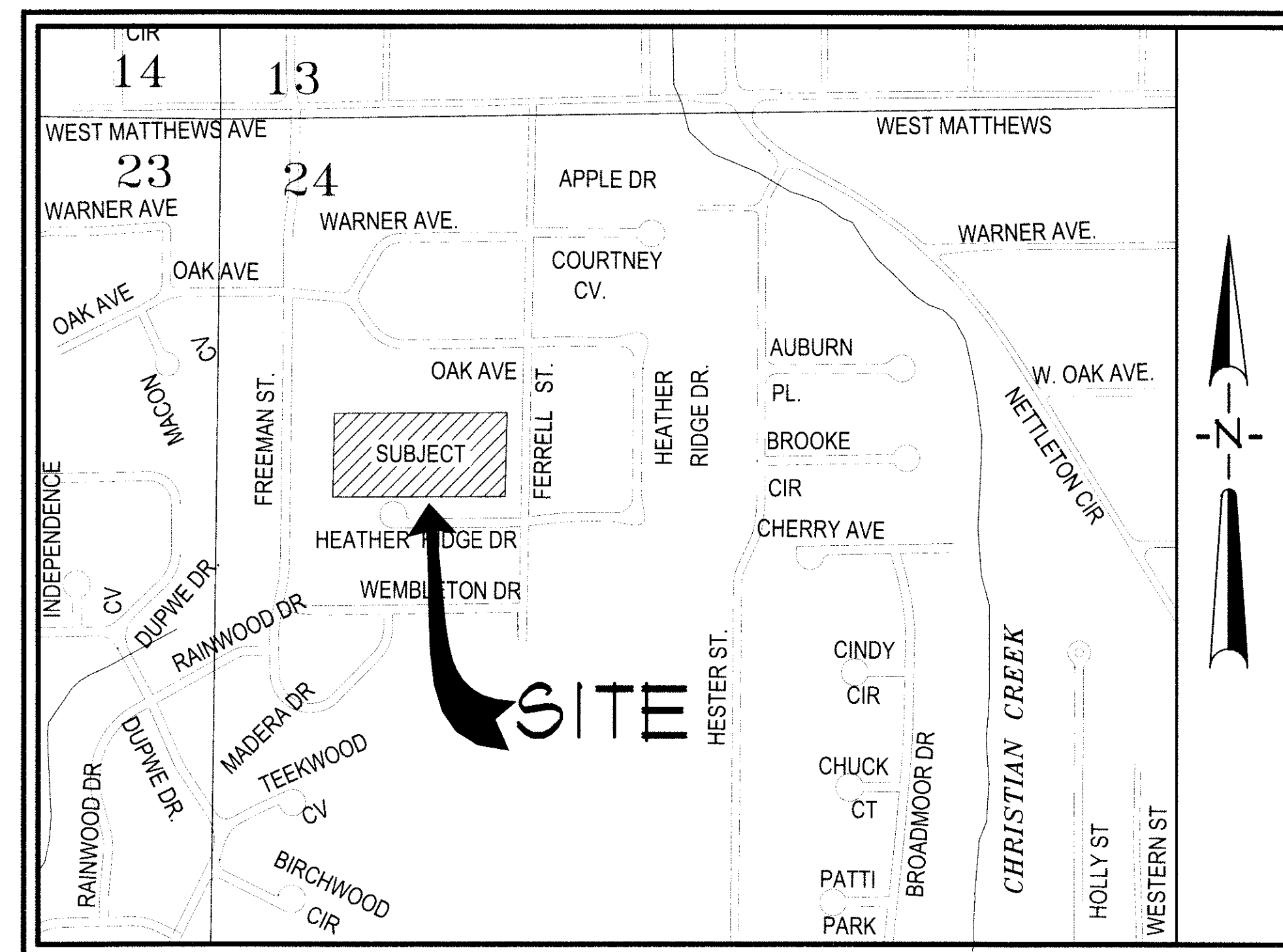


SITE DEVELOPMENT PLANS

CONNER CAPITAL HOLDINGS, L.L.C.

LYING IN SECTION 24, TOWNSHIP 14 NORTH,
RANGE 3 EAST, CRAIGHEAD COUNTY,
JONESBORO, ARKANSAS
MAY, 2007

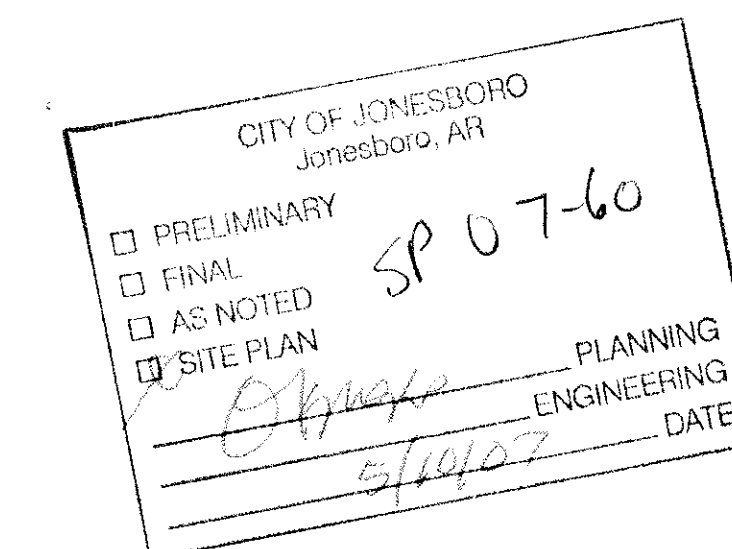
1003 Ferrell Street



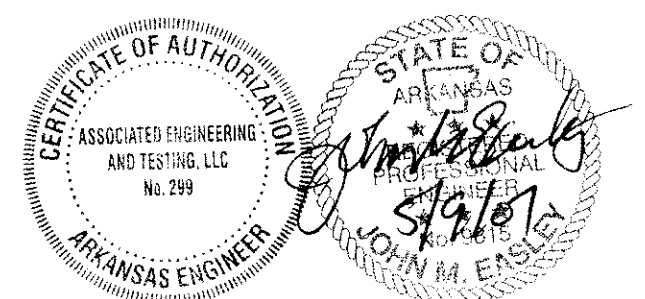
VICINITY MAP
NOT TO SCALE

INDEX TO SHEETS

- 1 OF 11 INDEX SHEET
- 2 OF 11 AREA MAP
- 3 OF 11 TOPOGRAPHIC SURVEY
- 4 OF 11 SITE DEMOLITION PLAN
- 5 OF 11 SITE DEVELOPMENT PLAN
- 6 OF 11 UTILITY PLAN
- 7 OF 11 GRADING & DRAINAGE PLAN
- 8 OF 11 EROSION CONTROL PLAN
- 9 OF 11 LANDSCAPE PLAN
- 10 OF 11 DETAILS-STANDARD
- 11 OF 11 DETAILS-EROSION CONTROL

