



# City of Jonesboro

Municipal Center  
300 S. Church Street  
Jonesboro, AR 72401

## Council Agenda City Council

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Tuesday, December 15, 2020

5:30 PM

Municipal Center, 300 S. Church

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### **PUBLIC SAFETY COMMITTEE MEETING AT 5:00 P.M.**

*Council Chambers, Municipal Center*

#### **1. CALL TO ORDER BY MAYOR PERRIN AT 5:30 P.M.**

#### **2. PLEDGE OF ALLEGIANCE AND INVOCATION**

#### **3. ROLL CALL BY CITY CLERK DONNA JACKSON**

#### **4. SPECIAL PRESENTATIONS**

**COM-20:076** RECOGNITION BY MAYOR PRO-TEM CHRIS MOORE TO HONOR MAYOR HAROLD PERRIN, CITY COUNCIL MEMBER GENE VANCE AND CITY CLERK DONNA JACKSON FOR THEIR SERVICE TO THE CITY OF JONESBORO

**Sponsors:** City Council

**COM-20:077** PRESENTATION BY MAYOR HAROLD PERRIN

**Sponsors:** Mayor's Office

#### **5. CONSENT AGENDA**

*All items listed below will be voted on in one motion unless a council member requests a separate action on one or more items.*

**MIN-20:114** MINUTES FOR THE CITY COUNCIL MEETING ON DECEMBER 1, 2020

**Attachments:** [CC Minutes 12012020](#)

**RES-20:231** A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS TO CONTINUE A JOINT FUNDING AGREEMENT WITH THE U.S. GEOLOGICAL SURVEY, UNITED STATES DEPARTMENT OF THE INTERIOR FOR THE OPERATION AND MAINTENANCE OF TWO STREAMGAGES IN JONESBORO

**Sponsors:** Engineering and Mayor's Office

**Attachments:** [USGA Agreement 2021](#)

**Legislative History**

12/1/20

Public Works Council  
Committee

Recommended to Council

**RES-20:232** RESOLUTION AUTHORIZING THE CITY OF JONESBORO TO ENTER INTO AGREEMENT WITH SAFE HAVEN BABY BOXES, INC. FOR THE PLACEMENT OF A NEWBORN SAFETY DEVICE ON A CITY FACILITY

**Sponsors:** Fire Department and Mayor's Office

**Attachments:** [Agreement, Safe Haven Baby Boxes](#)

**Legislative History**

12/1/20	Public Works Council Committee	Recommended to Council
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**RES-20:233** A RESOLUTION REQUESTING FREE UTILITY SERVICES FROM CITY WATER AND LIGHT FOR A TRAFFIC SIGNAL AT 2301 E. HIGHLAND DRIVE

**Sponsors:** Engineering and Mayor's Office

**Legislative History**

12/1/20	Public Works Council Committee	Recommended to Council
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**RES-20:234** A RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS ACCEPTING A DONATION OF LAND AND AUTHORIZING THE MAYOR TO ENTER INTO AN AGREEMENT WITH FARMER ENTERPRISES, INC.

**Sponsors:** Mayor's Office

**Attachments:** [Farmer Enterprises Donation - Parker Road 2.08 acres](#)

**Legislative History**

12/1/20	Public Works Council Committee	Recommended to Council
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**RES-20:235** A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS TO ENTER INTO A CHANGE ORDER NO. 4 WITH RAMSONS, INC.FOR THE JONESBORO SHOOTING SPORTS COMPLEX PHASE 1C (2020:07)

**Sponsors:** Mayor's Office and Engineering

**Attachments:** [Change Order #4, Shooting Sports Complex](#)

[ArchDWGs](#)

[Lack email 12012020](#)

**Legislative History**

12/1/20	Public Works Council Committee	Recommended to Council
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**RES-20:236** A RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS TO ACCEPT THE DONATION OF PROPERTY LOCATED AT LOT 7 OF SYLVAN HILLS ESTATES 2ND ADDITION FROM THE FRIERSON CORPORATION

**Sponsors:** Mayor's Office

**Attachments:** [Frierson Land Donation Map](#)

[Frierson Land Donation Documents](#)

**Legislative History**

12/1/20                      Public Works Council                      Recommended to Council  
Committee

**RES-20:238**      A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS TO CONTRACT WITH JONESBORO OVERHEAD DOOR FOR SPONSORSHIP OF ONE ATHLETIC FIELD AT THE JOE MACK CAMPBELL SPORTS COMPLEX

**Sponsors:**              Parks & Recreation and Mayor's Office

**Attachments:**        [Jonesboro Overhead Door -JMCP 2020 - Soccer Field 13](#)

**Legislative History**

12/8/20                      Finance & Administration                      Recommended to Council  
Council Committee

**RES-20:239**      A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO AGREEMENT WITH SCRUB TRENDS AS A COVID-19 SMALL BUSINESS EMERGENCY GRANT SUBRECIPIENT OF THE 2020 COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM (CDBG).

**Sponsors:**              Grants and Mayor's Office

**Attachments:**        [Agreement Scrub Trends](#)

**Legislative History**

12/8/20                      Finance & Administration                      Recommended to Council  
Council Committee

**RES-20:240**      RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS TO MAKE APPOINTMENTS AND REAPPOINTMENTS TO BOARDS AND COMMISSIONS AS RECOMMENDED BY MAYOR HAROLD PERRIN

**Sponsors:**              Mayor's Office

**Legislative History**

12/8/20                      Nominating and Rules                      Recommended to Council  
Committee

## **6. NEW BUSINESS**

**RES-20:237**      A RESOLUTION AUTHORIZING THE ENTRY INTO AN AGREEMENT TO ISSUE BONDS FOR THE PURPOSE OF ASSISTING IN THE FINANCING OF INDUSTRIAL FACILITIES WITHIN THE CITY OF JONESBORO, ARKANSAS, TO BE LEASED TO NICE-PAK PRODUCTS, INC. OR ITS AFFILIATE, PURSUANT TO THE AUTHORITY OF THE LAWS OF THE STATE OF ARKANSAS, INCLUDING PARTICULARLY AMENDMENT 65 TO THE ARKANSAS CONSTITUTION AND THE MUNICIPALITIES AND COUNTIES INDUSTRIAL DEVELOPMENT REVENUE BOND LAW.

**Sponsors:**              Finance and Mayor's Office

**Attachments:**        [Agreement to Issue Bonds \(Nice-Pak\)](#)

**Legislative History**

12/8/20                      Finance & Administration                      Recommended to Council  
Council Committee

## **7. UNFINISHED BUSINESS**

*ORDINANCES ON SECOND READING*

**ORD-20:053** AN ORDINANCE TO VACATE AND ABANDON A 15' UTILITY EASEMENT ACROSS PARCEL Number: 01-144154-00910 OWNED BY JONESBORO 2015, LLC; BEING LOCATED WEST OF THE PROSPECT FARMS SUBDIVISION AND EAST OF WOLF MEADOWS SUBDIVISION IN JONESBORO, ARKANSAS AS REQUESTED ON BEHALF OF JONESBORO 2015, LLC

**Attachments:** [Notice](#)  
[Abandonment concurrence Marshall - Wolf Meadow - Prospect Farms](#)  
[Petition Executed\[29203\]](#)  
[Jonesboro 2015 parcel](#)  
[Utility Letters](#)

**Legislative History**

12/1/20	City Council	Held at one reading
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*ORDINANCES ON THIRD READING*

**ORD-20:043** AN ORDINANCE TO THE CITY OF JONESBORO TO PLACE VARIOUS TRAFFIC SIGNS AT DESIGNATED LOCATIONS AS DETERMINED BY THE TRAFFIC CONTROL COMMITTEE

**Sponsors:** Engineering and Streets

**Legislative History**

10/20/20	Public Safety Council Committee	Recommended to Council
11/5/20	City Council	Held at one reading
11/17/20	City Council	Postponed Temporarily
12/1/20	City Council	Held at second reading

**8. MAYOR'S REPORTS**

**COM-20:078** NOVEMBER 2020 FINANCIAL REPORTS

**Sponsors:** Finance

**Attachments:** [Financial Overview November 2020](#)  
[Observations Regarding November 2020 Financial Statements](#)  
[Statement of Changes in FB, Required Reserve and STIP Balance November 2](#)  
[Deposit Collateralization Report November 2020](#)  
[Revenue Report November 2020](#)  
[Expenditure Report November 2020](#)  
[Sales Tax Report \(Combined\) November 2020](#)  
[State Turnback Report \(Combined\) November 2020](#)

**9. CITY COUNCIL REPORTS**



**10. PUBLIC COMMENTS**

*Public Comments are limited to 5 minutes per person for a total of 15 minutes.*

**11. ADJOURNMENT**



# City of Jonesboro

300 S. Church Street  
Jonesboro, AR 72401

## Legislation Details (With Text)

<b>File #:</b>	COM-20:076	<b>Version:</b>	1	<b>Name:</b>	RECOGNITION BY MAYOR PRO-TEM CHRIS MOORE TO HONOR MAYOR HAROLD PERRIN, CITY COUNCIL MEMBER GENE VANCE AND CITY CLERK DONNA JACKSON FOR THEIR SERVICE TO THE CITY OF JONESBORO
<b>Type:</b>	Other Communications	<b>Status:</b>			To Be Introduced
<b>File created:</b>	12/9/2020	<b>In control:</b>			City Council
<b>On agenda:</b>		<b>Final action:</b>			
<b>Title:</b>	RECOGNITION BY MAYOR PRO-TEM CHRIS MOORE TO HONOR MAYOR HAROLD PERRIN, CITY COUNCIL MEMBER GENE VANCE AND CITY CLERK DONNA JACKSON FOR THEIR SERVICE TO THE CITY OF JONESBORO				
<b>Sponsors:</b>	City Council				
<b>Indexes:</b>	Presentations				
<b>Code sections:</b>					
<b>Attachments:</b>					

Date	Ver.	Action By	Action	Result
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RECOGNITION BY MAYOR PRO-TEM CHRIS MOORE TO HONOR MAYOR HAROLD PERRIN, CITY COUNCIL MEMBER GENE VANCE AND CITY CLERK DONNA JACKSON FOR THEIR SERVICE TO THE CITY OF JONESBORO



# City of Jonesboro

300 S. Church Street  
Jonesboro, AR 72401

## Legislation Details (With Text)

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**File #:** COM-20:077    **Version:** 1    **Name:** PRESENTATION BY MAYOR HAROLD PERRIN  
**Type:** Other Communications    **Status:** To Be Introduced  
**File created:** 12/9/2020    **In control:** City Council  
**On agenda:**    **Final action:**  
**Title:** PRESENTATION BY MAYOR HAROLD PERRIN  
**Sponsors:** Mayor's Office  
**Indexes:** Presentations  
**Code sections:**  
**Attachments:**

Date	Ver.	Action By	Action	Result
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PRESENTATION BY MAYOR HAROLD PERRIN



# City of Jonesboro

300 S. Church Street  
Jonesboro, AR 72401

## Legislation Details (With Text)

<b>File #:</b>	MIN-20:114	<b>Version:</b>	1	<b>Name:</b>	MINUTES FOR THE CITY COUNCIL MEETING ON DECEMBER 1, 2020
<b>Type:</b>	Minutes	<b>Status:</b>		<b>Status:</b>	To Be Introduced
<b>File created:</b>	12/3/2020	<b>In control:</b>		<b>In control:</b>	City Council
<b>On agenda:</b>		<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	MINUTES FOR THE CITY COUNCIL MEETING ON DECEMBER 1, 2020				
<b>Sponsors:</b>					
<b>Indexes:</b>					
<b>Code sections:</b>					
<b>Attachments:</b>	<a href="#">CC Minutes 12012020</a>				

Date	Ver.	Action By	Action	Result
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MINUTES FOR THE CITY COUNCIL MEETING ON DECEMBER 1, 2020



# City of Jonesboro

Municipal Center  
300 S. Church Street  
Jonesboro, AR 72401

## Meeting Minutes City Council

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Tuesday, December 1, 2020

5:30 PM

Municipal Center, 300 S. Church

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### FINANCE & ADMINISTRATION COMMITTEE MEETING AT 4:30 P.M.

### PUBLIC WORKS COMMITTEE MEETING AT 5:00 P.M.

### PUBLIC HEARING AT 5:20 P.M.

*President Pro-Tempore Chris Moore asked if anyone in the audience wished to speak for or against the public hearing regarding the abandonment of a 15' utility easement across Parcel Number: 01-144154-00910 owned by Jonesboro 2015, LLC; being located west of the Prospect Farms subdivision and east of Wolf Meadows Subdivision in Jonesboro, Arkansas as requested by Jason Marshall. No one spoke in opposition.*

### PUBLIC HEARING AT 5:25 P.M.

*President Pro-Tempore Chris Moore asked if anyone in the audience wished to speak for or against the public hearing regarding the entry into an agreement to issue bonds for the purpose of assisting in the financing of industrial facilities within the City of Jonesboro, Arkansas, to be leased to Colson Group Holdings, LLC or its affiliate, pursuant to the authority of the laws of the state of Arkansas, including particularly Amendment 65 to the Arkansas Constitution and the Municipalities and Counties Industrial Development Revenue Bond Law. No one spoke in opposition.*

### 1. CALL TO ORDER BY MAYOR PERRIN AT 5:30 P.M.

### 2. PLEDGE OF ALLEGIANCE AND INVOCATION

### 3. ROLL CALL BY CITY CLERK DONNA JACKSON

*Mayor Harold Perrin was not in attendance. President Pro-Tempore Chris Moore presided over the meeting.*

**Present** 12 - Ann Williams; Charles Frierson; Chris Moore; John Street; Mitch Johnson; Gene Vance; Chris Gibson; Charles Coleman; Bobby Long; Joe Hafner; David McClain and LJ Bryant

### 4. SPECIAL PRESENTATIONS

[COM-20:074](#)

Presentation by Kim Chase, the HUB

*Kimberly Chase, 204 E. Nettleton, said, I am the Director of the HUB Homeless*

Resource Center and I have been there since around the 1st of July. Tonight, I wanted to talk about what the HUB Program does and the issue of a Homeless Shelter in Jonesboro. In 2017, Mayor Perrin created the Taskforce to End Homelessness and the HUB was founded. It is the point of entry for homeless individuals into the larger network of services offered throughout the city. That is just a fancy way to say that the HUB is a 90-day resources program to help individuals move from homelessness into stable living. I will explain the HUB program, both pre-Covid and current-Covid.

Pre-Covid, the HUB could assist homeless or near homeless individuals. The HUB focus is on the individual who is ready to make changes in their lives. The HUB is dedicated to helping individuals in a way to ensure that they do not turn to the streets. The HUB is organized and operated by trained volunteers and relies on private donations and grants. As I said, the HUB is a resource center. We have no shelter, nor is it a food bank or a clothing closet. However, in a part of assisting guests in all aspects of stable living, once an individual is in the HUB program, we can provide interview attire and clothing in limited amounts. Initially, individuals are offered backpacks so they may carry important documents such as identification and resumes. Additionally, in the backpacks are hygiene items, blankets, and appropriate seasonal items such as bug repellent or chapstick and lotion. Guests are expected to make consistent progress. The HUB works closely with Goodwill and Goodwill, at that time, offered classes on resume writing, interview skills, and budgeting. It has been my experience that for whatever reason, most of our guests have not been taught important life skills and it is my belief that if they were, it would become much easier to maintain stable living. At that time, the HUB was open 9-3 on Tuesdays and Thursdays and guests were invited to come and have coffee and snacks, check-in with intake specialists and contact other homeless individuals. Additionally, they were invited to watch tv for a short period of time. The HUB offered referrals for emergency shelters, veteran services, job assistance, and mental health and substance abuse. The HUB assisted individuals with SNAP applications, Medicaid and Medicare applications, birth certificates and Arkansas ID's. On-site services included bus passes for specific HUB related tasks such as job interviews, mail services so that guests could have a temporary address, access to computer services, life-skill classes and free monthly haircuts. Each week, many guests were seen and as many as five intake specialists were operating the HUB program. Of course, that was all pre-Covid.

Now, I am going to explain the HUB program current-Covid. In March or April, much of Jonesboro and the state began either shutting down or sharply limiting their businesses. Around that time, the HUB also limited volunteer hours and the way services were provided. As you can imagine as most volunteers tend to be of retirement age, this puts them into a Covid high-risk category. So all or nearly all of the volunteers stopped. The question began how do we still offer important and necessary services while maintaining CDC Covid Guidelines. Our previous director contacted a local church to discuss a hot lunch program. There was a two-fold win, one for the HUB guests, they would be provided hot lunches and two, local restaurants could benefit from safe business. That church and an individual made a substantial donation and the Feed Local Program began. Each and every Tuesday and Thursday, from 11-1 sans Thanksgiving last Thursday has been the only day that we have not provided lunches. Lunches have been provided by Sue's Kitchen and Gina's Place. I absolutely cannot tell you how important the service has become. At times during the shutdown, this was the only place offering any kind of hot meals. The HUB has been so very blessed in this program. Not only did we receive the initial donation, but throughout the program, we have received both big and small donations. One church held a yard sale on our behalf and raised \$1,500. We applied that toward our Feed Local Program. We

have received two grants. The first grant was from the Arkansas Community Foundation which had a perishable food category that we could use for Feed Local. Recently, we received a \$6,000 grant from the Arkansas Community Foundation Giving Tree. From July to November, we have given out almost 1,000 lunches which doesn't sound like a lot, but when you are doing it twice a week for two hours per day, that is a lot. In addition to the lunches, every week we have been giving out hygiene items, bug repellent, sunscreen, rescue blankets, hats and gloves, coats, and bottled water. All of these items have been donated. Until recently, we were still offering in person assistance and appointments. However, with the rise in Covid cases, once again, we had to modify how we provide our services. We now conduct telephone appointments only and guests are encouraged to contact the HUB during lunch hours. A Goodwill representative is still on-site to make sure to make contacts about job leads. The guests are encouraged to go to Goodwill for employment assistance. The HUB still maintains mail services for guests.

Now, I would like to address the lack of a shelter in Jonesboro. On the agenda tonight was the issue of a property trade for the Allen Street property, but this has been removed. Every council meeting since September, I have spoken about many issues facing homeless individuals and a homeless shelter. While having a shelter is not going to be the be all, end all for our homeless, it could certainly be the first step in a changing life. If you hear nothing else I say tonight, I would like you to hear this. Craighead County is the 7th largest county in the state, but yet there are only 3 counties in the state that have less shelter bed space than Jonesboro. Those counties are: Independence, Boone, Johnson, Cleburne, Conway and Saline. Five of those counties have a population of less than 40,000. Craighead County's population is 110,332. There are only 20 shelter beds in Jonesboro at the Salvation Army. Twenty beds for up to 1,800 homeless individuals. Twenty beds for 1,800 people. It is now more vital than ever before mostly due to Covid that we have a shelter. Every resource that was available pre-Covid is now at best severely limited. At worst, it is completely closed. The Care Center which is a wonderful resource has been completely shut since March. Prior to March, they provided meals and maintained a clothing closet. Until the last few months, every clothing closet has been closed and places that the homeless could get out of the weather have been closed. During the summer, there were no cooling centers and to my knowledge, there are no warming centers for the winter months. It is my dream and I am sure the dream of the taskforce to have a shelter that is more than just bed space. Our homeless already have that. Albeit that it is outside. If we provide nothing more than a bed, what are we really accomplishing? What are we really changing? I think a homeless shelter should give people the skills so that when they are transitioned into a house, it becomes a home and they never return to the street. How do we reach this goal? In my opinion, we address any co-occurring conditions such as mental illness and substance abuse. We teach money management. We encourage them to set both short-term and long-term goals. We encourage them to improve their education level and we help them learn to be better parents. Simply, we teach them to strive to be the best them that they can be. These are life skills that we may take for granted or they may even come easily for us. I am very confident that this is an attainable goal. But, we must have a place for a shelter first. I cannot help but think that if Jonesboro had had a shelter, some of our Covid challenges would not have been an issue. If not now, then when? And, then if not us, then who? So, thank you for your consideration and I appreciate your time and letting me do this presentation tonight. Thank you.

