

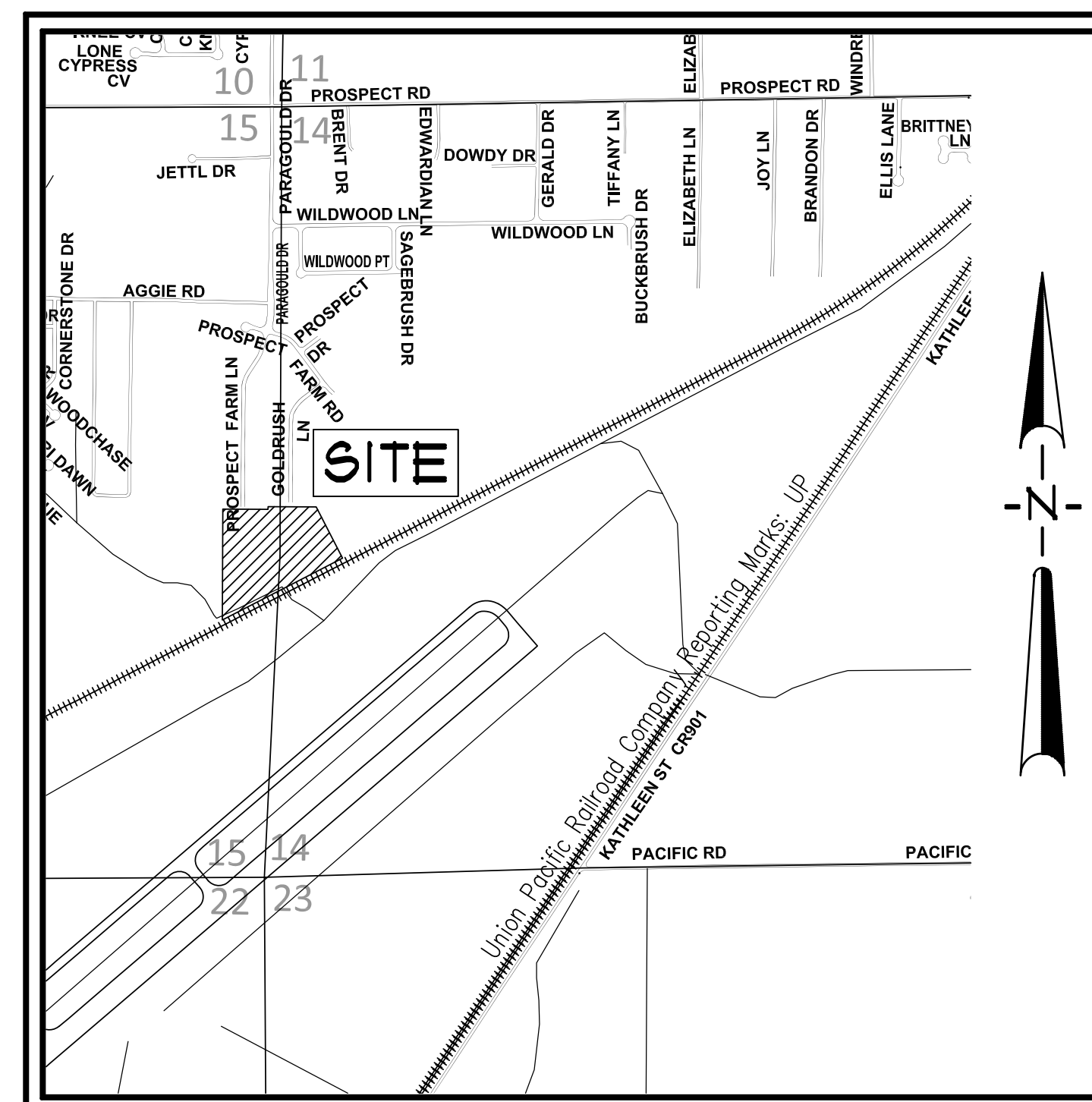
RESIDENTIAL SUBDIVISION DEVELOPMENT PLANS

PROSPECT FARMS PHASE 4

PROSPECT FARMS SUBDIVISION

PREPARED FOR
P & J DEVELOPMENT COMPANY

JONESBORO, ARKANSAS
MARCH, 2017



VICINITY MAP
SCALE: 1" = 1,000'



INDEX TO SHEETS

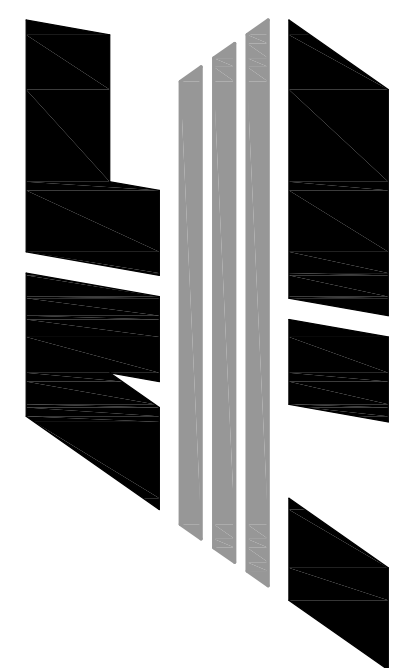
C001	INDEX SHEET
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PROSPECT FARMS
PHASE 4

IN SECTIONS 14 AND 15, T14N, R4E
JONESBORO, ARKANSAS

ASSOCIATED
ENGINEERING, LLC
CIVIL ENGINEERING • LAND SURVEYING
LAND PLANNING

103 SOUTH CHURCH STREET • P.O. BOX 1462
JONESBORO, AR 72403
PH: 870-932-3594 • FAX: 870-935-1263



NO.	DESCRIPTION	DATE

COVER
SHEET

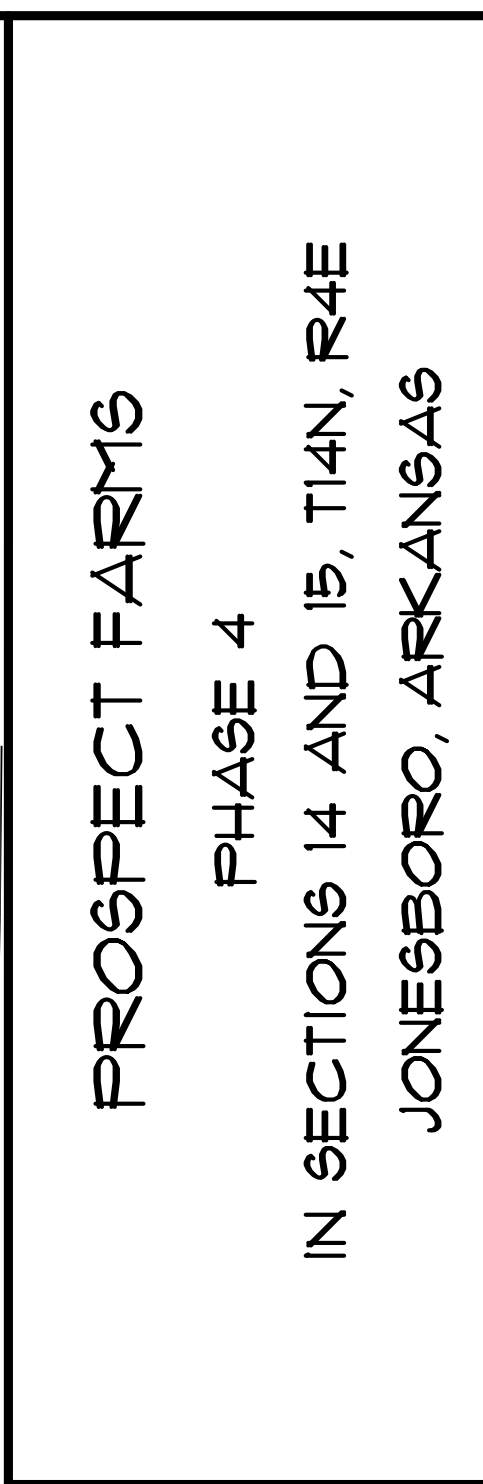
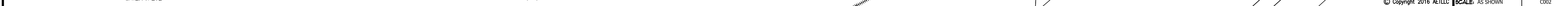
DATE: 03/06/2017	DRAWN: CCH
CADD FILE: 04254-SDP-P4	CHECKED: JME
DWG# XXXXXXXX.XXXX	SHEET
SCALE: AS SHOWN	C001

1. CITY OF JONESBORO - PLANNING AND ZONING
DERREL SMITH, CITY PLANNER
300 SOUTH CHURCH STREET
JONESBORO, AR 72401
879-932-0406
2. CITY OF JONESBORO - ENGINEERING
CRAIG LIGHT, P.E.
CITY ENGINEER
307 VINE STREET
JONESBORO, AR 72401
870-932-2438
3. CODES DEPT. FIRE MARSHALL
JASON WILLS
3215 E. JOHNSON AVE.
JONESBORO, AR 72401
870-932-2428
4. CITY WATER AND LIGHT - ENGINEERING
JAKE RICE, P.E., P.S. - MANAGER
400 EAST MONROE, P.O. BOX 1289
JONESBORO, AR 72403
870-935-5581, FAX: 870-930-3303
SUSAN HERIDETH - ACTING ENGINEERING SERVICES DIRECTOR
870-930-3320
5. CENTERPOINT ENERGY
KEITH CRAIG - SERVICE TECHNICIAN
3013 OLD FEEDHOUSE ROAD
JONESBORO, AR 72404
CELL: 870-897-3750
6. AT&T
723 CHURCH, ROOM B 27
JONESBORO, AR 72403
PHIL FARLEY - AREA MANAGER INSTALLATION & REPAIR
870-972-7827, FAX: 870-972-7610
TOMMY GRAY - AREA MANAGER ENGINEERING DESIGN
870-972-7587, FAX: 870-972-7533
7. SUDEN LINK - CABLE TV
1520 SOUTH CARAWAY ROAD
JONESBORO, AR 72401
BOB PROCK - CONSTRUCTION MANAGER
870-923-8429 EXT: 212, FAX: 870-972-8141
DEANNA HORNBACK - MANAGER
JIMMY YANCY - FIELD MANAGER
CELL: 870-219-8583