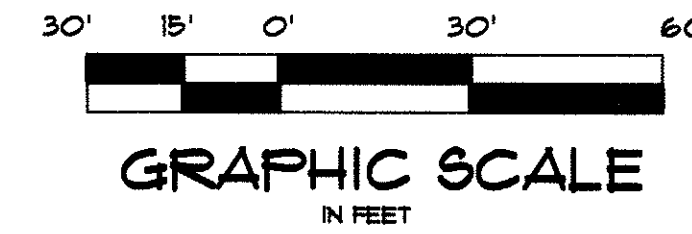


Reviewed
APPROVED
Chapman



ASSOCIATED ENGINEERING AND TESTING, LLC
CIVIL ENGINEERING, LAND SURVEYING AND MATERIALS TESTING
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
PH: 870-932-3594 FAX: 870-935-1263

PROPOSED
SITE DEVELOPMENT PLANS
CONNER CAPITAL HOLDINGS, L.L.C.
JONESBORO, ARKANSAS



LEGEND

- BOUNDARY LINE
- RIP RAP AREA

ENGINEER'S NOTES

- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- BENCHMARK #1 IS A COTTON PICKER SPINDLE ON WEST SIDE OF POWER POLE LOCATED NORTH OF THE S.E. CORNER OF THE PROPERTY. ELEV. = 322.16
- PARKING SPACES REQUIRED:
2 BEDROOM 4 FLEX = 225 SPACES EACH
24 BEDROOMS TOTAL = 36 SPACES REQUIRED
TOTAL PROVIDED = 42 SPACES
- SUBJECT PROPERTY DOES NOT LIE IN THE FLOOD PLAIN NOR IN THE FLOODWAY.
- SCREENING AND BUFFERING ARE NOT APPLICABLE.
- EASEMENTS ARE AS SHOWN.
- COMMON OPEN SPACE AND AMENITIES ARE NOT APPLICABLE.
- NO HISTORICAL STRUCTURES ARE LOCATED ON SUBJECT PROPERTY.
- EXISTING FIRE HYDRANT ON NORTH SIDE OF HEATHER RIDGE ROAD, APPROXIMATELY 300' WEST OF FERRELL STREET.
- OWNER WILL SUBMIT BUILDING PLUMBING PLANS TO STATE.
- ALL RETURN RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECT'S PLANS FOR BUILDING DIMENSIONS.
- SITE LAYOUT BASED ON ARCHITECT'S PLAN.
- CITY OF JONESBORO TO CONSTRUCT A REGIONAL DETENTION FACILITY IN REAR OF SUBJECT PROPERTY.
- ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL ACCESSIBLE PARKING SPACES SHALL HAVE A MAXIMUM SLOPE OF 2.0% IN ALL DIRECTIONS.

RESOURCE LIST

- CITY OF JONESBORO - PLANNING AND ZONING
OTIS SPRIGGS, CITY PLANNER
100 FLINT STREET
JONESBORO, AR 72401
810-932-0406
- CITY OF JONESBORO - PUBLIC WORKS
ERIC WOODRUFF
DIRECTOR OF PUBLIC WORKS
301 VINE AVENUE
JONESBORO, AR 72401
810-932-2438
- CITY OF JONESBORO - ENGINEERING
KELLY PANNECK
CITY ENGINEER
301 VINE AVENUE
JONESBORO, AR 72401
810-932-2438
- CODES DEPT. FIRE MARSHALL
CRAIG DAVENPORT
3219 E. JOHNSON AVE.
JONESBORO, AR 72401
810-932-2428
- CITY WATER AND LIGHT - ENGINEERING
RANDY SIMPKINS, CHIEF ENGINEER
400 EAST MONROE
JONESBORO, AR 72401
810-932-3320
- CENTERPOINT ENERGY
KEITH CRAIG
3013 OLD FEEDHOUSE ROAD
JONESBORO, AR 72401
810-932-6682
- SOUTHWESTERN BELL COMPANY
DENNIS NIX
810-932-1596
- SUDEN LINK - CABLE TV
DAVID WATLTON
1520 SOUTH CARAWAY ROAD
JONESBORO, AR 72401
810-935-3615, EXT 225

OWNER / CONTRACTOR / DESIGN PROFESSIONAL CERTIFICATION

I ACKNOWLEDGE MY UNDERSTANDING THAT ALL SITE IMPROVEMENTS SHALL CONFORM TO THIS APPROVED SUBDIVISION PLAN. THE CITY PLANNER FOR THE CITY OF JONESBORO MUST APPROVE, IN WRITING, ANY DEVIATIONS, VARIANCES, OR CHANGES FROM THIS APPROVED SUBDIVISION PLAN. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE ZONING ORDINANCE AND WITH THE CONDITIONS OF THE ZONING PERMIT, AND WITH ALL LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK.

THE DESIGN PROFESSIONAL (ARCHITECT, ENGINEER, OR LANDSCAPE ARCHITECT) SEALING THE APPROVED SUBDIVISION PLAN SHALL PERIODICALLY INSPECT THE INSTALLATION AND CONSTRUCTION OF ALL SITE IMPROVEMENTS SHOWN ON AND REQUIRED BY THE SUBDIVISION PLAN. UPON COMPLETION OF ALL SITE IMPROVEMENTS AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE DESIGN PROFESSIONAL SHALL SUBMIT A LETTER TO THE CITY PLANNER VERIFYING THAT CONSTRUCTION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED SUBDIVISION PLAN.

CONTRACTOR
OWNER
DATE
DESIGN PROFESSIONAL
DATE

APPROVAL STATEMENT

THIS SITE DEVELOPMENT, INCLUDING SUPPORTING PLANS AND DOCUMENTS, IS APPROVED BY THE CITY OF JONESBORO, ARKANSAS AS SIGNIFIED BY THE FOLLOWING SIGNATURES.

OTIS SPRIGGS, CITY PLANNER
DATE
KELLY PANNECK, CITY ENGINEER
DATE
CRAIG DAVENPORT, FIRE MARSHALL
DATE

OWNER'S CERTIFICATION

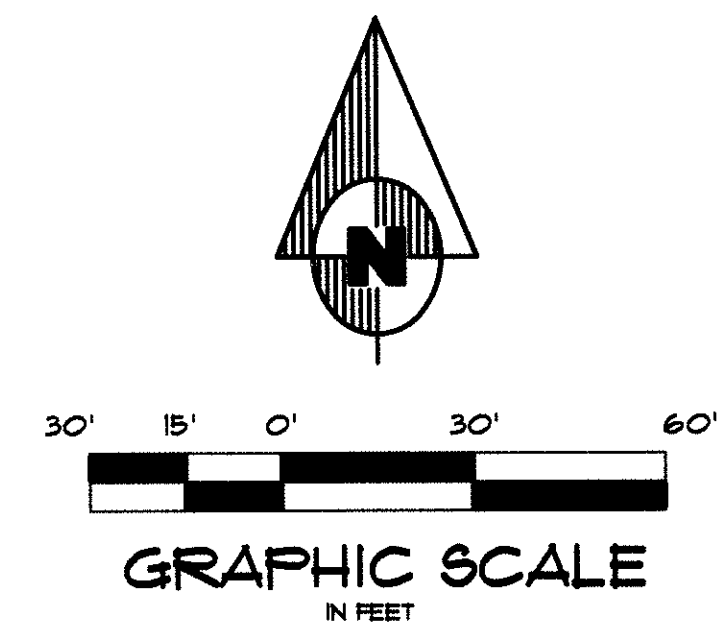
WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF PROPERTY AS DESCRIBED HEREON, THAT WE ADOPT THE PLAN OF SUBDIVISION AND DEDICATE THE PERPETUAL USE OF ALL STREETS AND EASEMENTS AS NOTED.