Councilmember Chris Gibson said, I want to thank you for what you are doing and I want to say if there is anything that I can do from a healthcare prospective to help your clientele, please feel free to reach out to me at any point. Ms. Chase said, awesome,

*thank you. President Pro-Tempore Chris Moore said, Kim, thank you for taking the time to come to the last four council meetings and talk on a different variety of topics concerning the homeless. Thank you for your time.*

**Read**

## **5. CONSENT AGENDA**

### *Approval of the Consent Agenda*

**A motion was made by Councilperson Chris Gibson, seconded by Councilperson Charles Frierson, to Approve the Consent Agenda. The motioned PASSED**

**Aye:** 12 - Ann Williams; Charles Frierson; Chris Moore; John Street; Mitch Johnson; Gene Vance; Chris Gibson; Charles Coleman; Bobby Long; Joe Hafner; David McClain and LJ Bryant

#### [MIN-20:112](#)

MINUTES FOR THE CITY COUNCIL MEETING ON NOVEMBER 17, 2020

**Attachments:** [CC minutes 11172020](#)

**This item was passed on the consent agenda.**

#### [RES-20:181](#)

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 204 WOODROW, PARCEL 01-144073-23400, JONESBORO, ARKANSAS 72401, OWNED BY NEWEL COOTS

**Attachments:** [204 W. Woodrow](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-198-2020

#### [RES-20:182](#)

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 309 SECOND STREET, PARCEL 01-144182-17700, JONESBORO, ARKANSAS 72401, OWNED BY JOHNNY MEADOWS

**Attachments:** [309 Second](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-199-2020

#### [RES-20:183](#)

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 317 NORTH SECOND STREET, PARCEL 01-144182-17500, JONESBORO, ARKANSAS 72401, OWNED BY MARSHALL MOONEY

**Attachments:** [317 Second](#)

**This item was passed on the consent agenda.**



Enactment No: R-EN-200-2020

[RES-20:184](#)

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 319 N. ROGERS, PARCEL 01-144172-18000, JONESBORO, ARKANSAS 72401, OWNED BY ERIC GRIGGS

**Attachments:**     [319 N. Rogers](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-201-2020

[RES-20:185](#)

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 409 NORTH FISHER, PARCEL 01-144181-10500, JONESBORO, ARKANSAS 72401, OWNED BY JOSHUA GAMBILL.

**Attachments:**     [409 N. Fisher](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-202-2020

[RES-20:186](#)

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON VACANT PROPERTY LOCATED AT 129 N. BRIDGE, PARCEL 01-144181-55600, JONESBORO, ARKANSAS 72401, OWNED BY PATRICIA WILLIAMS

**Attachments:**     [129 N. Bridge](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-203-2020

[RES-20:187](#)

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 200 S. ALLIS, PARCEL 01-144181-40800, JONESBORO, ARKANSAS 72401, OWNED BY MICHAEL DUANE DARLING

**Attachments:**     [200 S. Allis](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-204-2020

[RES-20:188](#)

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1013 W. LAWSON, PARCEL 01-133121-05600, JONESBORO, ARKANSAS 72404, OWNED BY JAY PARNELL

**Attachments:**     [1013 W. Lawson](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-205-2020

[RES-20:189](#) RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1100 E. WASHINGTON, PARCEL 01-144173-13000, JONESBORO, ARKANSAS 72401, OWNED BY DOROTHY HESTER

**Attachments:** [1100 E. Washington](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-206-2020

[RES-20:190](#) RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1313 PARDEW, PARCEL 01-144122-20200, JONESBORO, ARKANSAS 72401, OWNED BY MICHELLE NUTT

**Attachments:** [1313 Pardew](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-207-2020

[RES-20:191](#) RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 700 TAWN, PARCEL 01-144114-08800, JONESBORO, ARKANSAS 72401, OWNED BY T&B PROPERTIES LLC

**Attachments:** [700 Tawn](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-208-2020

[RES-20:192](#) RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON VACANT PROPERTY LOCATED ON BEACON, PARCEL 01-134033-00500, JONESBORO, ARKANSAS 72401, OWNED BY GREGG GRIFFIN

**Attachments:** [Beacon St](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-209-2020

[RES-20:193](#) RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1328 WEST HUNTINGTON, PARCEL 01-144133-18100, JONESBORO, ARKANSAS 72401, OWNED BY DKI LLC C/O RICHARD KNIGHT

**Attachments:** [1328 W. Huntington](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-210-2020

[RES-20:194](#) RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1602 TONYA, PARCEL 01-144082-00200, JONESBORO, ARKANSAS 72401, OWNED BY MARTISULL LLC

**Attachments:** [1602 Tonya](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-211-2020

[RES-20:195](#) RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO PLACE A MUNICIPAL LIEN ON PROPERTY LOCATED AT 1809 IRBY, PARCEL 01-144223-08700, JONESBORO, ARKANSAS 72401, OWNED BY HEIDY ARRIAZA

**Attachments:** [1809 Irby](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-212-2020

[RES-20:225](#) A RESOLUTION TO ACCEPT THE DONATION OF PHILLIP EVANS COMMUNITY PARK FROM THE HABITAT FOR HUMANITY

**Attachments:** [Habitat Park Donation](#)

**This item was passed on the consent agenda.**

Enactment No: R-EN-213-2020

## **6. NEW BUSINESS**

### *ORDINANCES ON FIRST READING*

[ORD-20:053](#) AN ORDINANCE TO VACATE AND ABANDON A 15' UTILITY EASEMENT ACROSS PARCEL Number: 01-144154-00910 OWNED BY JONESBORO 2015, LLC; BEING LOCATED WEST OF THE PROSPECT FARMS SUBDIVISION AND EAST OF WOLF MEADOWS SUBDIVISION IN JONESBORO, ARKANSAS AS REQUESTED ON BEHALF OF JONESBORO 2015, LLC

**Attachments:** [Notice](#)  
[Abandonment concurrence Marshall - Wolf Meadow - Prospect Farms](#)  
[Petition\\_Executed\[29203\]](#)  
[Jonesboro 2015 parcel](#)  
[Utility Letters](#)

*Councilmember John Street motioned, seconded by Councilmember Gene Vance to suspend the rules and offer ORD-20:053 by title only. All voted aye.*

**Held at one reading**

## **7. UNFINISHED BUSINESS**

**ORDINANCES ON SECOND READING**[ORD-20:051](#)

AN ORDINANCE TO WAIVE COMPETITIVE BIDDING AND AUTHORIZE THE MAYOR TO ENTER INTO AN AGREEMENT WITH RITTER COMMUNICATIONS TO PROVIDE FIBER CONNECTIVITY AND CLOUD SERVICES FOR THE CITY OF JONESBORO

**Attachments:**     [Quote, Ritter, Internet Services](#)  
                              [Ritter, Appendix A, Metro Ethernet Service](#)  
                              [Ritter, Appendix B, Dedicated Internet Service](#)  
                              [Ritter, Master Services Agreement](#)

*Councilmember Dr. Charles Coleman motioned, seconded by Councilmember LJ Bryant, to suspend the rules and waive the third reading due to the immediate need for fiber connectivity and cloud services for the City of Jonesboro. All voted aye.*

**A motion was made by Councilperson Chris Gibson, seconded by Councilperson Ann Williams, that this matter be Passed . The motion PASSED with the following vote.**

**Aye:** 12 - Ann Williams;Charles Frierson;Chris Moore;John Street;Mitch Johnson;Gene Vance;Chris Gibson;Charles Coleman;Bobby Long;Joe Hafner;David McClain and LJ Bryant

Enactment No: O-EN-046-2020

**ORDINANCES ON THIRD READING**[ORD-20:047](#)

AN ORDINANCE TO AMEND CHAPTER 117, KNOWN AS THE ZONING ORDINANCE PROVIDING FOR CHANGES IN ZONING BOUNDARIES FROM R-1, RESIDENTIAL TO RM-8, RESIDENTIAL LUO FOR PROPERTY LOCATED AT 2512 AND 2514 CURTVIEW STREET AS REQUESTED BY GEORGE HAMMAN ON BEHALF OF KENNY AND SHELIA THROGMARTIN

**Attachments:**     [rezoning plat](#)  
                              [Application](#)  
                              [Pictures of Area](#)  
                              [Proposed Plan](#)  
                              [rezoning plat](#)  
                              [Signed Property Owners](#)  
                              [USPS Receipts](#)  
                              [Staff Summary - CURTVIEW - COUNCIL](#)

**A motion was made by Councilperson Chris Gibson, seconded by Councilperson Gene Vance, that this matter be Passed . The motion PASSED with the following vote.**

**Aye:** 12 - Ann Williams;Charles Frierson;Chris Moore;John Street;Mitch Johnson;Gene Vance;Chris Gibson;Charles Coleman;Bobby Long;Joe Hafner;David McClain and LJ Bryant

Enactment No: O-EN-047-2020

[ORD-20:048](#)

AN ORDINANCE TO AMEND CHAPTER 117, ARTICLE III, KNOWN AS THE ZONING

ORDINANCE OF THE CITY OF JONESBORO, ARKANSAS, PROVIDING FOR CHANGES IN ZONING BOUNDARIES FROM R-1 SINGLE FAMILY RESIDENTIAL DISTRICT TO I-1 LIMITED INDUSTRIAL DISTRICT FOR PROPERTY LOCATED AT 3216 MOORE ROAD, JONESBORO, ARKANSAS REQUESTED BY JOHN C. STUCKEY.

**Attachments:**    [Application](#)  
                              [Rezoning Plat](#)  
                              [Layout 1](#)  
                              [Layout 2](#)  
                              [Minutes of Community Meeting](#)  
                              [Pictures of Area](#)  
                              [USPS Receipts](#)  
                              [Staff Summary - COUNCIL - MOORE](#)

*Jim Gramling, attorney for the proponent, said this is property at 3216 Moore Road. This is an industrial area. It is out across from the Armory and Aramark. To the north is R-1 and to the south is R-1 and I-1. The east is vacant and agricultural and the west is I-1. We did have a neighborhood meeting, but no one showed up. The Planning Commission, the staff report recommended passage. The MAPC approved this unanimously. To my knowledge, to date, there have been no objections.*

**A motion was made by Councilperson John Street, seconded by Councilperson Chris Gibson, that this matter be Passed . The motion PASSED with the following vote.**

**Aye:** 12 - Ann Williams;Charles Frierson;Chris Moore;John Street;Mitch Johnson;Gene Vance;Chris Gibson;Charles Coleman;Bobby Long;Joe Hafner;David McClain and LJ Bryant

Enactment No: O-EN-048-2020

[ORD-20:049](#)

AN ORDINANCE TO AMEND CHAPTER 117, KNOWN AS THE ZONING ORDINANCE PROVIDING FOR CHANGES IN ZONING BOUNDARIES FROM R-2, RESIDENTIAL MULTI-FAMILY TO PD-RM, RESIDENTIAL PLANNED DEVELOPMENT MULTI-FAMILY FOR PROPERTY LOCATED AT SAVANNAH HILLS - WEST OF DENA JO DRIVE AND NORTH OF CRAIGHEAD FOREST ROAD AS REQUESTED BY MICHAEL BOGGS WITH TRALAN ENGINEERING ON BEHALF OF PDW PROPERTIES LLC, SID PICKLE, MEMBER.

**Attachments:**    [Application](#)  
                              [Rezoning Plat](#)  
                              [Adjoining Property Owner Signature](#)  
                              [Layout](#)  
                              [REVISED REZONING PLAT](#)  
                              [Rezoning Questionnaire](#)  
                              [Site Plan](#)  
                              [USPS Receipts](#)  
                              [Brown email 102720](#)  
                              [Blackburn email 10082020](#)  
                              [Staff Summary - SAVANNA HILLS - COUNCIL](#)  
                              [Spencer email 11052020](#)  
                              [Lack email 11102020](#)  
                              [Lack email 11162020](#)  
                              [Roberts email 11162020](#)  
                              [Blackburn email 11302020](#)  
                              [Craig Light email response 11302020](#)  
                              [Lack email 12012020](#)  
                              [Burnett email 12012020](#)

*Councilmember Joe Hafner said, I received an email yesterday from Mr. Ron Blackburn that lives at 798 Brownwood Circle. He asked that I read it at tonight's meeting. Craig responded to the email. I will read Craig's responses too and I also sent this to the City Clerk's office today and if you click on the ordinance number, this will be attached to the agenda. If I may, I would like to read this email from Mr. Blackburn because he requested me to.*

*Hello Joe, I am sending you this email because I do not have the technical skills needed to comfortably deal with the Virtual City Council meeting being held tomorrow evening. I am asking you to read my statement below when comments can be made from the floor regarding ORD-20:049. Please confirm this request via an email reply or you can contact me. Thanks in advance. Ron Blackburn, 798 Brownwood Circle.*

*Alderman Hafner, thank you for having Chief Engineer Craig Light address the City Council on November 17th regarding the "Traffic Impact Study" that was triggered by another Savannah Hills rezoning request. Would you please present this list at the virtual City Council meeting on Tuesday December 1st? It is important that complete transparency of this action remains in the forefront for all citizens of Jonesboro to understand the requirements listed in the "2020 Master Street Plan" adopted last June. I believe this will be the first time that an impact study will be required.*

*Councilmember Joe Hafner said, next, I am going to read some of the questions that Mr. Blackburn presented along with Craig's responses. So, Craig, I know you are on the call, if you just want to add to it, you can.*

*Mr. Blackburn said, with that said, a multitude of questions come forth:*

*Ron Blackburn: Who and how will an outside Traffic Engineer firm be selected?*

*Craig Light: Developer selects and hires his own engineer for the study.*

*Blackburn: When will this study be conducted?*

*Light: Prior to issuance of the building permit.*

*Ron Blackburn: What is the length of time allowed for the study?*

*Light: No set requirement since it is done before the building permit is issued.*

*Blackburn: Will lower traffic counts due to the Covid crisis be taken into consideration?*

*Light: Possibly, but really depends on when the data is collected and whether it is consistent with historical traffic counts in the area.*

*Blackburn: Will unbuilt apartments in this complex be taken into account? 109 from January 2018.*

*Light: Will be included in existing traffic counts*

*Blackburn: 24 from July 2020*

*Light: Will be included in existing traffic counts*

*Blackburn: 42 from the current rezoning request*

*Light: Yes*

*Blackburn: Will future projections of the possibility of an additional 500 apartments be considered?*

*Light: The scope of the study may be limited to the current phase, but will include background growth projection over the planning period which is typically 20 years. The developer will, however, have to update this study with each additional phase as they are proposed, and make any necessary roadway improvements that those phases require too. Depending of the results of the initial analysis, the Developer may decide to include some or all future phases in this study, but that isn't necessarily a requirement and really depends on the Developer and the amount of improvements needed to accommodate the proposed traffic.*

*Blackburn: Who negotiates the cost of the study?*

*Light: The Developer.*

*Blackburn: Does the city gather and contribute information used in the study?*

*Light: We will provide any historical traffic data that we have for this area.*

*Blackburn: Does the city charge the developer for this use of manpower?*

*Light: Not specifically for traffic study review, but we do charge other permit fees for plan review.*

*Blackburn: Who is responsible for payment of the study?*

*Light: The Developer.*

*Blackburn: Will a neighborhood meeting be held for citizen input?*

*Light: It is not a requirement of the study.*

*Blackburn: Who will conduct the necessary street improvements?*

*Light: The Contractor hired by the developer.*

*Blackburn: When will those improvements be completed?*

*Light: Prior to issuance of Certificate of Occupancy of new units.*

*Blackburn: What is the meaning of Mitigation?*

*Light: To lessen the impact.*

*Blackburn: Will there be a legal and binding agreement between the city and*

developer for payment of the street improvements?

*Light:* A performance bond or 100% cash deposit is required if any public improvements isn't complete before the building permit is issued, and a 1-year warranty bond is required upon completion of the public work.

*Blackburn:* Does all of the above action have to take place before a building permit can be issued?

*Light:* No, the developer can provide a performance and payment bond (or cash deposit) and be issued a building permit.

*Blackburn:* Please remember that this study should be for the benefit of all citizens living in and around the affected area who use Harrisburg Road (minor arterial) not just the feeder streets leading from the apartment complex.

*Councilmember Hafner* said, thank you for allowing me to read that and Craig's responses.

*Councilmember Hafner* said, I need to make one more comment. I know it was kind of mentioned at the last meeting that it seems like sometimes the council lost sight of looking out for the citizens. I disagree with that statement. I think some of the things that we have done over the last few years as far as requiring traffic studies, building and design standards, the tree protection, the beautification, I think we have done several different things that help look out for the residents. So, I just wanted to bring that up. *President Pro-Tempore Chris Moore* said, thank you Mr. Hafner.

**A motion was made by Councilperson John Street, seconded by Councilperson Mitch Johnson, that this matter be Passed . The motion PASSED with the following vote.**

**Aye:** 12 - Ann Williams;Charles Frierson;Chris Moore;John Street;Mitch Johnson;Gene Vance;Chris Gibson;Charles Coleman;Bobby Long;Joe Hafner;David McClain and LJ Bryant

Enactment No: O-EN-049-2020

[ORD-20:050](#)

AN ORDINANCE TO WAIVE COMPETITIVE BIDDING AND AUTHORIZE A CONTRACT WITH ARKANSAS BLUE CROSS BLUE SHIELD TO PROVIDE INSURANCE COVERAGE FOR CITY EMPLOYEES FOR 2021.

**Attachments:**      [BCBS Renewal 2021](#)

**A motion was made by Councilperson Mitch Johnson, seconded by Councilperson Gene Vance, that this matter be Passed . The motion PASSED with the following vote.**

**Aye:** 12 - Ann Williams;Charles Frierson;Chris Moore;John Street;Mitch Johnson;Gene Vance;Chris Gibson;Charles Coleman;Bobby Long;Joe Hafner;David McClain and LJ Bryant

Enactment No: O-EN-050-2020

[ORD-20:052](#)

AN ORDINANCE TO WAIVE COMPETITIVE BIDDING AND AUTHORIZE A CONTRACT WITH ARKANSAS DELTA DENTAL TO PROVIDE DENTAL INSURANCE COVERAGE FOR CITY EMPLOYEES FOR 2021

**Attachments:**      [Delta Dental renewal package](#)



**A motion was made by Councilperson Bobby Long, seconded by Councilperson Gene Vance, that this matter be Passed . The motion PASSED with the following vote.**

**Aye:** 12 - Ann Williams;Charles Frierson;Chris Moore;John Street;Mitch Johnson;Gene Vance;Chris Gibson;Charles Coleman;Bobby Long;Joe Hafner;David McClain and LJ Bryant

Enactment No: O-EN-051-2020

*ITEMS THAT HAVE BEEN HELD IN COUNCIL*

[RES-20:139](#)

RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS, TO ENTER INTO A CONTRACT TO PURCHASE PROPERTY LOCATED AT 907 CONGRESS CIRCLE AND SELL CITY PROPERTY AT 215 E. ALLEN AVENUE AND 202 E. GORDON STREET TO TIM THRASHER AND TIM ALLISON IN ORDER TO RELOCATE THE OPERATIONS OF THE BUILDING MAINTENANCE DEPARTMENT

**Attachments:**

[Resolution, Building Maintenance Facility swap](#)  
[Real Estate Contract, 215 E. Allen and 202 E. Gordon](#)  
[Real Estate Contract, 907 Congress](#)  
[Appraisal, 215 Allen Ave and 202 E Gordon St](#)  
[Appraisal 907 Congress Circle](#)  
[907 Congress Cir, Jonesboro, AR 72401 - Industrial for Sale LoopNet.com](#)  
[Mike Downing Email 09012020](#)  
[Dana Moore email 09092020](#)  
[Baldwin email 09142020](#)  
[Patti Lack emails on RES-20-139](#)  
[Mayor Perrin Memo RES-20-139](#)  
[TTJD Ar County Data](#)  
[TTJD Sec of State](#)

*President Pro-Tempore Chris Moore said, as stated earlier, RES-20:139 has asked to be postponed indefinitely.*

**A motion was made by Councilperson Gene Vance, seconded by Councilperson Joe Hafner, that this matter be Postponed Indefinitely . The motion PASSED with the following vote.**

**Aye:** 12 - Ann Williams;Charles Frierson;Chris Moore;John Street;Mitch Johnson;Gene Vance;Chris Gibson;Charles Coleman;Bobby Long;Joe Hafner;David McClain and LJ Bryant

[ORD-20:043](#)

AN ORDINANCE TO THE CITY OF JONESBORO TO PLACE VARIOUS TRAFFIC SIGNS AT DESIGNATED LOCATIONS AS DETERMINED BY THE TRAFFIC CONTROL COMMITTEE

*Councilmember Dr. Charles Coleman said, I did talk to Craig Light about that and I talked to a person in the Dupwe area. I am sure we are still going to vote on it this evening, but I do think they need to look at that area about reducing speed. I just want to make that comment. President Pro-Tempore Chris Moore said, thank you Dr. Coleman. According to the history on my agenda, it was read one time and postponed temporary. Do we need to read it one time tonight since it reappeared on our agenda? Councilmember Dr. Coleman said, I think so. City Attorney Carol Duncan asked, it*

was postponed to this specific date? Deputy City Clerk April Leggett said, it was postponed temporary for one reading. Ms. Duncan said, I would think today it would be considered second reading.