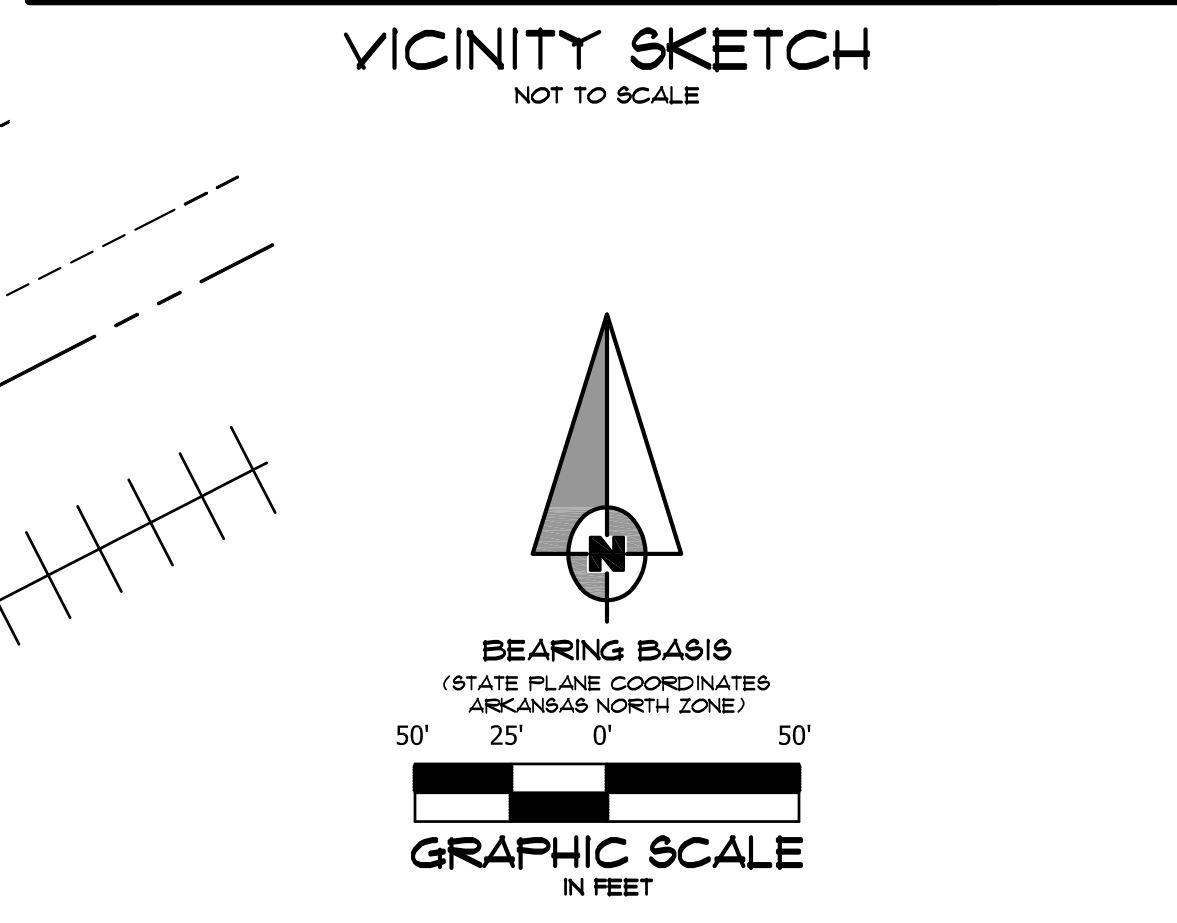
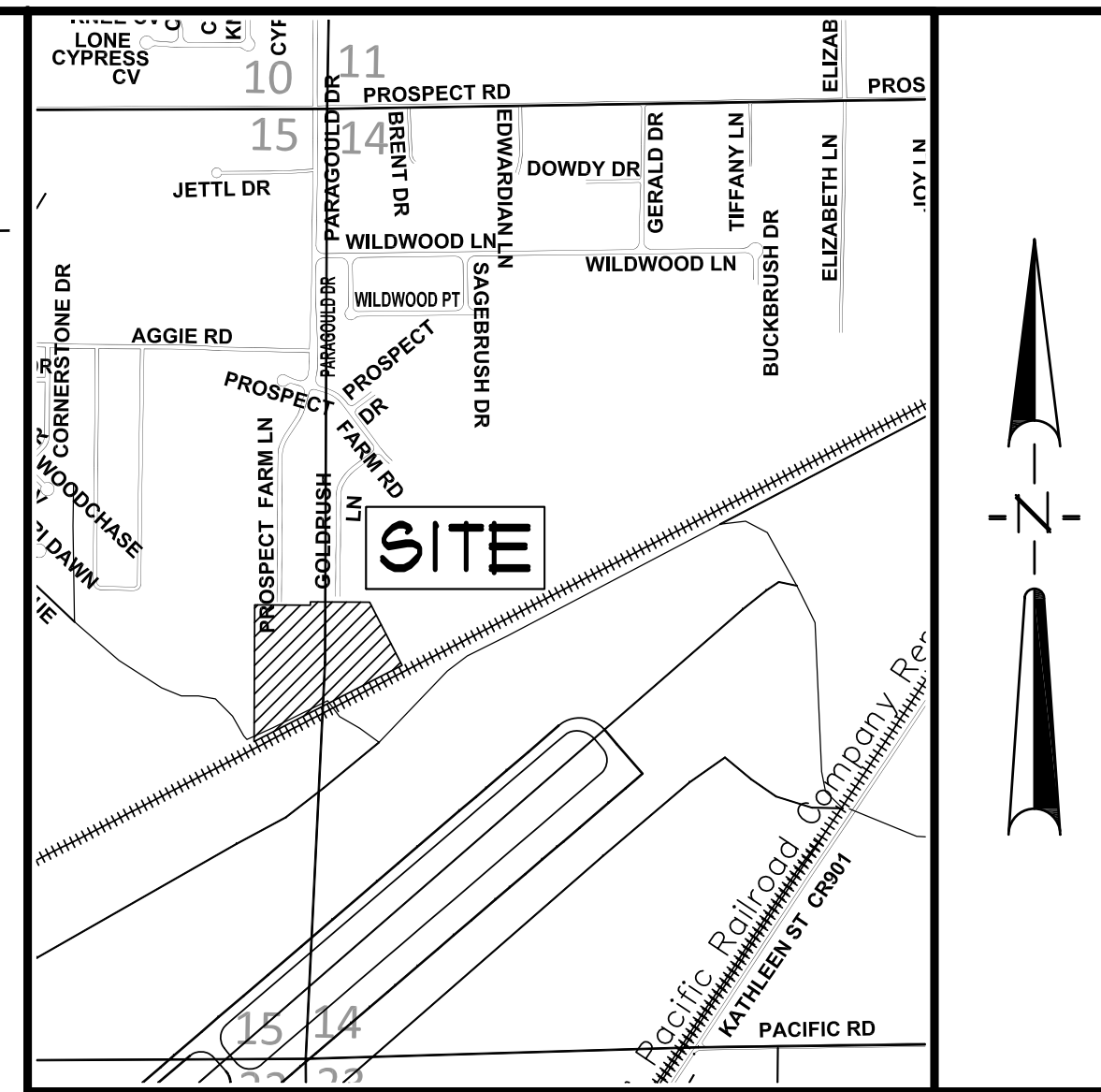
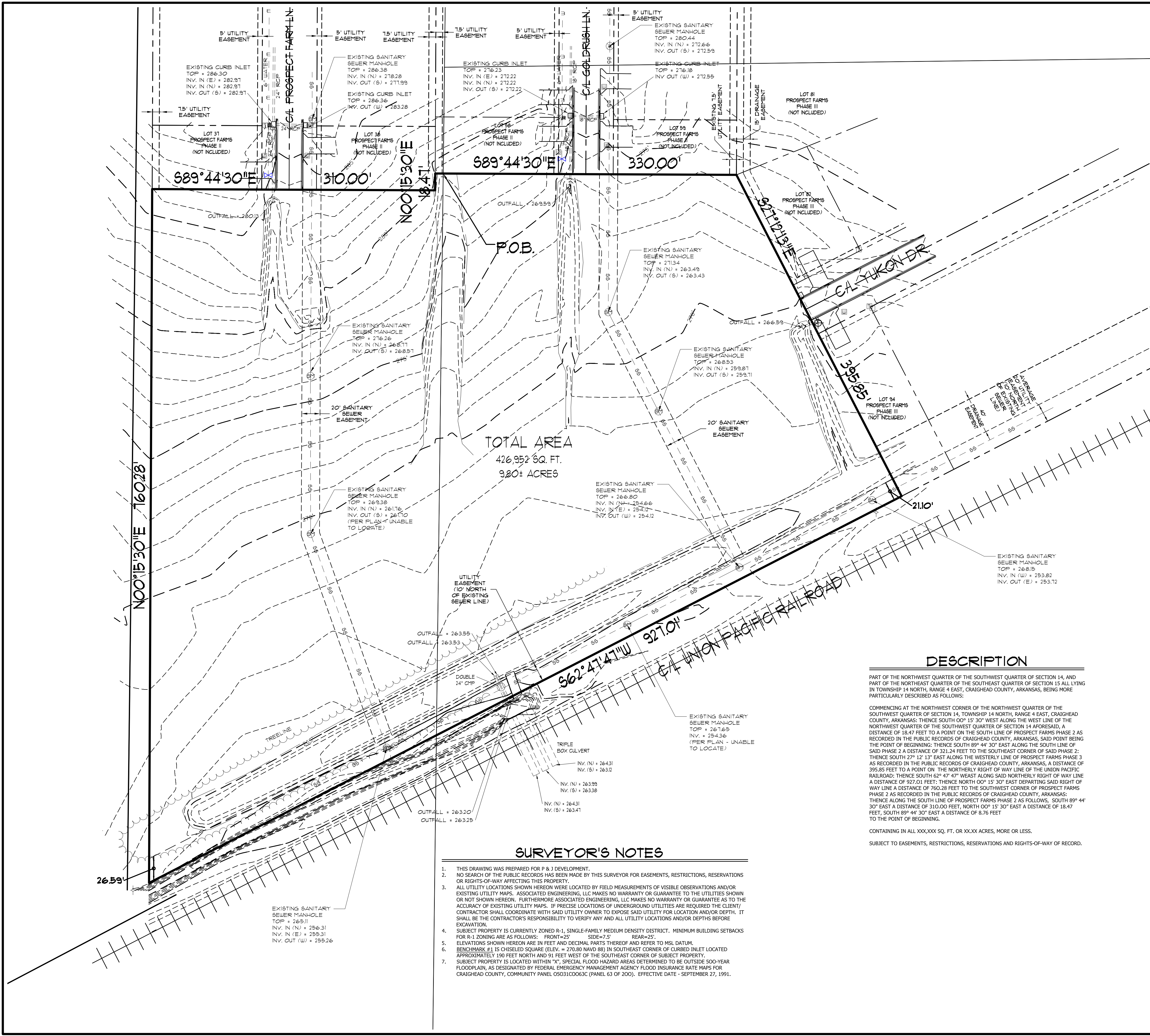
1. SUBJECT PROPERTY IS LOCATED WITHIN "X", AREAS DETERMINED TO BE OUTSIDE 150-YEAR FLOODPLAIN AS DESIGNATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS FOR JONESBORO, COMMUNITY PANEL 05031C0063C (PANEL 63 OF 200). EFFECTIVE DATE - SEPTEMBER 27, 1991.
2. SCREENING AND BUFFERING ARE AS SHOWN.
3. EASEMENTS ARE AS SHOWN.
4. NO KNOWN HISTORICAL STRUCTURES ARE LOCATED ON SUBJECT PROPERTY.
5. DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

1. ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
2. BENCHMARK #1 IS CHISELED SQUARE (ELEV. = 270.80 NAVD 88) IN SOUTHEAST CORNER OF CURBED INLET LOCATED APPROXIMATELY 190 FEET NORTH AND 91 FEET WEST OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY.

- BOUNDARY LINE - LOT LINES - FOUND IRON PIPE - FOUND COTTON-PICKER SPINDLE - FOUND REBAR - FOUND IRON PIPE W/ FL'S XXXX CAP - CITY OF JONESBORO G.P.S. MONUMENT - BENCH MARK - RAIL MONUMENT - SET 1 1/4" IRON PIPE W/ FL'S #543 CAP - EXISTING SANITARY SEWER LINE - PROPOSED SANITARY SEWER LINE - EXISTING SANITARY SEWER MANHOLE - PROPOSED SANITARY SEWER MANHOLE - EXISTING SANITARY SEWER CLEANOUT - PROPOSED SANITARY SEWER CLEANOUT - PROPOSED SANITARY SEWER SERVICE LINE - EXISTING WATER LINE - PROPOSED WATER LINE - EXISTING WATER METER - PROPOSED WATER METER - WATER VALVE	- FIRE HYDRANT - VALVE BOX - FIRE PROTECTION - EXISTING OVERHEAD ELECTRICAL LINE - EXISTING UNDERGROUND ELECTRICAL LINE - ELECTRIC TRANSFORMER/ELECTRIC METER - POWER POLE - POWER JUNCTION, COMM. BOX - SIGN LIGHTS/FLOOR LIGHTS - LIGHT POLE (SINGLE/) - LIGHT POLE (BACK-BACK) - LIGHT POLE (3 @ 90°) - TRAFFIC SIGN - TRAFFIC SIGNAL - TRAFFIC LIGHT CONTROL - TRAFFIC SIGNAL W/ POLE - EXISTING OVERHEAD COMMUNICATION LINE - EXISTING UNDERGROUND COMMUNICATION LINE - TELEPHONE PEDESTAL - EXISTING GAS LINE - GAS METER - EXISTING STORMY WATER MANHOLE - GRADED INLET - DOWNSPOUT - SPRINKLER CONTROL - MAILBOX - TRASH COMPACTOR - COLUMN - BOLLARD - HAND/CAP SIGN - EXISTING FENCE LINE - EXISTING GROUND CONTOUR - FINISHED GROUND CONTOUR - EXISTING TREE/SHRUB - BASIN BOUNDARY - DRAINAGE FLOW - GENERAL DRAINAGE FLOW - SWALE FLOW DIRECTION - SILT FENCE - ROCK CHECK DAM - RIP RAP AREA - INLET PROTECTION - ROCK CHECK DAM
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DATE: 03/06/2017	DRAWN: CCH
CADD FILE: 04254-SDP-P4	CHECKED: JME
DWG#: XXXXXXXX.XXXX	SHEET
SCALE: AS SHOWN	C002



LEGEND	
	= BOUNDARY LINE
	= ADJACENT LOT LINE
	= EASEMENT LINE
	= FOUND IRON PIPE
	= FOUND REBAR
	= SET MAG NAIL
	= SET 1-1/4" IRON PIPE W/ PS #1549 CAP
	= EXISTING SANITARY SEWER LINE
	= EXISTING SANITARY SEWER MANHOLE
	= EXISTING WATER METER
	= WATER VALVE
	= FIRE HYDRANT
	= EXISTING OVERHEAD ELECTRICAL LINE
	= EXISTING UNDERGROUND ELECTRICAL LINE
	= POWER POLE
	= GUY POLE
	= LIGHT POLE
	= ELECTRIC TRANSFORMER
	= ELECTRIC METER
	= ELECTRIC MANHOLE
	= NATURAL GAS METER/REGULATOR
	= NATURAL GAS VALVE
	= EXISTING COMMUNICATION LINE MARKER
	= EXISTING STREET/PARKING SIGN
	= EXISTING TREE
	= EXISTING GROUND CONTOUR
	= BENCH MARK
	= FINISH FLOOR ELEVATION

DESCRIPTION

PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 15 ALL LYING IN TOWNSHIP 14 NORTH, RANGE 4 EAST, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 NORTH, RANGE 4 EAST, CRAIGHEAD COUNTY, ARKANSAS: THENCE SOUTH 00° 15' 30" WEST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14 AFORESAID, A DISTANCE OF 18.47 FEET TO A POINT ON THE SOUTH LINE OF PROSPECT FARMS PHASE 2 AS RECORDED IN THE PUBLIC RECORDS OF CRAIGHEAD COUNTY, ARKANSAS, SAID POINT BEING THE POINT OF BEGINNING; THENCE SOUTH 89° 44' 30" EAST ALONG THE SOUTH LINE OF SAID PHASE 2 A DISTANCE OF 321.24 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF THE UNION PACIFIC RAILROAD; THENCE SOUTH 62° 47' 47" WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 927.01 FEET; THENCE NORTH 00° 15' 30" EAST DEPARTING SAID RIGHT OF WAY LINE A DISTANCE OF 760.28 FEET TO THE SOUTHWEST CORNER OF PROSPECT FARMS PHASE 2 AS RECORDED IN THE PUBLIC RECORDS OF CRAIGHEAD COUNTY, ARKANSAS; THENCE ALONG THE SOUTH LINE OF PROSPECT FARMS PHASE 2 AS FOLLOWS, SOUTH 89° W 44' 30" EAST A DISTANCE OF 310.00 FEET, NORTH 00° 15' 30" EAST A DISTANCE OF 18.47 FEET, SOUTH 89° 44' 30" EAST A DISTANCE OF 8.76 FEET TO THE POINT OF BEGINNING.