JASON MARSHALL
CONNER CAPITAL HOLDINGS, LLC

ASSOCIATED ENGINEERING AND TESTING, LLC
CIVIL ENGINEERING, LAND SURVEYING AND MATERIALS TESTING
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
PH: 810-932-3594 FAX: 810-935-1263

PROPOSED
SITE DEVELOPMENT PLAN
CONNER CAPITAL HOLDINGS, L.L.C.
JONESBORO, ARKANSAS

DRAWN: KUG	CHECKED: JME	DATE: 05/09/07	SHEET
SCALE: 1" = 30'	CADD FILE: 07154-80P.DWG#	0314244.0191	B OF 11



LEGEND

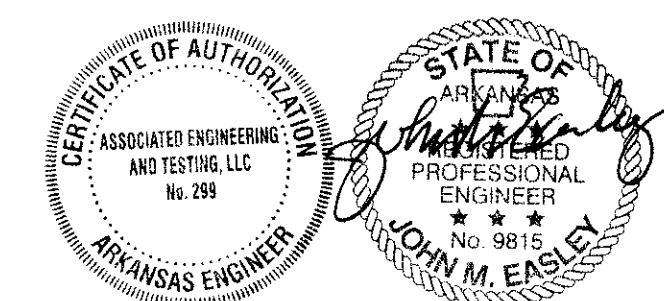
- BOUNDARY LINE
- AREA TO BE REMOVED

ENGINEER'S NOTES

- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- BENCHMARK #1 IS A COTTON PICKER SPINDLE ON WEST SIDE OF POWER POLE LOCATED NORTH OF THE SE CORNER OF THE PROPERTY. ELEV. = 322.16
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- REMOVE AND DISPOSE OF ALL DEBRIS AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS.
- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES IS BASED ON RECORDS OF UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- CONTACT THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS.
- ACCESS ALONG ROADWAYS SHALL BE MAINTAINED AT ALL TIMES. CONSTRUCTION IN CITY, COUNTY OR STATE RIGHT OF WAY SHALL BE COORDINATED WITH THE RESPECTIVE AUTHORITY.
- TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES. THE CONTRACTOR SHALL GIVE AFFECTED PROPERTY OWNERS TWO WEEKS NOTICE PRIOR TO CONSTRUCTION OPERATIONS.

UTILITY SERVICE PROVIDERS
IN JONESBORO, AR

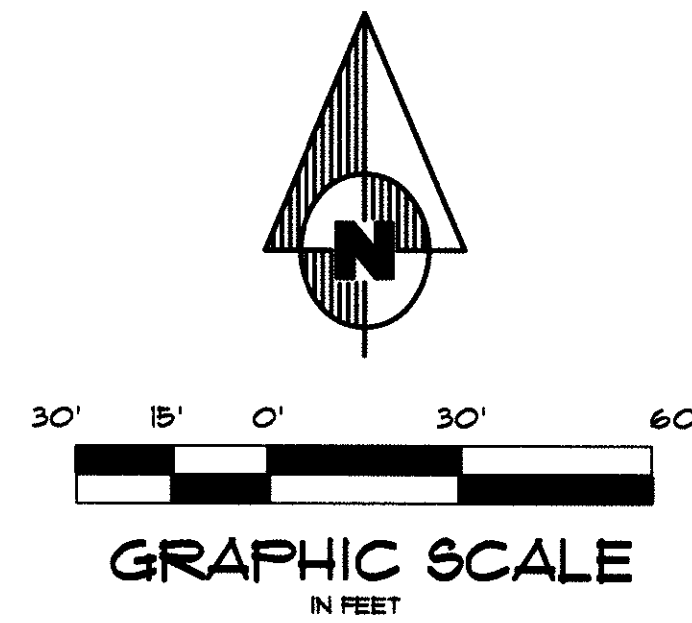
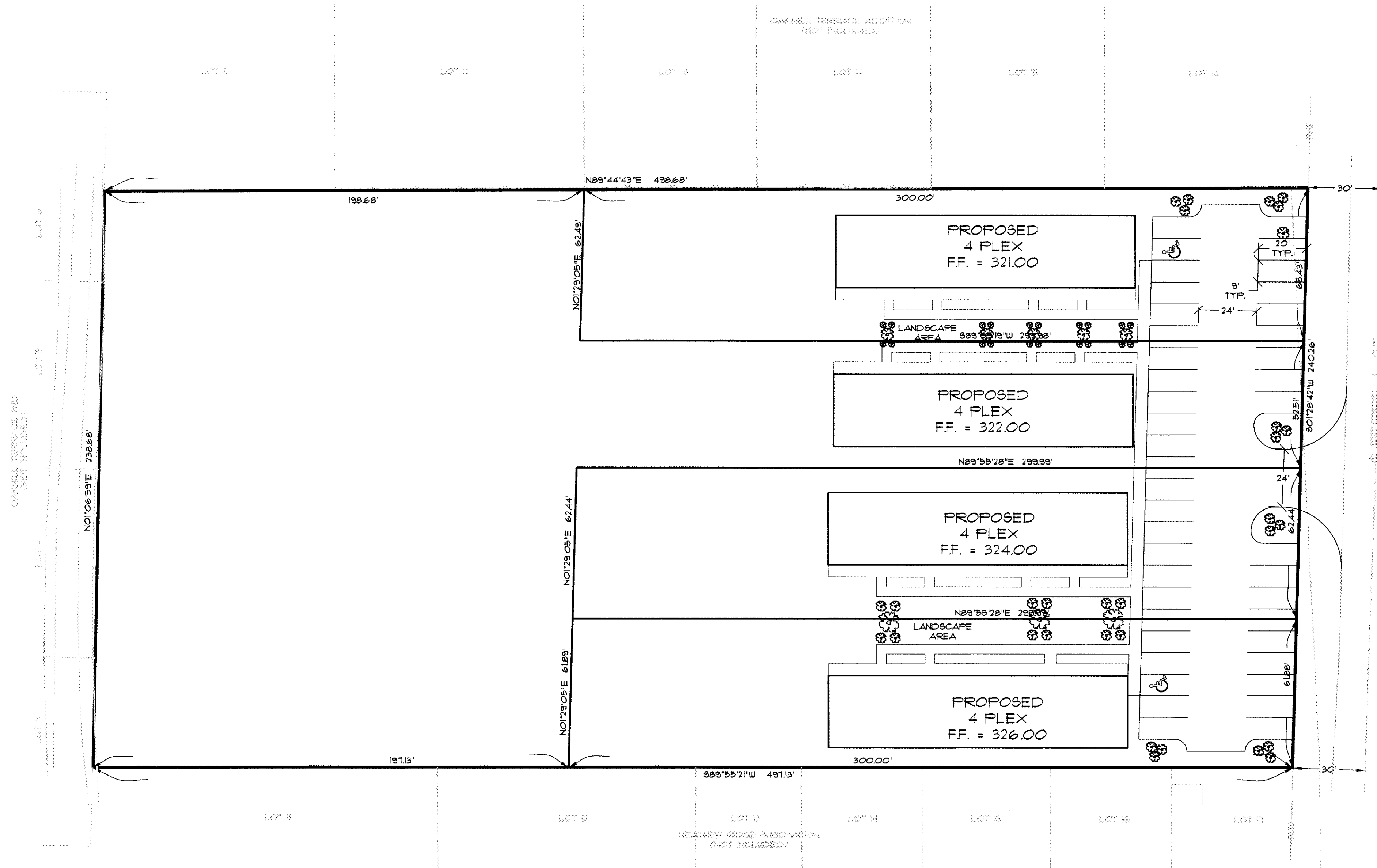
- A) WATER, SEWER AND ELECTRICITY:
CITY WATER & LIGHT, 400 EAST MONROE, P.O. BOX 1289
JONESBORO, AR 72403, FAX: 810-930-3303
RON BOUEN, PE, MANAGER
RANDY SIMPKINS, PE, CHIEF ENGINEER, 810-930-3320
- B) NATURAL GAS:
CENTERPOINTE ENERGY
3013 OLD FEEDHOUSE RD.
JONESBORO, AR 72403
KEITH CRAIG 810-912-6682
- C) TELEPHONE:
SOUTHWESTERN BELL TELEPHONE COMPANY
123 CHURCH, ROOM B 211
JONESBORO, AR 72403
BRIAN NOLAND, AREA MANAGER INSTALLATION AND REPAIR,
810-912-1826, FAX: 810-932-6093
JERRY HILL, AREA MANAGER ENGINEERING DESIGN,
810-912-1595, FAX: 810-912-1558
- D) CABLE TELEVISION
BUDDEN LINK
1820 SOUTH CARAWAY ROAD
JONESBORO, AR 72401
GARRY BOUMAN, MANAGER, 810-935-3615, FAX: 810-912-8141



