

City of

Jonesboro

ARKANSAS

JP13-237



APPLICATION FOR COMMERCIAL BUILDING & ZONING PERMIT - INCLUDES MULTI-FAMILY 3+ UNITS

Planning & Zoning, P.O. Box 1845, Jonesboro, AR 72403 – (870) 932-0406, fax (870) 336-3036
www.jonesboro.org

(OFFICE USE ONLY) PERMIT NO. ISSUED: JP13-237		DATE: 9/17/13
Property Information		Parcel No. (if known)
Address: 213 N. Main St.	City: Jonesboro	
Zoning Classification: I-1		
Please describe proposed use: Storage Buildings		
Applicant's Name: Double Brown's Properties		
Address: 1410 Franklin St		
City: Jonesboro	State: AR	ZIP Code: 72401
Phone: 870 932 4832	Email Address: bll@brownsquad.com	
Arkansas Contractor License #:	Privilege #:	
Owner's Name: (If Same, Input Same) Same		
Address:		
City:	State:	ZIP Code:
Phone:	Email Address:	
Asbestos Requirement (State of Arkansas): State regulations require contractors to have lead and asbestos inspections prior to renovation or alterations of commercial structures. You are required to contact: Arkansas Department of Environmental Quality (ADEQ) at: 501-682-0718.		
Three (3) Copies of Site Plan: <input checked="" type="radio"/> Yes / <input type="radio"/> No (Please circle)	Three (3) Complete Set of Construction Documents: Yes / No (Please circle)	
Type of Construction: Commercial	Code Review Included: Yes / No (Please circle)	
Seismic Zone #3 Signed Certification: Yes / <input checked="" type="radio"/> No (Please circle)		
Engineering Firm: Haywood, Kenward, Bare & Assoc.		
Engineer's Certification and Signature: <input checked="" type="radio"/> Yes / <input type="radio"/> No (Please circle)	Phone: 870-932-2019	
Address: 1801 Latourrette Dr.	City: Jonesboro	State: AR
Architectural Firm:		
Architect's Certification and Signature: Yes / No (Please circle)	Phone:	
Address:	City:	State:
CONTRACTED PRICE OF PROJECT: \$		
Flood Plain: <input checked="" type="radio"/> Yes / <input type="radio"/> No (Please circle)	Flood Zone District: AE	
Elevation Certificate Required: <input checked="" type="radio"/> Yes / <input type="radio"/> No (Please circle)		
FEMA CLOMA/LOMA Required: Yes / <input checked="" type="radio"/> No (Please circle)	GF Issuance:	Certificate #:

(Please sign Page 2)

APPLICATION FOR COMMERCIAL BUILDING & ZONING PERMIT APPLICATION PAGE 2

TYPE OF IMPROVEMENT:		PROPOSED USE:	
New Building: <input checked="" type="checkbox"/>		Multi-Family:	
Addition:		Institution:	
Interior Alteration:		Assembly:	
Demolition:		Industrial:	
Moving:		Business:	
Foundation Only:		Storage:	
Change of Use:		Mercantile:	
Sign:		Hazardous:	
Site & Drainage/Grading Permit:			
Other:			
COMMENTS (OFFICE USE ONLY)			
Planners Remarks:			
Fire Inspections Remarks:			
Sanitation Department Remarks:			
Engineering Remarks:			
Building Department Remarks:			
Review Status:			
Zoning Dept.:	Engineering Dept.:	Fire Marshall:	Building Dept.:
APPLICANT'S CERTIFICATION			
I certify that the answers to the above questions and any statements made on same are true and complete to the best of my knowledge.			
Print Name: <u>Double Brown's Properties</u>	Designation: <u>1410 Franklin</u>	Phone/Fax: <u>870 932 4832</u>	
Email: <u>bill@brownspeed.com</u>			
Signature: <u>Bill & Brown</u>		Date: <u>9-17-13</u>	

COVER SHEET

LEGEND:

- FOUND MONUMENT (AS NOTED)
- SET 5/8" REBAR W/ BLUE PLASTIC CAP
STAMPED "J. BEARD P.S. 1691" (OR AS NOTED)
- △ COMPUTED POINT (NOT MONUMENTED)
- ◆ SITE BENCHMARK
- ⊙ CONTROL POINT
- UTILITY POLE
- LIGHT POLE
- ⊞ AC UNIT
- ⊞ WATER METER
- ⊞ FIRE HYDRANT
- ⊞ TELEPHONE PEDESTAL
- ⊞ GAS METER
- ⊞ SATELLITE DISH
- OVERHEAD ELECTRIC LINE
- E- UNDERGROUND ELECTRIC LINE
- W- WATER LINE
- SS- SANITARY SEWER LINE
- T- TELECOMMUNICATIONS LINE
- G- GAS LINE
- CHAIN LINK FENCE LINE

UTILITY PROVIDERS:

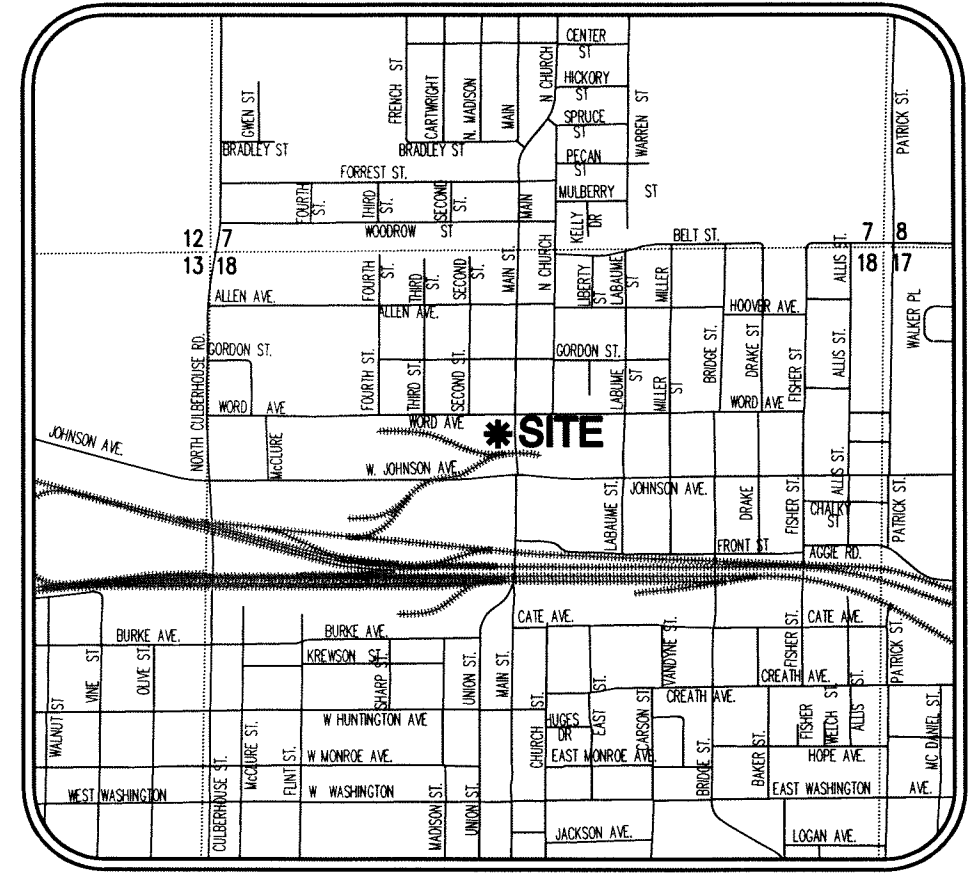
WATER, SEWER & ELECTRIC:
CITY WATER & LIGHT
400 EAST MONROE STREET
JONESBORO AR, 72401
(870)-935-5581

NATURAL GAS:
CENTERPOINT ENERGY
3013 OLD FEED HOUSE ROAD
JONESBORO AR, 72404
(870)-932-2871

TELECOMMUNICATIONS:
AT&T
723 SOUTH CHURCH STREET
JONESBORO AR, 72401
(800)-499-7928

BITTER COMMUNICATIONS
2400 RITTER DRIVE
JONESBORO AR, 72401

SUDENLINK COMMUNICATIONS
1520 SOUTH CARAWAY ROAD
JONESBORO AR, 72401



VICINITY MAP
(NOT TO SCALE)

BASIS OF BEARING: ARKANSAS STATE PLANE GRID NORTH ZONE (0301)

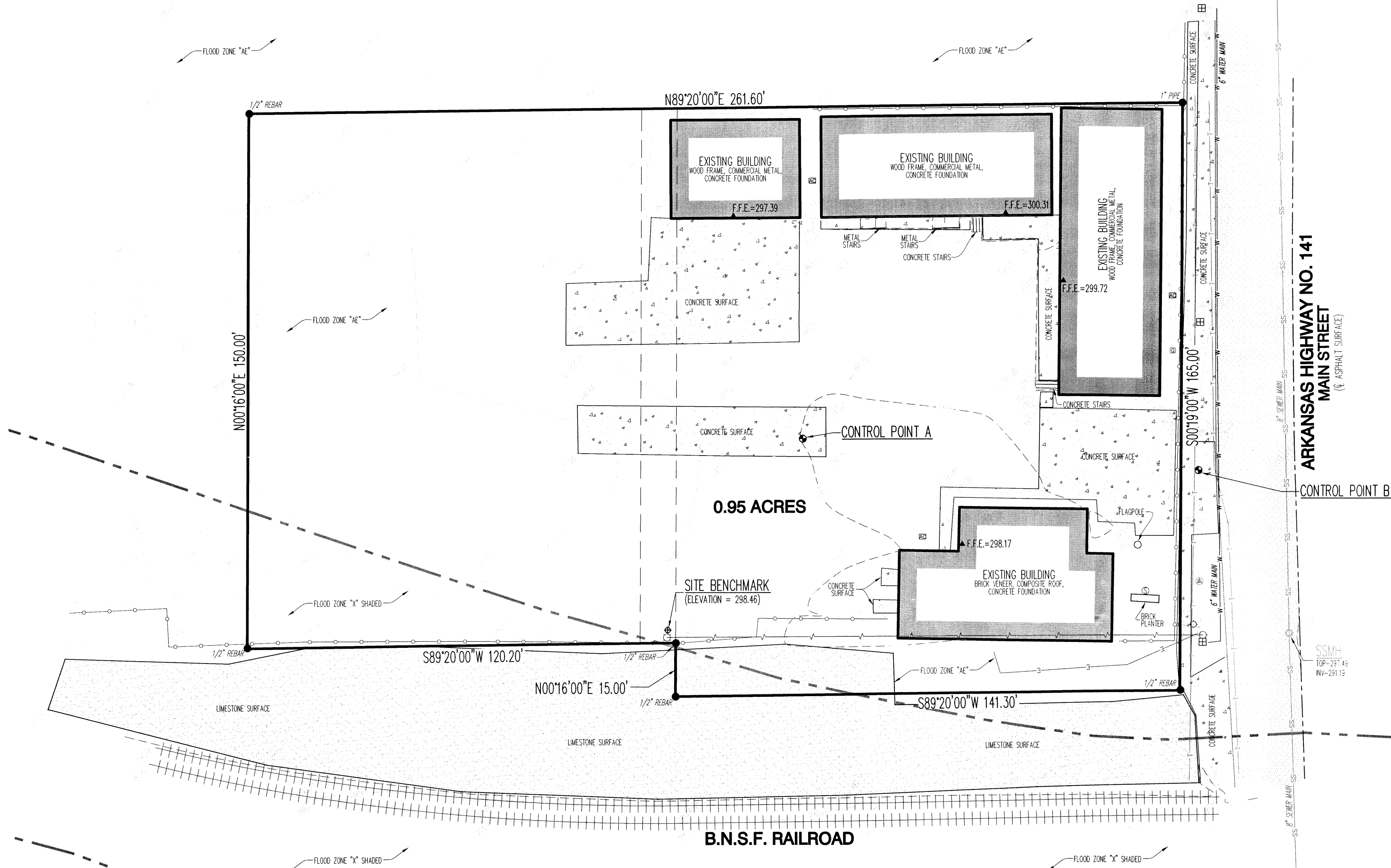
SURVEYOR'S NOTES:

- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD OR ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- BASIS OF BEARINGS: ARKANSAS STATE PLANE GRID NORTH ZONE (0301)
- CONTROL POINTS:
A. N=553148.85, E=1696059.34
B. N=553139.97, E=1696170.13
- VERTICAL DATUM: NAVD 88
- SITE BENCHMARK IS A COTTON PICKER SPINDLE IN THE NORTH FACE OF AN EXISTING LIGHT POLE (ELEVATION = 298.46), LOCATED ON THE SOUTH SIDE OF THE SUBJECT PROPERTY, AS SHOWN ON THE PLAT HEREON.
- THE FOLLOWING DOCUMENTS WERE USED IN THE CONSTRUCTION OF THIS SURVEY:
 - RECORD PLAT, NORTHWESTERN ADDITION, RECORDED IN BOOK 20, PAGE 390, DATED NOVEMBER 23, 1901.
 - PLAT OF SURVEY, BY BRADLEY P. HANCOCK, P.S. 1400, RECORDED IN BOOK 1, PAGE 172, DATED JULY 11, 2007.
- THE SUBJECT PROPERTY LIES WITHIN THE SPECIAL FLOOD HAZARD ZONE "AE" AND SPECIAL FLOOD HAZARD ZONE "X" SHADED, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAPS: PANEL NO. 05031004430, EFFECTIVE DATE SEPTEMBER 27, 1991.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED BY FIELD MEASUREMENTS AND EXISTING UTILITY MAPS. HAYWOOD, KENWARD, BARE & ASSOCIATES INC. MAKE NO WARRANTY TO THE EXACT LOCATION OF THE UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION. CALL 811 BEFORE YOU DIG!
- ARKANSAS ONE-CALL TICKET NUMBER: 130605-1028.
- SUBJECT PROPERTY IS ZONED I-1, LIMITED INDUSTRIAL DISTRICT.
- BUILDING RESTRICTIONS FOR I-1 ZONING:
 - STREET SETBACK - 25'
 - INTERIOR SIDE SETBACK - 10'
 - REAR SETBACK - 20'
 - MAXIMUM LOT COVERAGE - 60%
 - MAXIMUM HEIGHT LIMITATION - 45'
 - MAXIMUM FLOOR AREA - NOT STANDARD
- FIELD NOTES ARE RECORDED IN HKB FIELD BOOK 1141, PAGES 45-47.
- FIELD WORK WAS COMPLETED ON JUNE 5, 2013.

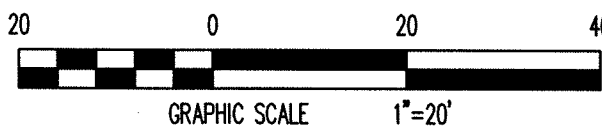
CERTIFICATE OF SURVEY:

THIS IS TO CERTIFY THAT HAYWOOD, KENWARD, BARE AND ASSOCIATES INC., PROFESSIONAL LAND SURVEYORS, HAVE SURVEYED THE FOLLOWING PARCELS OF LAND:

A PART OF NORTHWESTERN ADDITION AND A PART OF COBB'S SURVEY OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS.



Know what's below.
Call before you dig.



TOPOGRAPHIC SURVEY

HKB

**Haywood, Kenward, Bare
AND ASSOCIATES, INC.**
Civil Engineering, Surveying & Planning Services

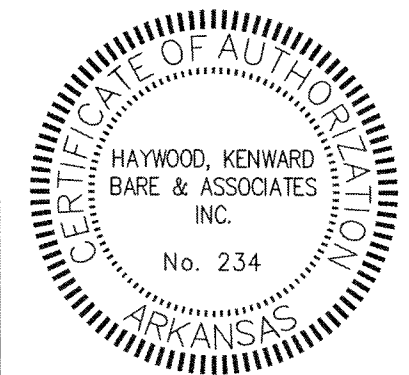
1801 Latourette Drive, Jonesboro, AR, 72404
P: 870.932.2019 F: 870.932.1076

TOPOGRAPHIC SURVEY

STORAGE BUILDINGS
213 NORTH MAIN STREET
JONESBORO, CRAIGHEAD COUNTY, ARKANSAS



JASON D. BEARD - SURVEYOR
ARKANSAS - P.S. 1691



Haywood, Kenward, Bare,
and Associates, Inc.
ARKANSAS - 234

CLIENT:
DOUBLE BROWN PROPERTY

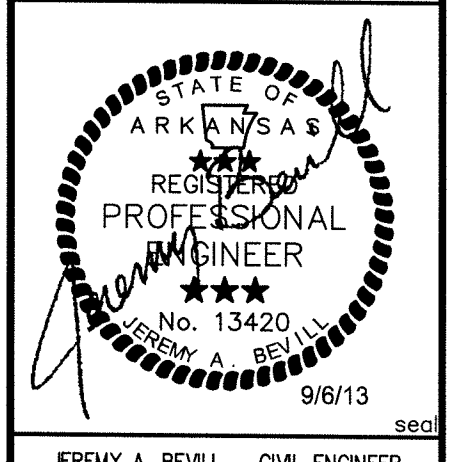
COPYRIGHT 2013, ALL RIGHTS RESERVED

REVISIONS		
DATE	BY	DESCRIPTION

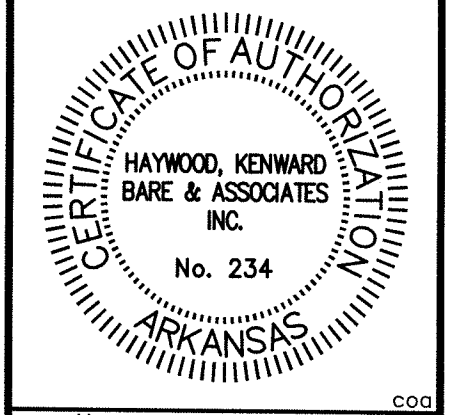
PROJECT NO. D025-0001-04	
DRAWN BY JUN	CHECKED BY JDB
SHEET 2 OF 5	SCALE 1" = 20'
DATE 09/12/13	DRAWING NO. 20-65

