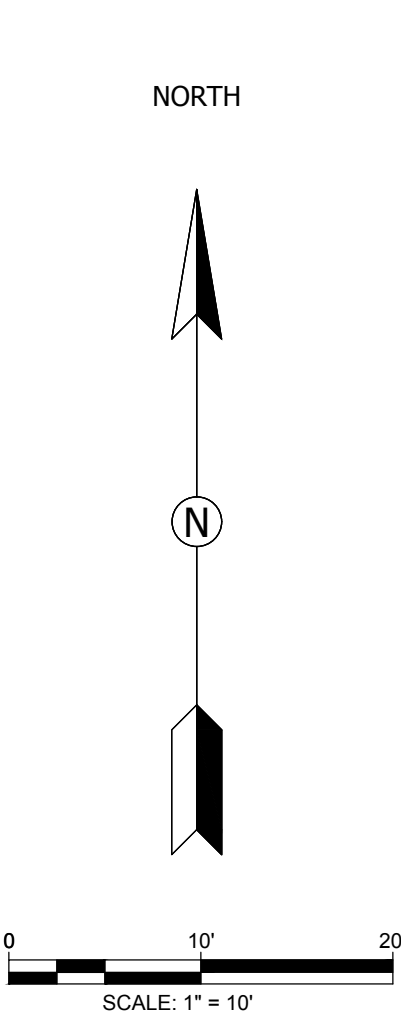


SWPPP NOTES:

1. THIS DRAWING REPRESENTS THE SCHEMATIC MAP OF THE LOCATION AND TYPE OF THE MINIMUM EROSION CONTROL MEASURES ANTICIPATED FOR THIS SITE AND SHALL BE CONSIDERED A PART OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE CITY OF JONESBORO AND ADEQ. THIS MAP SHALL BE UPDATED AND MODIFIED PERIODICALLY AS SPECIFIED IN THE SWPPP PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF ARKANSAS NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT).
2. THE OWNER SHALL BE RESPONSIBLE FOR SUBMITTING THE NOTICE OF INTENT TO THE CITY OF JONESBORO ENGINEERING DEPARTMENT AND ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AS REQUIRED BY THE GENERAL NPDES PERMIT REGULATIONS AND OBTAINING THE REQUIRED PERMIT FROM ADEQ.
3. CONTRACTOR SHALL INSTALL, INSPECT, MAINTAIN, REPAIR, AND MODIFY ALL EROSION CONTROL MEASURES AND SWPPP PLAN IN ACCORDANCE WITH THE GENERAL PERMIT REQUIREMENTS TO KEEP THEM IN GOOD WORKING CONDITION THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. FAILURE TO MAINTAIN COMPLIANCE MAY RESULT IN THE DENIAL OF BUILDING AND CONSTRUCTION INSPECTIONS UNTIL CORRECTIONS HAVE BEEN MADE. CONTRACTOR SHALL MAINTAIN A CONTINUOUS UPDATED SWPPP PLAN AND MAP ON SITE, IN A CONTAINER MARKED AS SUCH TO IDENTIFY THE PLAN IN A PUBLIC ACCESSIBLE LOCATION FOR REVIEW AND INSPECTION BY THE APPROPRIATE INSPECTORS.
4. SILT FENCE & OTHER EROSION CONTROL DEVICES SHALL BE INSTALLED (AS SHOWN ON THE MAP) TO PREVENT MIGRATION OF SEDIMENT TO ADJACENT PROPERTIES & ALONG TOP OF DITCH BANK TO ENSURE THAT THE EXISTING DITCHES ARE NOT CONTAMINATED WITH SEDIMENT DURING CONSTRUCTION. ADDITIONAL LOCATIONS MAY BE NECESSARY AS CONSTRUCTION PROGRESSES. AREAS DISTURBED BY CONSTRUCTION SHALL BE TEMPORARILY SEEDED IN AREAS WHERE CONSTRUCTION CEASES FOR 14 DAYS AND PERMANENTLY SEEDED WITHIN 14 DAYS OF THE COMPLETION OF CONSTRUCTION. THE LOCAL SOIL CONSERVATION SERVICE CAN BE CONTACTED FOR ASSISTANCE.
5. CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION EXIT (PRIOR TO CONSTRUCTION) AT THE LOCATIONS CONSTRUCTION VEHICLES LEAVE THE SITE TO PREVENT DUST AND MUD TRACKING ONTO STREETS. CONTRACTOR SHALL CLEAN ALL TRACKING MATERIALS FROM STREETS AS FREQUENTLY AS NECESSARY TO MAINTAIN CLEAN STREETS AND AT A MINIMUM OF THE END OF THE DAY.
6. AN INSPECTION SHALL BE MADE WEEKLY. ALL OBSERVED DEFICIENCIES OF THE BEST MANAGEMENT PRACTICES (BMPs) WILL BE RECORDED AND REPAIRED AS SOON AS POSSIBLE.
7. SEDIMENT SHALL BE REMOVED FROM ALL EROSION CONTROL DEVICES WHEN SEDIMENT REACHES 50% OF THE DEVICE CAPACITY.
8. A SOLID WASTE CONTAINER SHALL BE PROVIDED FOR SOLID WASTE REMOVAL, IF DEEMED NECESSARY.
9. A TEMPORARY SANITARY SEWER CONTAINER SHALL BE PROVIDED, IF DEEMED NECESSARY.
10. A CONCRETE WASTE PIT SHALL BE PROVIDED AS NEEDED DURING THE CONSTRUCTION OF THE SITE. THE LOCATION SHALL BE MARKED ON THE MAP UPON INSTALLATION.
11. TOTAL AREA = 0.5 ACRES, DISTURBED AREA = 0.36 ACRES

PERMIT NOTE:
DEVELOPER SHALL OBTAIN REQUIRED GRADING PERMIT PRIOR TO COMMENCING WORK ON THE SITE. PREPARE A SWPP PLAN, AND DISPLAY THEM FOR PUBLIC ACCESS AT THE SITE.