**Held at second reading**

## **8. MAYOR'S REPORTS**

President Pro-Temp Chris Moore said, the Mayor has a few items that he wanted me to mention.

This is a reminder that the Public Services Committee quarterly meeting scheduled for December 15, 2020 has been cancelled since there was a special meeting held on November 17, 2020.

Also, "Christmas in the Park" goes on through January 4, 2021 at Joe Mack Campbell Park. On December 3, 2020 is the Jaycees 73rd Annual Christmas Parade and fireworks will be on December 31, 2020.

The final item he asked me to mention is "Joy Fest" in downtown. Opening night is December 5, 2020, with the tree lighting at 5:30 p.m. Throughout December, we will have a Ferris wheel, carousel, horse and carriage rides, train rides, Christmas Village, and ice skating. Social distancing and masks will be required.

## **9. CITY COUNCIL REPORTS**

Councilmember John Street said, Councilmember Joe Hafner announced at the Finance Committee meeting and it came out to everybody on their emails if you haven't had your financial documents delivered for 2021, you can pick it up downstairs in Collections.

Councilmember LJ Bryant said, I just want to remind folks that I believe that you have until 7:30 p.m. tonight to vote in the runoff for City Clerk.

Councilmember Joe Hafner said, I do have a few things. Due to the Finance meeting from last week having to be rescheduled to tonight, I am asking that we waive the rules and walk on RES-20:226; RES-20:227; RES-20:228; RES-20:229; and RES-20:230 and add them to tonight's agenda. These are COVID-19 Emergency grants for some of our small businesses and I would like to get them walked on. Councilmember Chris Gibson said, second.

Councilmember Joe Hafner motioned, seconded by Councilmember Chris Gibson to suspend the rules and walk on RES-20:226; RES-20:227; RES-20:228; RES-20:229; and RES-20:230. All voted aye.

### **[RES-20:226](#)**

A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO AGREEMENT WITH BODY INDULGENCE SPA, LLC AS A COVID-19 SMALL BUSINESS EMERGENCY GRANT SUBRECIPIENT OF THE 2020 COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM (CDBG).

**Attachments:**     [Grant Agreement Signed - Body Indulgence Spa](#)

**A motion was made by Councilperson John Street, seconded by Councilperson Mitch Johnson, that this matter be Passed . The motion PASSED with the**

**following vote:**

**Aye:** 12 - Ann Williams; Charles Frierson; Chris Moore; John Street; Mitch Johnson; Gene Vance; Chris Gibson; Charles Coleman; Bobby Long; Joe Hafner; David McClain and LJ Bryant

Enactment No: R-EN-214-2020

[RES-20:227](#)

A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO AGREEMENT WITH EGGSELLENT CAFE AS A COVID-19 SMALL BUSINESS EMERGENCY GRANT SUBRECIPIENT OF THE 2020 COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM (CDBG).

**Attachments:**     [Grant Agreement - Eggsellent Cafe - Signed](#)

**A motion was made by Councilperson Mitch Johnson, seconded by Councilperson Ann Williams, that this matter be Passed . The motion PASSED with the following vote:**

**Aye:** 12 - Ann Williams; Charles Frierson; Chris Moore; John Street; Mitch Johnson; Gene Vance; Chris Gibson; Charles Coleman; Bobby Long; Joe Hafner; David McClain and LJ Bryant

Enactment No: R-EN-215-2020

[RES-20:228](#)

A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO AGREEMENT WITH G ENTERPRISE (BLADE RUNNER LAWN CARE) AS A COVID-19 SMALL BUSINESS EMERGENCY GRANT SUBRECIPIENT OF THE 2020 COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM (CDBG).

**Attachments:**     [Grant Agreement - G Enterprise - Signed](#)

**Passed**

**Aye:** 12 - Ann Williams; Charles Frierson; Chris Moore; John Street; Mitch Johnson; Gene Vance; Chris Gibson; Charles Coleman; Bobby Long; Joe Hafner; David McClain and LJ Bryant

Enactment No: R-EN-216-2020

[RES-20:229](#)

A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO AGREEMENT WITH LEAP THERAPY AS A COVID-19 SMALL BUSINESS EMERGENCY GRANT SUBRECIPIENT OF THE 2020 COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM (CDBG).

**Attachments:**     [Grant Agreement Signed - Leap Therapy](#)

**A motion was made by Councilperson John Street, seconded by Councilperson Chris Gibson, that this matter be Passed . The motion PASSED with the following vote:**

**Aye:** 12 - Ann Williams; Charles Frierson; Chris Moore; John Street; Mitch Johnson; Gene Vance; Chris Gibson; Charles Coleman; Bobby Long; Joe Hafner; David McClain and LJ Bryant

Enactment No: R-EN-217-2020

[RES-20:230](#)

A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO AGREEMENT WITH MEALS FOR

MOMS AS A COVID-19 SMALL BUSINESS EMERGENCY GRANT SUBRECIPIENT OF THE 2020 COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM (CDBG).

**Attachments:**      [Grant Agreement Signed - Meals for Moms](#)

**A motion was made by Councilperson John Street, seconded by Councilperson Ann Williams, that this matter be Passed . The motion PASSED with the following vote:**

**Aye:** 12 - Ann Williams;Charles Frierson;Chris Moore;John Street;Mitch Johnson;Gene Vance;Chris Gibson;Charles Coleman;Bobby Long;Joe Hafner;David McClain and LJ Bryant

Enactment No: R-EN-218-2020

*Councilmember Dr. Charles Coleman said, December 18, 2020 is the last day that we will be taking gifts for the Christmas Deal that we will be having on the 21st from 10-12. We are trying to get everything in by December 18th so we can all work together and have these gifts prepared for the community. We will also be giving a lot of clothing. That was an addition that we are going to try to give some clothing at the same time on December 21st from 10-12 at 315 N. Allis. Thank you. President Pro-Tempore Chris Moore said, thank you Dr. Coleman.*

#### **10. PUBLIC COMMENTS**

*Judy Clark, 2109 Sun Circle, said we have talked with Councilmember David McClain before and he has pointed us in the right direction and said that there would be people come and work on a sewer problem that we are having in an alleyway behind our house. Also, I haven't discussed with him, but there is a ditch that runs along the south side of Dayton that is behind the old National Guard Armory that is in need of being cleaned out, now, not just mowed, but it has trash and stuff in it that is stopping it from flowing. We would like to know if there is some kind of timeline about when these people that are responsible are going to take care of this problem. President Pro-Tempore Chris Moore said, Mike, can use summarize her problem for us. Chief of Staff Mike Downing said, she has a sewer problem and I would think that it is best for me to call her back tomorrow morning to get some more information from her. President Pro-Tempore Moore said, thank you ma'am and we will be in touch with you. Ms. Clark said, alright, thank you. Councilmember David McClain said, I don't care. I will touch on some of it. We have had Craig get with them about the sewer problem. I think we can also get with Steve about it. It is on Sun Drive, but we will also get with Steve Tippitt to try to get them on the schedule for the ditch. Mike, if you will call her back, that would be greatly appreciated.*

#### **11. ADJOURNMENT**

**A motion was made by Councilperson John Street, seconded by Councilperson Joe Hafner, that this meeting be Adjourned . The motion PASSED with the following vote.**

**Aye:** 12 - Ann Williams;Charles Frierson;Chris Moore;John Street;Mitch Johnson;Gene Vance;Chris Gibson;Charles Coleman;Bobby Long;Joe Hafner;David McClain and LJ Bryant

\_\_\_\_\_ **Date:** \_\_\_\_\_

**Harold Perrin, Mayor**

**Attest:**

\_\_\_\_\_ **Date:** \_\_\_\_\_

**Donna Jackson, City Clerk**



## Legislation Details (With Text)

<b>File #:</b>	RES-20:231	<b>Version:</b>	1	<b>Name:</b>	TO CONTINUE A JOINT FUNDING AGREEMENT WITH THE U.S. GEOLOGICAL SURVEY, UNITED STATES DEPARTMENT OF THE INTERIOR FOR THE OPERATION AND MAINTENANCE OF TWO STREAMGAGES IN JONESBORO
<b>Type:</b>	Resolution	<b>Status:</b>	Recommended to Council		
<b>File created:</b>	11/24/2020	<b>In control:</b>	Public Works Council Committee		
<b>On agenda:</b>	<b>Final action:</b>				
<b>Title:</b>	A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS TO CONTINUE A JOINT FUNDING AGREEMENT WITH THE U.S. GEOLOGICAL SURVEY, UNITED STATES DEPARTMENT OF THE INTERIOR FOR THE OPERATION AND MAINTENANCE OF TWO STREAMGAGES IN JONESBORO				
<b>Sponsors:</b>	Engineering, Mayor's Office				
<b>Indexes:</b>					
<b>Code sections:</b>					
<b>Attachments:</b>	<a href="#">USGA Agreement 2021</a>				

Date	Ver.	Action By	Action	Result
12/1/2020	1	Public Works Council Committee		

A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS TO CONTINUE A JOINT FUNDING AGREEMENT WITH THE U.S. GEOLOGICAL SURVEY, UNITED STATES DEPARTMENT OF THE INTERIOR FOR THE OPERATION AND MAINTENANCE OF TWO STREAMGAGES IN JONESBORO WHEREAS, the City of Jonesboro has desires to continue a Joint Funding Agreement (attached) with the U.S. Geological Survey, United States Department of the Interior, for the operation and maintenance of two streamgages in Jonesboro; and,

WHEREAS, the two streamgages monitoring locations in Jonesboro are located on Lost Creek and Whiteman Creek at Access Road; and,

WHEREAS, the funding for the annual operation and maintenance cost shall come from the Capital Improvements budget.

NOW, THEREFORE BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS;

Section1: That the City of Jonesboro shall continue a Joint Funding Agreement with the U.S. Geological Survey, United States Department of the Interior for the operation and maintenance of two streamgages in Jonesboro.

Section 2: The funding for operation and management cost shall come from the Capital Improvements budget.

Section 3: The Mayor and the City Clerk are hereby authorized by the City Council for the City of Jonesboro to execute all documents necessary to effectuate this agreement.

**U.S. Department of the Interior  
U.S. Geological Survey  
Joint Funding Agreement  
FOR  
Water Resource Investigations**

**Customer #: 6000000783  
Agreement #: 21MLJFAARDA156  
Project #: ML009Z5  
TIN #: 71-6013749**

**Fixed Cost Agreement YES[ X ] NO[ ]**

THIS AGREEMENT is entered into as of the January 1, 2021, by the U.S. GEOLOGICAL SURVEY, Lower Mississippi-Gulf Water Science Center, UNITED STATES DEPARTMENT OF THE INTERIOR, party of the first part, and the City of Jonesboro party of the second part.

1. The parties hereto agree that subject to the availability of appropriations and in accordance with their respective authorities there shall be maintained in operation and the maintenance of the two streamgages, Whiteman's Creek at Industrial Drive and Lost Creek at Floyd Street in Jonesboro herein called the program. The USGS legal authority is 43 USC 36C; 43 USC 50, and 43 USC 50b.

2. The following amounts shall be contributed to cover all of the cost of the necessary field and analytical work directly related to this program. 2(b) include In-Kind-Services in the amount of \$0.00

- (a) \$0 by the party of the first part during the period  
January 1, 2021 to December 31, 2021
- (b) \$29,500 by the party of the second part during the period  
January 1, 2021 to December 31, 2021
- (c) Contributions are provided by the party of the first part through other USGS regional or national programs, in the amount of: \$0

Description of the USGS regional/national program:

- (d) Additional or reduced amounts by each party during the above period or succeeding periods as may be determined by mutual agreement and set forth in an exchange of letters between the parties.
- (e) The performance period may be changed by mutual agreement and set forth in an exchange of letters between the parties.

3. The costs of this program may be paid by either party in conformity with the laws and regulations respectively governing each party.

4. The field and analytical work pertaining to this program shall be under the direction of or subject to periodic review by an authorized representative of the party of the first part.

5. The areas to be included in the program shall be determined by mutual agreement between the parties hereto or their authorized representatives. The methods employed in the field and office shall be those adopted by the party of the first part to insure the required standards of accuracy subject to modification by mutual agreement.

6. During the course of this program, all field and analytical work of either party pertaining to this program shall be open to the inspection of the other party, and if the work is not being carried on in a mutually satisfactory manner, either party may terminate this agreement upon 60 days written notice to the other party.

7. The original records resulting from this program will be deposited in the office of origin of those records. Upon request, copies of the original records will be provided to the office of the other party.

8. The maps, records or reports resulting from this program shall be made available to the public as promptly as possible. The maps, records or reports normally will be published by the party of the first part. However, the party of the second part reserves the right to publish the results of this program, and if already published by the party of the first part shall, upon request, be furnished by the party of the first part, at cost, impressions suitable for purposes of reproduction similar to that for which the original copy was prepared. The maps, records or reports published by either party shall contain a statement of the cooperative relations between the parties. The Parties acknowledge that scientific information and data developed as a result of the Scope of Work (SOW) are subject to applicable USGS review, approval, and release requirements, which are available on the USGS Fundamental Science Practices website (<https://www.usgs.gov/about/organization/science-support/science-quality-and-integrity/fundamental-science-practices>).

Form 9-1366  
(May 2018)

U.S. Department of the Interior  
U.S. Geological Survey  
Joint Funding Agreement  
FOR

Customer #: 6000000783  
Agreement #: 21MLJFAARDA156  
Project #: ML00925  
TIN #: 71-6013749

Water Resource Investigations

9. Billing for this agreement will be rendered quarterly. Invoices not paid within 60 days from the billing date will bear Interest, Penalties, and Administrative cost at the annual rate pursuant the Debt Collection Act of 1982, (codified at 31 U.S.C. § 3717) established by the U.S. Treasury.

USGS Technical Point of Contact

Name: John Mays  
Field Office Chief  
Address: 401 Hardin Road  
Little Rock, AR 72211  
Telephone: (501) 228-3678  
Fax: (501) 228-3601  
Email: jmays@usgs.gov

Customer Technical Point of Contact

Name: Harold Perrin  
Mayor  
Address: 300 S Church Street  
Jonesboro, AR 72401  
Telephone: (870) 932-2438  
Fax:  
Email:

USGS Billing Point of Contact

Name: Markeshia Watson  
Administrative Specialist  
Address: 3535 South Sherwood Forest Blvd.  
Baton Rouge, LA 70816  
Telephone: (225) 298-5481 Ext 3106  
Fax:  
Email: mwatson@usgs.gov

Customer Billing Point of Contact

Name: Tracey Cooper  
Address: 300 S Church Street  
Jonesboro, AR. 72401  
Telephone: (870) 932-2438  
Fax:  
Email:

U.S. Geological Survey  
United States  
Department of Interior

City of Jonesboro

Signature

By Rodney R. Knight Date: 11/19/2020  
Name: Rodney Knight  
Title: Director, LMG Water Science Center

Signatures

By \_\_\_\_\_ Date: \_\_\_\_\_  
Name:  
Title:

By \_\_\_\_\_ Date: \_\_\_\_\_  
Name:  
Title:

By \_\_\_\_\_ Date: \_\_\_\_\_  
Name:  
Title:





## Legislation Details (With Text)

<b>File #:</b>	RES-20:232	<b>Version:</b>	1	<b>Name:</b>	TO ENTER INTO AGREEMENT WITH SAFE HAVEN BABY BOXES, INC. FOR THE PLACEMENT OF A NEWBORN SAFETY DEVICE ON A CITY FACILITY
<b>Type:</b>	Resolution	<b>Status:</b>			Recommended to Council
<b>File created:</b>	11/24/2020	<b>In control:</b>			Public Works Council Committee
<b>On agenda:</b>		<b>Final action:</b>			
<b>Title:</b>	RESOLUTION AUTHORIZING THE CITY OF JONESBORO TO ENTER INTO AGREEMENT WITH SAFE HAVEN BABY BOXES, INC. FOR THE PLACEMENT OF A NEWBORN SAFETY DEVICE ON A CITY FACILITY				
<b>Sponsors:</b>	Fire Department, Mayor's Office				
<b>Indexes:</b>					
<b>Code sections:</b>					
<b>Attachments:</b>	<a href="#">Agreement, Safe Haven Baby Boxes</a>				

Date	Ver.	Action By	Action	Result
12/1/2020	1	Public Works Council Committee		

RESOLUTION AUTHORIZING THE CITY OF JONESBORO TO ENTER INTO AGREEMENT WITH SAFE HAVEN BABY BOXES, INC. FOR THE PLACEMENT OF A NEWBORN SAFETY DEVICE ON A CITY FACILITY

WHEREAS, the City of Jonesboro has been requested by Safe Haven Baby Boxes, Inc. ("SHBB") to enter into an agreement to place a newborn safety device on an exterior wall of a city fire station which will legally permit a mother in crisis to safely, securely, and anonymously surrender her baby if she is unable to care for her newborn; and,

WHEREAS, the City has consulted its legal, financial and insurance related advisors and has confirmed that its location and operation is acceptable under Federal and State laws and regulations for the placement of this safety device; and,

WHEREAS, SHBB will provide the baby box safety device to the City for installation, and private funds have been raised to provide installation and maintenance. The City would be responsible for minimal costs as indicated in the agreement.

NOW, Therefore, be it resolved by City Council of the City of Jonesboro that:

SECTION 1: The City of Jonesboro shall enter into an agreement with SHBB for five years and shall renew for successive five year terms upon the mutual agreement of terms, fees, and conditions or unless terminated in accordance with the agreement or otherwise agreed to by the parties.

SECTION 2: The Mayor and the City Clerk are hereby authorized by the City of Jonesboro City Council to execute all documents necessary to effectuate this agreement.



## Legislation Details (With Text)

<b>File #:</b>	RES-20:233	<b>Version:</b>	1	<b>Name:</b>	REQUESTING FREE UTILITY SERVICES FROM CITY WATER AND LIGHT FOR A TRAFFIC SIGNAL AT 2301 E. HIGHLAND DRIVE
<b>Type:</b>	Resolution	<b>Status:</b>			Recommended to Council
<b>File created:</b>	11/24/2020	<b>In control:</b>			Public Works Council Committee
<b>On agenda:</b>		<b>Final action:</b>			
<b>Title:</b>	A RESOLUTION REQUESTING FREE UTILITY SERVICES FROM CITY WATER AND LIGHT FOR A TRAFFIC SIGNAL AT 2301 E. HIGHLAND DRIVE				
<b>Sponsors:</b>	Engineering, Mayor's Office				
<b>Indexes:</b>					
<b>Code sections:</b>					
<b>Attachments:</b>					

Date	Ver.	Action By	Action	Result
12/1/2020	1	Public Works Council Committee		

A RESOLUTION REQUESTING FREE UTILITY SERVICES FROM CITY WATER AND LIGHT FOR A TRAFFIC SIGNAL AT 2301 E. HIGHLAND DRIVE

WHEREAS, the City of Jonesboro is requesting that City Water and Light provide free utilities at a traffic signal located at 2301 E. Highland Drive.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL FOR THE CITY OF JONESBORO, ARKANSAS THAT:

Section 1: That City Water and Light be requested by this resolution to provide free utilities to the location listed above.