EROSION CONTROL PLAN

STORAGE BUILDINGS
213 NORTH MAIN STREET
JONESBORO, CRAIGHEAD COUNTY, ARKANSAS



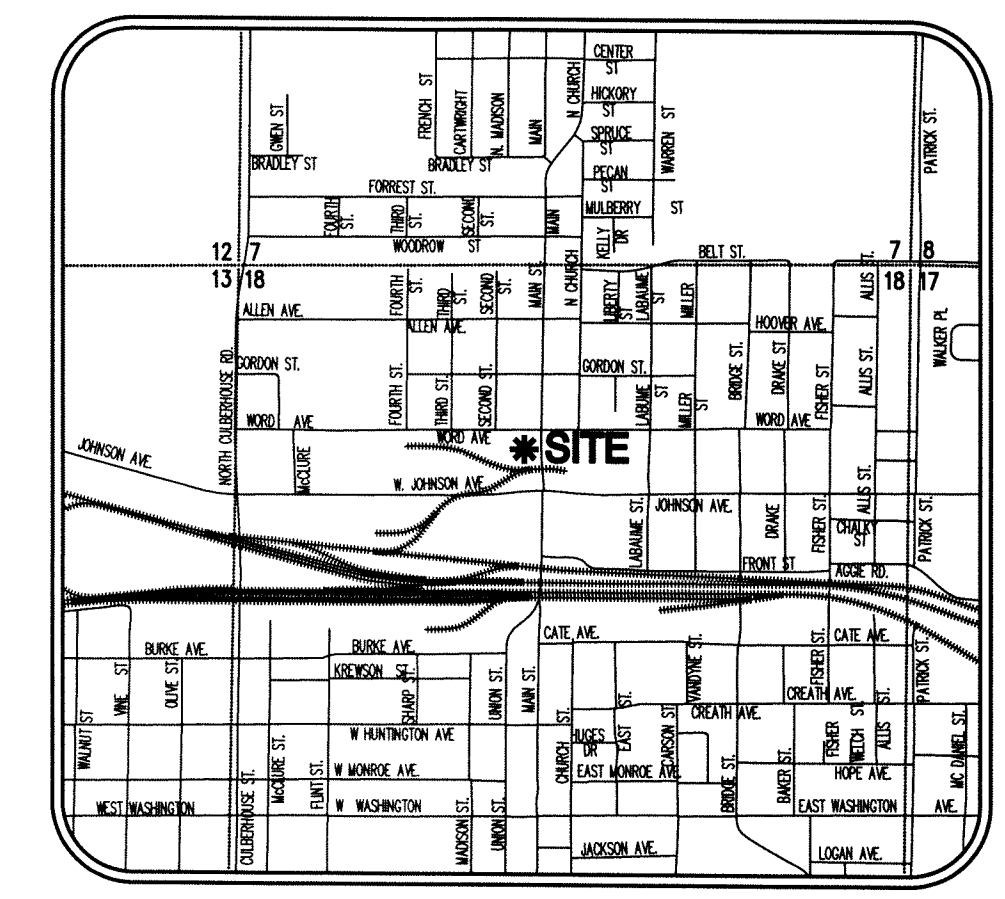
JEREMY A. BEVIL - CIVIL ENGINEER
ARKANSAS - # 13420



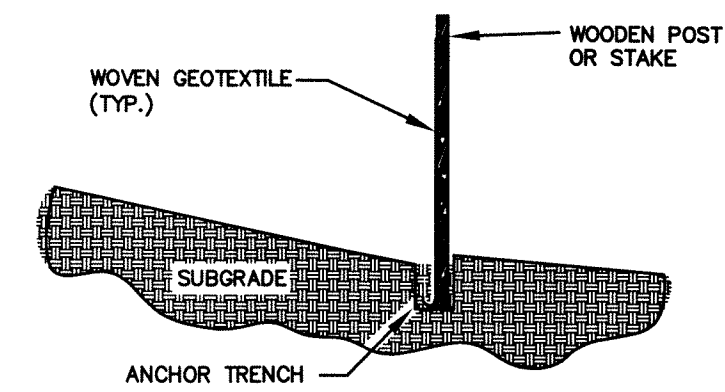
Haywood, Kenward, Bare,
and Associates, Inc
ARKANSAS - 234

CLIENT:
DOUBLE BROWN PROPERTY
COPYRIGHT 2013. ALL RIGHTS RESERVED

REVISIONS	
DATE	DESCRIPTION
PROJECT NO. D025-0001	
DRAWN BY JAB	CHECKED BY TGB
SHEET 3 OF 5	SCALE 1"=20'
DATE 9/6/13	DRAWING NO. 20-65

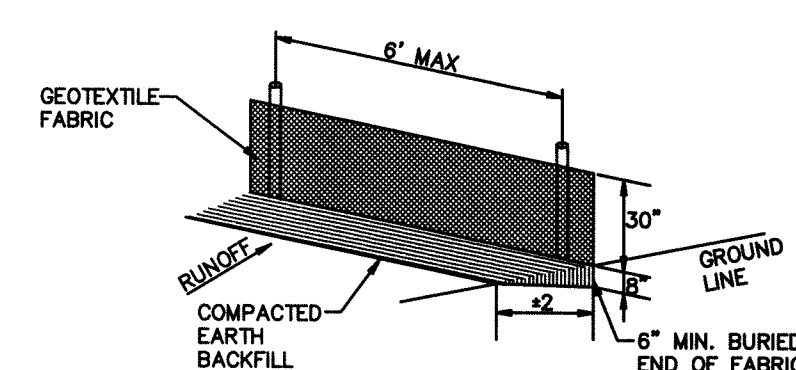


VICINITY MAP
(NOT TO SCALE)



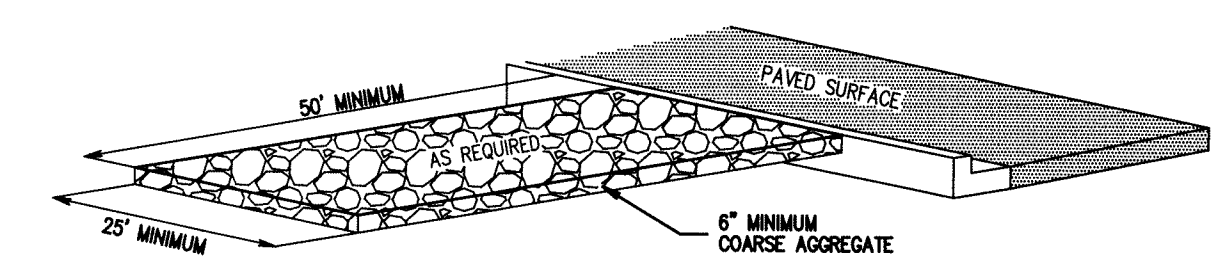
NOTES:
1. GEOTEXTILE ANCHORED IN TRENCH A MINIMUM OF 15 CM (6 IN).
2. TRENCH BACKFILLED WITH TAMPED NATURAL SOIL.
3. DEPENDING UPON CONFIGURATION, ATTACH GEOTEXTILE TO STEEL POST WITH THE WIRES OR WOOD POSTS WITH STAPLES.