CONTAINING IN ALL XXX,XXX SQ. FT. OR XXXX ACRES, MORE OR LESS.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

- SURVEYOR'S NOTES**
- THIS DRAWING WAS PREPARED FOR P & J DEVELOPMENT.
 - NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS SURVEYOR FOR EASEMENTS, RESTRICTIONS, RESERVATIONS OR RIGHTS-OF-WAY AFFECTING THIS PROPERTY.
 - ALL UTILITY LOCATIONS SHOWN HEREON WERE LOCATED BY FIELD MEASUREMENTS OF VISIBLE OBSERVATIONS AND/OR EXISTING UTILITY MAPS. ASSOCIATED ENGINEERING, LLC MAKES NO WARRANTY OR GUARANTEE TO THE UTILITIES SHOWN OR NOT SHOWN HEREON. FURTHERMORE ASSOCIATED ENGINEERING, LLC MAKES NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF EXISTING UTILITY MAPS. IF PRECISE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED THE CLIENT/CONTRACTOR SHALL COORDINATE WITH SAID UTILITY OWNER TO EXPOSE SAID UTILITY FOR LOCATION AND/OR DEPTH. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ANY AND ALL UTILITY LOCATIONS AND/OR DEPTHS BEFORE EXCAVATION.
 - SUBJECT PROPERTY IS CURRENTLY ZONED R-1, SINGLE-FAMILY MEDIUM DENSITY DISTRICT. MINIMUM BUILDING SETBACKS FOR R-1 ZONING ARE AS FOLLOWS: FRONT=25' SIDE=7.5' REAR=25'.
 - ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
 - BENCHMARK #1 IS CHISELED SQUARE (ELEV. = 270.80 NAVD 88) IN SOUTHEAST CORNER OF CURBED INLET LOCATED APPROXIMATELY 150 FEET NORTH AND 91 FEET WEST OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY.
 - SUBJECT PROPERTY IS LOCATED WITHIN "X" SPECIAL FLOOD HAZARD AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS DESIGNATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS FOR CRAIGHEAD COUNTY, COMMUNITY PANEL 05031C0063C (PANEL 63 OF 200). EFFECTIVE DATE - SEPTEMBER 27, 1991.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT ASSOCIATED ENGINEERING, LLC HAS THIS DATE MADE A TOPOGRAPHIC SURVEY OF THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON AND THAT SAID SURVEY IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; THERE ARE NO APPARENT ABOVE GROUND ENCROACHMENTS OTHER THAN AS SHOWN OR STATED HEREON AND THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE "ARKANSAS MINIMUM STANDARDS FOR PROPERTY SURVEYS AND PLATS" IN EFFECT ON THIS DATE.

DATE OF BOUNDARY SURVEY: 11/04/2016

NOTE: TO BE VALID, COPIES MUST HAVE ORIGINAL SURVEYOR'S SIGNATURE AND SURVEYOR'S SEAL.

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P & J DEVELOPMENT

IN SECTIONS 14 AND 15

TOWNSHIP 14 NORTH, RANGE 4 EAST

JONESBORO, ARKANSAS

ASSOCIATED ENGINEERING, LLC

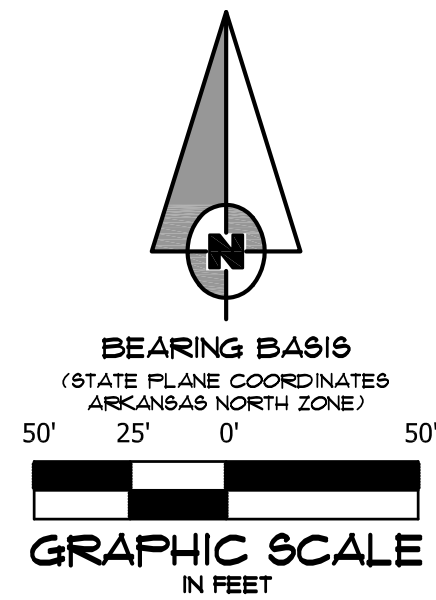
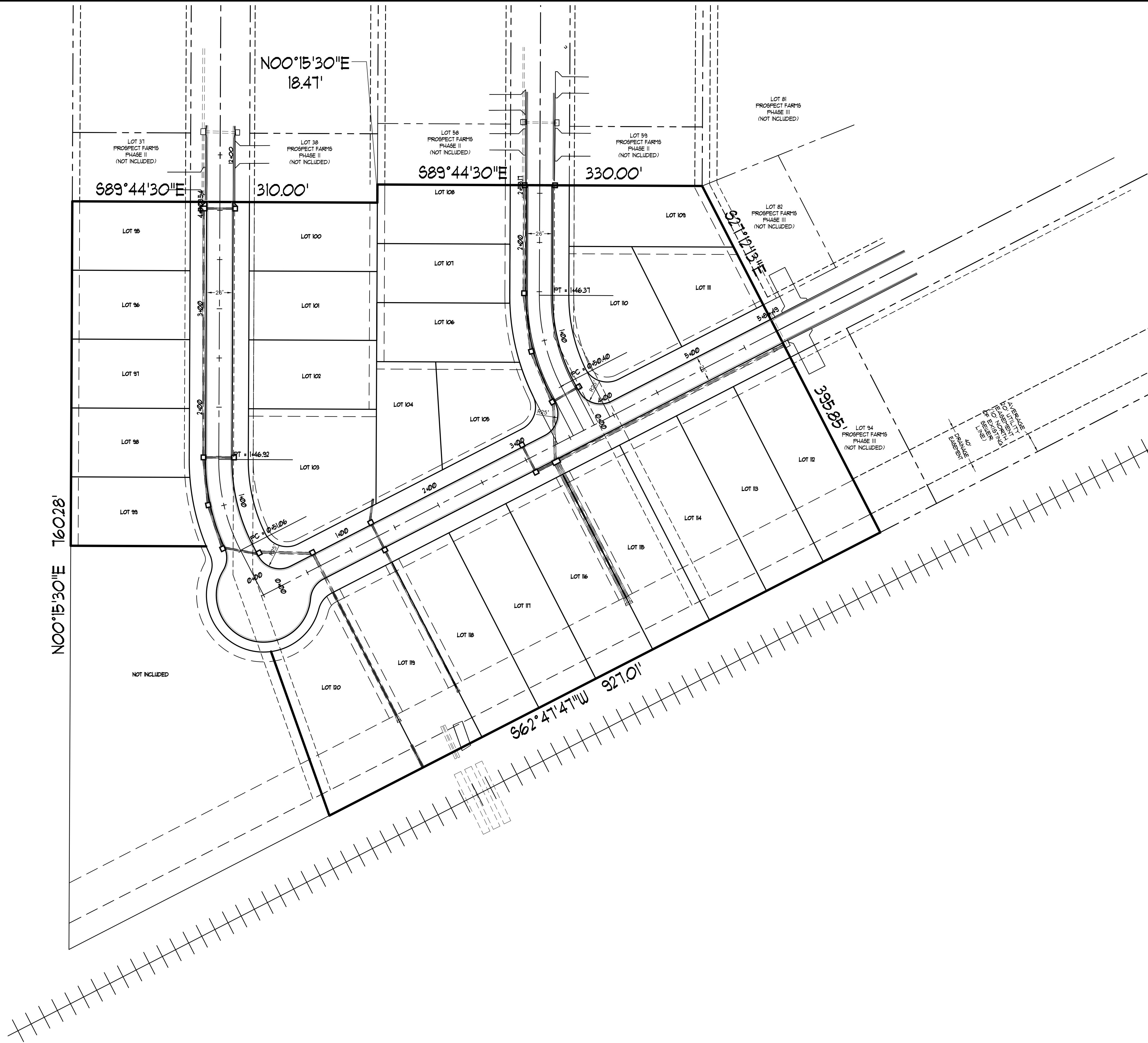
CIVIL ENGINEERING • LAND SURVEYING
LAND PLANNING

103 SOUTH CHURCH STREET • P.O. BOX 1462
JONESBORO, AR 72403
PH: 870-932-3594 • FAX: 870-935-1263

NO.	DESCRIPTION	DATE

TOPOGRAPHIC SURVEY

DATE: 12/23/16	DRAWN: CCH
CADD FILE: 04254-42	CHECKED: PVL
DWG# XXXXXXXX.XXXX	SHEET 6
SCALE: 1" = 50'	1 OF 1



ENGINEER'S NOTES

1. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
2. ALL CURB RETURN RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
3. FOR BENCHMARK LOCATION AND ELEVATION PLEASE REFER TO BENCHMARK LISTINGS ON SHEET 2 OF THESE PLANS.
4. PROJECT SITE IS CURRENTLY VACANT.
5. REMOVE AND DISPOSE OF ALL DEBRIS AND OTHER MATERIAL AS SHOWN IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS.
6. ACCESS ALONG ROADWAY SHALL BE MAINTAINED AT ALL TIMES. CONSTRUCTION IN CITY, COUNTY OR STATE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE RESPECTIVE AUTHORITY.
7. TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES. THE CONTRACTOR SHALL GIVE AFFECTED PROPERTY OWNERS SUFFICIENT NOTICE PRIOR TO CONSTRUCTION OPERATIONS.

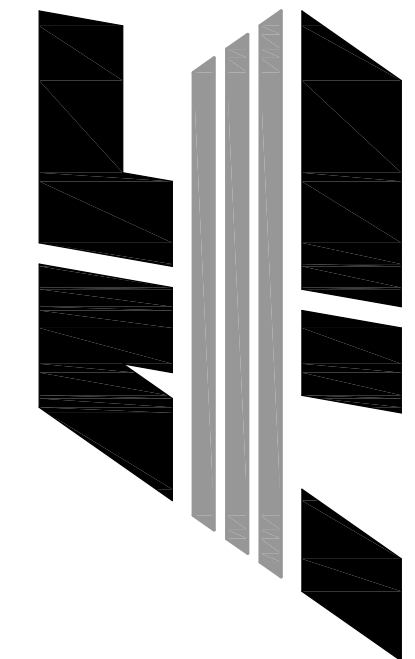
PROSPECT FARMS

PHASE 4

IN SECTIONS 14 AND 15, T14N, R4E
JONESBORO, ARKANSAS

ASSOCIATED
ENGINEERING, LLC
CIVIL ENGINEERING • LAND SURVEYING
LAND PLANNING

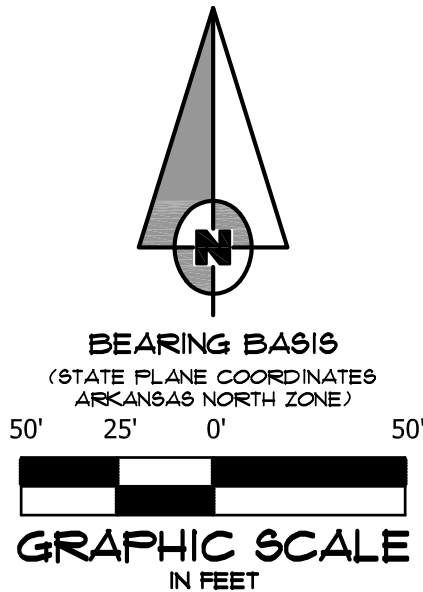
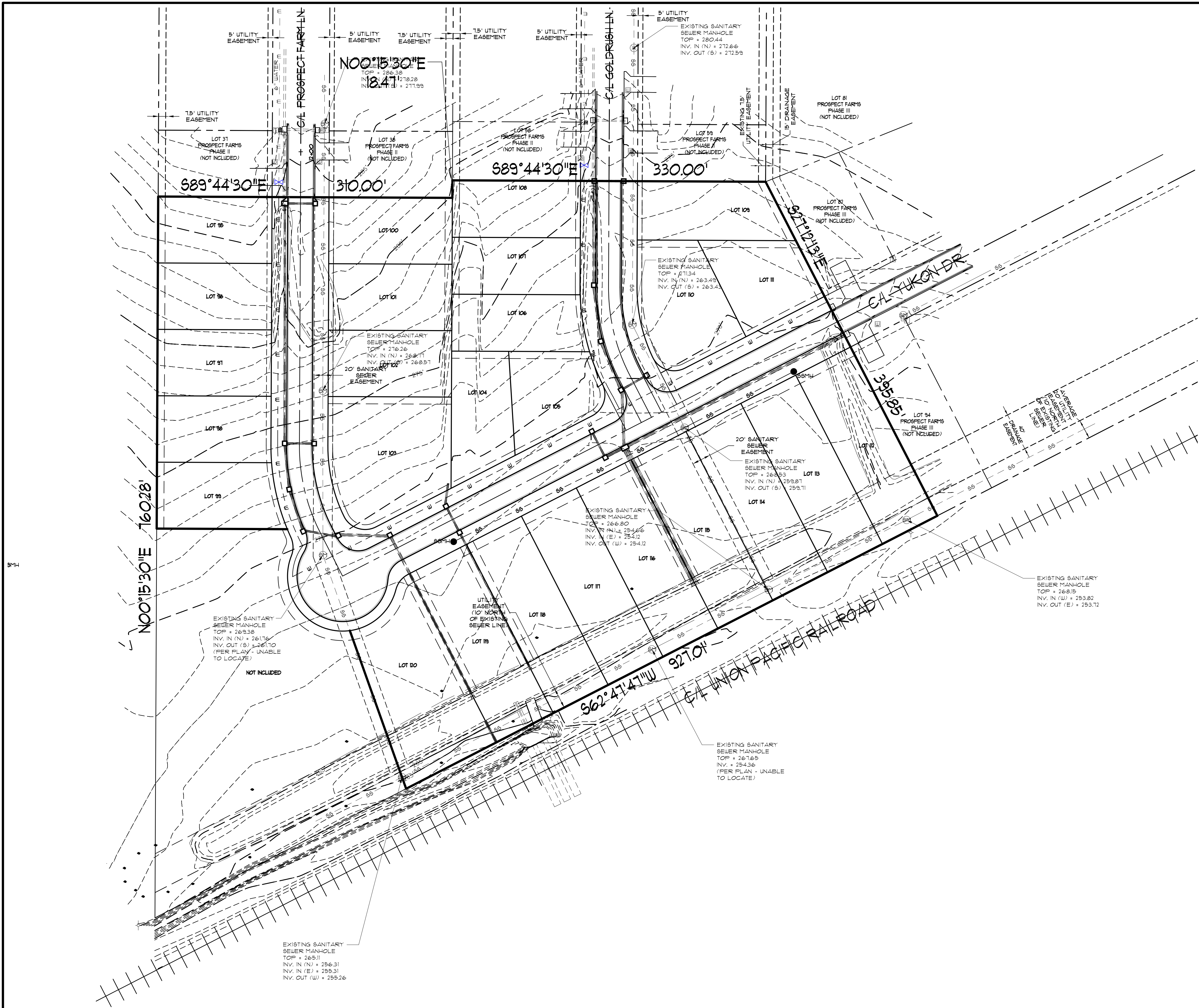
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NO.	DESCRIPTION	DATE