Section 2: To permit such services to be provided without charge, the City of Jonesboro hereby affirms to City Water and Light that the ultimate use of CWL utilities so provided is now and shall remain a use or purpose which the City is engaged in as part of its governmental or proprietary functions under authority to it by state law.



## Legislation Details (With Text)

File #:	RES-20:234	Version:	1	Name:	ACCEPTING A DONATION OF LAND AND AUTHORIZING THE MAYOR TO ENTER INTO AN AGREEMENT WITH FARMER ENTERPRISES, INC.
Type:	Resolution	Status:	Recommended to Council		
File created:	11/24/2020	In control:	Public Works Council Committee		
On agenda:	Final action:				
Title:	A RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS ACCEPTING A DONATION OF LAND AND AUTHORIZING THE MAYOR TO ENTER INTO AN AGREEMENT WITH FARMER ENTERPRISES, INC.				
Sponsors:	Mayor's Office				
Indexes:					
Code sections:					
Attachments:	<a href="#">Farmer Enterprises Donation - Parker Road 2.08 acres</a>				

Date	Ver.	Action By	Action	Result
12/1/2020	1	Public Works Council Committee		

**A RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS  
ACCEPTING A DONATION OF LAND AND AUTHORIZING THE MAYOR TO ENTER INTO AN  
AGREEMENT WITH FARMER ENTERPRISES, INC.**

WHEREAS, Resolution 16:157 provides for the City of Jonesboro to enter into an agreement with Farmer Enterprises, Inc. who provided a donation of 0.98 acres of land required for the Parker Road extension project and the City of Jonesboro agreed to construct a driveway to access the remaining 2.08 acres owned by Farmer Enterprises, Inc.; and,

WHEREAS, the said donation of property was accepted by the City of Jonesboro in 2016; and;

WHEREAS, the elevation between Parker Road and the donated property and existing drainage structures limit the driveway's location, which would result in a significant cost to the city to construct said driveway; and,

WHEREAS, Farmer Enterprises, Inc. now wishes to enter an agreement with the City of Jonesboro to donate the remaining 2.08 acres of property to the City, thereby releasing the City's obligation to construct a driveway to access this property.

**NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL FOR THE CITY OF JONESBORO,  
ARKANSAS THAT:**

Section 1: The City of Jonesboro accepts the donation of land and approves the agreement with Farmer Enterprises, Inc.

Section 2. The Mayor and City Clerk are hereby authorized by the City Council for the City of Jonesboro to execute all documents necessary to effectuate this agreement.

**A RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS  
ACCEPTING A DONATION OF LAND AND AUTHORIZING THE MAYOR TO ENTER INTO AN  
AGREEMENT WITH FARMER ENTERPRISES, INC.**

WHEREAS, in 2016, Farmer Enterprises, Inc., entered an agreement with the City of Jonesboro to donate 0.98 acres of land required for the Parker Road extension project to the City of Jonesboro and the City of Jonesboro agreed to construct a driveway to access the remaining 2.08 acres owned by Farmer Enterprises, Inc.

WHEREAS, the said donation of property was accepted by the City of Jonesboro in 2016; and

WHEREAS, the topography, the elevation between Parker Road and the property and existing drainage structures limit the driveway's location resulting in a significant cost to the city.

WHEREAS, Farmer Enterprises, Inc. now wishes to enter an agreement with the City of Jonesboro to donate the remaining 2.08 acres of property to the City, thereby releasing the City's obligation to construct a driveway to access this property.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL FOR THE CITY OF JONESBORO, ARKANSAS THAT:

Section 1: The City of Jonesboro accepts the donation of land and approves the agreement with Farmer Enterprises, Inc.

Section 2. The Mayor and City Clerk are hereby authorized by the City Council for the City of Jonesboro to execute all documents necessary to effectuate this agreement.

PASSED AND APPROVED on this \_\_\_\_ day of \_\_\_\_\_ 2020.

\_\_\_\_\_  
Harold Perrin, Mayor

Date: \_\_\_\_\_

ATTEST: \_\_\_\_\_  
Donna Jackson, City Clerk

Date: \_\_\_\_\_

## AGREEMENT

The following parties, Farmer Enterprises, Inc., (hereinafter referred to as "Farmer"), owner of property adjacent to U.S. Highway 63 right-of-way, said property containing approximately 2.08 acres and further described below, (hereinafter referred to as the "Parker Road Property") and the City of Jonesboro, (hereinafter referred to as "City"), hereby enter into this Agreement (hereinafter referred to as "Agreement") and agree to the following:

1. Farmer agrees to donate by quitclaim deed to the City its interests in 2.08 acres adjacent to U.S. Highway 63 right-of-way, further described as follows:

That portion of the south 10 acres of the Southwest Quarter of the Northwest Quarter Section 23, Township 14 North, Range 3 East of Craighead County, Arkansas, and more particularly described as follows:

Commencing at the southwest corner of the Northwest Quarter of Section 23 aforesaid; thence North 00°26'48" east along the west line of said Section 23, a distance of 357.34 feet to a point on the north line of the south 10 acres of the Southwest Quarter of the Northwest Quarter of Section 23 aforesaid; thence North 89°13'50" east, departing the west line of Section 23 aforesaid, a distance of 136.86 feet to the westerly right-of-way of U.S. Highway 63; thence South 25°33'54" east along said U.S. Highway 63 right-of-way, a distance of 106.37 feet; thence south 40°24'18" east, along said U.S. Highway 63 right-of-way, a distance of 328.93 feet to the south line of the Southwest Quarter of the Northwest Quarter of Section 23 aforesaid; thence departing said U.S. Highway 63 right-of-way, south 88°10'15" west, along the south line of the Southwest Quarter of the Northwest Quarter of Section 23 aforesaid, a distance of 398.95 feet to the point of beginning, containing in all 90,687 square feet or 2.08 acres, more or less, subject to easements, restrictions, reservations and rights-of-way of record.

2. Farmer has commissioned an appraisal from a certified appraiser who established the fair market value of the said property at \$91,000.00.
3. The City's obligation to construct a driveway from Parker Road to the said property, at City's sole expense, is hereby rescinded by Farmer.

4. The City agrees to cooperate with Farmer in effecting a charitable donation by Farmer to the City of the said property.

This Agreement is executed this \_\_\_\_\_ day of \_\_\_\_\_ 2020, by the parties below.

CITY OF JONESBORO

FARMER ENTERPRISES, INC.

\_\_\_\_\_  
Hon. Harold Perrin, Mayor

\_\_\_\_\_  
Alec Farmer, President

ATTESTED BY:

\_\_\_\_\_  
Donna Jackson, City Clerk

I certify under penalty of false swearing that documentary stamps or a documentary symbol to the legally correct amount has been placed on this instrument. Exempt or no consideration paid if none shown.

This instrument was prepared by:  
Alec Farmer, President  
Farmer Enterprises, Inc.  
2500 Alexander Drive, Ste.C-116  
Jonesboro, AR 72401

GRANTEE OR AGENT: \_\_\_\_\_

GRANTEE'S ADDRESS: \_\_\_\_\_

\_\_\_\_\_

## **CORPORATE QUITCLAIM DEED**

### **KNOW ALL MEN BY THESE PRESENTS:**

That I, **Alec Farmer, President of Farmer Enterprises, Inc., an Arkansas Corporation**, hereinafter referred to as "**Grantor**," for and in consideration of the mutual covenants and benefits inuring to the party hereto, does hereby grant, bargain, deliver and quitclaim to the **City of Jonesboro**, hereinafter referred to as "**Grantee**," and unto its successors and assigns forever, the following lands, lying and being situated in the County of Craighead, State of Arkansas, to-wit:

That portion of the south 10 acres of the Southwest Quarter of the Northwest Quarter Section 23, Township 14 North, Range 3 East of Craighead County, Arkansas, and more particularly described as follows:

Commencing at the southwest corner of the Northwest Quarter of Section 23 aforesaid; thence North 00°26'48" east along the west line of said Section 23, a distance of 357.34 feet to a point on the north line of the south 10 acres of the Southwest Quarter of the Northwest Quarter of Section 23 aforesaid; thence North 89°13'50" east, departing the west line of Section 23 aforesaid, a distance of 136.86 feet to the westerly right-of-way of U.S. Highway 63; thence South 25°33'54" east along said U.S. Highway 63 right-of-way, a distance of 106.37 feet; thence south 40°24'18" east, along said U.S. Highway 63 right-of-way, a distance of 328.93 feet to the south line of the Southwest Quarter of the Northwest Quarter of Section 23 aforesaid; thence departing said U.S. Highway 63 right-of-way, south 88°10'15" west, along the south line of the Southwest Quarter of the Northwest Quarter of Section 23 aforesaid, a distance of 398.95 feet to the point of beginning, containing

in all 90,687 square feet or 2.08 acres, more or less, subject to easements, restrictions, reservations and rights-of-way of record.

**TO HAVE AND TO HOLD** the same unto the said **Grantee** and unto its successors and assigns forever, with all tenements, appurtenances and hereditaments thereunto belonging.

**IN WITNESS WHEREOF**, Farmer Enterprises, Inc., an Arkansas Corporation, has caused these presents to be executed by its President on this \_\_\_\_ day of \_\_\_\_\_, 2020.

**FARMER ENTERPRISES, INC.,  
an Arkansas Corporation**

\_\_\_\_\_  
**Alec Farmer, President**

#### **ACKNOWLEDGMENT**

**STATE OF ARKANSAS**

**COUNTY OF CRAIGHEAD**

On this day appeared before the undersigned, a Notary Public within and for the County and State aforesaid, duly qualified, commissioned and acting, Alec Farmer, to me well known as the representative of the Grantor in foregoing Quitclaim Deed, and stated that he had executed the same for the consideration and purposes therein mentioned and set forth.

WITNESS my hand and official seal on this \_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public

My Commissions Expires: \_\_\_\_\_

(SEAL)







## **APPRAISAL OF REAL PROPERTY**

### **LOCATED AT:**

2.1 acres, W Parker Rd  
Part of SW NW West of Hwy 63, Sec 23, Twn 14, Rng 03  
Jonesboro, AR 72401

### **FOR:**

Alec Farmer  
2500 Alexander Dr  
Jonesboro, AR 72401

### **AS OF:**

October 19, 2020.

### **BY:**

Bob Gibson

Bob Gibson and Associates Inc.  
P O Box 3071  
420 W Jefferson, Suite A  
Jonesboro, AR 72401

October 20, 2020

Alec Farmer  
2500 Alexander Dr  
Jonesboro, AR 72401

Re: Property: 2.1 acres, W Parker Rd  
Jonesboro, AR 72401  
Borrower: Owner: Farmer Enterprises Inc  
File No.:

Pursuant to your request, I have prepared an appraisal report of the property captioned in the "Summary of Salient Features" which follows. As you have requested, I have prepared this report in accordance with most area lenders. To the best of my knowledge, this report conforms to the current requirements prescribed by the Uniform Standards of Professional Appraisal Practice of the Appraisal Standards Board of the Appraisal Foundation (as required by the Financial Institutions Reform, Recovery and Enforcement Act (FIRREA)).

The accompanying report is based on a site inspection of improvements, investigation of the subject neighborhood area of influence, and review of sales, cost, and income data for similar properties. This appraisal has been made with particular attention paid to applicable value-influencing economic conditions and has been processed in accordance with nationally recognized appraisal guidelines.

The value conclusions stated herein are as of the effective date as stated in the body of the appraisal, and contingent upon the certification and limiting conditions attached. The person (s) signing this report have the knowledge and experience to complete this assignment competently. Please do not hesitate to contact me or any of my staff if we can be of additional service to you.

Sincerely,



Bob Gibson

**SUMMARY OF SALIENT FEATURES**

<b>SUBJECT INFORMATION</b>	Subject Address	2.1 acres, W Parker Rd
	Legal Description	Part of SW NW West of Hwy 63, Sec 23, Twn 14, Rng 03
	City	Jonesboro
	County	Craighead
	State	AR
	Zip Code	72401
	Census Tract	0008.01
	Map Reference	27860
<b>SALES PRICE</b>	Sale Price	\$ N/A
	Date of Sale	N/A
<b>CLIENT</b>	Client	Alec Farmer
	Appraiser	Bob Gibson
<b>DESCRIPTION OF IMPROVEMENTS</b>	Size (Square Feet)	N/A
	Price per Square Foot	\$
	Location	Suburban
	Age	N/A
	Condition	N/A
	Total Rooms	N/A
	Bedrooms	N/A
	Baths	N/A
<b>APPRAISER</b>	Appraiser	Bob Gibson
	Date of Appraised Value	October 19, 2020
<b>VALUE</b>	Final Estimate of Value	\$ 91,000



## Legislation Details (With Text)

<b>File #:</b>	RES-20:235	<b>Version:</b>	1	<b>Name:</b>	ENTER INTO A CHANGE ORDER NO. 4 WITH RAMSONS, INC.FOR THE JONESBORO SHOOTING SPORTS COMPLEX PHASE 1C (2020:07)
<b>Type:</b>	Resolution	<b>Status:</b>	Recommended to Council		
<b>File created:</b>	11/24/2020	<b>In control:</b>	Public Works Council Committee		
<b>On agenda:</b>	<b>Final action:</b>				
<b>Title:</b>	A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS TO ENTER INTO A CHANGE ORDER NO. 4 WITH RAMSONS, INC.FOR THE JONESBORO SHOOTING SPORTS COMPLEX PHASE 1C (2020:07)				
<b>Sponsors:</b>	Mayor's Office, Engineering				
<b>Indexes:</b>	Change Order, Contract				
<b>Code sections:</b>					
<b>Attachments:</b>	<a href="#">Change Order #4, Shooting Sports Complex ArchDWGs Lack email 12012020</a>				

Date	Ver.	Action By	Action	Result
12/1/2020	1	Public Works Council Committee		

A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS TO ENTER INTO A CHANGE ORDER NO. 4 WITH RAMSONS, INC.FOR THE JONESBORO SHOOTING SPORTS COMPLEX PHASE 1C (2020:07)

WHEREAS, Resolution 20:025 authorized the City of Jonesboro to enter into a contract for the construction of the Jonesboro Shooting Sports Complex Phase IC with Ramsons, Inc., and Resolution 20:196 authorized Change Order #3 with Ramsons, Inc.; and,

WHEREAS, Resolution 20:115 authorized an increase in the 2020 Capital Improvements budget of \$500,000 for the construction of two restroom facilities at the Complex; and,

WHEREAS, the City of Jonesboro desires to change the project with Change Order No. 4 as attached increasing the contract amount by \$498,312.00; and,

WHEREAS, funding for the execution of the change order shall come from the 2020 Capital Improvement budget and compensation shall be paid in accordance with the contract documents.

NOW, THEREFORE BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS;

Section 1: That the City of Jonesboro hereby accepts Change Order No. 4 in the amount of \$498,312.00 from Ramsons, Inc. for two restroom facilities for the Jonesboro Shooting Sports Complex Phase 1C construction.

Section 2. That funding for the execution of the change order shall come from the 2020 Capital Improvement budget and compensation shall be paid in accordance with the contract documents.

Section 3. The Mayor and the City Clerk are hereby authorized by the City Council for the City of Jonesboro to execute Change Order No.4 and direct the Purchasing Agent to increase the Purchase Order amount.



# Document G701™ – 2017

## Change Order

**PROJECT: (Name and address)**

Jonesboro Shooting Sports Complex  
Phase 1C - Shooting Complex Site  
Package  
(IIBA-Restrooms)  
Jonesboro, AR

**CONTRACT INFORMATION:**

Contract For: General Construction  
Date: 03/03/2020

**CHANGE ORDER INFORMATION:**

Change Order Number: 004  
Date: 11/23/20

**OWNER: (Name and address)**

City of Jonesboro  
300 S Church St  
Jonesboro, AR 72401

**ARCHITECT: (Name and address)**

Brackett-Krennerich & Associates PA  
100 E Huntington Ave, Suite D  
Jonesboro, AR 72401

**CONTRACTOR: (Name and address)**

Ramsons, Inc  
PO Box 9185  
Jonesboro, AR 72403

**THE CONTRACT IS CHANGED AS FOLLOWS:**

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

Provide all labor and material required to include (2) freestanding restroom facilities as indicated by PR#4.

The original Contract Sum was

The net change by previously authorized Change Orders

The Contract Sum prior to this Change Order was

The Contract Sum will be increased by this Change Order in the amount of

The new Contract Sum including this Change Order will be

\$	1,977,807.00
\$	71,129.00
\$	2,048,936.00
\$	498,312.00
\$	2,547,248.00

The Contract Time will be unchanged by Zero (0) days.

The new date of Substantial Completion will be

**NOTE:** This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

**NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.**

Brackett-Krennerich & Asso PA

**ARCHITECT (Firm name)**

**SIGNATURE**

Kyle Cook, President

**PRINTED NAME AND TITLE**

23 NOV. 2020

**DATE**

Ramsons, Inc.

**CONTRACTOR (Firm name)**

**SIGNATURE**

Scott McDaniel, Project Coordinator

**PRINTED NAME AND TITLE**

10/23/2020

**DATE**

City of Jonesboro

**OWNER (Firm name)**

**SIGNATURE**

Harold Perrin, Mayor

**PRINTED NAME AND TITLE**

**DATE**



RAMSONS INC.  
GENERAL CONTRACTORS  
3111 DAN AVENUE  
P.O. BOX 9185 JONESBORO, AR 72403-9185

PHONE (870) 935-1210

FAX (870) 972-9255

September 19, 2020

Kyle Cook  
Brackett-Krennerich Architects  
100 E Huntington Ave # D  
Jonesboro, AR 72401

**RE: Bathroom Change Order Proposal REVISED**

Mr. Cook:

Per your request we are pleased to quote you the sum of \$498,312.00 to provide all labor and material required to conduct the work outlined in PR#4. This price is revised to include the utilities, additional sitework, sidewalks and a voluntary price reduction. Our work is limited to the scope of work outlined below.

Scope of Work:

**General Conditions:**

- Supervision
- Temporary Office Trailer
- Temporary toilet and handwashing station
- Temporary phone/ipad
- Temporary power/generators
- Daily pickup
- Misc. Hauling
- Punch list
- Equipment
- Closing documents
- Dumpster (rent and pull)
- Concrete and soil testing

**Sitework:**

- Strip topsoil (redistribute on site)
- Borrow fill

12015  
Phase IC  
(11BA -  
Restrooms)  
change order # 4



- Fine grade at buildings
- Sand under slab
- Pre-treat soil

### **Section 3A: Excavation**

- Turndown at walks
- Continuous footing
- Thicken slab
- Backfill

### **Section 3B: Forming**

- Turndown at walks
- Expansion joint material

### **Section 3C: Concrete**

- Continuous footings
- Thicken slabs
- Fill block below grade
- Pour and trowel finish floor slab
- Cure and seal concrete
- Place rebar and mesh per plans

### **Section 4: Masonry**

- Masonry as shown on the plans

### **Section 6, 8 and 10: Carpentry, Openings and Specialty Items**

- Provide and install hollow metal frames, doors and hardware
- Provide and install stainless steel toilet partitions
- Install owner provided toilet accessories
- Provide and install ID signs
- Frame roof
- Frame ceilings

- Frame and construct vanities
- Provide and erect trusses

#### **Section 7: Thermal and Moisture Protection**

- 10 mil stego and tape under slabs
- Visqueen to cover
- Caulk sawcut joints
- Provide and install standing seam roof as shown on plans
- Provide and install insulation as shown on the plans

#### **Section 15-16: Mechanical, Plumbing and Electrical**

- Mechanical as shown on the plans
- Plumbing as shown on the plans
- Electrical as shown on the plans
- Utilities as shown on the plans

We appreciate the opportunity to submit this bid.