SILT FENCE CROSS SECTION
N.T.S.



SILT FENCE NOTES:
GEOTEXTILE FABRIC SHALL BE SPLICED TOGETHER WITH A SEWN SEAM ONLY AT A SUPPORT POST, OR TWO SECTIONS OF FENCE MAY BE OVERLAPPED INSTEAD. PAYMENT OF ADDITIONAL MATERIAL FOR OVERLAP WILL NOT BE MADE.

SILT FENCE DETAIL
N.T.S.



CONSTRUCTION ENTRANCE DETAIL
N.T.S.

GENERAL NOTES:

1. AFTER COMPLETION OF CONSTRUCTION THE NEW RUNOFF COEFFICIENT SHALL BE 0.90.
2. THE STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN AND ITS ASSOCIATED REPORT ARE INTENDED TO MINIMIZE POLLUTANT LOADS OCCURRING IN STORM WATER DISCHARGES, FROM THE CONSTRUCTION SITE. THE CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED BEYOND THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND UNTIL 100% OF THE SITE HAS BEEN STABILIZED.
3. IMPLEMENTATION, INSTALLATION, APPLICATION AND MAINTENANCE OF THE STORM WATER POLLUTION PREVENTION CONTROL MEASURES SHALL BE IN COMPLIANCE WITH APPLICABLE STATE OR LOCAL WASTE DISPOSAL, SANITARY SEWER, OR SEPTIC SYSTEM REGULATIONS.
4. ALL REGULATORY PERMITS MUST BE OBTAINED FROM THE CITY OF JONESBORO PRIOR TO THE COMMENCEMENT OF SOIL DISTURBANCE.

PROFESSIONAL CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGED THE SYSTEMS, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

Jeremy Bevil
JEREMY BEVIL, P.E. 13420 PROJECT ENGINEER

EROSION AND SEDIMENT CONTROL NOTES:

1. INSTALL EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION ENTRANCES AT LOCATIONS AS INDICATED ON PLANS PRIOR TO EARTHWORK.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LOCATED AND MAINTAINED SUCH THAT THE LOCATION DOES NOT INTERFERE WITH CONSTRUCTION ACTIVITIES.
3. REFER TO THE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REPORT FOR IMPLEMENTATION, INSTALLATION, MAINTENANCE AND/OR APPLICATION REQUIREMENTS AND SEQUENCES.
4. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES ON SITE AND AT LEAST 20' FROM THE DISTURBED AREAS.
5. DRAINAGE INLET SEDIMENT CONTROL SHALL BE PLACED AND MAINTAINED AT EACH INLET.
6. INSTRUCTION/DIRECTION OF THE INSPECTOR SHALL PREVAIL OVER THE CONSTRUCTION SWPPP PLAN.

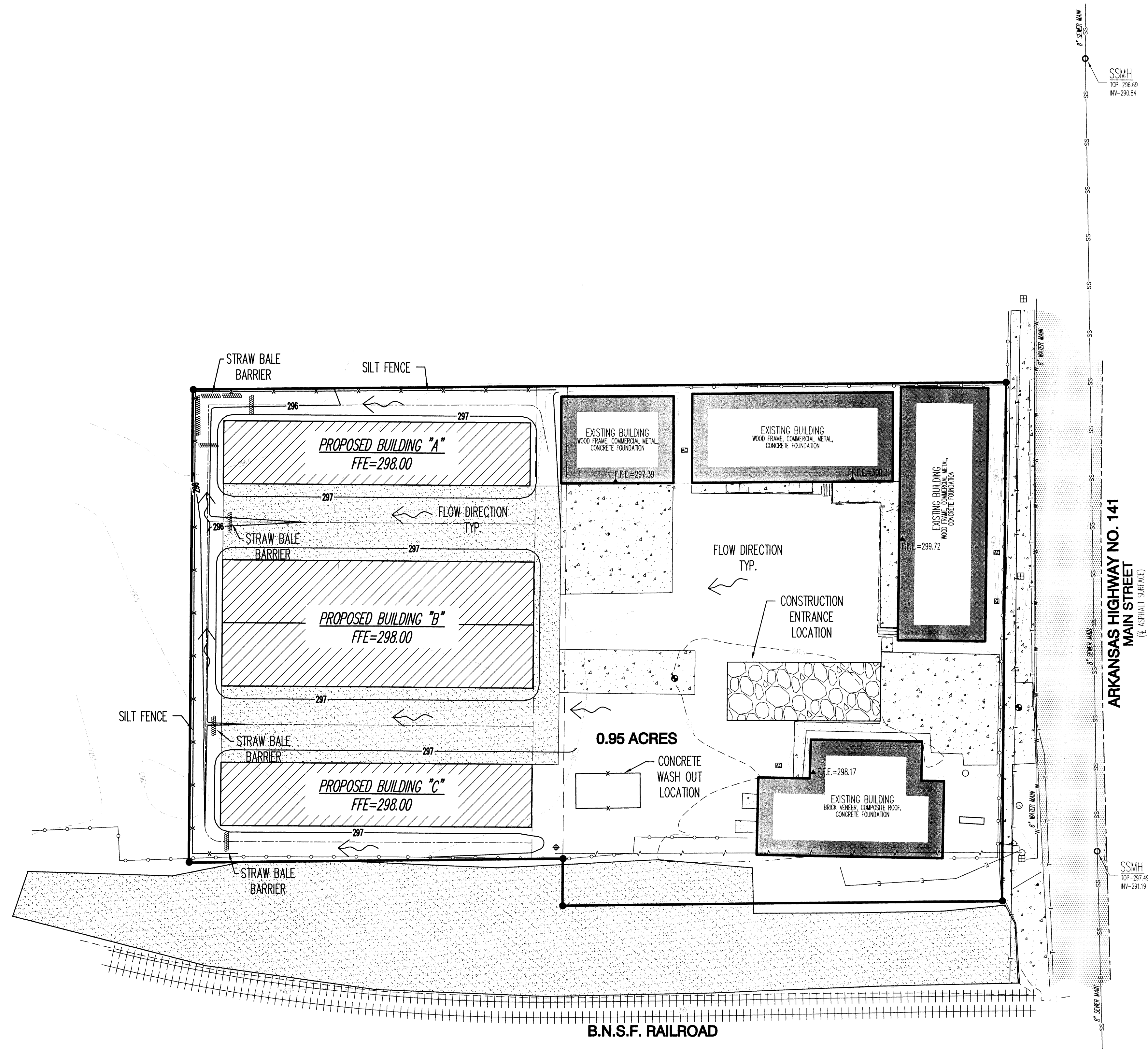
MAINTENANCE AND OPERATION NOTES:

1. AN INSPECTION SHALL BE MADE EVERY 7 DAYS.
2. ALL OBSERVED DEFICIENCIES IN BEST MANAGEMENT PRACTICES (BMP's) WILL BE RECORDED.
3. SEDIMENT SHALL BE REMOVED BEHIND SILT FENCING OR ROCK CHECK DAMS ONCE SEDIMENT REACHES 1/3 THE HEIGHT OF THE SILT FENCE OR CHECK DAM.

OWNER/CONTRACTOR CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

OWNER/CONTRACTOR DATE



EROSION CONTROL PLAN

LEGEND:

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STAMPED "J. BEARD P.S. 1691" (OR AS NOTED)
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- - WATER LINE
- - SANITARY SEWER LINE
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UTILITY PROVIDERS:

WATER, SEWER & ELECTRIC:
CITY WATER & LIGHT
723 SOUTH CHURCH STREET
JONESBORO AR, 72401
(800)-935-5581

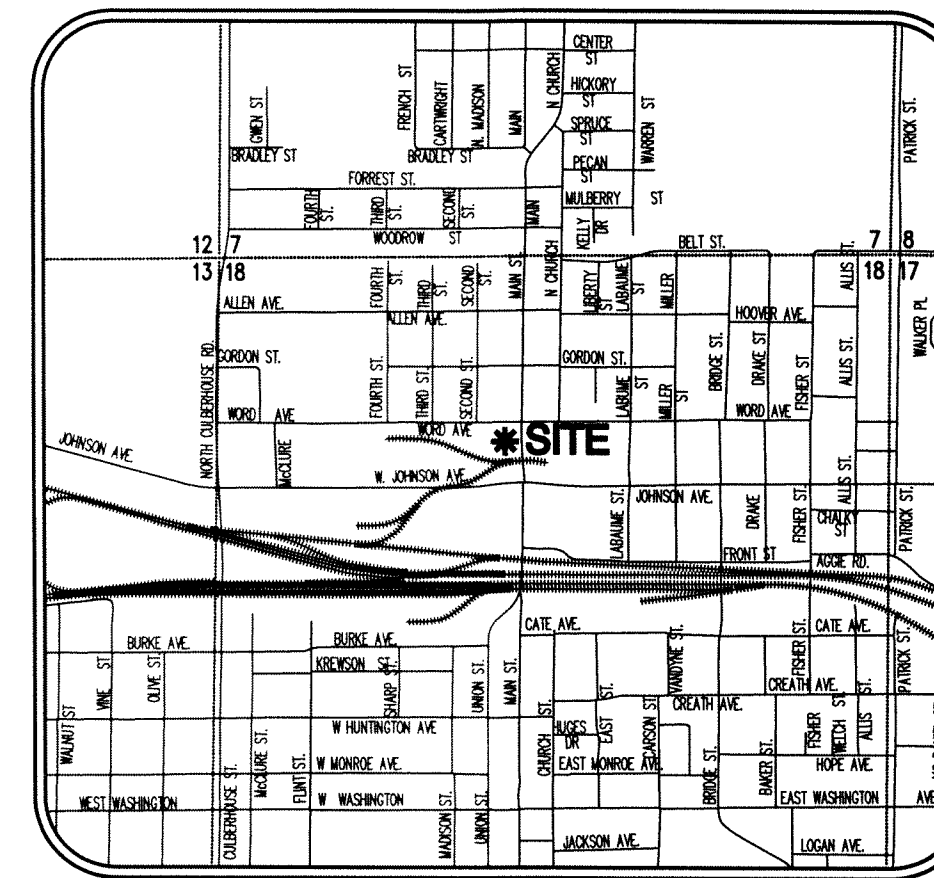
NATURAL GAS:
CENTERPOINT ENERGY
3013 OLD FEED HOUSE ROAD
JONESBORO AR, 72404
(870)-932-2871

TELECOMMUNICATIONS:

A1&T
723 SOUTH CHURCH STREET
JONESBORO AR, 72401
(800)-499-7928

RITTER COMMUNICATIONS
2400 RITTER DRIVE
JONESBORO AR, 72401

SUDENLINK COMMUNICATIONS
1520 SOUTH CARAWAY ROAD
JONESBORO AR, 72401



VICINITY MAP
(NOT TO SCALE)

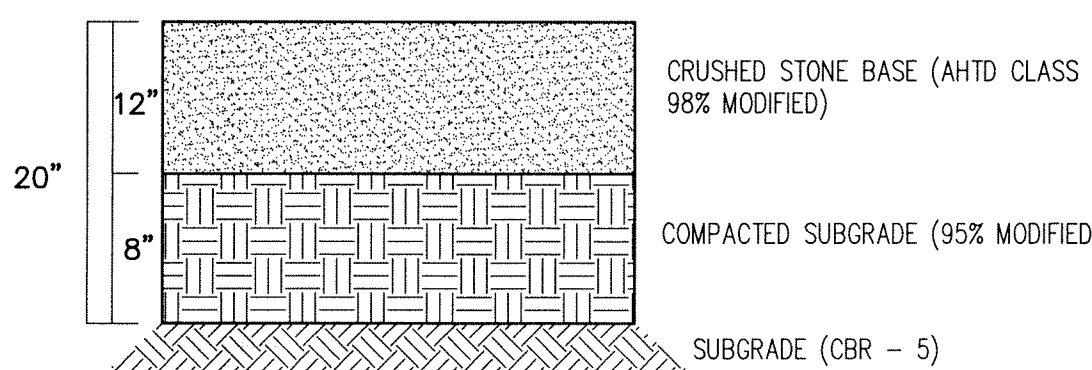
BASIS OF BEARING: ARKANSAS STATE PLANE GRID NORTH ZONE (0301)