SITE
PLAN

DATE: 03/06/2017	DRAWN: CCH
CADD FILE: 04254-SDP-P4	CHECKED: JME
DWG# XXXXXXXX.XXXX	SHEET
SCALE: 1" = 50'	C005



GENERAL UTILITY NOTES

- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- VERTICAL DATUM REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NAVD 88)
- PIPE DISTANCE SHOWN ARE TO CENTER OF STRUCTURES.
- ALL WATER LINES SHALL BE 6" C-900 WITH 42" MIN. COVER. VALVES, CONNECTIONS AND RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH NFPA STANDARDS, CITY OF JONESBORO UTILITIES SPECIFICATION AS WELL AS THE CITY OF JONESBORO AND INSTALLED WITH REQUIRED BEDDING AND THRUST BLOCKING.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- EXCAVATE AND VERIFY ALL UTILITY CROSSINGS AND INFORM THE OWNER'S REPRESENTATIVE OF ANY CONFLICT OR REQUIRED DEVIATION FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- WHERE SEWER LINES PASS WITHIN 2 FT. VERTICALLY OF WATER LINES, THE SEWER LINE SHALL BE ENCASED IN WATERTIGHT PIPE (SEE PART XIV.A OF ADH RULES AND REGULATIONS PERTAINING TO PWS).
- WATER LINES AND STORM SEWER CROSSINGS SHALL MAINTAIN 36" MIN. SEPARATION IN ALL DIRECTIONS.
- THE INSTALLER OF THE SANITARY SEWER DISPOSAL SYSTEM MUST BE LICENSED IN THE STATE OF ARKANSAS TO INSTALL LOW PRESSURE PIPE SYSTEMS.
- WATER AND SEWER LINES SHALL MAINTAIN 10 FEET HORIZONTAL SEPARATION.
- THE SITE SHALL BE CONSTRUCTED TO SUBGRADE AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF UTILITIES
- LOCATION OF UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION. THE COSTS OF SUCH PROTECTION IS INCLUDED IN THE BASE BID.
- UNDERGROUND ELECTRIC TO BE INSTALLED WITH PROPOSED WATERLINES ALONG PROPOSED STREETS.

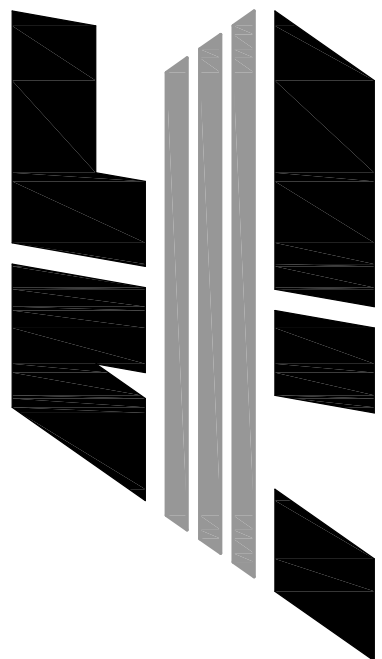
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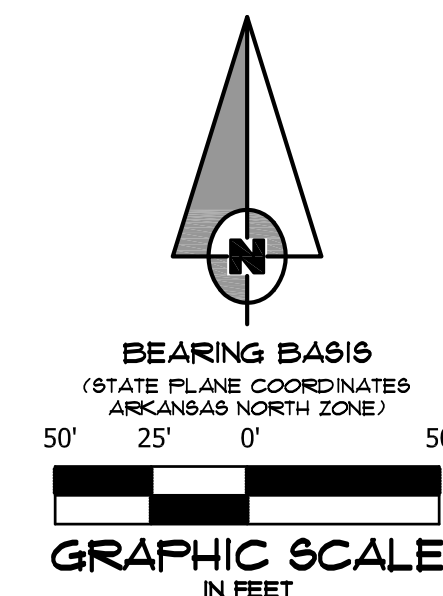
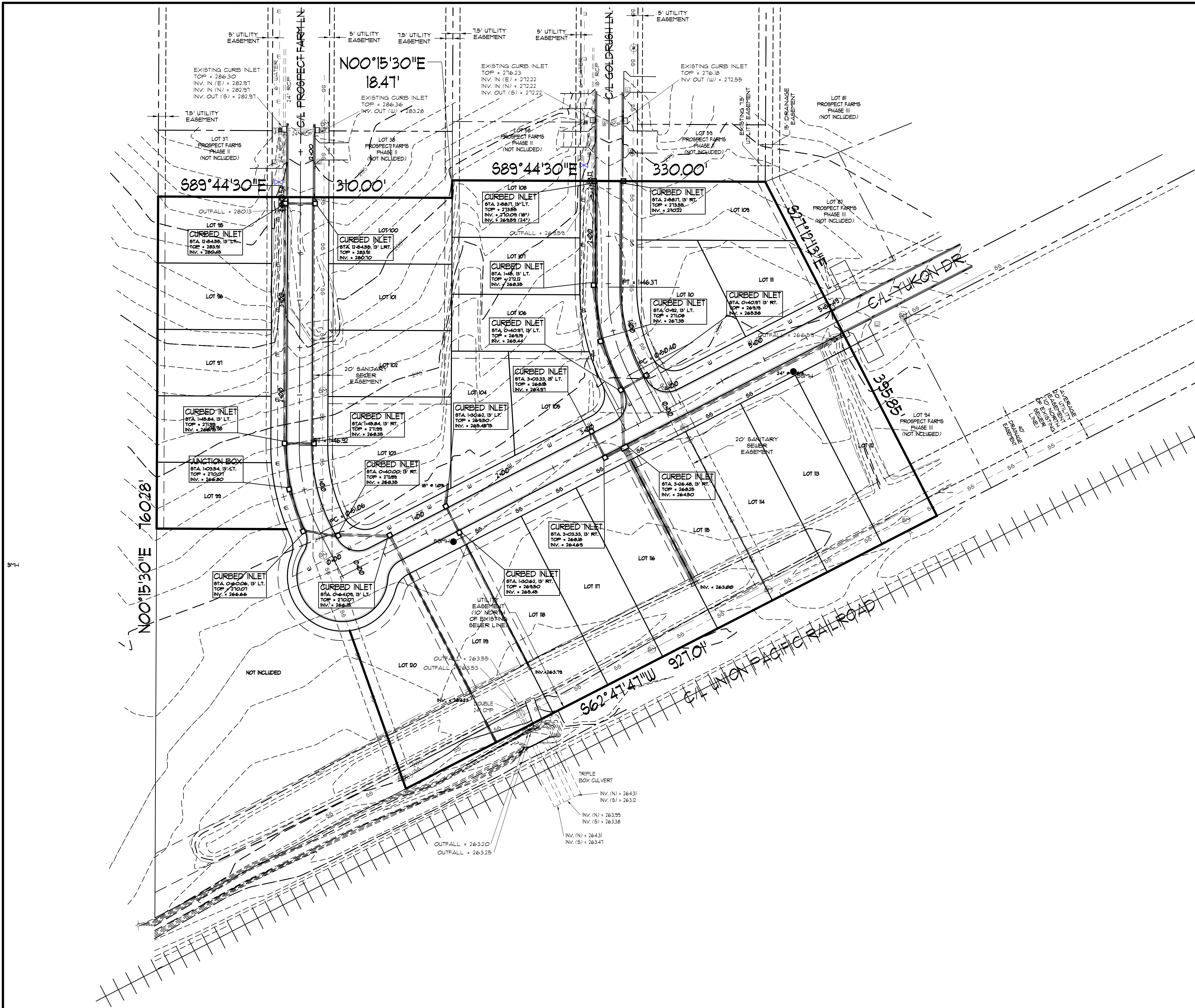
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JONESBORO, AR 72403
PH: 870-932-3594 • FAX: 870-935-1263



NO.	DESCRIPTION	DATE

UTILITY
PLAN

DATE: 03/06/2017	DRAWN: CCH
CADD FILE: 04254-SDP-P4	CHECKED: JME
DWG# XXXXXXXX.XXXX	SHEET
SCALE: 1" = 50'	C006



ENGINEER'S NOTES

- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO NAVD 88 DATUM.
- REFER TO SHEET C002 FOR BENCHMARK INFORMATION.
- NEITHER THE OWNER OR THE ENGINEER SHALL BE RESPONSIBLE FOR SUB-SURFACE CONDITIONS. THE CONTRACTOR SHOULD MAKE HIS OWN DETERMINATION CONCERNING SUB-SURFACE CONDITIONS.
- PIPE SHALL BE R.C.P. FOR ALL ROAD CROSSINGS. ULTRA FLO STORM PIPES MAY BE USED IN OTHER APPLICATIONS WITH ENGINEER'S APPROVAL.
- THROUGHOUT ALL EXCAVATION ACTIVITIES, POSITIVE DRAINAGE SHALL BE MAINTAINED WITHIN MINIMUM SLOPES OF 0.50% OR GREATER AND SURFACE DRAINAGE GENERALLY IN THE DIRECTION PROVIDED BY EXISTING TOPOGRAPHY.
- WORK SHALL PROGRESS IN SUCH A MANNER AS TO ALLOW EXISTING VEGETATION TO REMAIN AS LONG AS POSSIBLE, CONSISTENT WITH THE SCOPE OF WORK.
- ALL SPOT ELEVATIONS ARE EDGE OF ASPHALT, UNLESS OTHERWISE NOTED.
- DUST SHALL BE KEPT AT TOLERABLE LIMITS.
- ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL ACCESSIBLE PARKING SPACES SHALL HAVE A MAXIMUM SLOPE OF 2.0% IN ALL DIRECTIONS.
- ALL SIDEWALKS HAVE A SLOPE OF LESS THAN 5.0%. ALL SIDEWALKS HAVE A CROSS SLOPE OF 2.0% OR LESS.

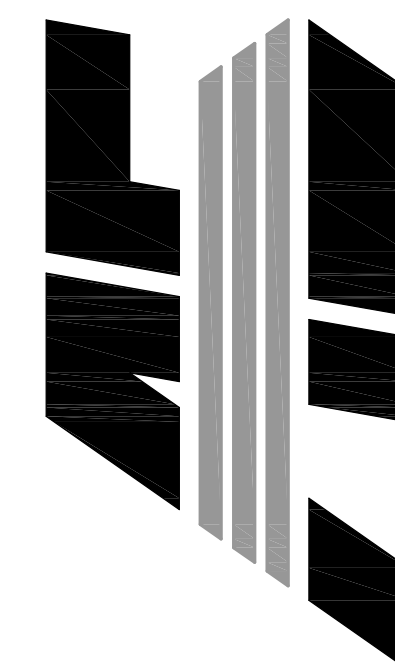
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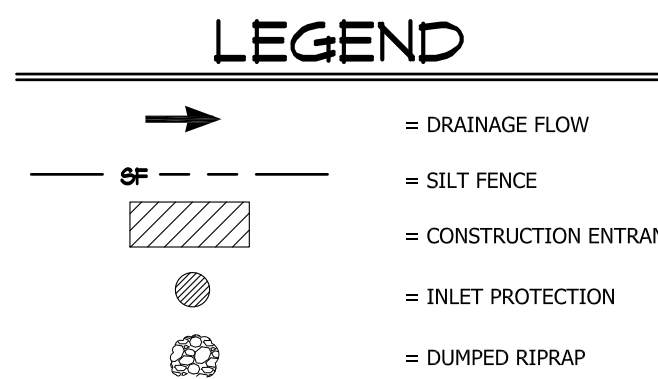
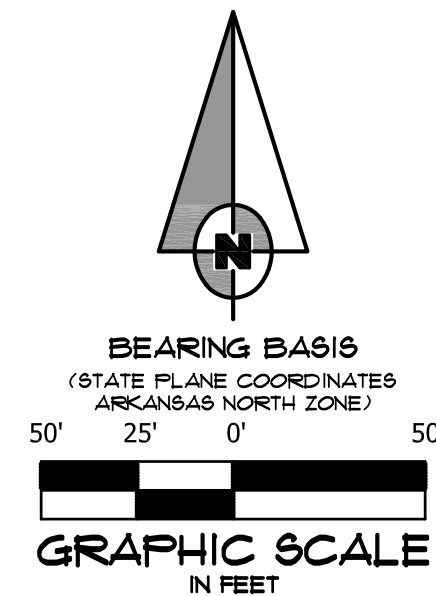
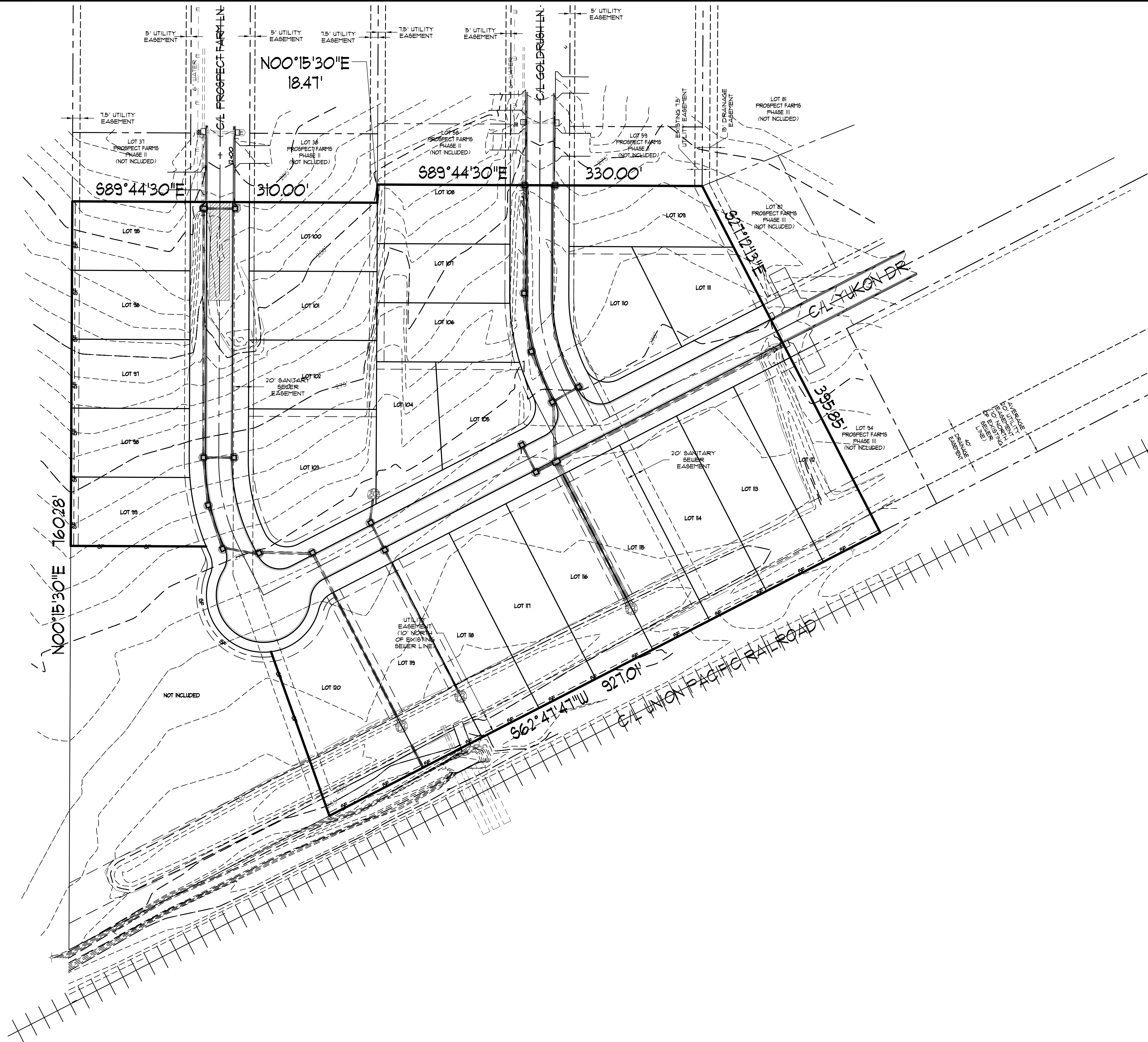
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NO.	DESCRIPTION	DATE