Sincerely,

Ramsons Inc.



Scott McDaniel  
Estimator and Project Coordinator

# JONESBORO SHOOTING SPORTS COMPLEX

## PHASE IIBA (RESTROOM)

## Jonesboro, Arkansas

**STRUCTURAL ENGINEER:**

ID  
no

**MECHANICAL/PLUMBING/ELECTRICAL ENGINEER:**

PETTIT AND PETTIT CONSULTING ENGINEERS  
Heritage West Building, Suite  
200 E. Markham Street  
Little Rock, Arkansas 72201  
501.843.1553

**CIVIL ENGINEER:**



FISHER ARNOLD

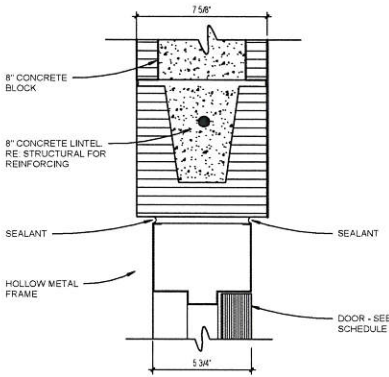


ARCHITECT:

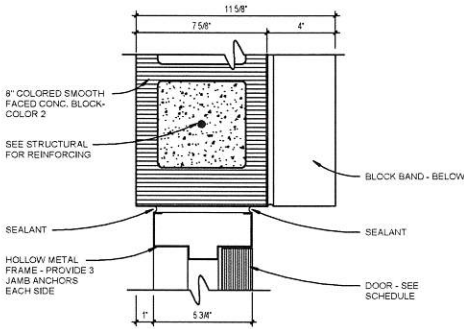
**BRACKETT KRENNERICH**  
100 East Huntington Ave, Suite D  
Jonesboro, Arkansas 72403  
870.932.0571  
[www.bkarchts.com](http://www.bkarchts.com)

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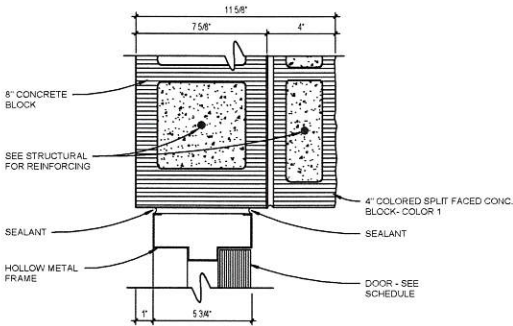
DOOR SCHEDULE - RESTROOM									
Door Number	DOOR				DETAILS			Label	HDWE
	Type	Style	Threshold	Frame	Head	Jamb	Sill		
M100	A	Single	ALUMINUM	HMF-1	1/AM001	2/AM001 & 3/AM001	4/AM001		1
M101	A	Single	ALUMINUM	HMF-1	1/AM001	2/AM001 & 3/AM001	4/AM001		1
M102	A	Single	ALUMINUM	HMF-1	1/AM001	2/AM001 & 3/AM001	4/AM001		1



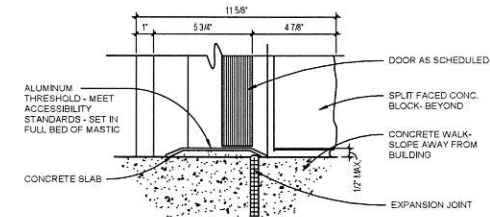
1 head detail  
SCALE: 3" = 1'-0"



2 jamb detail  
SCALE: 3" = 1'-0"



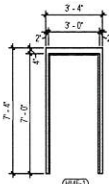
3 jamb detail  
SCALE: 3" = 1'-0"



4 threshold detail  
SCALE: 3" = 1'-0"



visual door types  
1/4" = 1'-0"



hollow metal frame schedule  
1/4" = 1'-0"

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SPORTS COMPLEX  
PHASE IIBA  
Jonesboro, Arkansas

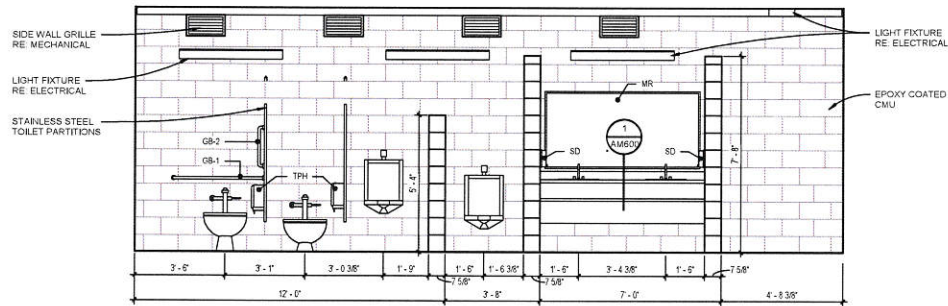
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Revision	Schedule	Drawn by	Rev. Description	Rev. Date

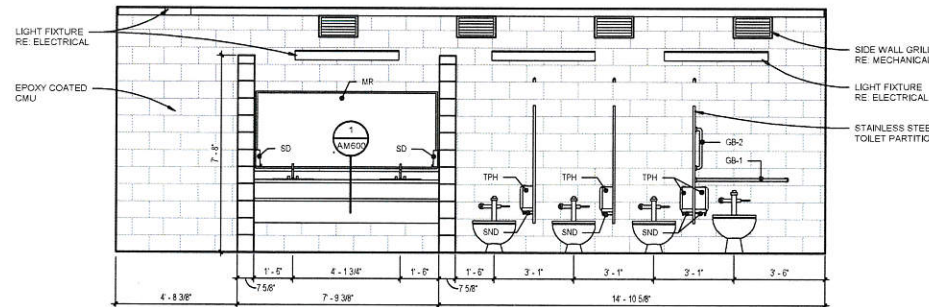


Commission Number  
12015-2BA  
AM001  
Date: August 28, 2020



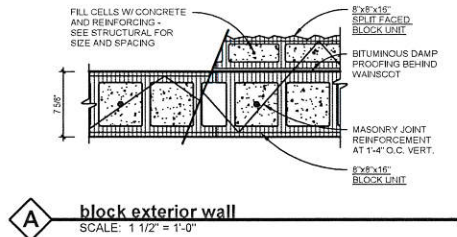


**toilet elevation - MENS M100**  
3/8" = 1'-0"

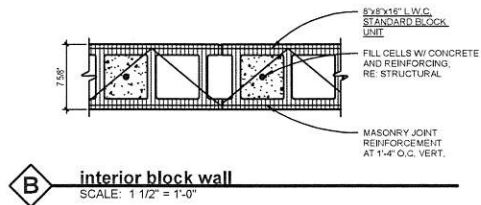


**toilet elevation - WOMEN M102**  
3/8" = 1'-0"

TOILET ACCESSORIES LEGEND	
GB-1	GRAB BAR (42" X 54" LONG)
GB-2	GRAB BAR (18" LONG)
	BY OWNER, CONTRACTOR INSTALLED
MH	MOP HANGER
MR	MIRROR
	BY OWNER, CONTRACTOR INSTALLED
EHD	ELECTRIC HAND DRYER
	BY OWNER, CONTRACTOR INSTALLED
SD	SOAP DISPENSER
	BY OWNER, CONTRACTOR INSTALLED
TPH	TOILET PAPER HOLDER
	BY OWNER, CONTRACTOR INSTALLED
SND	SANITARY NAPKIN DISPENSER
	BY OWNER, CONTRACTOR INSTALLED
DT	FOLD-DN DIAPER CHANGING TABLE
	BY OWNER, CONTRACTOR INSTALLED

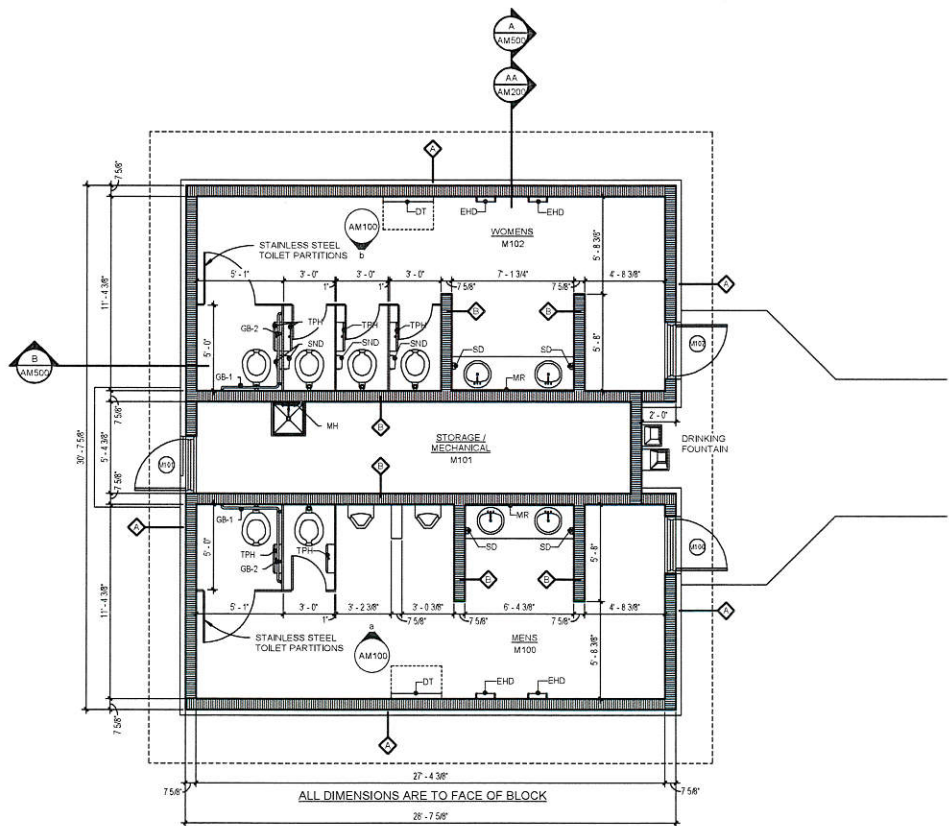


**A block exterior wall**  
SCALE: 1 1/2" = 1'-0"



**B interior block wall**  
SCALE: 1 1/2" = 1'-0"

FINISH SCHEDULE - RESTROOM							
Room No.	Room Name	Floor Finish	Base	Wall Finish			
				North	East	South	West
M100	MENS	SEALED CONCRETE	---	EPOXY COATING ON CMU	EPOXY COATING ON CMU	EPOXY COATING ON CMU	EPOXY COATING ON CMU
M101	STORAGE/MECHANICAL	SEALED CONCRETE	---	EPOXY COATING ON CMU	EPOXY COATING ON CMU	EPOXY COATING ON CMU	EPOXY COATING ON CMU
M102	WOMENS	SEALED CONCRETE	---	EPOXY COATING ON CMU	EPOXY COATING ON CMU	EPOXY COATING ON CMU	EPOXY COATING ON CMU



**floor plan - WEST restroom building**  
SCALE: 1/4" = 1'-0"

'EAST' RESTROOM BUILDING IS ROTATED 180 DEGREES

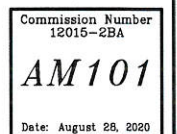
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Revision Schedule	Issued
Rev. Description	Rev. Date

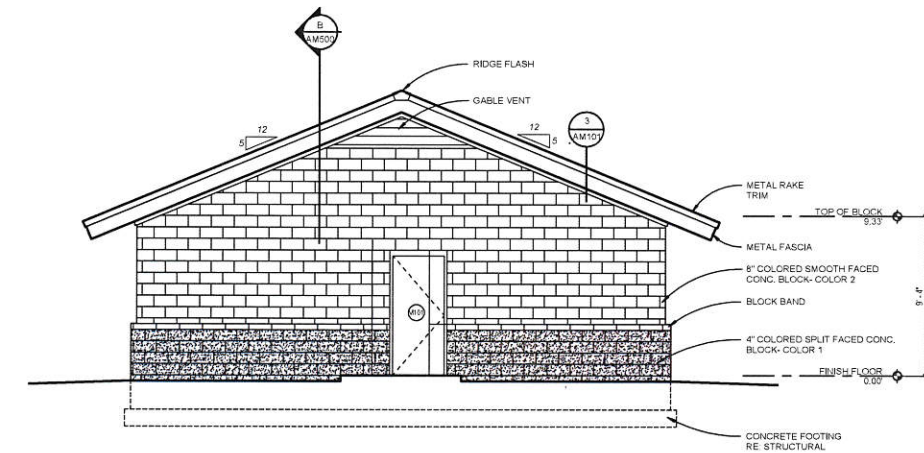


Commission Number  
12015-2BA  
**AM100**  
Date: August 28, 2020

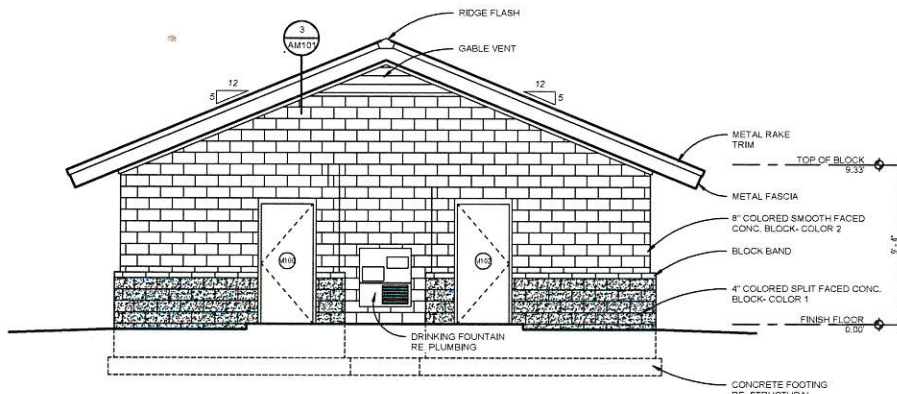




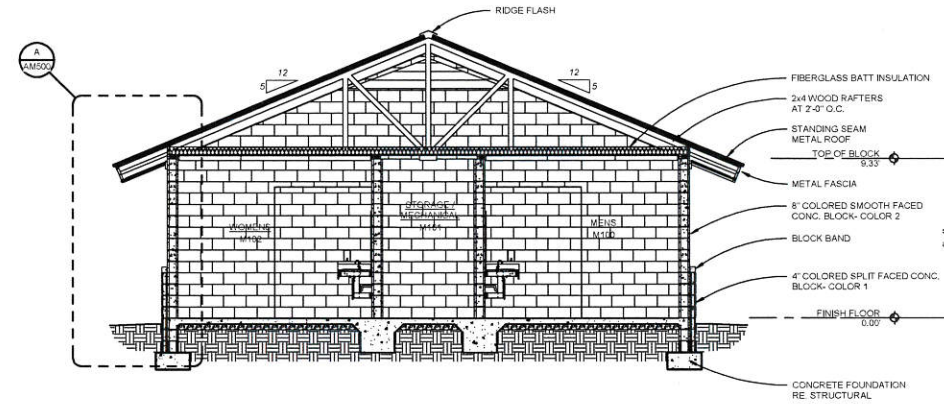
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8/27/2020 1:42:12 PM



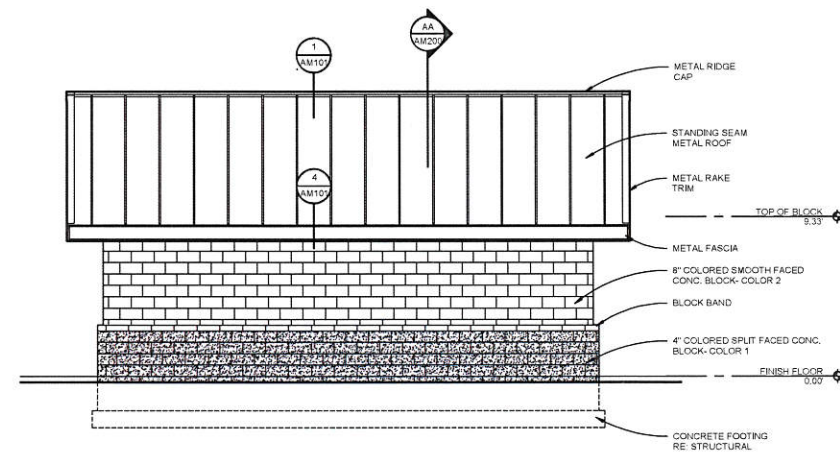
**WEST restroom building - west elevation**  
SCALE: 1/4" = 1'-0"



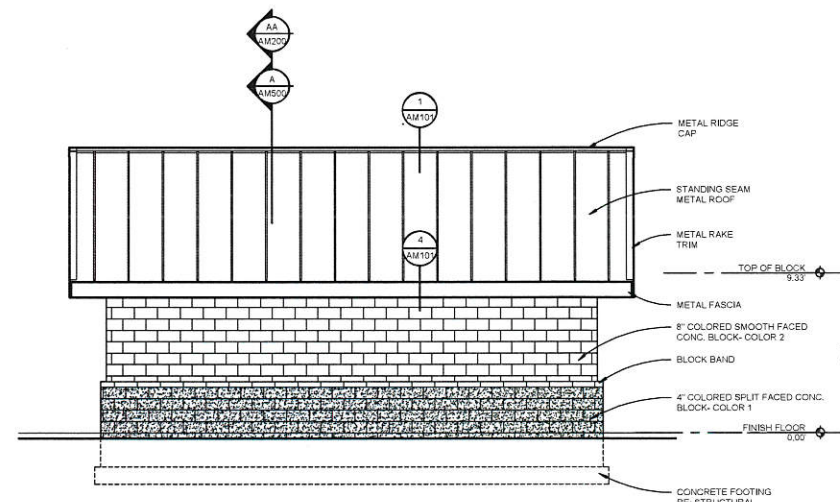
**WEST restroom building - east elevation**  
SCALE: 1/4" = 1'-0"



**building section "AA"**  
SCALE: 1/4" = 1'-0"



**WEST restroom building - south elevation**  
SCALE: 1/4" = 1'-0"



**WEST restroom building - north elevation**  
SCALE: 1/4" = 1'-0"



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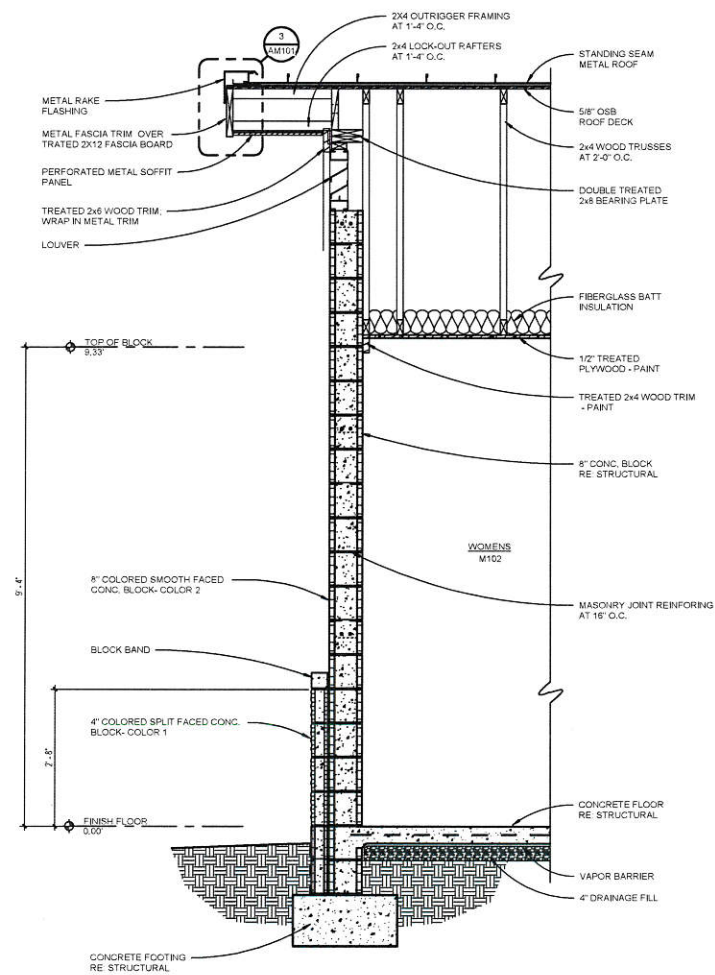
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Revision	By	Date
1	AK	8/28/2020