DETAILS NOTE:
FOR INSTALLATION METHODS & MATERIAL SPECIFICATIONS REFER TO DETAILS INCLUDED IN THE SWPPP



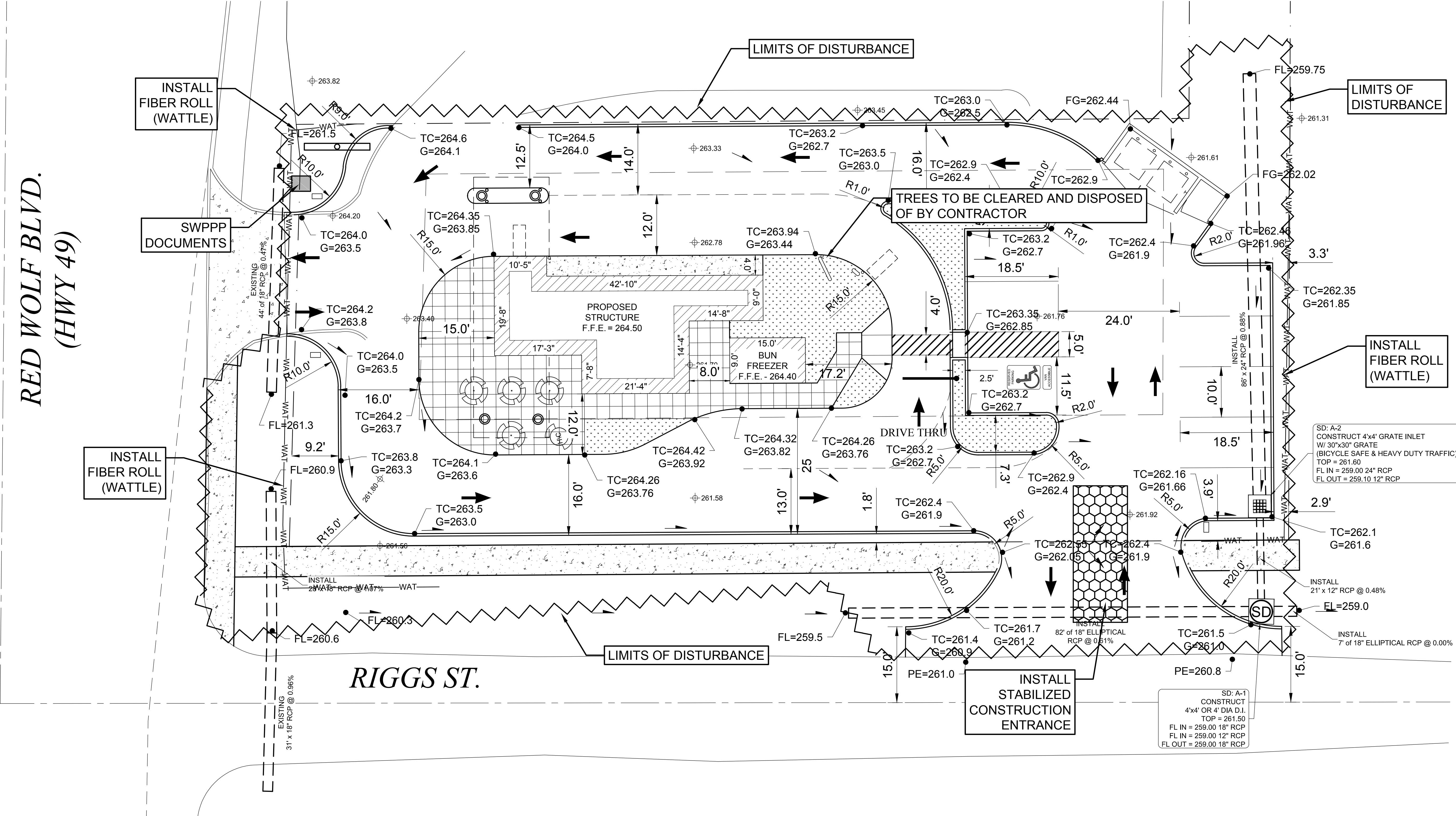
LEGEND	
	DRAINAGE FLOW
	BENCHMARK
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	FG - FINISHED GRADE
	TW = TOP WALK
	TC = TOP CURB
	PVT = PAVEMENT
	EXISTING SPOT ELEVATION
	SF
	SILT (SEDIMENT) FENCE
	WAT
	FIBER ROLL (WATTLE)



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SEDIMENT & EROSION CONTROL MAP
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