GRADING
PLAN

DATE: 03/06/2017	DRAWN: COH
CADD FILE: 04254-SDP-P4	CHECKED: JME
DWG# XXXXXXXX.XXXX	SHEET
SCALE: 1" = 50'	C007

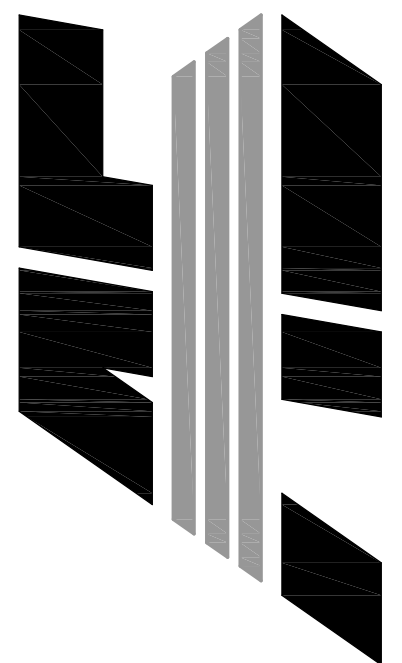


EROSION CONTROL MEASURES

1. THE PURPOSE OF THIS PLAN IS TO ESTABLISH MINIMUM EROSION CONTROL MEASURES. THIS PLAN IS NOT INTENDED TO COVER ALL MEASURES, BUT TO SUPPLEMENT, EXPAND OR IMPLEMENT THE REQUIREMENTS OF THE STATE OF ARKANSAS NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT).
2. SILT FENCING SHALL BE PLACED ALONG THE LIMITS OF CONSTRUCTION AND AROUND EACH DRAINAGE STRUCTURE PRIOR TO CONSTRUCTION.
3. GRAVEL CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED AT PROPOSED DRIVEWAY LOCATIONS TO PREVENT TRANSPORT OF SEDIMENT OFF SITE. WHEEL WASH FACILITIES MAY BE REQUIRED.
4. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLING ALL EROSION CONTROL MEASURES AND FACILITIES IN GOOD WORKING CONDITION THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. ANY FAILURES IN THE MEASURES MUST BE IMMEDIATELY REPAIRED. EROSION CONTROL MEASURES AND FACILITIES SHALL BE FREQUENTLY INSPECTED FOR COMPLIANCE. FAILURE TO INSTALL OR MAINTAIN THESE FACILITIES MAY RESULT IN DENIAL OF BUILDING INSPECTIONS UNTIL ALL PROBLEMS ARE CORRECTED. CONTRACTORS SHALL BE HELD ACCOUNTABLE FOR CONSTRUCTION VEHICLES TRACKING DIRT AND MUD ONTO PUBLIC STREETS. CONTRACTORS SHALL PUT INTO PLACE APPROPRIATE FACILITIES TO CLEAN VEHICLES BEFORE THEY ENTER STREETS. THE CONTRACTOR SHALL FREQUENTLY SWEEP THE ACCESS STREETS.
5. THE OWNER SHALL BE RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT WITH THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ).
6. DUST SHALL BE KEPT TO A MINIMUM. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED LIQUIDS FOR DUST SUPPRESSION ARE PROHIBITED.
7. ALL WORK ON THIS SITE PERTAINING TO EXCAVATION AND DRAINAGE SHALL BE IN ACCORDANCE WITH THIS PLAN AND THE APPLICABLE PROVISIONS OF THE CITY OF JONESBORO STORM WATER MANAGEMENT REGULATIONS.
8. ADDITIONAL CONTROLS MAY BE REQUIRED BY THE CITY OF JONESBORO AND ADEQ DURING CONSTRUCTION. GUIDELINES ESTABLISHED BY THE SOIL CONSERVATION SERVICE MAY BE REQUIRED FOR SEEDING OPERATIONS IF DETERMINED NECESSARY.

PROSPECT FARMS
PHASE 4
IN SECTIONS 14 AND 15, T14N, R4E
JONESBORO, ARKANSAS

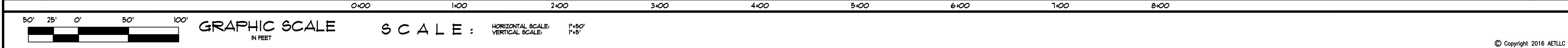
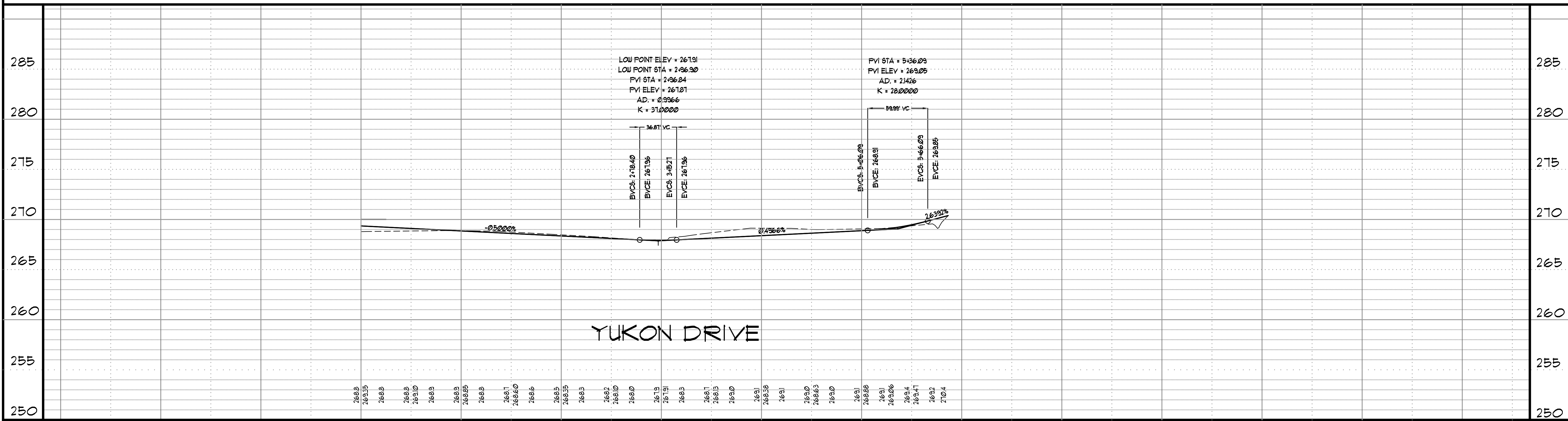
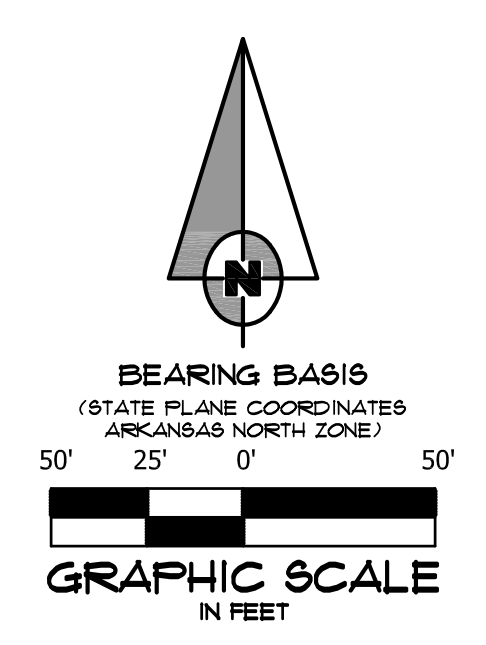
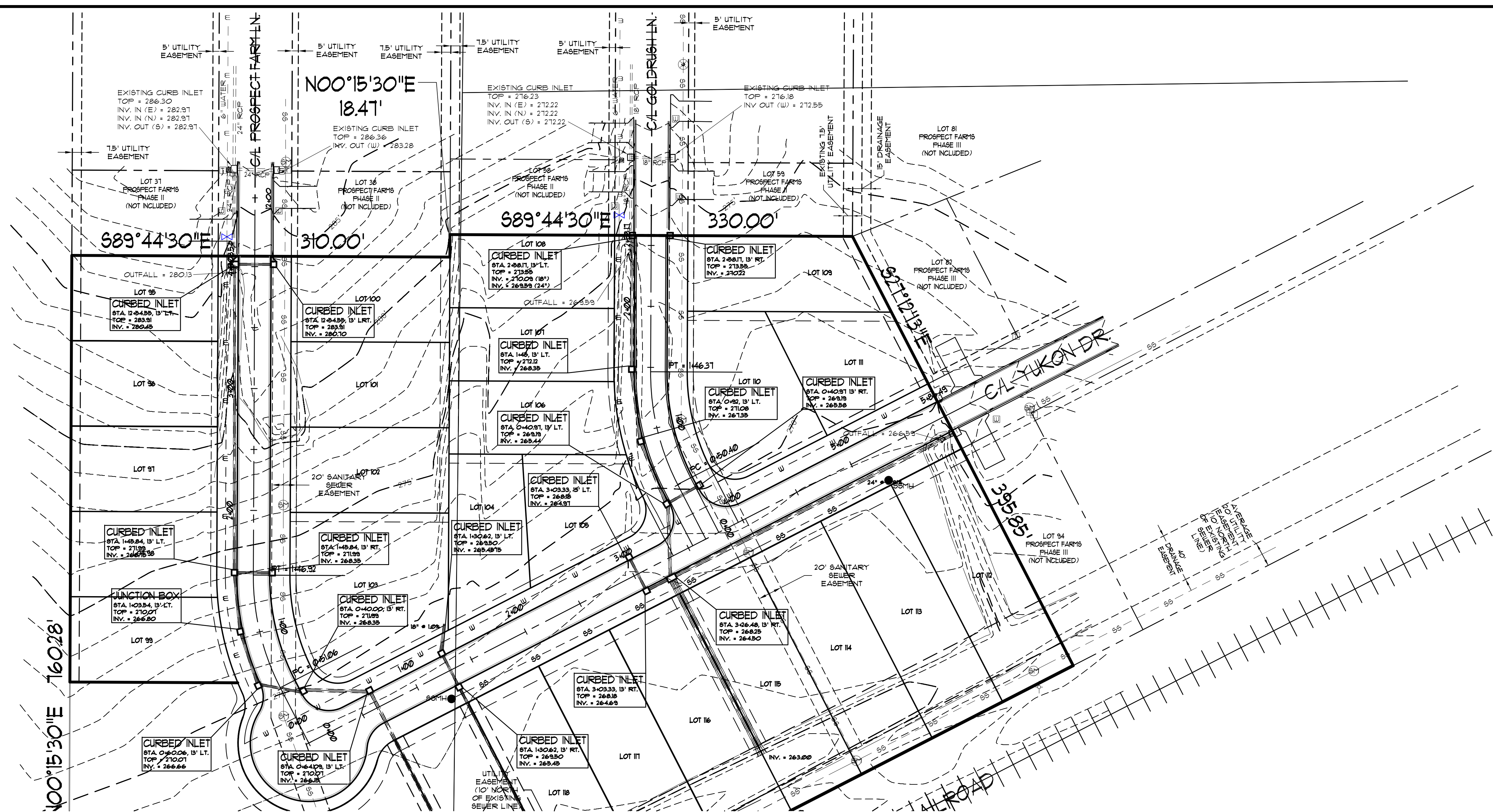
ASSOCIATED
ENGINEERING, LLC
CIVIL ENGINEERING • LAND SURVEYING
LAND PLANNING
103 SOUTH CHURCH STREET • P.O. BOX 1462
JONESBORO, AR 72403
PH: 870-932-3594 • FAX: 870-935-1263