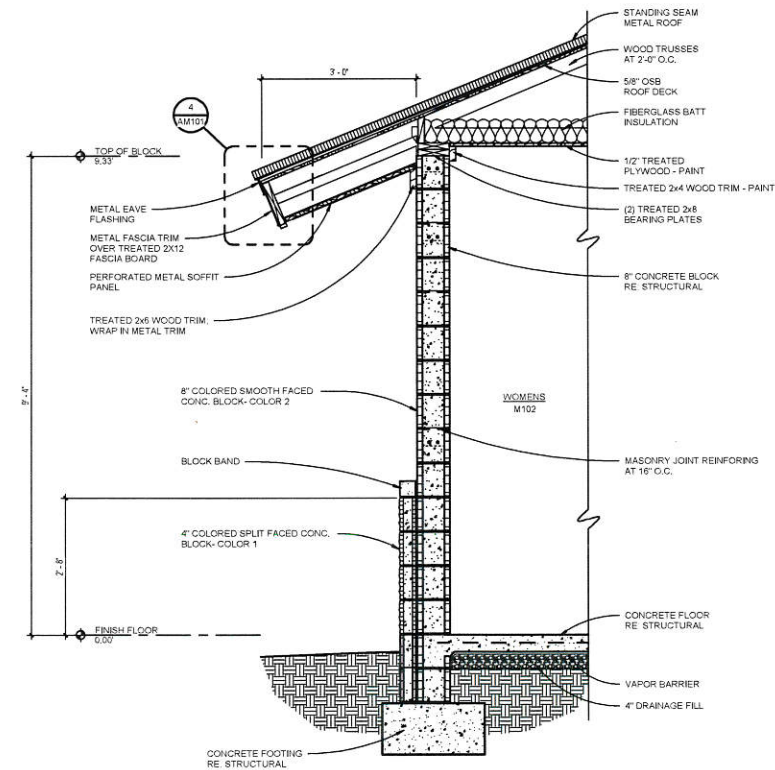


Commission Number  
12015-2BA  
**AM200**  
Date: August 28, 2020

100 East Huntington Ave. Suite D, P.O. Box 1655 Jonesboro, Arkansas 72403  
870-932-1571 Fax 870-932-4975 www.brackett.com



**B** wall section  
SCALE: 3/4" = 1'-0"



**A** wall section  
SCALE: 3/4" = 1'-0"

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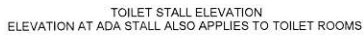
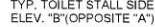
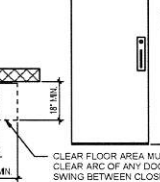
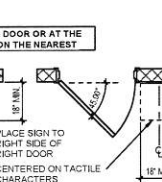
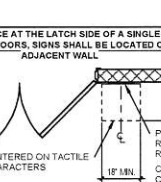
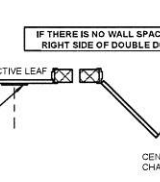
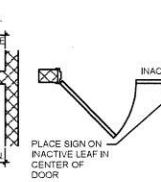
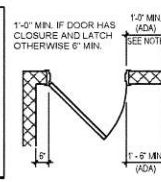
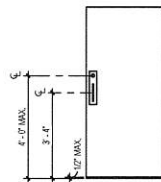
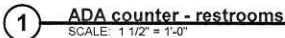
Revision	Revised by	Rev. Date



Commission Number  
12015-2BA  
**AM500**  
Date: August 28, 2020






$$\frac{3}{8}'' = 1'-0''$$

$$3/8" = 1'-0"$$

$$3/8'' = 1'-0''$$

$$\frac{3}{8}'' = 1'-0''$$

THE INFORMATION PRESENTED ON THIS SHEET IS **GUIDE** TO MEETING THE REQUIREMENTS OF THE ADA & THE **AUTHORITY HAVING JURISDICTION** AS THEY APPLY TO THIS PROJECT. THIS INFORMATION IS INTENDED TO BE NO LESS RESTRICTIVE THAN THE REQUIREMENTS PRESENTED IN THE ADA ACCESSIBILITY GUIDELINE (ADAAG). IN SOME CASES WHERE THEY ARE MORE RESTRICTIVE, THE CRITERIA PRESENTED **WILL BE FOLLOWED**. SOME OF THE TOILET ACCESSORIES ILLUSTRATED HERE ARE BASED ON PRODUCTS MANUFACTURED BY A SPECIFIC COMPANY BUT THIS IN NO WAY IS MEANT TO RESTRICT THE USE OF EQUIVALENTS. EQUIVALENTS OF OTHER MANUFACTURERS AS MAY BE PERMITTED BY THE PROJECT MANUAL & SPECIFICATION. ALL DIMENSIONS MUST BE COORDINATED & REVIEWED WITH OWNER SUPPLIED CONTRACTORS & SUPPLIERS SHALL NOTIFY THE ARCHITECT IF THEY BELIEVE A PRODUCT SPECIFIED OR AN INSTALLATION DETAIL TO BE CONTRARY TO THE MINIMUM REQUIREMENTS OF THE ADAAG AND THE **AUTHORITY HAVING JURISDICTIONS** CODES.

- THE SERVICE OR OPERATING POINT FOR ALL INSTALLED TOILET ROOM EQUIPMENT OR ACCESSORIES SHALL BE MOUNTED NOT MORE THAN 4'4".
- NO CONSTRUCTION OR EQUIPMENT SHALL BE INSTALLED WHICH DIMINISHES AN ACCESSIBLE ROUTE TO LESS THAN 36" WIDE BY 80" HIGH.
- NO OBJECT SHALL BE INSTALLED WHICH PROTRUDES MORE THAN 4" FROM THE WALL IF THE BOTTOM OF THE LEADING EDGE IS BETWEEN 27" & 80" ABOVE THE FINISHED FLOOR.
- ALL GRAB BARS SHALL HAVE A 1-1/2" CLEAR FINGER SPACE BETWEEN THE WALL & THE GRAB BAR.
- ALL GRATING LOCATED IN WALKING SURFACES SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN ONE DIRECTION & WHERE ELONGATED OPENINGS ARE PROVIDED THEY SHALL BE PLACED SO THAT THE LONG DIRECTION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
- NO RAMP SHALL BE CONSTRUCTED WITH A SLOPE GREATER THAN 7.5% IN THE DIRECTION OF TRAVEL AND A CROSS SLOPE GREATER THAN 1.5%.
- REFER TO SPECIFICATION SECTION 10 2613 TOILET ACCESSORIES FOR MODEL NUMBERS AND TOILET PLANS FOR ACCESSORY LOCATIONS.
- A FLOOR SLOPE LESS THAN 1/20 IS NOT A RAMP. CROSS SLOPES CANNOT EXCEED 1.5%.
- CHANGES IN LEVEL BETWEEN 1/4" INCH AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- SEE ENLARGED TOILET PLANS AND ELEVATIONS FOR INDIVIDUAL TOILET ROOM ACCESSORY LOCATIONS AND MOUNTING HEIGHTS.



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Date: August 28, 2020



CONCRETE NOTES:

GENERAL:

- All concrete shall have a minimum 28 day compressive strength, (f'), of 5,000 psi for foundations and 4,000 psi for slabs.
- All concrete work shall conform to the latest ACI specifications.
- Coarse aggregate for concrete shall not contain lignite, steel, or other materials that may be detrimental to the concrete.
- Fly ash in concrete mix shall not be permitted.
- Horizontal construction joints shall be permitted only where shown on the structural drawings. Horizontal or near horizontal joints shall be prepared by roughening the surface in an approved manner so that the aggregate is exposed uniformly, leaving no lamination, loose particles, or damaged concrete.
- Contractor shall verify dimensions and locations of all openings, pipe sleeves, curbs, etc., as required by other trades before concrete is placed.
- Pipes or conduit placed in foundation and slabs shall not be placed closer than 3 diameters on center. Aluminum conduits shall not be placed in concrete.
- All footings shall bear on firm, undisturbed soil or an approved select fill material compacted to at least 95% of optimum density as determined by the Standard Compaction Test, ASTM D-698.
- The design bearing capacity, q = 1,500 psf.
- Location of slotted inserts, weld plates and all other items to be embedded in concrete shall be coordinated with architectural and mechanical drawings.

REINFORCEMENT:

- All reinforcing steel shall conform to ASTM-A615, Grade 60, f<sub>y</sub> = 60 ksi.
- Minimum cover on all reinforcing steel shall be 3".
- All reinforcing bars splices shall be lap splices with a minimum overlap of 30".
- All reinforcing steel shall be fabricated and placed per the latest edition of the ACI Building Code (ACI-318).
- All reinforcement shall be securely held in place while placing concrete. If required, additional bars or stirrups shall be provided by the contractor to support all bars.
- Reinforcing bars shall not be welded, unless specifically noted on the drawing, as being welded, welded reinforcement shall conform to ASTM A-706.
- Provide corner bars in all walls and at wall intersections to match size and spacing of horizontal bars in these walls.

WELDED WIRE FABRIC:

- All welded wire fabric shall conform to the latest edition of ASTM-A185. Specifications for Welded Wire Fabric for Concrete Reinforcement.
- All laps in welded wire fabric shall be one mesh plus 2 inches at splice.
- Welded wire fabric shall be provided in flat sheets. Roll wire shall not be permitted.
- Welded wire fabric shall be properly supported by plastic chairs or any approved method during concrete placement to ensure that the welded wire fabric is properly located within the finished slab.

WOOD NOTES:

GENERAL:

- All framing lumber shall be No.2 Southern Pine unless noted otherwise.
- All plywood shall be structural APA rated panels, Exposure I, conforming to Product Standard PS-1.
- Standard cut washers shall be used under head and nuts against wood.
- The anchors for plates shall be placed 6" from the end of a plate and at intervals noted on the plans.
- Do not notch bottoms of wood members. Obtain architect/engineer approval for any holes in all wood members other than those required for structural assembly. Holes through sills, plates, studs, and double plates in interior bearing and shear walls shall not exceed 1/3 of the plate width and shall be bored holes placed in the center of the stud or plate. Notching is not permitted.
- Nailed connections shall conform to Table 2304.9.1 of the International Building Code.
- End distance, edge distance and spacing of nails shall be such to avoid splitting of the wood.
- Nailing not noted shall be at least two nails at all contact points.
- When headers are not shown, Table 2308.9.5 through 2308.9.6 of the International Building Code shall apply.

PLYWOOD ROOF DECK:

- OSB panels to be placed with long dimensions perpendicular to supports.
- Provide double 2x shaped blocking along main ridge lines, valleys and all hip ridges.

ROOF TRUSSES:

- Roof Trusses shall be designed to support the following loads:  
Top Chord Live Load = 20 psf  
Top Chord Dead Load = 15 psf  
Bottom Chord Live Load = 10 psf  
Bottom Chord Dead Load = 10 psf
- Roof Truss dimensions and spacing shall be per manufacturer's recommendations.
- Roof Truss manufacturer shall provide all bracing requirements for trusses, both temporary and permanent.
- Do not place concentrated loads atop the trusses until all specified bracing has been installed and the sheathing permanently nailed in place. Specifically avoid stacking bundles of plywood atop unbraced trusses. Lift plywood sheets individually onto roof only as required during sheathing.
- Specified mechanical equipment shall be placed in the attic only upon completion of the entire roof structural system.
- Truss manufacturer shall check system design of all members against the net uplift forces created by the basic wind speed as indicated on the structural drawings.

STRUCTURAL STEEL NOTES:

GENERAL:

- All rolled wide flange shapes shall conform to ASTM A-992, f<sub>y</sub> = 50 ksi.
- All hollow structural shapes (HSS) shall conform to ASTM A-500, Grade B, f<sub>y</sub> = 46 ksi.
- All plates shall conform to ASTM A-36, f<sub>y</sub> = 36 ksi.
- All rivets, steel shall conform to ASTM A-36, f<sub>y</sub> = 36 ksi, unless noted otherwise.
- All steel details shall be in accordance with the latest AISC Specifications (including AISC Seismic Provisions when applicable).
- Splicing of structural steel members where not detailed is prohibited without prior approval. If approved, the contractor shall have the connection tested by ultrasound by an independent testing lab.
- No change in size or position of the structural elements shall be made. Holes, slots, cuts, etc., are not permitted through any member unless they are detailed on the approved shop drawings.

WELDS:

- All welding shall be performed by certified welders in accordance with AWS specifications.
- All welding electrodes shall conform to AWS A5.1 Grade E-70.

MASONRY NOTES:

GENERAL:

- All masonry work shall be in accordance with The Building Code Requirements for Masonry Structures (ACI 530, latest edition).
- Mortar shall conform to ASTM C 270, Type S. Type N mortar and masonry cement mortar are not allowed.
- The unit/mortar combination shall provide a minimum compressive strength (f<sub>m</sub>) of 1,500 psi.
- Concrete masonry walls shall have control joints at the following locations:  
a.) At all abrupt changes in wall height.  
b.) At all changes in wall thickness.  
c.) Centered over joints in foundations and floors.  
d.) Centered below joints in roofs and floors that bear on CMU walls.  
e.) At a distance not over one-half the required joint spacing from bonded wall intersections, corners, or changes in wall direction.  
f.) At the end of lintels and sills on one side of wall openings six feet or less in width and at both sides of lintels and sills where wall openings are more than six feet wide, unless bond beams or equivalent joint reinforcement is placed at the top and bottom of the opening.

BUILDING CODE: 2012 INTERNATIONAL BUILDING CODE

GRAVITY LOADS:

LIVE LOADS.....100 psf  
FLOOR.....20 psf  
ROOF.....20 psf

DEAD LOADS:

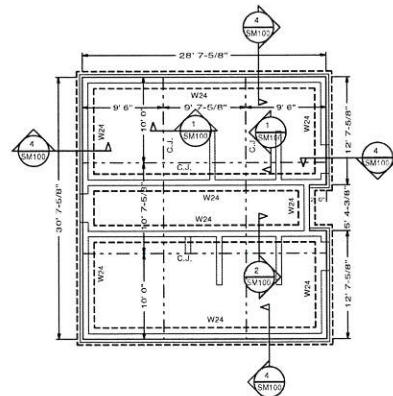
MISC.....ACTUAL WEIGHTS OF MATERIALS  
ROOF.....15 psf

LATERAL LOADS:

WIND.....15 mph  
BASIC WIND SPEED.....15 mph  
EXPOSURE CATEGORY.....C

SEISMIC:

SEISMIC RISK CATEGORY.....I  
SEISMIC IMPORTANCE FACTOR.....1.0  
SPECTRAL RESPONSE COEFFICIENTS.....S<sub>s</sub> = 1.174  
S<sub>s1</sub> = 0.625  
SITE CLASS.....D  
SEISMIC DESIGN CATEGORY.....D  
BASIC SEISMIC FORCE RESISTING SYSTEM.....CMU SHEAR WALLS & STEEL  
DESIGN BASE SHEAR.....0.213 W  
ANALYSIS PROCEDURE.....EQUivalent LATERAL FORCE (SIMPLIFIED)

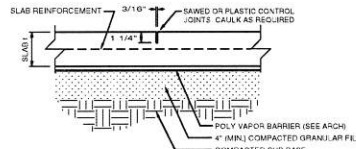


FOUNDATION PLAN - WEST RESTROOM BUILDING

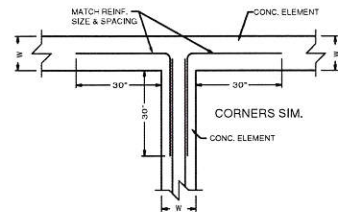
SCALE 1/8"=1'

EAST RESTROOM BUILDING ROTATED 180 DEGREES

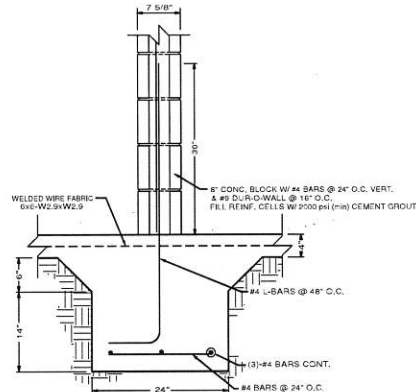
NOTE TO CONTRACTOR  
CONTRACTOR IS RESPONSIBLE FOR JOINTS CRACKING AS SHOWN ON PLAN AND DETAIL. SAWING JOINTS SHALL BEGIN AS SOON AS THE SURFACE IS FIRM ENOUGH SO THAT IT WILL NOT BE TORN OR DAMAGED BY THE BLADE. SLABS MUST BE SAWN ON SAME DAY SLAB IS POURED. DO NOT ALLOW SLAB TO CURE OVERNIGHT BEFORE SAWING.



1 SLAB CONTROL JOINT DETAIL

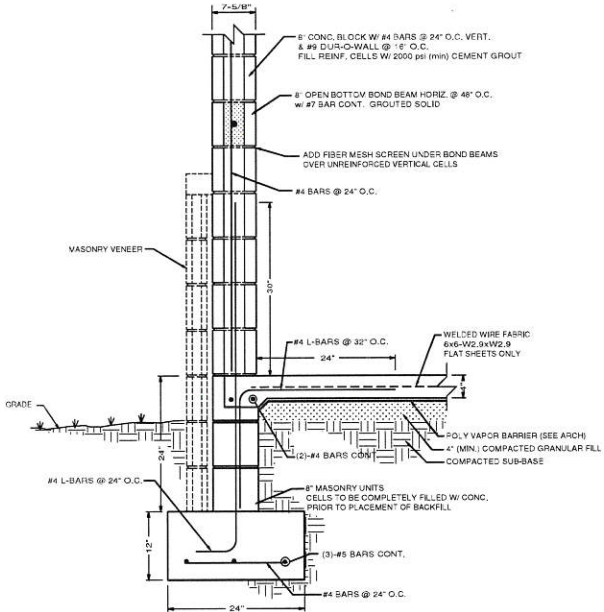


3 REIN. INTERSECTION  
SCALE 1/2"=1'



2 INTERIOR STRIP FOOTING (W24)

SCALE 1"=1'



4 EXTERIOR STRIP FOOTING (W24)

SCALE 1"=1'



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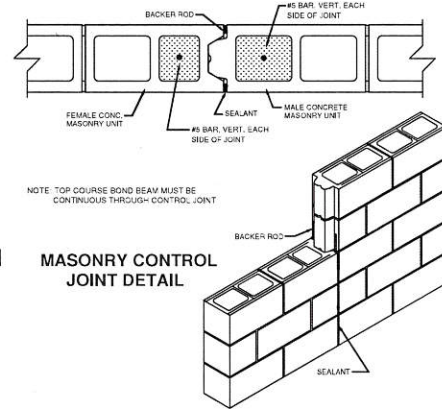
BRACKETT  
KRENNERICH  
architects

Rev.	Description	Date	By
1	Rev.		
2	Rev.		
3	Rev.		
4	Rev.		
5	Rev.		
6	Rev.		
7	Rev.		
8	Rev.		
9	Rev.		
10	Rev.		