ASSOCIATED ENGINEERING AND TESTING, LLC
CIVIL ENGINEERING, LAND SURVEYING AND MATERIALS TESTING
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
PH: 810-932-3594 FAX: 810-935-1263

PROPOSED
SITE DEMOLITION PLAN
CONNER CAPITAL HOLDINGS, L.L.C.
JONESBORO, ARKANSAS

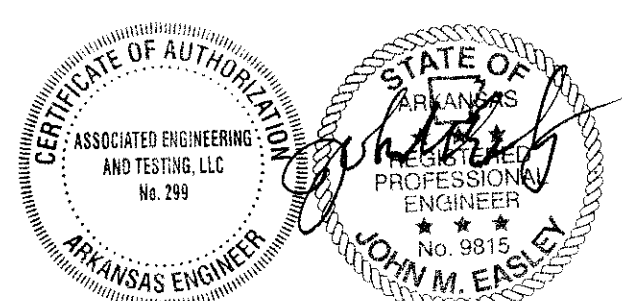
DRAWN: KJG CHECKED: JHE DATE: 05/09/07 SHEET
SCALE: 1" = 30' CADD FILE: 01B4-SDP DWG#: 0314244-0191 4 OF 11



LEGEND

- BOUNDARY LINE
- PROPOSED TREE
- PROPOSED SHRUB

SPECIES AND TYPE TO BE DETERMINED BY OWNER AND LANDSCAPE PROFESSIONAL.



ASSOCIATED ENGINEERING AND TESTING, LLC
CIVIL ENGINEERING, LAND SURVEYING AND MATERIALS TESTING
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403
PH: 870-932-3594 FAX: 870-935-1263

PROPOSED
LANDSCAPE PLAN
CONNER CAPITAL HOLDINGS, L.L.C.
JONESBORO, ARKANSAS

REVISIONS	BY
3/22/07	

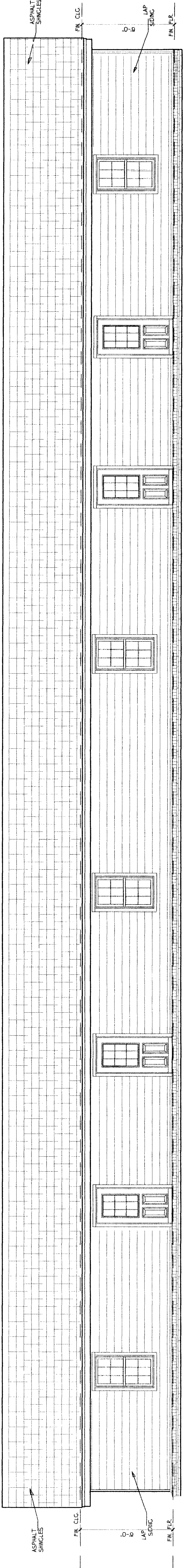
MATTIX BUILDING
DESIGN

P.O. BOX 1841 Jonesboro Ar. 72403
870-935-9700

PROJECT:

0608

DRAWN :
CHECKED :
DATE :
SCALE : AS NOTED
JOB NO. :
SHEET
A-1
OF
SHEETS



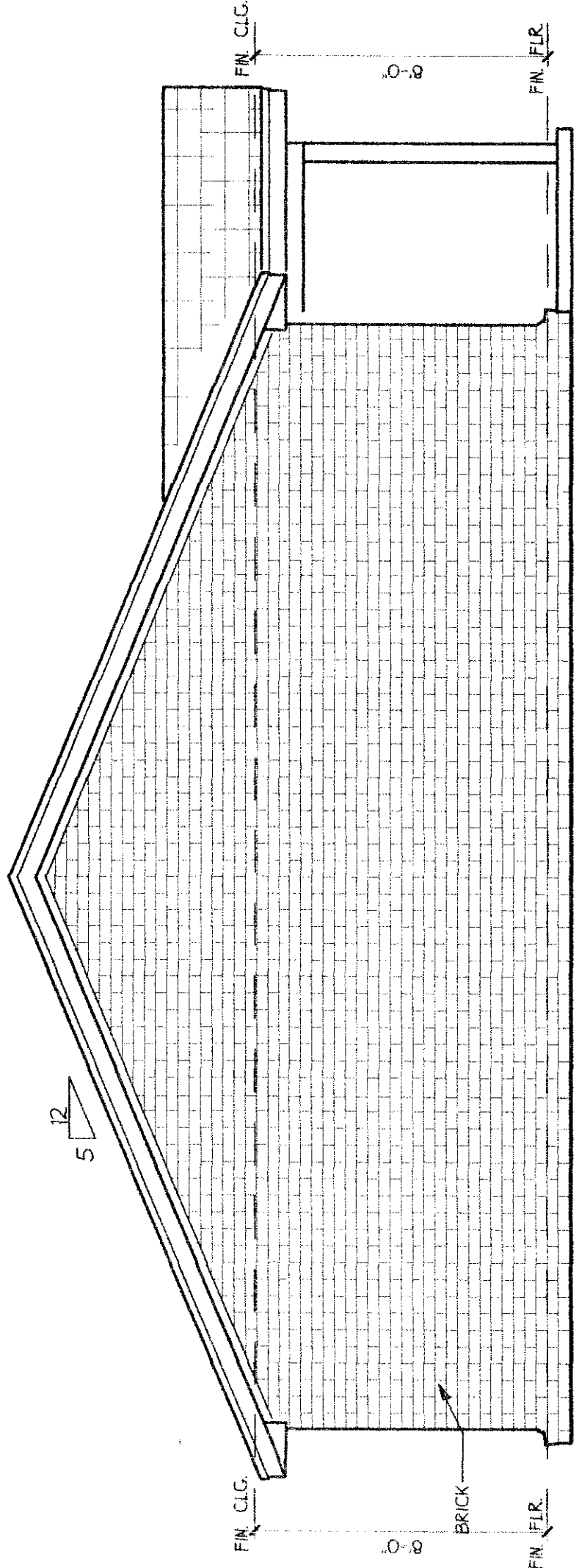
REAR ELEV.
SCALE: 1/4" = 1'-0"