NO.	DESCRIPTION	DATE

**EROSION
PLAN**

DATE: 03/06/2017	DRAWN: CCH
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DWG# XXXXXXXX.XXXX	SHEET
SCALE: 1" = 50'	C008



PROSPECT FARMS
PHASE 4
IN SECTIONS 14 AND 15, T14N, R4E
JONESBORO, ARKANSAS

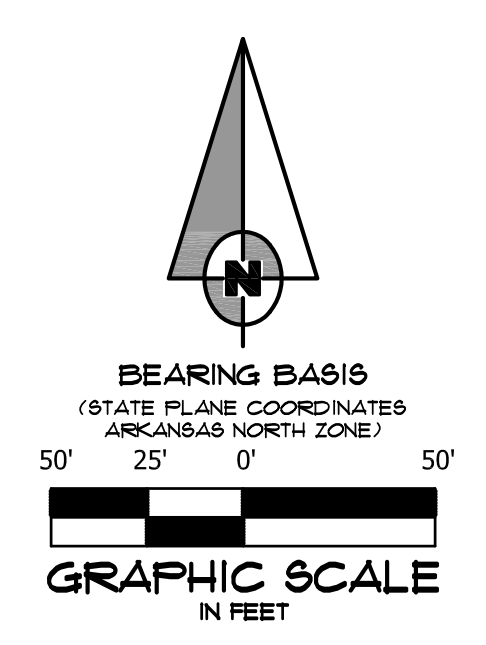
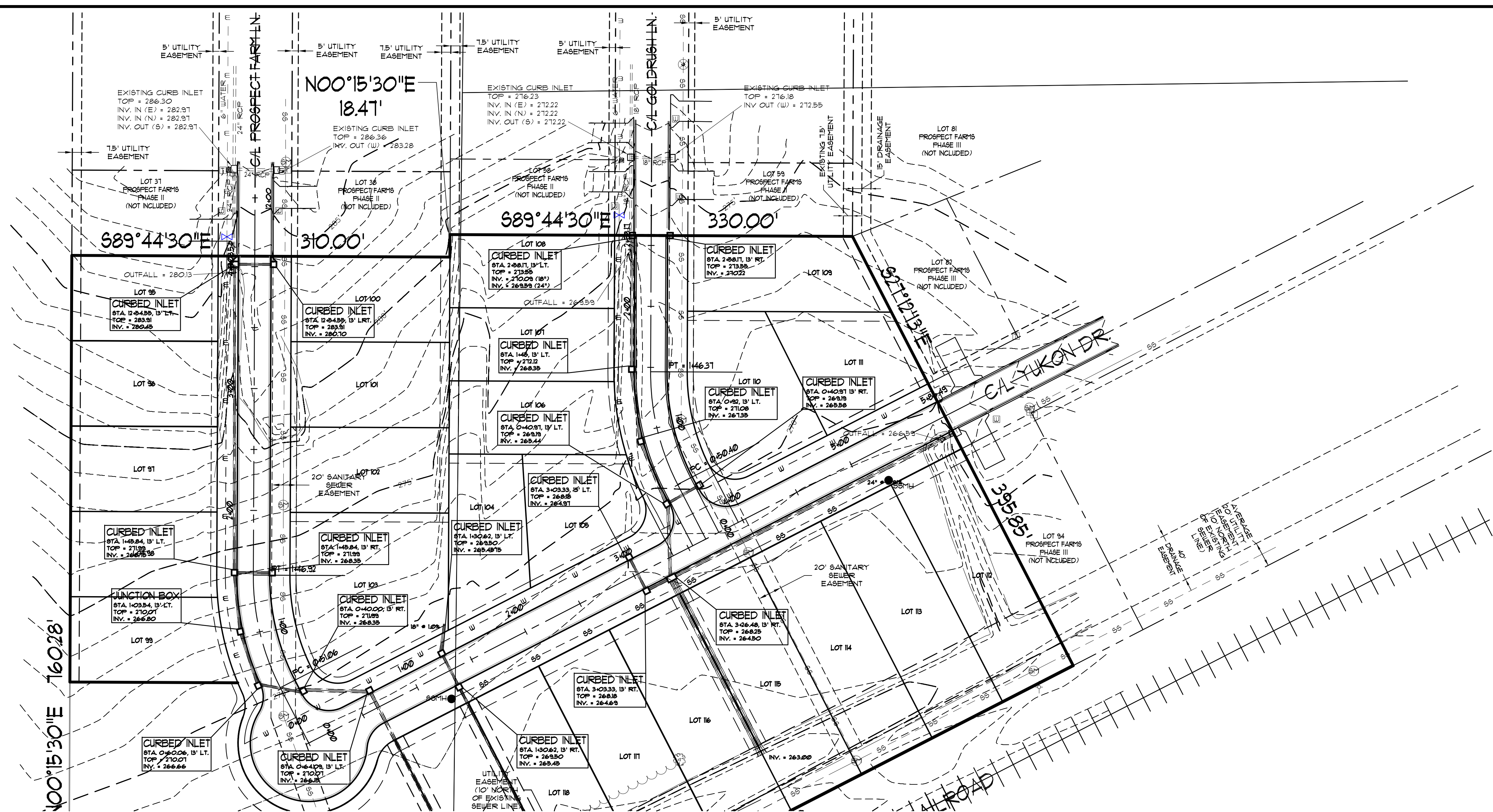
ASSOCIATED
ENGINEERING, LLC
CIVIL ENGINEERING • LAND SURVEYING
LAND PLANNING
103 SOUTH CHURCH STREET • P.O. BOX 1462
JONESBORO, AR 72403
PH: 870-932-3594 • FAX: 870-935-1263

NO.	DESCRIPTION	DATE

PLAN & PROFILE
SHEET

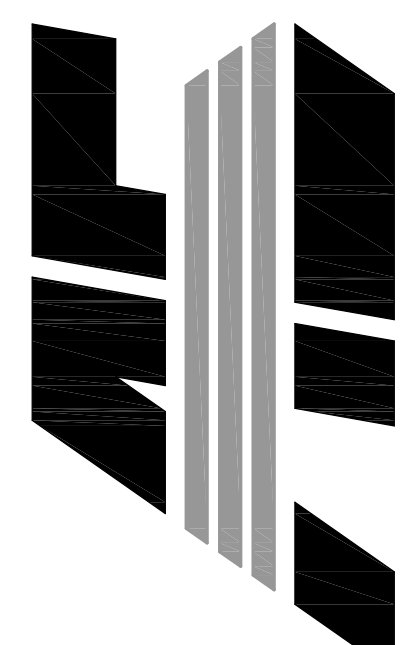
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DWG#: XXXXXXXX.XXXX	SHEET: 0009
SCALE: 1" = 50'	

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PROSPECT FARMS
PHASE 4
IN SECTIONS 14 AND 15, T14N, R4E
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103 SOUTH CHURCH STREET • P.O. BOX 1462
JONESBORO, AR 72403
PH: 870-932-3594 • FAX: 870-935-1263



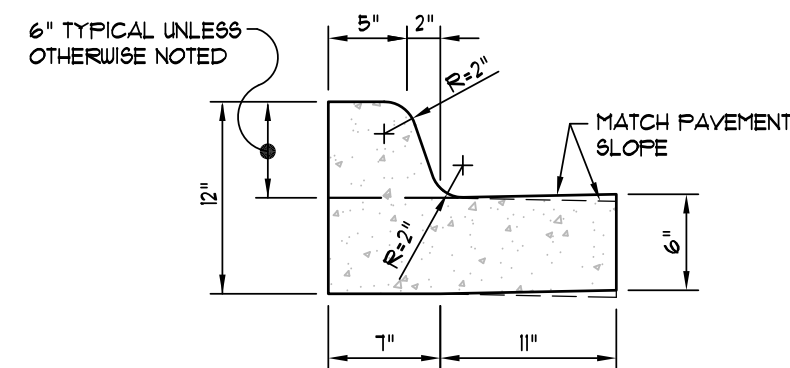
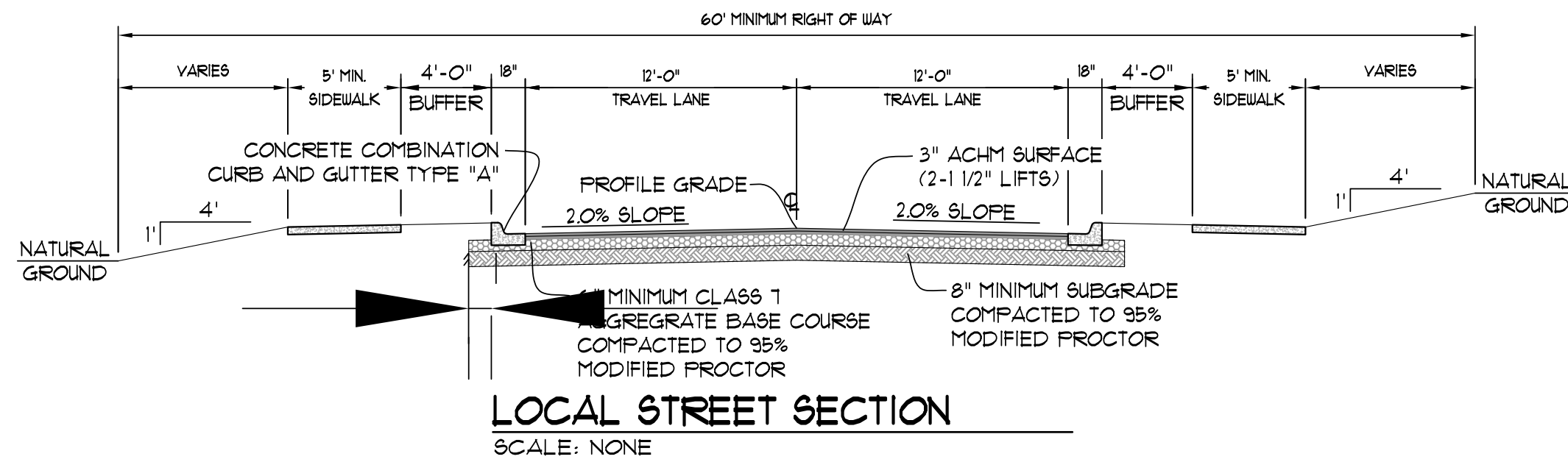
Associated Engineering & Testing, LLC
No. 289
Arkansas State Seal