GENERAL NOTES:

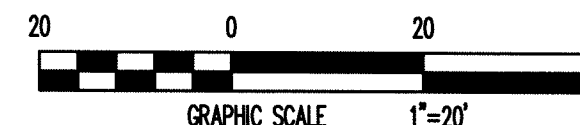
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A. N=553148.85, E=1696059.34
B. N=553139.97, E=1696170.13
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- THE FOLLOWING DOCUMENTS WERE USED IN THE CONSTRUCTION OF THIS SURVEY:
• RECORD PLAT, NORTHWEST ADDITION, FILED IN BOOK 20, PAGE 390, DATED NOVEMBER 23, 1901.
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INTERIOR SIDE SETBACK - 10'
REAR SETBACK - 20'
MAXIMUM LOT COVERAGE - 60%
MAXIMUM HEIGHT LIMITATION - 45'
MAXIMUM FLOOR AREA - NOT STANDARD
- FIELD NOTES ARE RECORDED IN HKB FIELD BOOK 1141, PAGES 45-47.
- FIELD WORK WAS COMPLETED ON JUNE 5, 2013.

ENGINEERING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ADEQUATE EROSION/SEDIMENTATION CONTROL DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING MUD AND DEBRIS OFF CITY STREETS AND OFF OF PAVED DRIVEWAYS WHERE APPLICABLE. CLEAN UP IS REQUIRED DAILY.
- CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF SIDEWALK, CURB AND GUTTER AND/OR ASPHALT/CONCRETE DAMAGED DURING CONSTRUCTION.
- DEVIATION FROM ENGINEERING DESIGN PLANS IS NOT PERMITTED. ANY CHANGE IN THE CONSTRUCTION DOCUMENTS THAT ARE NOT APPROVED BY THE ENGINEER WILL RESULT IN CONSTRUCTION TERMINATION UNTIL A RESOLUTION IS MET. MODIFICATION NEEDED TO UPDATE DESIGN PLANS WILL RESULT IN DESIGN EXPENSES FOR THE CONTRACTOR.
- CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER/DEVELOPER OF ANY INFORMATION FOUND IN THE FIELD THAT IS DIFFERENT FROM WHAT IS SHOWN ON THESE DESIGN PLANS.
- ALL DISTURBED AREAS ARE TO BE SEED/STRAW UPON COMPLETION OF EARTHWORK (SEE SPECIFICATION).
- CONTRACTOR IS RESPONSIBLE FOR ALL CITY, STATE, OR FEDERAL PERMIT FEES ASSOCIATED WITH CONSTRUCTION.



LIMESTONE SECTION DETAIL
N.T.S.



CIVIL SITE PLAN

HKB

Haywood, Kenward, Bare
AND ASSOCIATES, INC.
Civil Engineering, Surveying & Planning Services

1801 Latourette Drive, Jonesboro, AR, 72404
P: 870.932.2019 F: 870.932.1076

CIVIL SITE PLAN

STORAGE BUILDINGS
213 NORTH MAIN STREET
JONESBORO, CRAIGHEAD COUNTY, ARKANSAS



JEREMY A. BEVELL - CIVIL ENGINEER
ARKANSAS - # 13420



Haywood, Kenward, Bare,
and Associates, Inc.
ARKANSAS - 234

CLIENT:
DOUBLE BROWN PROPERTY
COPYRIGHT 2013, ALL RIGHTS RESERVED

REVISIONS		
DATE	BY	DESCRIPTION
PROJECT NO. D025-0001		
DRAWN BY JAB	CHECKED BY TGB	SCALE 1"=20'
SHEET 4 OF 5	DRAWING NO. 20-65	DATE 9/6/13

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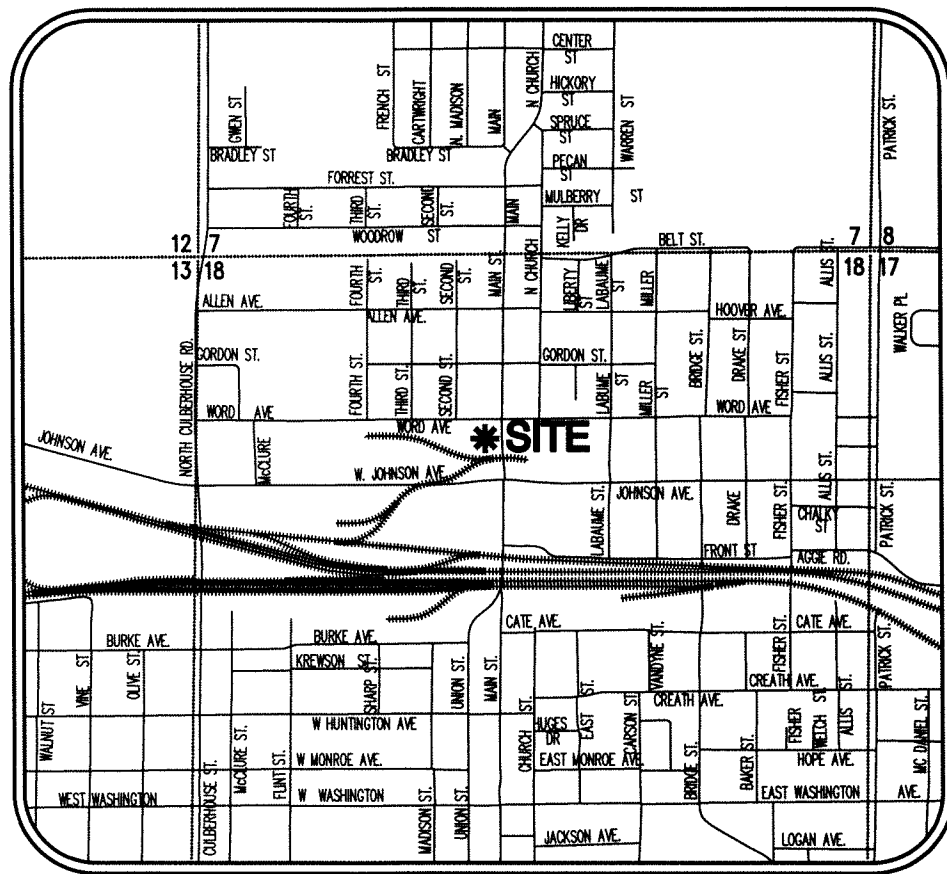
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TELECOMMUNICATIONS:

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2400 RITTER DRIVE
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1520 SOUTH CARAWAY ROAD
JONESBORO AR, 72401



VICINITY MAP
(NOT TO SCALE)

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- THE SUBJECT PROPERTY LIES WITHIN THE SPECIAL FLOOD HAZARD ZONE "AE" AND SPECIAL FLOOD HAZARD ZONE "X" SHADED, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAPS: PANEL NO. 05031C0043C, EFFECTIVE DATE SEPTEMBER 27, 1991.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED BY FIELD MEASUREMENTS AND EXISTING UTILITY MAPS. HAYWOOD, KENWARD, BARE & ASSOCIATES INC. MAKE NO WARRANTY TO THE EXACT LOCATION OF THE UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION. CALL 811 BEFORE YOU DIG!
- ARKANSAS ONE-CALL TICKET NUMBER: 130605-1028.
- SUBJECT PROPERTY IS ZONED I-1, LIMITED INDUSTRIAL DISTRICT.
- BUILDING RESTRICTIONS FOR I-1 ZONING:
 - STREET SETBACK - 25'
 - INTERIOR SIDE SETBACK - 10'
 - REAR SETBACK - 20'
 - MAXIMUM LOT COVERAGE - 60%
 - MAXIMUM HEIGHT LIMITATION - 45'
 - MAXIMUM FLOOR AREA - NOT STANDARD
- FIELD NOTES ARE RECORDED IN HKB FIELD BOOK 1141, PAGES 45-47.
- FIELD WORK WAS COMPLETED ON JUNE 5, 2013.

ENGINEERING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ADEQUATE EROSION/SEDIMENTATION CONTROL DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING MUD AND DEBRIS OFF CITY STREETS AND OFF OF PAVED DRIVEWAYS WHERE APPLICABLE. CLEAN UP IS REQUIRED DAILY.
- CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF SIDEWALK, CURB AND GUTTER AND/OR ASPHALT/CONCRETE DAMAGED DURING CONSTRUCTION.
- DEVIATION FROM ENGINEERING DESIGN PLANS IS NOT PERMITTED. ANY CHANGE IN THE CONSTRUCTION DOCUMENTS THAT ARE NOT APPROVED BY THE ENGINEER WILL RESULT IN CONSTRUCTION TERMINATION UNTIL A RESOLUTION IS MET. MODIFICATION NEEDED TO UPDATE DESIGN PLANS WILL RESULT IN DESIGN EXPENSES FOR THE CONTRACTOR.
- CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER/DEVELOPER OF ANY INFORMATION FOUND IN THE FIELD THAT IS DIFFERENT FROM WHAT IS SHOWN ON THESE DESIGN PLANS.
- ALL DISTURBED AREAS ARE TO BE SEED/STRAW UPON COMPLETION OF EARTHWORK (SEE SPECIFICATION).
- CONTRACTOR IS RESPONSIBLE FOR ALL CITY, STATE, OR FEDERAL PERMIT FEES ASSOCIATED WITH CONSTRUCTION.

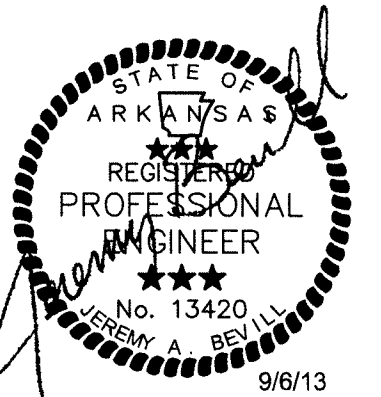
HKB

Haywood, Kenward, Bare
AND ASSOCIATES, INC.
Civil Engineering, Surveying & Planning Services

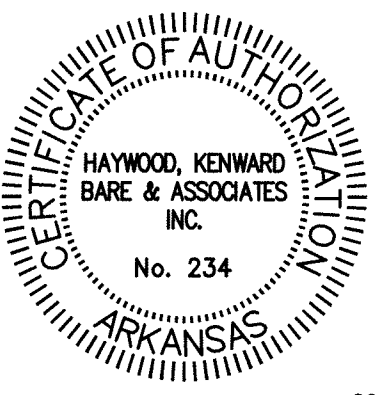
1801 Latourrette Drive, Jonesboro, AR, 72404
P: 870.932.2019 F: 870.932.1076

GRADING & DRAINAGE PLAN

STORAGE BUILDINGS
21.3 NORTH MAIN STREET
JONESBORO, CRAIGHEAD COUNTY, ARKANSAS



JEREMY A. BEVILL - CIVIL ENGINEER
ARKANSAS - # 13420



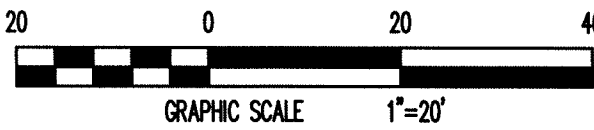
Haywood, Kenward, Bare,
and Associates, Inc.
ARKANSAS - # 234

CLIENT:
DOUBLE BROWN PROPERTY
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REVISIONS		
DATE	BY	DESCRIPTION
PROJECT NO. D025-0001		
DRAWN BY JAB	CHECKED BY TGB	
SHEET 5 OF 5	SCALE 1"=20'	
DATE 9/6/13	DRAWING NO. 20-65	



Know what's below.
Call before you dig.



GRADING & DRAINAGE PLAN