CITY OF JONESBORO
JONESBORO, AR

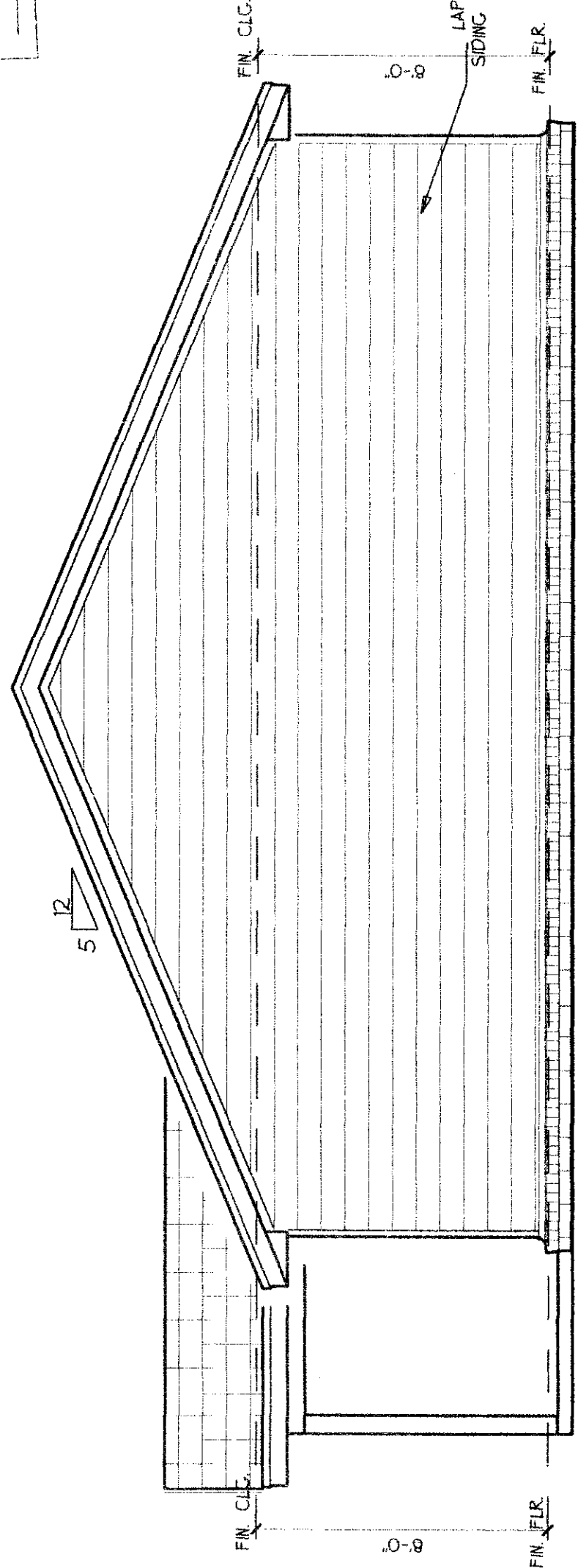
PRELIMINARY
FINAL
AS NOTED
SITE PLAN

SY-07-60
#146

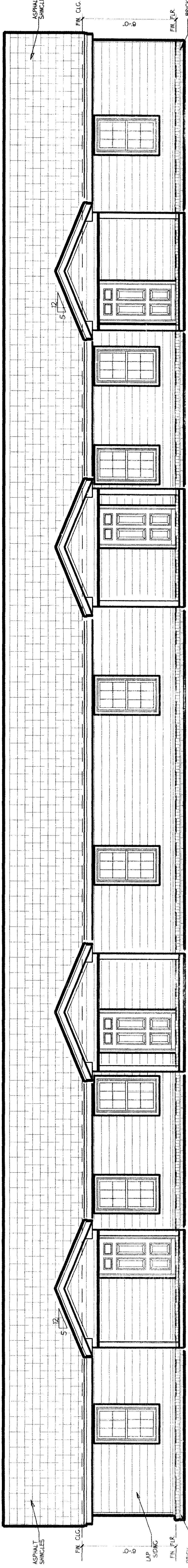
PLANNING
ENGINEERING
04-11-01
DATE



LEFT SIDE ELEV.
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEV.
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	BY
3/22/07	

MATTIX BUILDING DESIGN

P.O. BOX 1841 Jonesboro Ar. 72403 870-935-9700

PROJECT: 0608

DRAWN :	CHECKED :
DATE :	
SCALE : AS NOTED	
JOB NO. :	
SHEET	

A-2

OF SHEET 15

GENERAL NOTES:

- All dimensions are to face of stud unless otherwise noted.
- All angles are 45 degrees unless otherwise noted.
- Contractor to verify all dimensions at construction site.
- Foundation is responsible for compliance with all local building codes.
- Location of all footings shall extend below frostline depth, verify depth.
- Exact size and reinforcement of all concrete footings must be determined by local building department and acceptable practices of V.I.V.
- Verify all structural elements with local engineer and building official.
- Contractor to size electrical system to meet local code requirements.
- Contractor to size plumbing and cooling loads on for local codes.
- Plumbing materials and installation to be done in accordance with local requirements.