NO.	DESCRIPTION	DATE

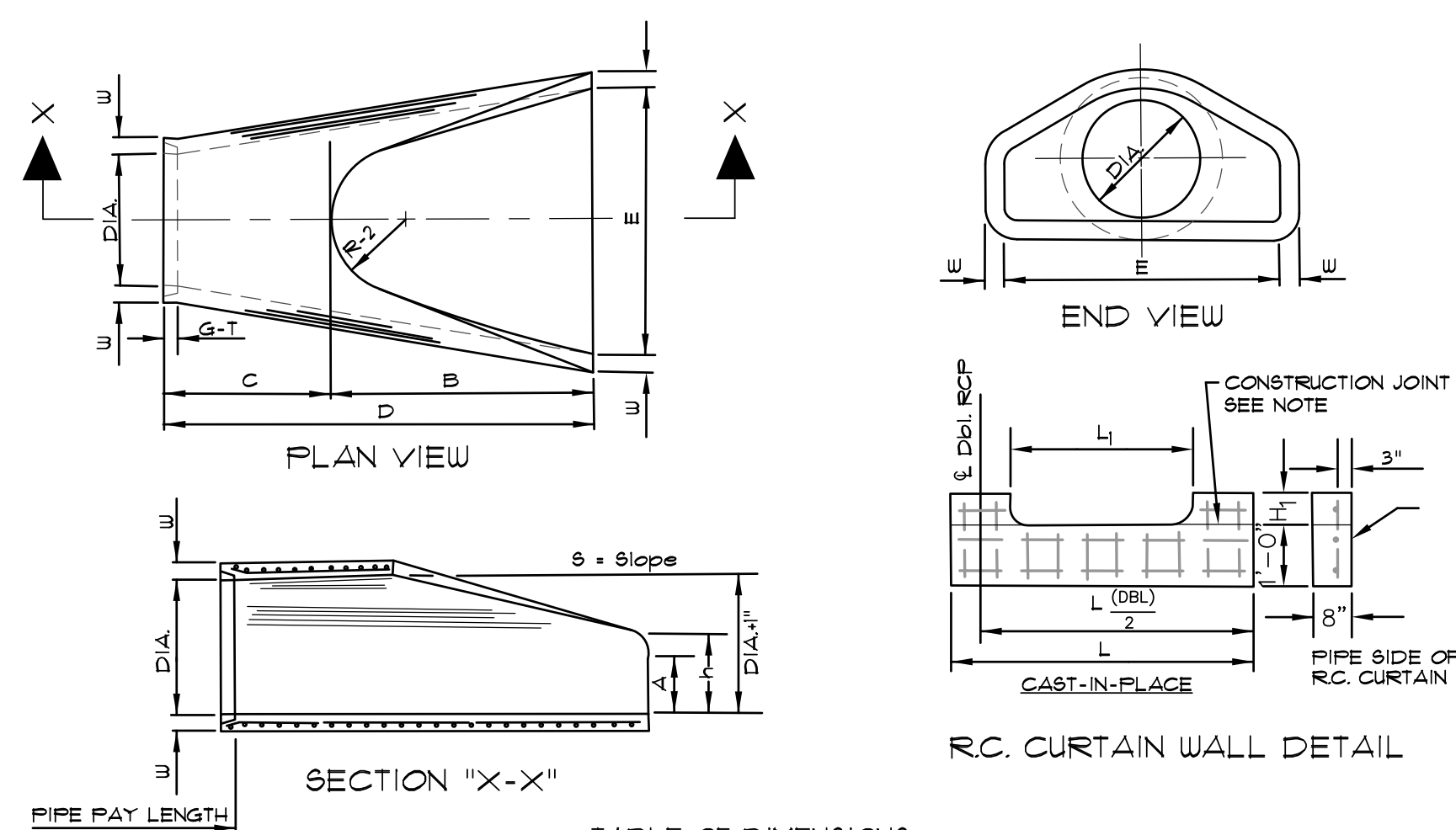
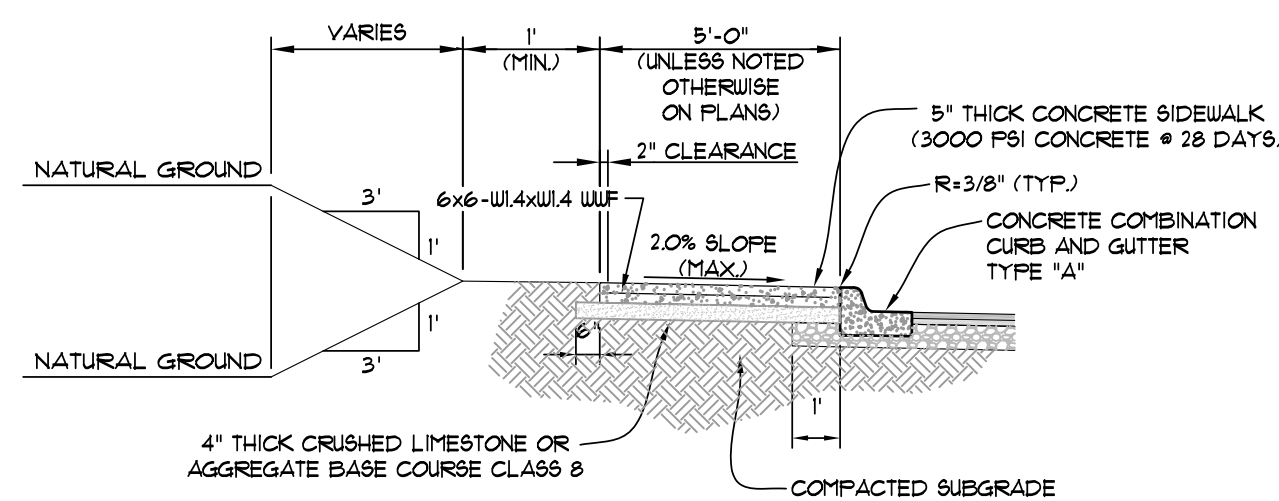
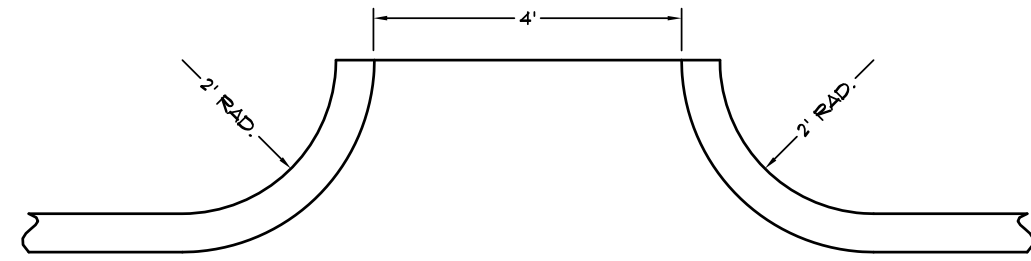
PLAN & PROFILE SHEET

DATE: 03/06/2017	DRAWN: CCH
CADD FILE: 04254-SDP-P4	CHECKED: JME
DWG# XXXXXXXX.XXXX	SHEET 6
SCALE: 1" = 50'	C010

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NOTE: CONTRACTION AND EXPANSION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.



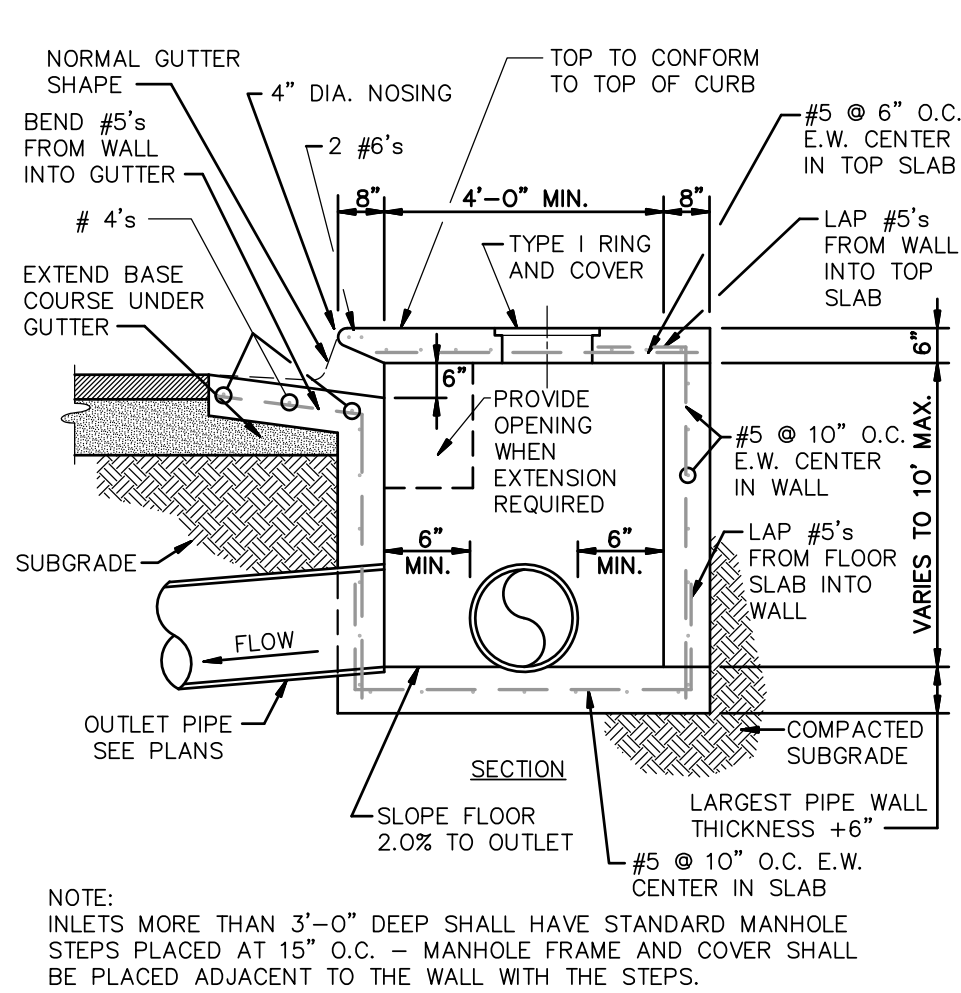
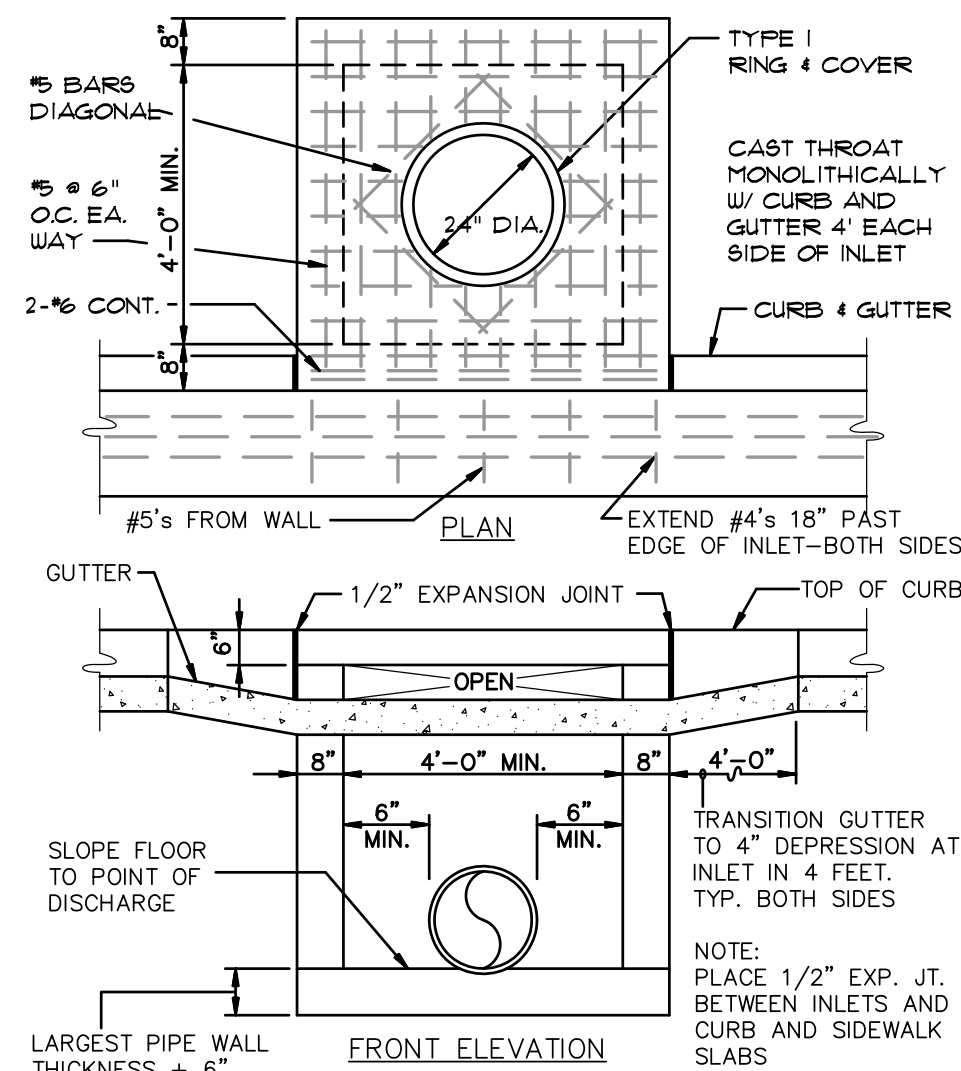
DIA.	WALL	A	B	C	D	E	S	DIA.+1"	P	R-1	R-2	G-T	WT	h
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	3:1	19"	29"	15 1/2"	12"	2"	1000	1'-0 1/2"
24"	3"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	3:1	25"	33 3/16"	16 13/16"	14"	2 1/2"	1600	1'-1 1/2"
30"	3 1/2"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	3:1	31"	37"	18 1/2"	15"	3 1/4"	1940	1'-4 5/8"
36"	4"	1'-3"	5'-3"	2'-10 3/4"	8'-1 3/4"	6'-0"	3:1	37"	47 13/16"	24 5/16"	20"	3 1/2"	4100	1'-8"
42"	4 1/2"	1'-9"	5'-3"	2'-11"	8'-2"	6'-6"	3:1	43"	53 7/8"	27 1/2"	22"	3 1/2"	5380	2'-2 1/2"
48"	5"	2'-0"	6'-0"	2'-2"	8'-2"	7'-0"	3:1	49"	56 1/2"	28 1/2"	22"	3 1/2"	6550	2'-6"
54"	5 1/2"	2'-4"	6'-6"	1'-10"	8'-4"	7'-6"	3:1	55"	65 1/2"	33 1/8"	24"	4"	8750	2'-10 1/2"
60"	6"	2'-10"	6'-6"	1'-10"	8'-4"	8'-0"	3:1	61"	72 1/2"	36 11/16"	24"	4"	9270	3'-5"
72"	7"	3'-10"	6'-6"	1'-10"	8'-4"	9'-0"	3:1	73"	77 13/16"	38 15/16"	24"	5"	13250	4'-8"

NOTES:

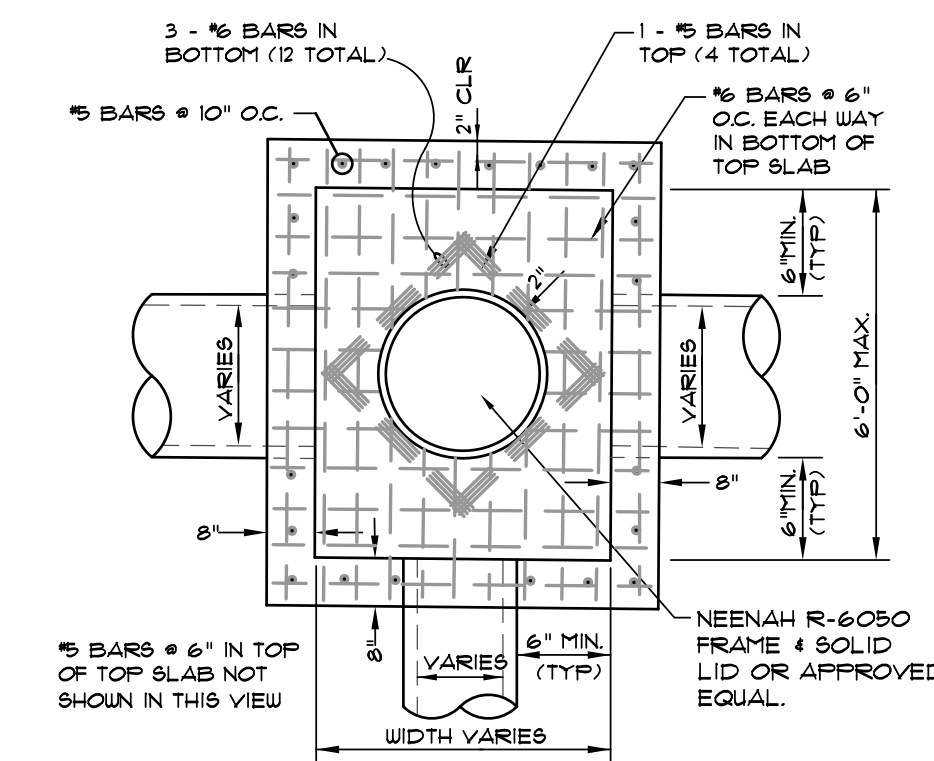
- THE PORTION OF THE RC. CURTAIN WALL BENEATH THE FLARED END SECTION (LOWER 1'-0") SHALL BE PLACED MONOLITHICALLY. THE FLARED END SECTION SHALL THEN BE SET IN PLACE AND THE REMAINING PORTIONS OF THE RC. CURTAIN WALL PLACED.
- ALL REINFORCING STEEL ARE #4 BARS AT 6" O.C.
- NO SEPARATE PAYMENT WILL BE MADE FOR THE CURTAIN WALLS. THEY SHALL BE CONSIDERED SUBSIDIARY TO THE FLARED END SECTIONS.
- TONGUE END ON UPSTREAM SECTION. GROOVE END ON DOWNSTREAM SECTION.