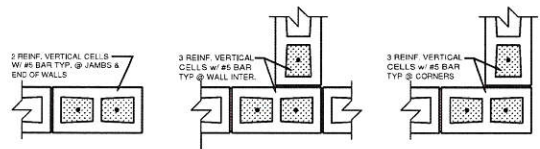


Commission Number  
12015  
SM100  
Date: August 28, 2020

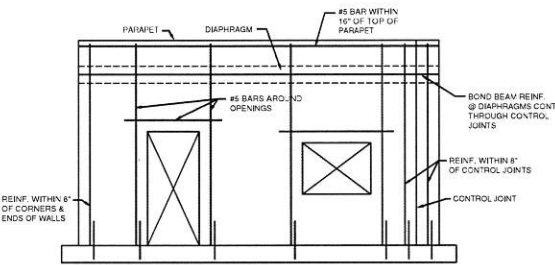
SMITH ENGINEERING CO.  
CIVIL & STRUCTURAL  
P.O. BOX 291 • MARION, AR 72354 • (501) 738-5033



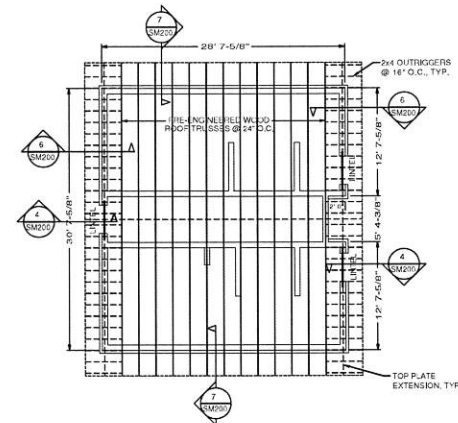
**1 MASONRY CONTROL JOINT DETAIL**



**2 TYPICAL 8" MASONRY WALLS**



**3 CMU REINFORCEMENT REQUIRED LOCATIONS**



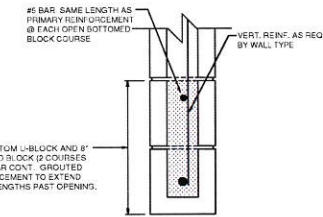
**FRAMING PLAN - WEST RESTROOM BUILDING**

SCALE 1/8"=1'

EAST RESTROOM BUILDING ROTATED 180 DEGREES

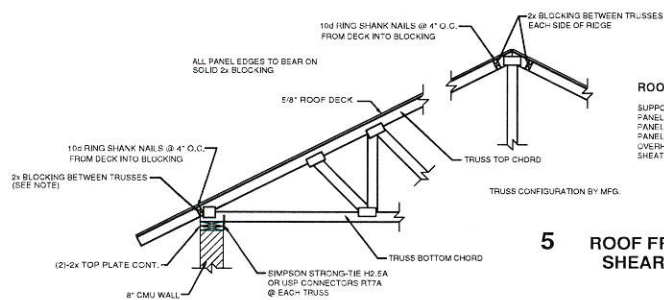
**ROOF TRUSS DESIGN LOADING**  
 Top Chord Live Load = 20 psf  
 Top Chord Dead Load = 15 psf  
 Bottom Chord Live Load = 15 psf  
 Bottom Chord Dead Load = 10 psf

**ROOF DECKING SCHEDULE**  
 DECKING  
 5/8" O.S.B. RATED DECKING  
 EDGE NAILS = 10d (3"x0.148") @ 4" O.C.  
 FIELD NAILS = 10d (3"x0.148") @ 12" O.C.  
 PROVIDE BLOCKING @ ALL PANEL EDGES



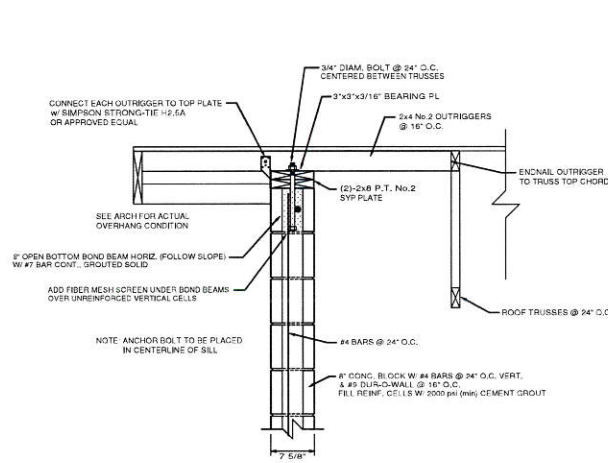
**4 LINTEL DETAIL**

SCALE 1-1/2"=1'



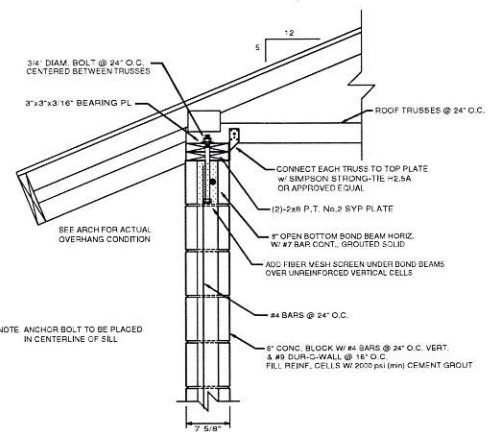
**5 ROOF FRAMING, SHEATHING & SHEAR TRANSFER ELEMENT**

SCALE 1/2"=1'



**6 OUTRIGGER DETAIL**

SCALE 1"=1'



**7 TRUSS BEARING AT CMU WALL**

SCALE 1"=1'



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 architects

Revision	By	Date
1	SM	9/19/20



Commission Number  
 12015

**SM200**

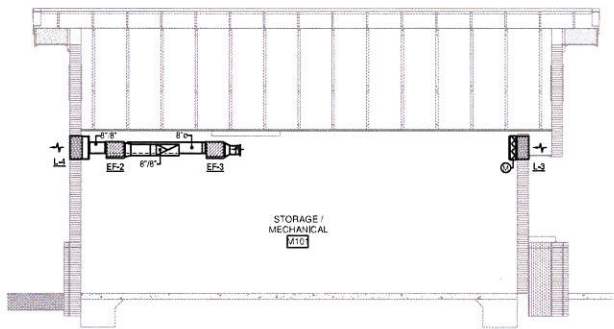
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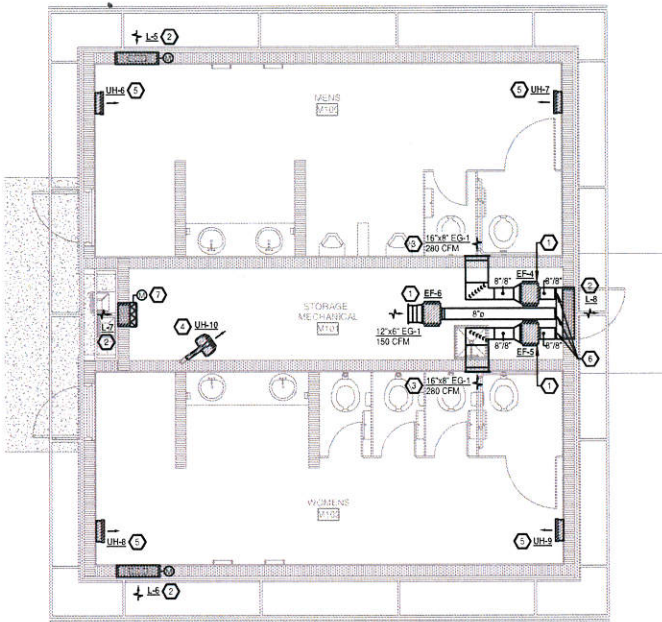
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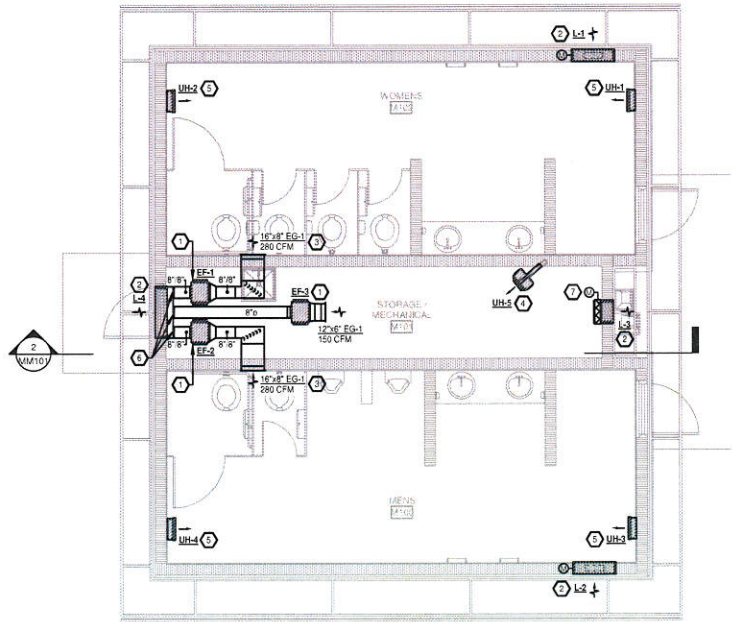
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2 MECHANICAL ROOM SECTION  
SCALE: 1/4" = 1'-0"



EAST RESTROOM PLAN - HVAC  
SCALE: 1/4" = 1'-0"



WEST RESTROOM PLAN - HVAC  
SCALE: 1/4" = 1'-0"

- ### HVAC KEYED NOTES
1. IN-LINE EXHAUST FAN SUSPENDED FROM STRUCTURE, MOUNTED BELOW CEILING. INTERLOCK FAN WITH LIGHT SWITCH IN TOILET. SEE SEQUENCE OF OPERATION SHEET MM201 FOR EXHAUST FAN OPERATIONS.
  2. REFER TO ARCHITECTURAL PLANS FOR MOUNTING HEIGHT OF LOUVER.
  3. REFER TO ARCHITECTURAL PLANS FOR MOUNTING HEIGHT OF SIDEWALL GRILLE.
  4. MOUNT UNIT HEATER TO WALL WITH BRACKET HIGH ON WALL.
  5. SURFACE MOUNT UNIT HEATER 12" ABOVE FINISHED FLOOR.
  6. CONNECT EXHAUST AIR DUCT FULL SIZE OF EXHAUST FAN OUTLET TO A SHEET METAL PLENUM INSTALLED ON BACK OF LOUVER. PLENUM TO BE SAME SIZE AS LOUVER.
  7. PROVIDE MOTORIZED DAMPER IN DUCT CONNECTED TO BACK OF LOUVER. INTERLOCK WITH EXHAUST FAN SERVING THE STORAGE / MECHANICAL ROOM TO OPEN WHEN FAN IS ON AND TO CLOSE WHEN FAN IS OFF.

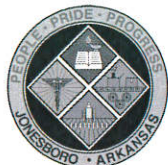
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SPORTS COMPLEX**  
PHASE IIB  
Jonesboro, Arkansas

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Revision	Revised By	Revised Date



Commission Number  
12015-20A  
**MM101**  
Date: September 23, 2020

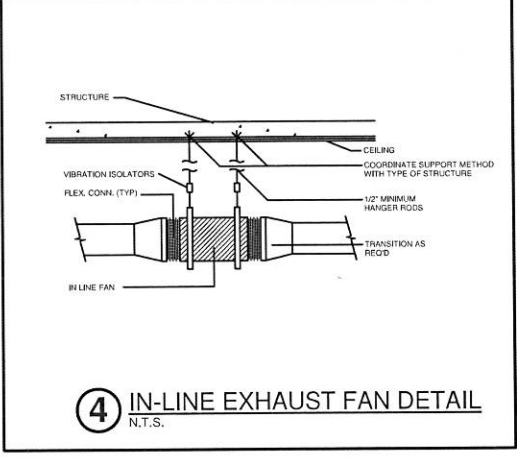
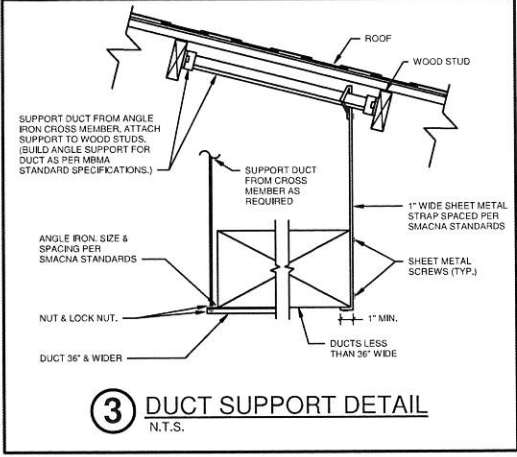
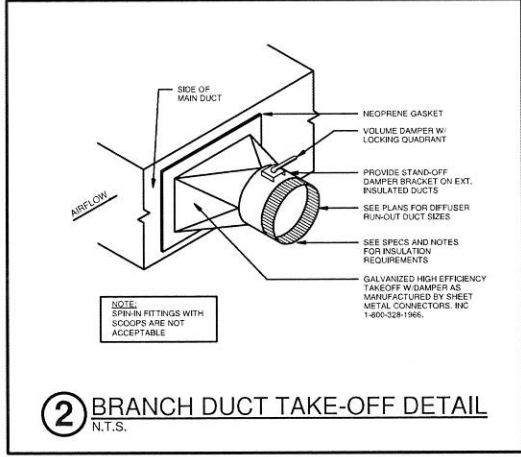
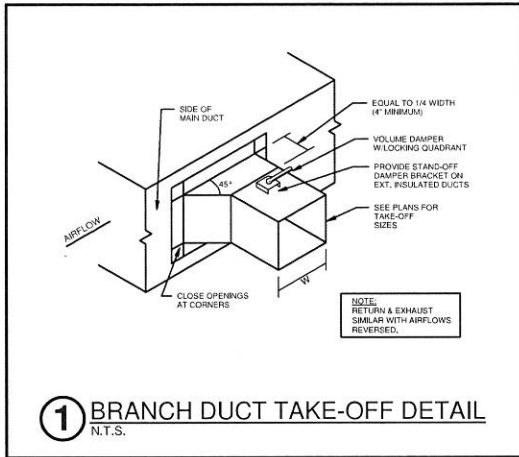


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EAST WEST RESTROOM PLANS - HVAC



EXHAUST FAN SCHEDULE																	
DESIG.	MFR/MDL	SERVES	LOCAT.	TYPE	FAN DATA							WEIGHT (LBS.)	MOTOR DATA				REMARKS
					CFM	S.P.	RPM	DRIVE	TYPE	DIA.	SONES		RPM	WATTS	FLA	VOLT/PH	
EF-1 & EF-4	GREENHECK CSP-4350	TOILETS	STORAGE / MECH. ROOM M101	INLINE	280	0.5	1180	DIRECT	CENTRIFUGAL	—	3.0	24	—	89 W	1.33	115 / 10	PROVIDE WITH BACKDRAFT DAMPER, FAN SPEED CONTROL, DISCONNECT SWITCH, & ISOLATION KIT.
EF-2 & EF-5	GREENHECK CSP-4350	TOILETS	STORAGE / MECH. ROOM M101	INLINE	280	0.5	1180	DIRECT	CENTRIFUGAL	—	3.0	24	—	89 W	1.33	115 / 10	PROVIDE WITH BACKDRAFT DAMPER, FAN SPEED CONTROL, DISCONNECT SWITCH, & ISOLATION KIT.
EF-3 & EF-6	GREENHECK CSP-4190	MECH ROOM STORAGE	STORAGE / MECH. ROOM M101	INLINE	150	0.25	1241	DIRECT	CENTRIFUGAL	—	1.1	17	—	36 W	1.1	115 / 10	PROVIDE WITH BACKDRAFT DAMPER, FAN SPEED CONTROL, DISCONNECT SWITCH, & ISOLATION KIT.

ELECTRIC HEATER SCHEDULE									
DESIG.	MFR./MDL.	SERVES	TYPE	CFM	HEATING		ELECTRICAL		REMARKS
					KW	BTU/HR	VOLT/PHASE	AMPS	
UH-1 & UH-6	QMARK / AWH4507F	WOMEN'S TOILET	WALL MOUNTED	—	4.8	16,380	277V / 1Ø	17.3	PROVIDE SURFACE MOUNTING FRAME, THERMOSTAT, BRONZE COLOR, & DISCONNECT SWITCH
UH-2 & UH-7	QMARK / AWH4507F	WOMEN'S TOILET	WALL MOUNTED	—	4.8	16,380	277V / 1Ø	17.3	PROVIDE SURFACE MOUNTING FRAME, THERMOSTAT, BRONZE COLOR, & DISCONNECT SWITCH
UH-3 & UH-8	QMARK / AWH4507F	MEN'S TOILET	WALL MOUNTED	—	4.8	16,380	277V / 1Ø	17.3	PROVIDE SURFACE MOUNTING FRAME, THERMOSTAT, BRONZE COLOR, & DISCONNECT SWITCH
UH-4 & UH-9	QMARK / AWH4507F	MEN'S TOILET	WALL MOUNTED	—	4.8	16,380	277V / 1Ø	17.3	PROVIDE SURFACE MOUNTING FRAME, THERMOSTAT, BRONZE COLOR, & DISCONNECT SWITCH
UH-5 & UH-10	QMARK / MUH23-41	MECH ROOM / STORAGE	WALL MOUNTED	350	3.0	10,200	480V / 3Ø	3.6	PROVIDE WALL MOUNTING BRACKET, THERMOSTAT, SUMMER FAN SWITCH, & DISCONNECT SWITCH

LOUVER SCHEDULE									
DESIG.	MFR./MDL.	TYPE	SERVES	CFM	S.P.	SIZE	VELOCITY FPM	FINISH	REMARKS
L-1 & L-5	GREENHECK EACC-601	6" DEEP COMBINATION DRAINABLE	EF-1 & EF-4	260	0.02"	30" W x 24" H	397	KYNAR	PROVIDE WITH BRD SCREEN, COLOR AS SELECTED BY ARCHITECT.
L-2 & L-6	GREENHECK EACC-601	6" DEEP COMBINATION DRAINABLE	EF-2 & EF-5	260	0.02"	30" W x 24" H	397	KYNAR	PROVIDE WITH BRD SCREEN, COLOR AS SELECTED BY ARCHITECT.
L-3 & L-7	GREENHECK EACC-601	6" DEEP COMBINATION DRAINABLE	EF-3 & EF-6	150	0.01"	16" W x 16" H	265	KYNAR	PROVIDE WITH BRD SCREEN, COLOR AS SELECTED BY ARCHITECT.
L-4 & L-8	GREENHECK EACC-601	6" DEEP COMBINATION DRAINABLE	EF-3 & EF-6	710	0.03"	36" W x 16" H	505	KYNAR	PROVIDE WITH BRD SCREEN, COLOR AS SELECTED BY ARCHITECT.

AIR DEVICE SCHEDULE							
DESIG.	MFR./MDL.	TYPE	FACE SIZE	FINISH	FREE AREA	ACCESS.	REMARKS
EG-1	TITUS 350HL	SEAWALL EXHAUST	AS NOTED	WHITE	—	OPPOSED BLADE DAMPER	PROVIDE WITH 3/4" SPACED BLADES, 25° DEFLECTION, BLADES PARALLEL TO LONG DIMENSION

HVAC GENERAL NOTES									
1.	DUE TO THE SMALL SCALE OF THIS DRAWING, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, AND ACCESSORIES WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL INVESTIGATE THE STRUCTURAL AND FINISH CONDITIONS AFFECTING THE WORK AND SHALL COORDINATE AND ARRANGE HIS WORK ACCORDINGLY.								
2.	ROUND BRANCH DUCT RUNOUTS SHALL BE SAME SIZE AS DIFFUSER THROAT UNLESS OTHERWISE NOTED.								
3.	FLEXIBLE DUCT MAY BE USED FOR FINAL CONNECTIONS TO DIFFUSERS. A MAXIMUM LENGTH OF THREE FEET (3') SHALL BE USED. A HARD 90° ELBOW MUST BE USED WHERE DUCT TURNS DOWN ABOVE DIFFUSER.								
4.	WHERE MANUAL DAMPERS ARE INSTALLED IN EXTERNALLY INSULATED DUCTWORK, PROVIDE STAND-OFF BRACKET TO PREVENT COMPRESSION OF INSULATION BY DAMPER OPERATOR HANDLE.								
5.	PROVIDE TURNING VANES IN ALL 90-DEGREE MITERED ELBOWS.								
6.	PROVIDE SLEEVES THROUGH WALLS AND FLOORS. SEAL EXCESS OPENING WITH WATER-PROOF SEALANT. COORDINATE LOCATIONS AND SIZES OF SLEEVES WITH GENERAL CONTRACTOR. SLEEVES SHALL PROVIDE A MAXIMUM OF 1" CLEARANCE BETWEEN DUCT OR PIPE AND SLEEVE. SEAL PENETRATION IN FIRE/SMOKE RATED WALLS AND FLOOR WITH AN APPROVED FIRE/SMOKE BLOCK SEALANT.								
7.	EXHAUST DUCTWORK SHALL BE UN-INSULATED, UNLESS NOTED OTHERWISE.								
8.	REFER TO REFLECTED CEILING PLAN FOR EXACT DIFFUSER LOCATIONS.								
9.	COORDINATE LOCATION OF DUCTS AND DIFFUSERS WITH STRUCTURAL FRAMING MEMBERS. OFFSET DUCTS AS REQUIRED TO CLEAR STRUCTURAL MEMBERS.								
10.	COORDINATE LOCATION AND ELEVATION OF DUCT RUNS WITH PLUMBING AND ELECTRICAL CONTRACTORS.								
11.	DUCT DIMENSIONS ARE REQUIRED FREE AREA AND DO NOT ACCOUNT FOR INTERNAL INSULATION THICKNESS. INCREASE DUCT SIZES WHERE INTERNAL INSULATION IS SHOWN TO ACHIEVE THE REQUIRED FREE AREA.								