GENERAL FRAMING NOTES:

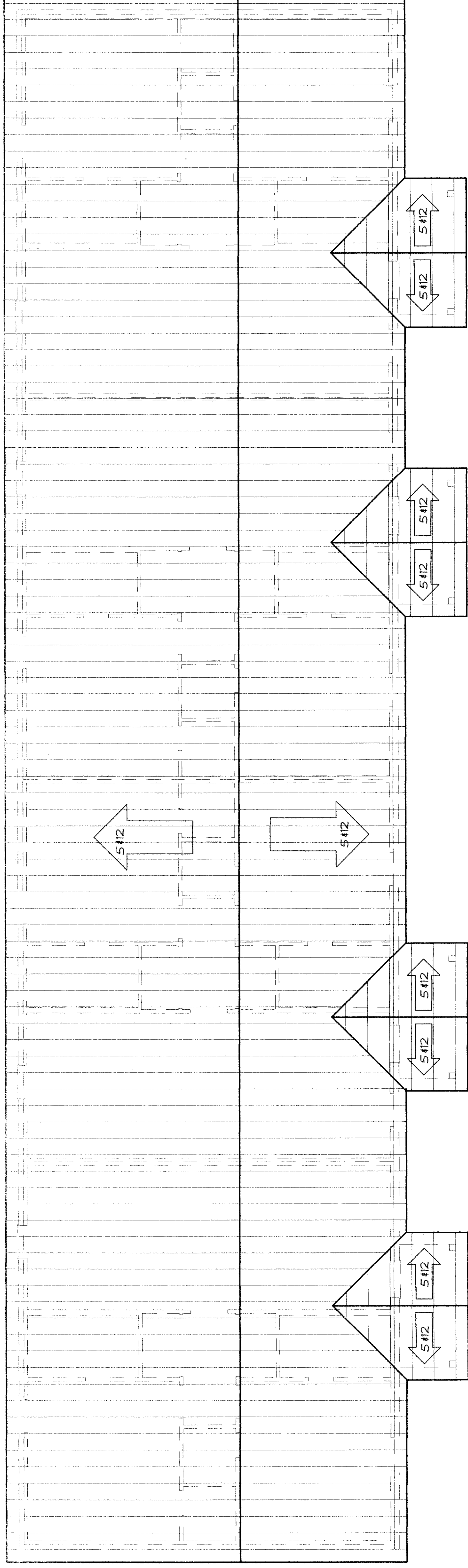
- All framing to be 16" o.c. unless otherwise noted.
- All blocking to be 16" o.c. CDX plywood.
- All blocking with concrete or masonry.
- Anchor bolts shall be 1/2"x5/8" o.c. and within 12" from the end of sills and corners.
- Minimum of 2 bolts per sill embedded 5/12" in footing.
- Provide radnet and insect proofing where all plumbing, wiring and vents pass through plated joists.
- Provide continuous 2" eave vent for attic ventilation.
- Exterior openings, valleys and other areas specified on plans to have an approved flashing.
- Structure to be braced with 1/2" CDX plywood.

PREFABRICATED WOOD TRUSSES:

- Trusses connected with light gage metal plates shall be designed and fabricated in accordance with the Truss Plate Institute's submitted to contractor for approval and each truss design. Each truss shop drawing indicating design loads and spacing bear the seal of a Registered Professional Engineer for the state in which the structure is built. Roof trusses shall be 16" o.c. and ceiling joists shall be 24" o.c. Roof truss "x" bridging shall be of 2x14s.

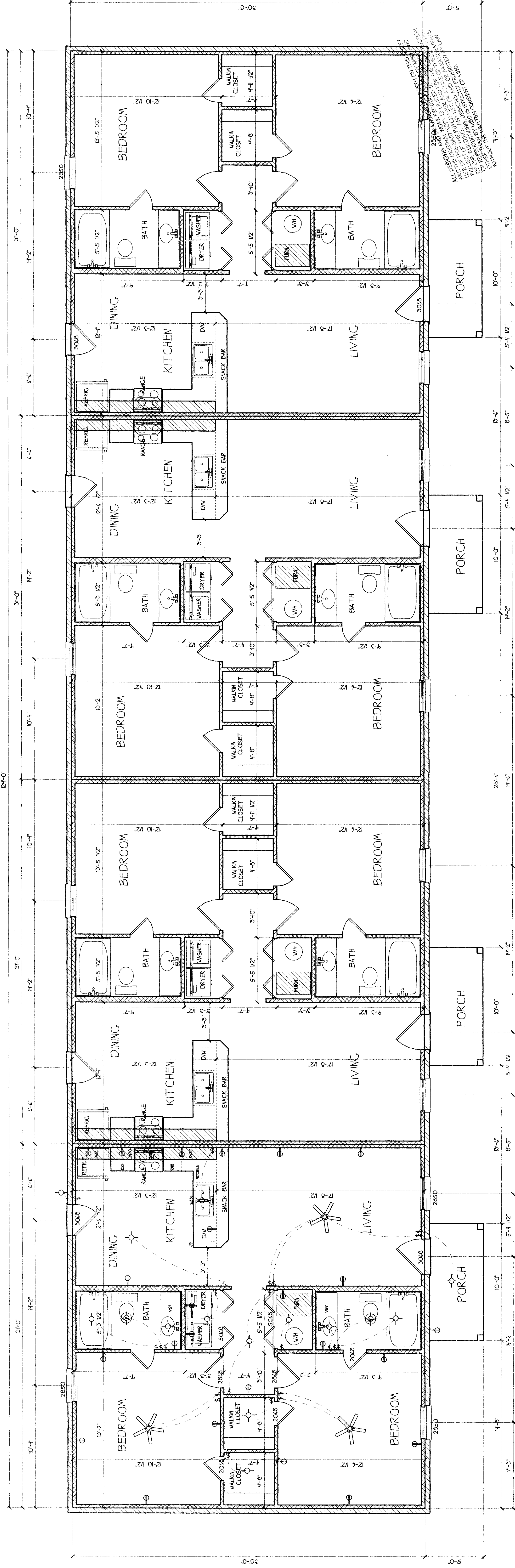
ELECTRICAL LEGEND

- 1. SINGLE POLE SWITCH
- 2. 3-WAY SWITCH
- 3. 4-WAY SWITCH
- 4. DOUBLE WALL OUTLET
- 5. DOUBLE FLOOR OUTLET
- 6. RANGE DRYER OVEN OUTLET
- 7. CEILING LIGHT FIXTURE
- 8. RECESSED FLOURESCENT LIGHT FIXTURE
- 9. VENT FAN CEILING
- 10. PHONE NETWORK WALL
- 11. MOTION DETECTOR
- 12. CABLE