FLARED END SECTION DETAILS FOR REINFORCED CONCRETE PIPE CULVERT

(NOT TO SCALE)



NOTE: INLETS MORE THAN 3'-0" DEEP SHALL HAVE STANDARD MANHOLE STEPS PLACED AT 15" O.C. - MANHOLE FRAME AND COVER SHALL BE PLACED ADJACENT TO THE WALL WITH THE STEPS.



PLAN - JUNCTION BOX - HEAVY

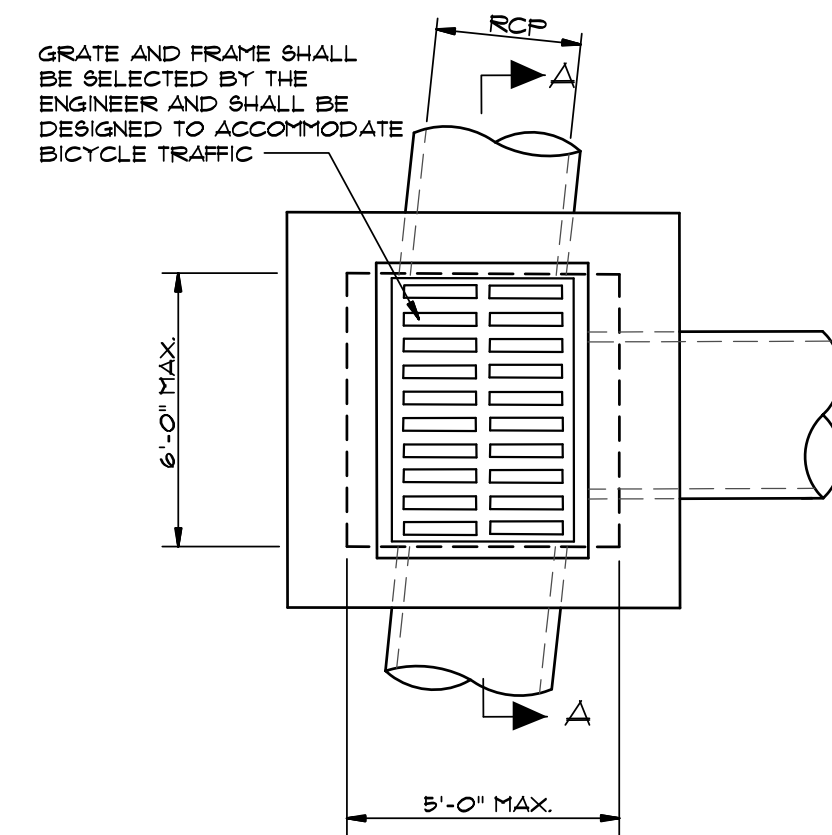
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SECTION - JUNCTION BOX - HEAVY

NTS.

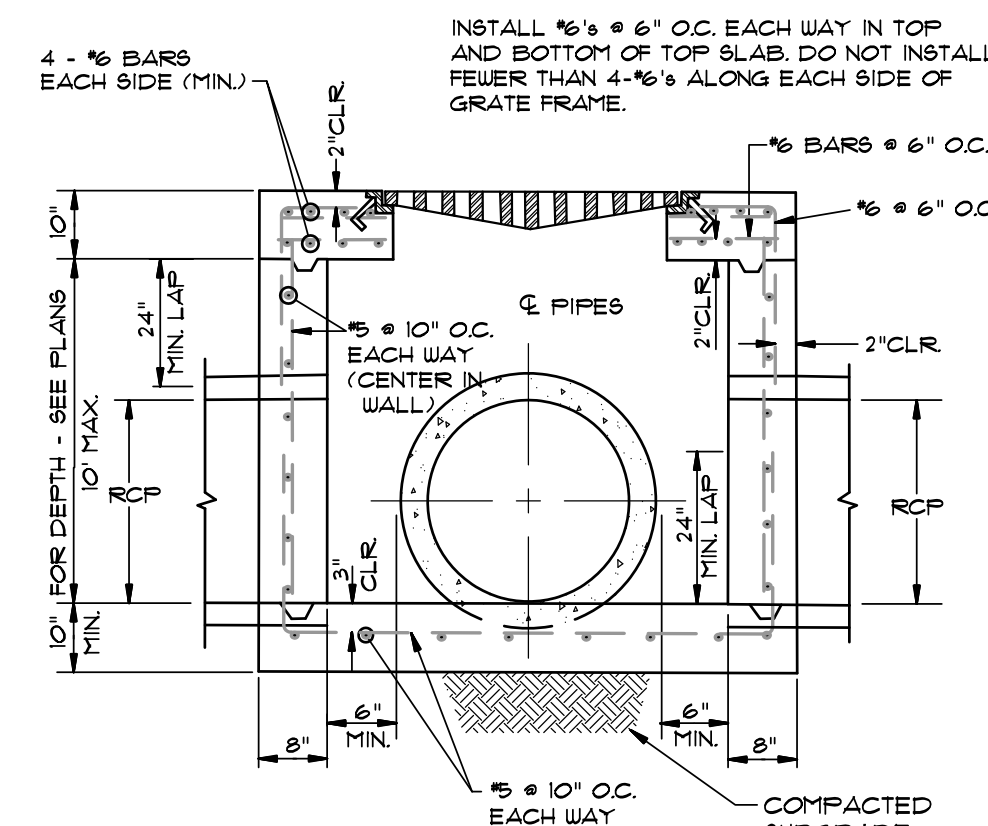
NOTES:

- SHOULD BE USED TO ACCOMMODATE VEHICULAR TRAFFIC.
- JUNCTION BOXES MORE THAN 3 FEET DEEP SHALL HAVE STANDARD MANHOLE STEPS PLACED @ 15" O.C.
- SEE REINFORCING DETAIL FOR OPENING IN WALL OR SLAB.



PLAN - GRATE INLET - HEAVY

NTS.

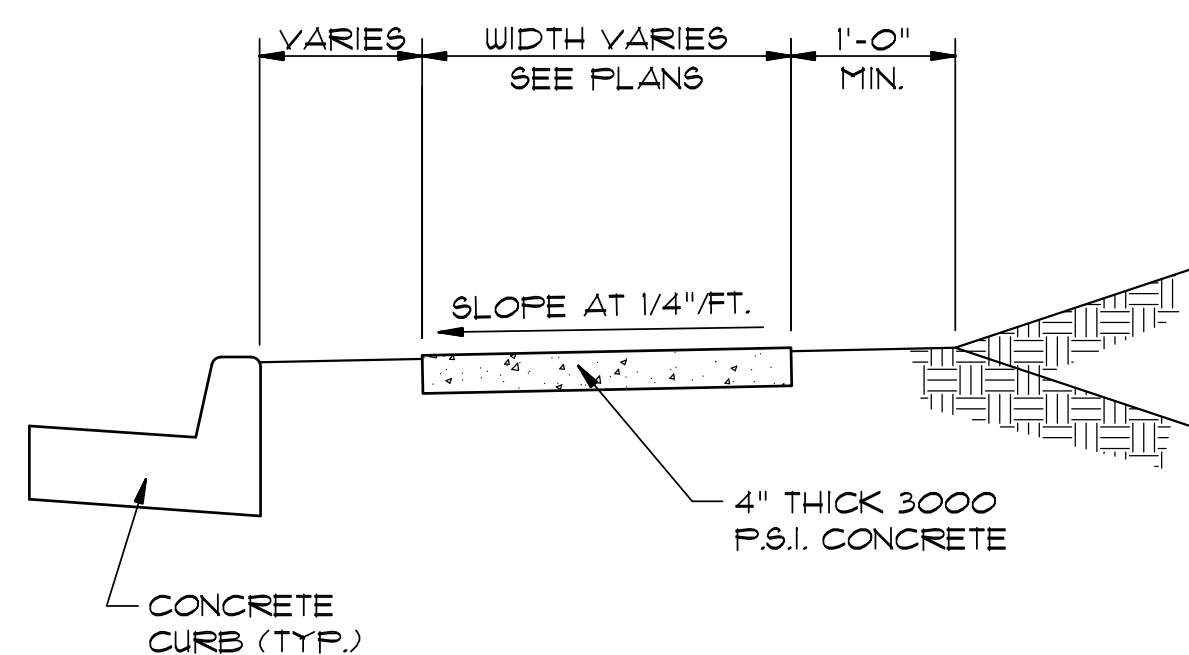


SECTION 'A-A' - GRATE INLET - HEAVY

NTS.

NOTES:

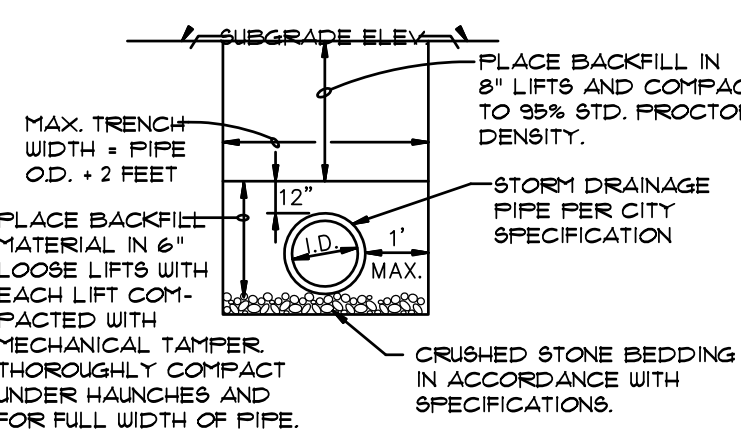
- SHOULD BE USED TO ACCOMMODATE VEHICULAR TRAFFIC.
- JUNCTION BOXES MORE THAN 3 FEET DEEP SHALL HAVE STANDARD MANHOLE STEPS PLACED @ 15" O.C.
- SEE REINFORCING DETAIL FOR OPENING IN WALL OR SLAB.



TYPICAL SECTION - SIDEWALK

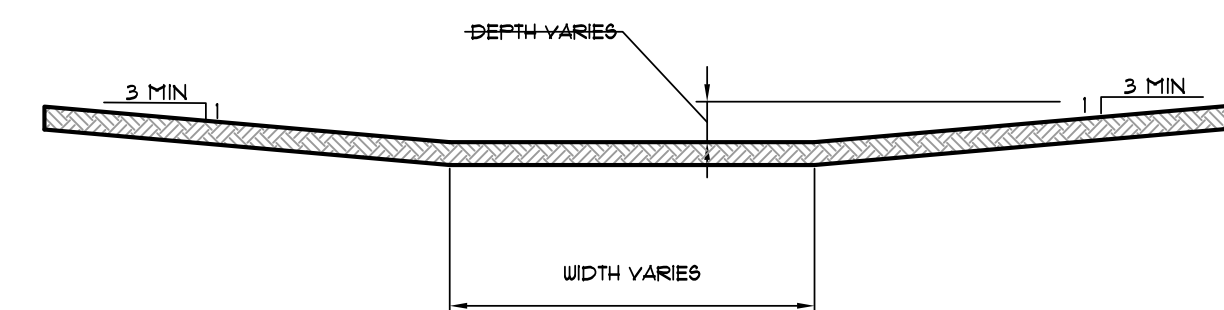
NTS.

* MINIMUM WIDTH FOR SIDEWALK ADJACENT TO CURB IS 5' FOR CITY STREETS AND 6' FOR STATE OR U.S. HIGHWAYS.



DRAINAGE PIPE TRENCH DETAIL

NOTE: TO BE USED WITH NEW STREET CONSTRUCTION. SEE DRAINING NO. PT-1 FOR EXISTING STREET CUTS.



DETAIL - DRAINAGE SWALE - FLAT BOTTOM

NTS.

PROSPECT FARMS

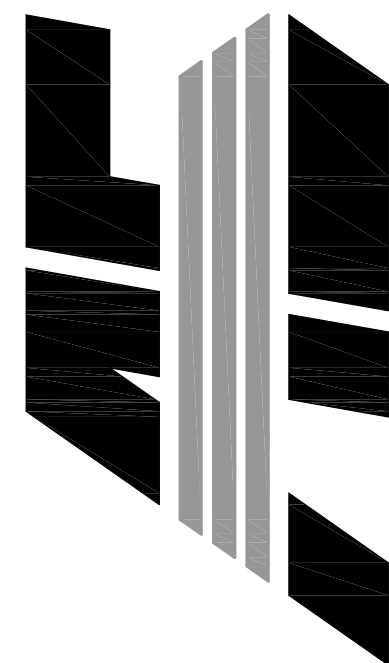
PHASE 4

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NO.	DESCRIPTION	DATE

STANDARD DETAILS

DATE: 03/06/2017	DRAWN: CCH
CADD FILE: 04254-SDP-P4	CHECKED: JME
DWG# XXXXXXXX.XXXX	SHEET
SCALE: AS SHOWN	C011