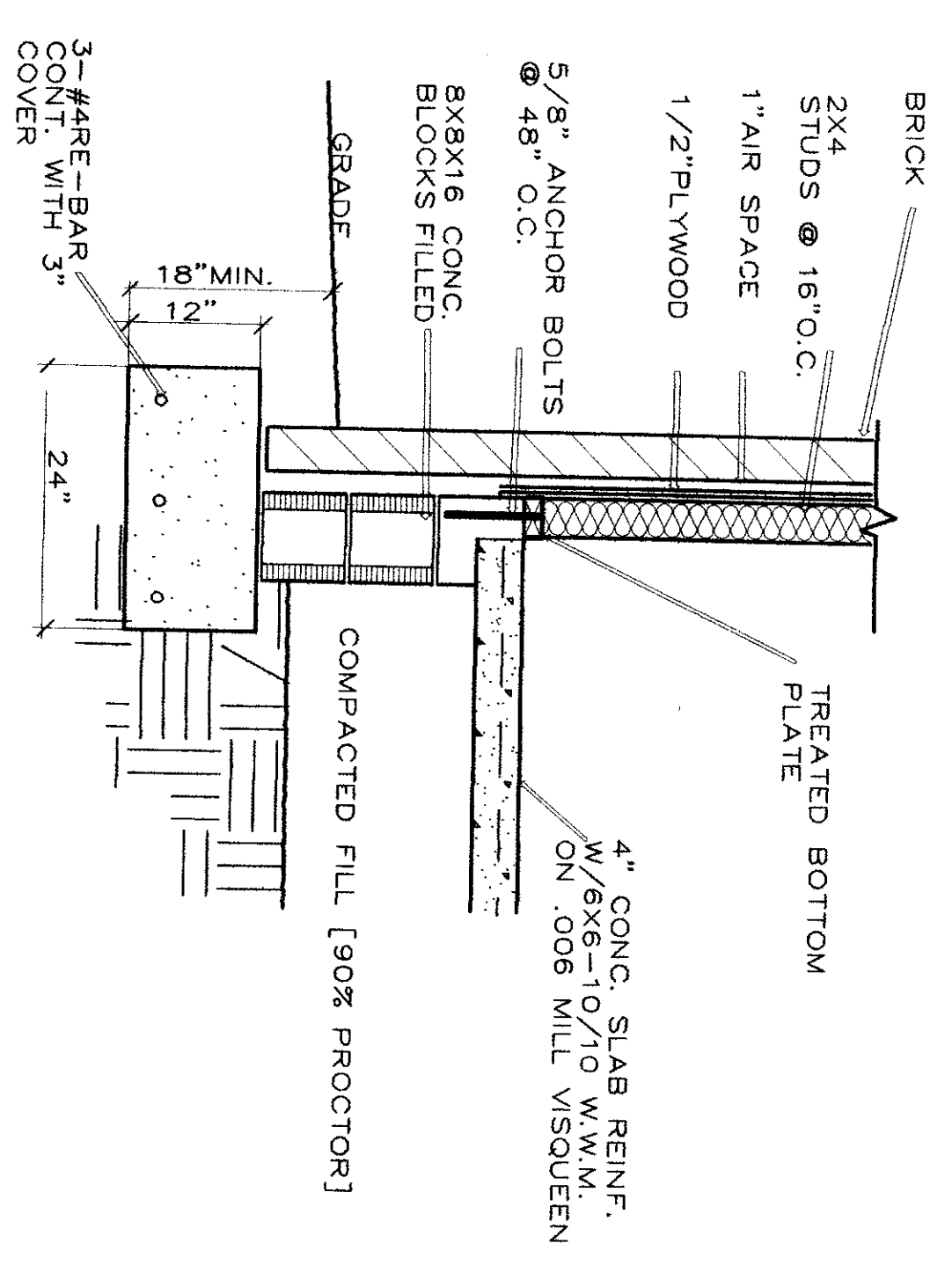
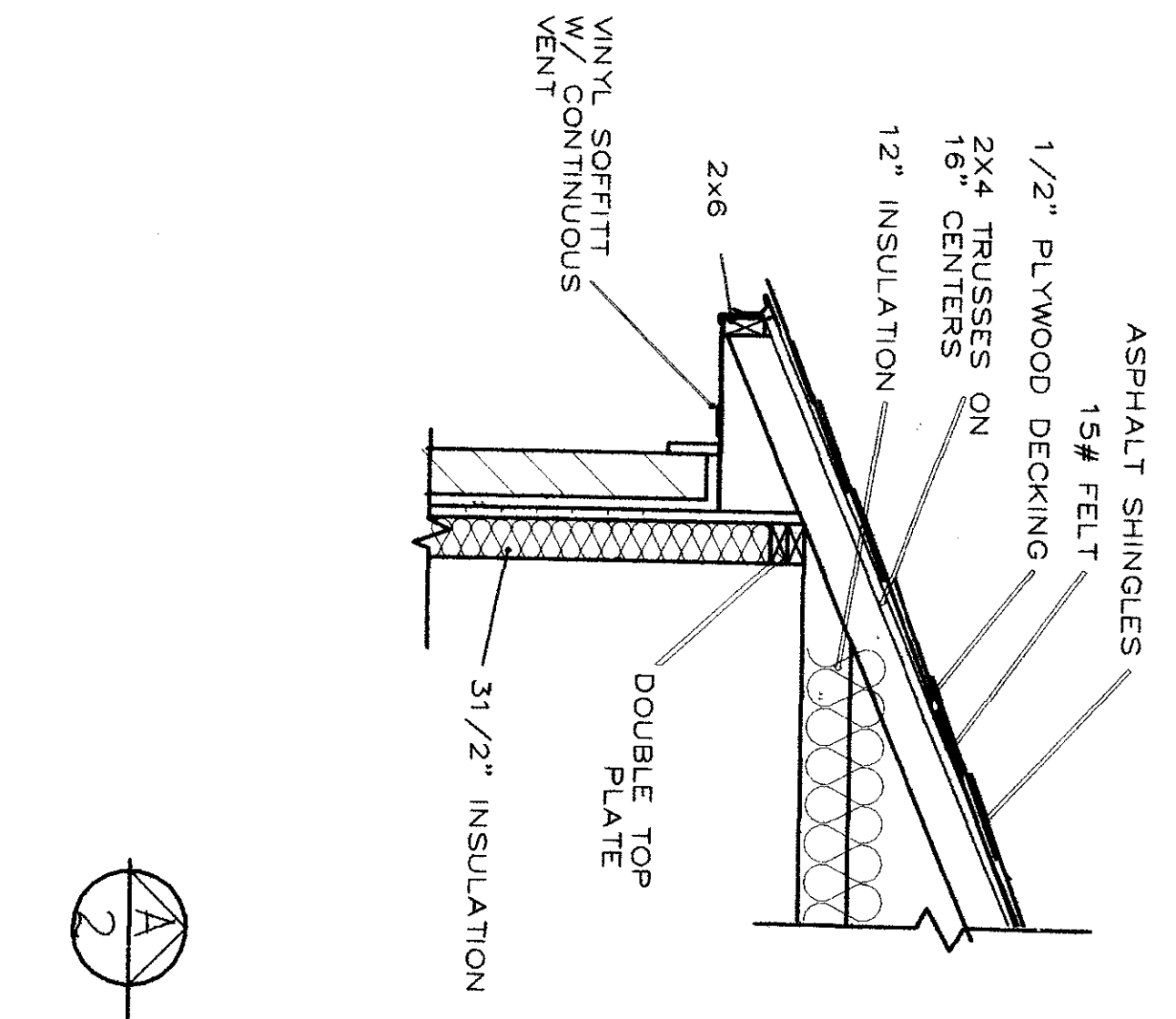
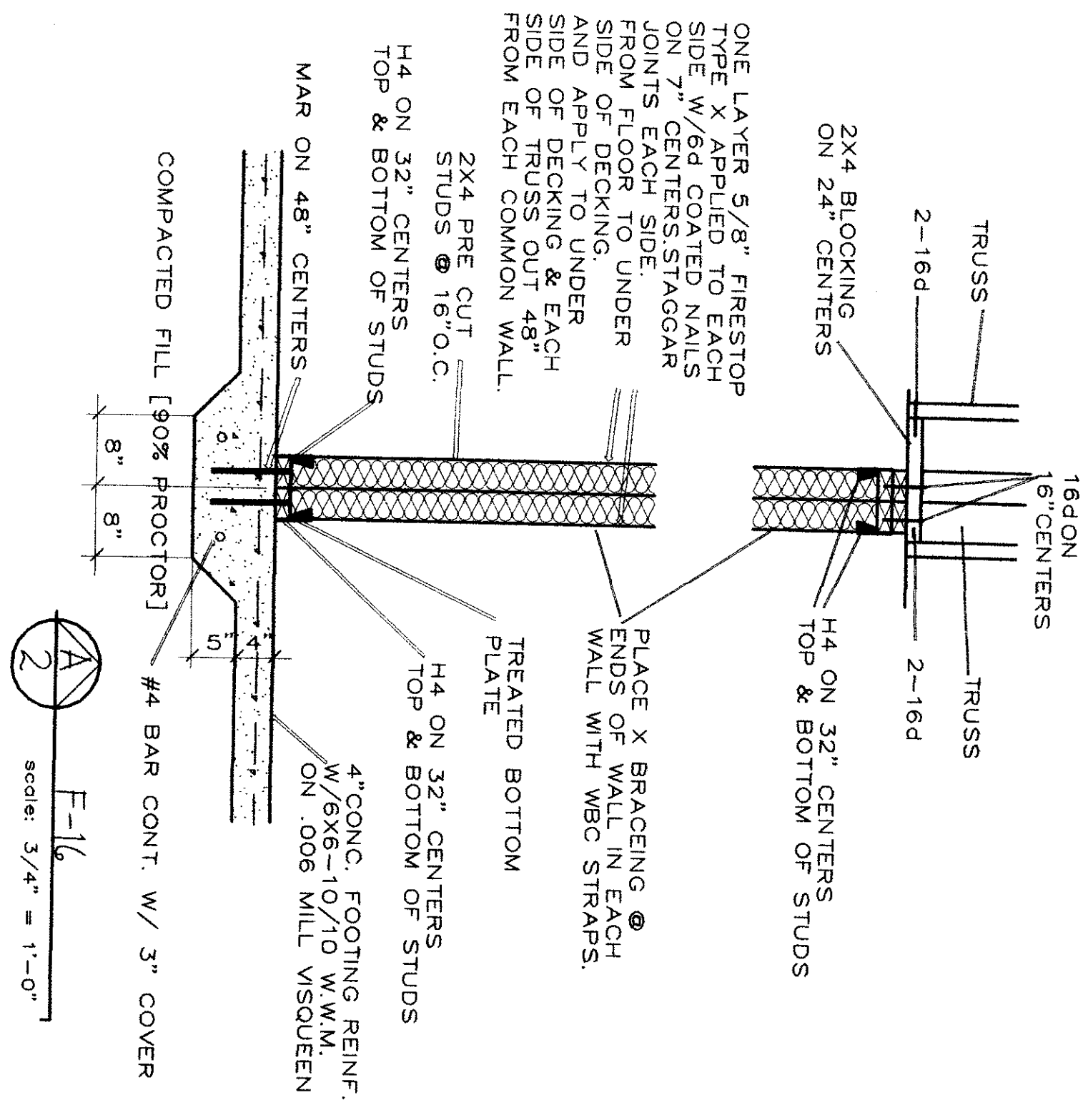
ROOF LAYOUT

SCALE: 3/16" = 1'-0"



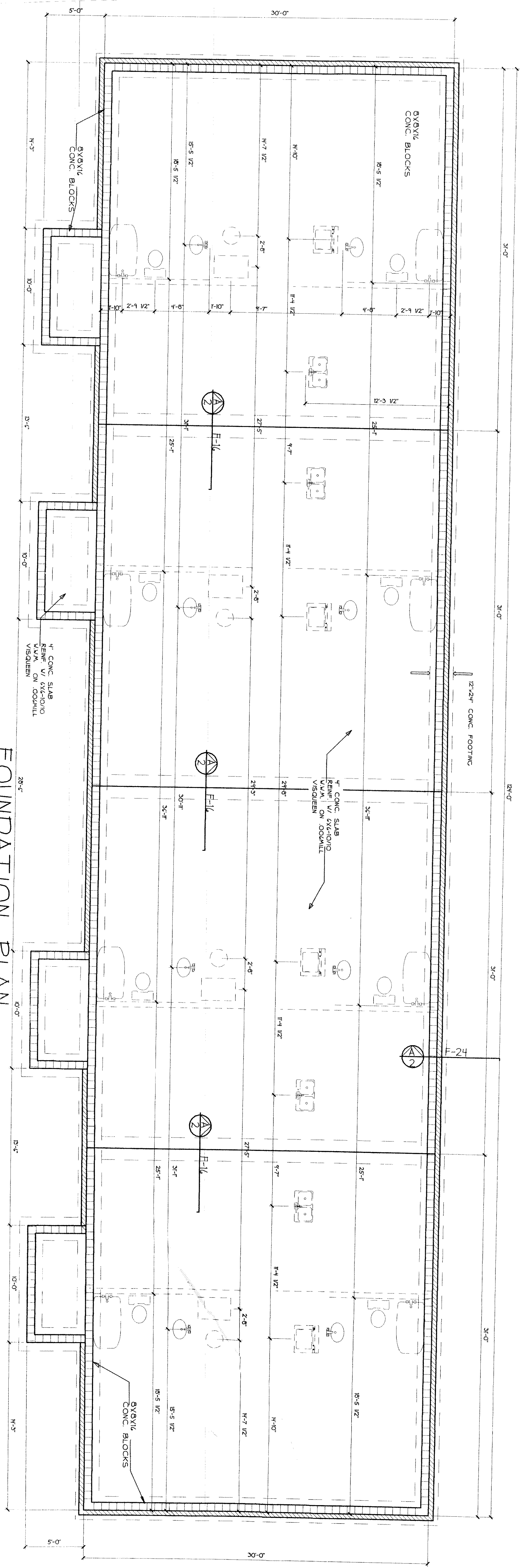
FLOOR PLAN

SCALE: 1/4" = 1'-0"



F-24
scale: 3/4" = 1'-0"

F-16
scale: 3/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

REVISIONS	BY

PROJECT:

0608

MATTIX BUILDING DESIGN

P.O. BOX 1841 Jonesboro Ar. 72403

870-935-9700

DRAWN :	CHECKED :
DATE :	DATE :
SCALE : AS NOTED	SCALE : AS NOTED
JOB NO. :	JOB NO. :
SHEET	SHEET

3

SHEETS