CONTROLS SEQUENCE OF OPERATION									
EXHAUST FAN SEQUENCE OF OPERATION:									
EF-1, EF-2, EF-4, & EF-5									
THE EXHAUST FAN SHALL BE INTERLOCKED WITH THE LIGHT SWITCH IN THE ROOM IT SERVES. WHEN THE SWITCH IS ON, THE FAN SHALL BE ENABLED AND THE MOTORIZED DAMPER IN THE RETURN LOUVER IN THE EXTERIOR WALL OF THE ROOM IT SERVES SHALL OPEN. WHEN THE SWITCH IS OFF, THE FAN SHALL BE DISABLED AND THE DAMPER SHALL CLOSE.									
EF-3 & EF-6									
THE EXHAUST FAN SHALL BE CONTROLLED BY A WALL MOUNTED SWITCH IN THE ROOM IT SERVES. WHEN THE SWITCH IS ON, THE FAN SHALL BE ENABLED AND THE MOTORIZED DAMPER AT THE INTAKE LOUVER SHALL OPEN. WHEN THE SWITCH IS OFF, THE FAN SHALL BE DISABLED AND THE DAMPER SHALL CLOSE.									

DUCTWORK LEGEND									
	CEILING DIFFUSER (CD)		RETURN AIR GRILLE (RA)		EXHAUST REGISTER (ER)		SIZE - DESIGNATION		FLEXIBLE DUCT CONNECTOR
	TURNING VANES		SPLITTER DAMPER (TEE)		INTERNALLY INSULATED DUCT		EXTRACTOR		MANUAL DAMPER
	MOTORIZED DAMPER		CONDENSATE DRAIN PIPING		REFRIGERANT SUCTION AND LIQUID PIPES		DIAMETER		THERMOSTAT
	DETAIL		SECTION	TOP NUMBER REFERS TO THE DETAIL. NUMBER BOTTOM NUMBER REFERS TO THE SHEET WHERE DETAIL IS SHOWN					

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Revision Schedule	Issued	Revised	By	Date
1				
2				
3				
4				
5				
6				
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Commission Number 12015-2BA	MM201
Date: September 23, 2020	





PLUMBING GENERAL NOTES	
1.	THE CONTRACTOR SHALL, PRIOR TO THE START OF ANY WORK UNDER THIS CONTRACT, JOB SITE VERIFY SIZE, LOCATION, ETC., OF ANY EXISTING PIPING NOTED, SHOWN OR IMPLIED, TO WHICH NEW PIPING IS RELATED OR CONNECTED.
2.	HOT AND COLD WATER SUPPLIES TO FIXTURES SHALL BE AS FOLLOWS, UNLESS SHOWN OR NOTED OTHERWISE.
	WATER CLOSET _____ 1"
	URINAL _____ 1"
	LAVATORY _____ 1 1/2"
	SERVICE SINK _____ 3/4"
	ELECTRIC WATER COOLER _____ 1/2"
	SINK _____ 1/2"
	SHOWER _____ 3/4"
	FREEZE-PROOF WALL HYDRANT _____ 1/2"
	CLINICAL SINK _____ 1-1/4" & 1/2"
	ICE MACHINE _____ 1/2"
	SUPPLY AND DRAIN UNIT (WASHER BOX) _____ 1/2"
	HOSE BIB _____ 1/2"
	EMERGENCY SHOWER/EYEWASH _____ 1-1/4"
3.	INSTALL WATER HAMMER ARRESTORS EQUAL TO ZURN "SHOKTROL" AT EACH QUICK CLOSING VALVE, AND AT EACH GROUP OF PLUMBING FIXTURES, AND AS NOTED ON DRAWINGS SIZED AS PER MANUFACTURERS RECOMMENDATIONS. (MUST BE ACCESSIBLE WHERE POSSIBLE, ABOVE CEILING IF NECESSARY)
4.	ALL SUPPLIES TO FIXTURE SHALL BE PROVIDED WITH HIGH EAR COUPLING EQUAL TO MUELLER CO. No. C-100HE (1/2", 3/4" OR 1" SIZE) AT THE WALL (ANCHOR TO CROSS MEMBER SUPPORT) BEFORE PIPE ENTERS ROOM SPACE TO ASSURE NO PIPE MOVEMENT WITHIN WALL CAVITY.
5.	ALL FLOOR DRAINS SHALL BE PROVIDED WITH DEEP SEAL TYPE TRAP WITH NOT LESS THAN FOUR INCH (4") WATER SEAL AND BE PROVIDED WITH TRAP PRIMER.
6.	ALL VENTS THROUGH ROOF (V.T.R.) SHALL BE PROVIDED WITH 6" (24" X 24" SIZE) FLASHING, WHERE STANDING SEAL TYPE IS USED THE FLASHING SHALL BE IN ACCORDANCE WITH THE ROOFING MANUFACTURERS RECOMMENDATION AND AS DETAILED ON THE ARCHITECTURAL DRAWINGS. CLOSE COORDINATION WITH THE ROOFING CONTRACTOR SHALL BE MAINTAINED TO ASSURE THE VENT PENETRATION IS CENTERED WITHIN THE METAL ROOF PANELS. TYPICALLY FOR METAL OR OTHER SPECIAL MATERIAL ROOFS - USE MANUFACTURED RUBBER BOOT WITH STAINLESS STEEL HARDWARE TYPE THAT IS ARCHITECT APPROVED AND MUST BE COMPATIBLE WITH ROOFING SYSTEM AND ROOF WARRANTY.
7.	FLUSH VALVES SHALL BE MOUNTED SUCH THAT THE DIMENSION FROM FLUSH VALVE CENTERLINE TO FINISHED FLOOR SHALL BE 39". (DOES NOT APPLY TO ELECTRONIC FLUSH VALVES) WHERE HANDICAPPED GRAB BARS ARE INSTALLED ON BACK WALL AT CLOSET, FLUSH VALVE SHALL BE MOUNTED AT STANDARD HEIGHT. SEE SPECIFICATIONS AND WATER CLOSET DETAIL.
8.	WHERE THIS SYMBOL OCCURS ON THE DRAWINGS, REFERENCE SHOULD BE MADE TO THE KEYED NOTES ON THAT SAME SHEET AND THE CORRESPONDING NUMBER OF THAT NOTE.
9.	WHERE PLUMBING FIXTURES ARE LOCATED ON EXTERIOR WALL, WATER PIPING SHALL BE INSTALLED ON THE THERMAL SIDE OF THE WALL INSULATION.
10.	CLOSE COORDINATION AND COOPERATION SHALL BE MAINTAINED BETWEEN TRADES WITH REGARD TO PLUMBING, HVAC, FIRE PROTECTION AND ELECTRICAL PLANS.
11.	PROVIDE CLEANOUT CLEARANCE IN ACCORDANCE WITH THE ARKANSAS STATE PLUMBING CODE, BUT DO NOT LOCATE IN FOOT TRAFFIC PATHWAYS. DO NOT LOCATE CLEANOUTS IN FLOORS WITH CARPET, (FIELD COORDINATE) LOCATE FLOOR CLEANOUT NEAR WALLS, IN JANITORS ROOM, STORAGE ROOM, ETC., DO NOT LOCATE NEAR DOORWAYS.
12.	PROVIDE FIRE STOPPING OR FIRE STOP SLEEVE DEVICES AT ALL RATED ASSEMBLIES - SEE ARCHITECTURAL SPECIFICATIONS AND ARCHITECTURAL DRAWINGS FOR DETAILS.
13.	TRAP PRIMERS- LOCATE TRAP PRIMERS REASONABLY CLOSE TO PLUMBING FIXTURE (10' TO 20'). DO NOT CONNECT TRAP PRIMER TO WATER LINE LARGER THAN 1-1/2" SIZE- TRY TO LOCATE TRAP PRIMER LOWER THAN PLUMBING FIXTURES. FIELD VERIFY EXACT TRAP PRIMER LOCATIONS AND WATER PIPE ROUTING. TRAP PRIMER SHALL TYPICALLY BE PRECISION PLUMBING PRODUCTS MODEL # P2-500. WHERE FLOOR DRAINS OCCUR NEAR WATER CLOSETS - USE VACUUM BREAKER TRAP PRIMER - SLOAN "TP" - MODEL VBF-72A - EXPOSED 3/8" TUBING SHALL BE VERY MINIMAL AND CHROME PLATED WITH CAST CHROME FLANGE TO WALL.
14.	COORDINATE EXACT LOCATIONS OF ALL PLUMBING PIPING WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
15.	VERIFY WITH ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ALL "ADA" PLUMBING FIXTURES
16.	ALL JANITORS ROOMS SHALL HAVE FLOOR DRAINS.
17.	ALL SANITARY SEWER RISERS SHALL HAVE CLEANOUT AT THE BASE (WALL CLEANOUT OR FLOOR CLEANOUT)
18.	ALL STORM DRAIN PIPING SHALL HAVE CLEANOUT PLUGS AT EACH 90° TURN ABV CEILINGS AND HAVE A FLOOR OR WALL CLEANOUT AT THE BASE OF ALL RISERS.
19.	INSTALL PIPING EXPANSION JOINTS IN ALL PIPING THAT CROSSES BUILDING EXPANSION JOINTS. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND PLUMBING ROOF PLAN FOR BUILDING EXPANSION JOINT LOCATIONS.
20.	TWO-WAY CLEANOUTS SHALL BE INSTALLED AT THE JUNCTION OF THE BUILDING DRAIN AND THE BUILDING SEWER (TYP ALL AREAS) - MUST BE INSTALLED TO MEET PLUMBING CODES, EVEN IF NOT SHOWN ON DRAWING - VERIFY AND COORDINATE WITH CIVIL UTILITY DRAWINGS.

PLUMBING LEGEND			
SYMBOL	DESCRIPTION		
—	SOIL, WASTE, OR SANITARY SEWER	— — —	UNION
—SS—	SANITARY SEWER (ON SITE)	FD	FLOOR DRAIN
-----	SANITARY VENT	RD	ROOF DRAIN
—CW—	COMBINATION WASTE AND VENT	AD	ACCESS DOOR
—W—	WATER (ON SITE)	VTR	VENT THRU ROOF
—	COLD WATER	HB	HOSE BIB
—	HOT WATER	FPWH	FREEZE PROOF WALL HYDRANT
—	HOT WATER RETURN	CO	CLEANOUT PLUG
—SD—	STORM DRAIN	FCO	FLOOR CLEANOUT
—D—	INDIRECT DRAIN	AFCD	FLOOR CLEANOUT WITH ACID RESISTANT PIPING AND FITTINGS
—G—	NATURAL GAS (LOW PRESSURE GAS)	WCO	WALL CLEANOUT
→	FLOW DIRECTION	ECO	EXTERIOR CLEANOUT
⊗	GATE VALVE	⊗	⊗ DENOTES - SANITARY VENT STACK THRU ROOF
⊗	GLOBE VALVE	⊗	⊗ RISER DESIGNATION
⊗	CHECK VALVE	⊗	⊗ NEW CONNECTION TO EXISTING
⊗	BALL VALVE	⊗	⊗ EXISTING PIPING TO BE REMOVED OR ABANDONED
⊗	PLUG COCK - GAS COCK	⊗	⊗ EXISTING PIPING TO REMAIN
⊗	PRESSURE REDUCING VALVE	⊗	⊗ CAP AND SEAL AIR OR WATER TIGHT
⊗	STRAINER	⊗	⊗ TERMINATION POINT OF DEMOLITION

FIXTURE LEGEND	
SYMBOL	DESCRIPTION
▨	NEW FIXTURE
▪	ROUGH IN AND FINAL CONNECT ONLY
◻	EXISTING FIXTURE TO REMAIN
◻	EXISTING FIXTURE TO BE REMOVED
◻	EXISTING FIXTURE (RELOCATED, OR REPAIRED - SEE NOTES)



Commission Number  
12015-26A  
**PM000**  
Date: September 23, 2020



Revision Schedule	
Rev.	Rev. Description
1	Issue
2	Issue
3	Issue
4	Issue
5	Issue
6	Issue
7	Issue
8	Issue
9	Issue
10	Issue

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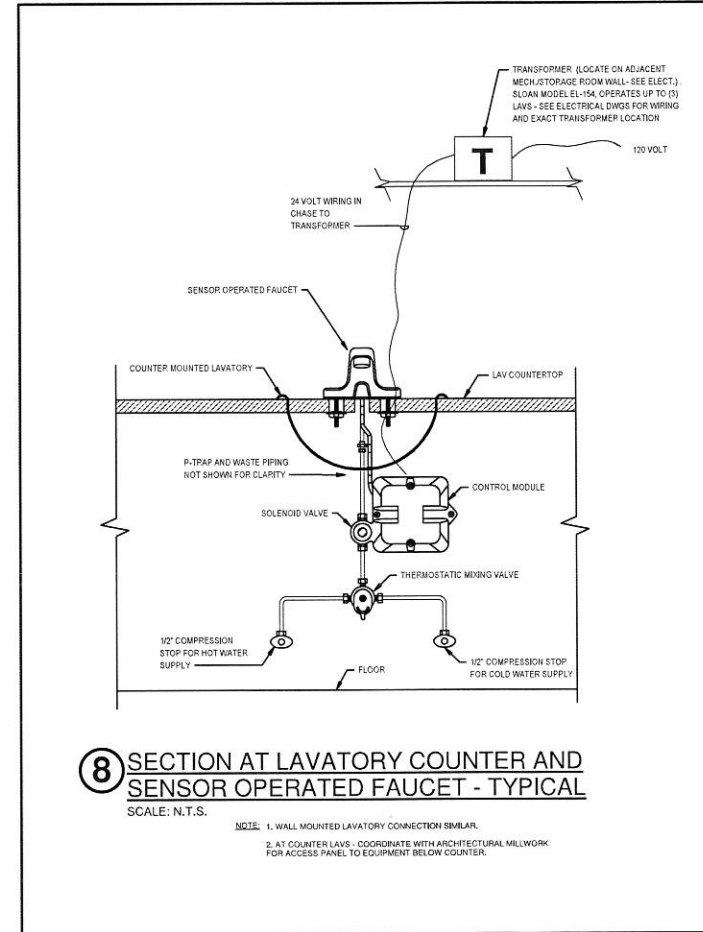
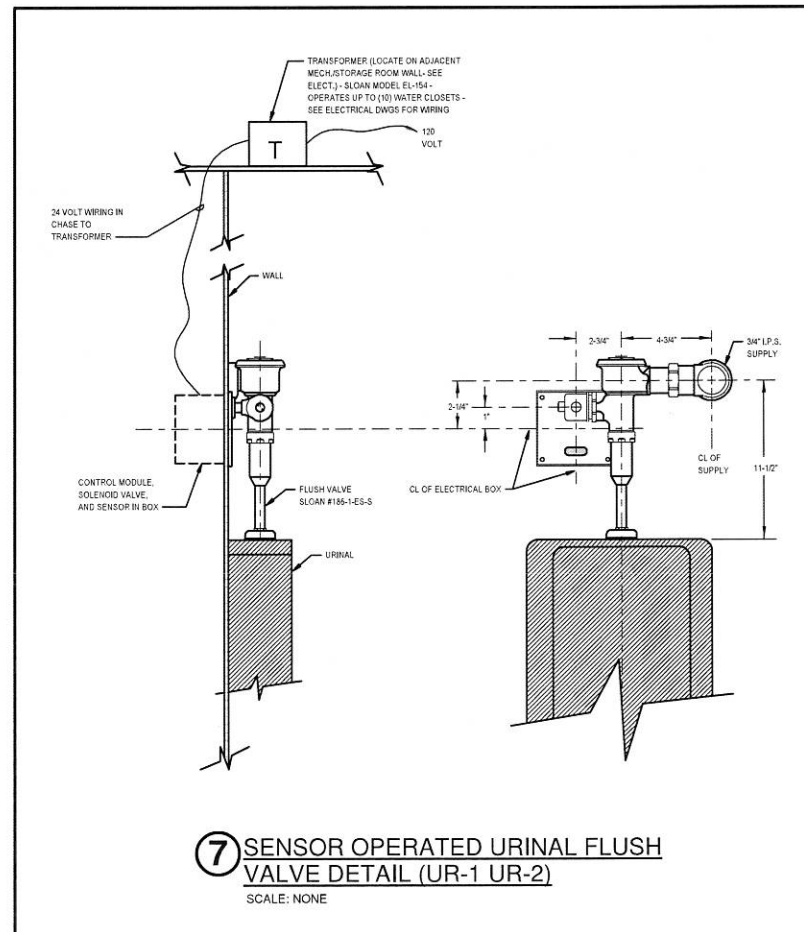
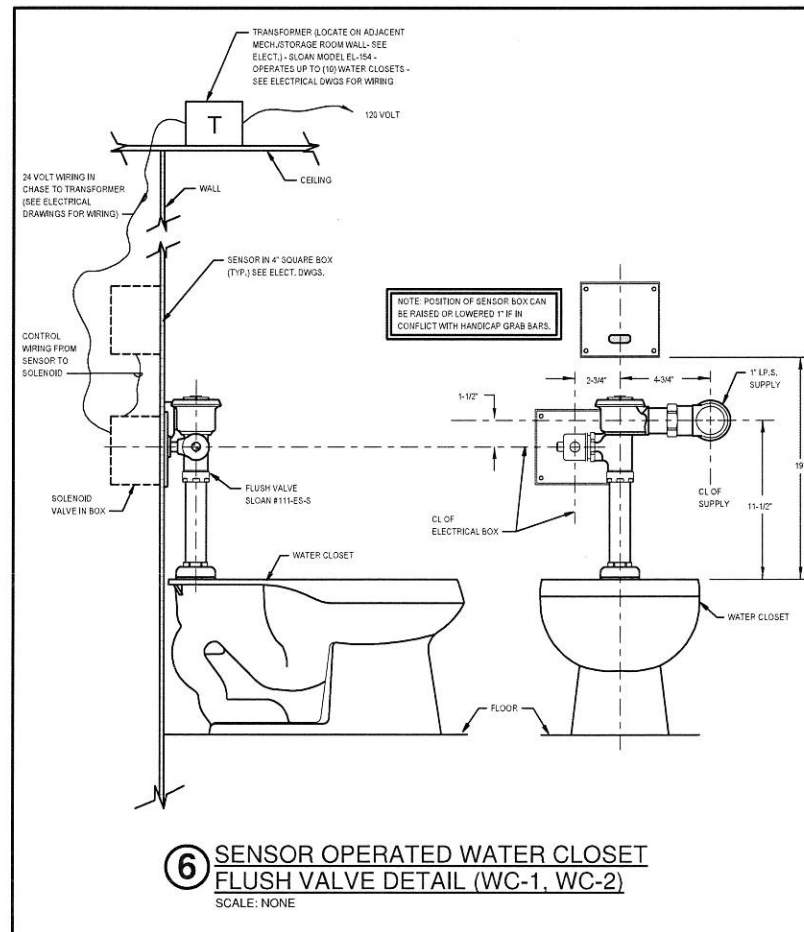
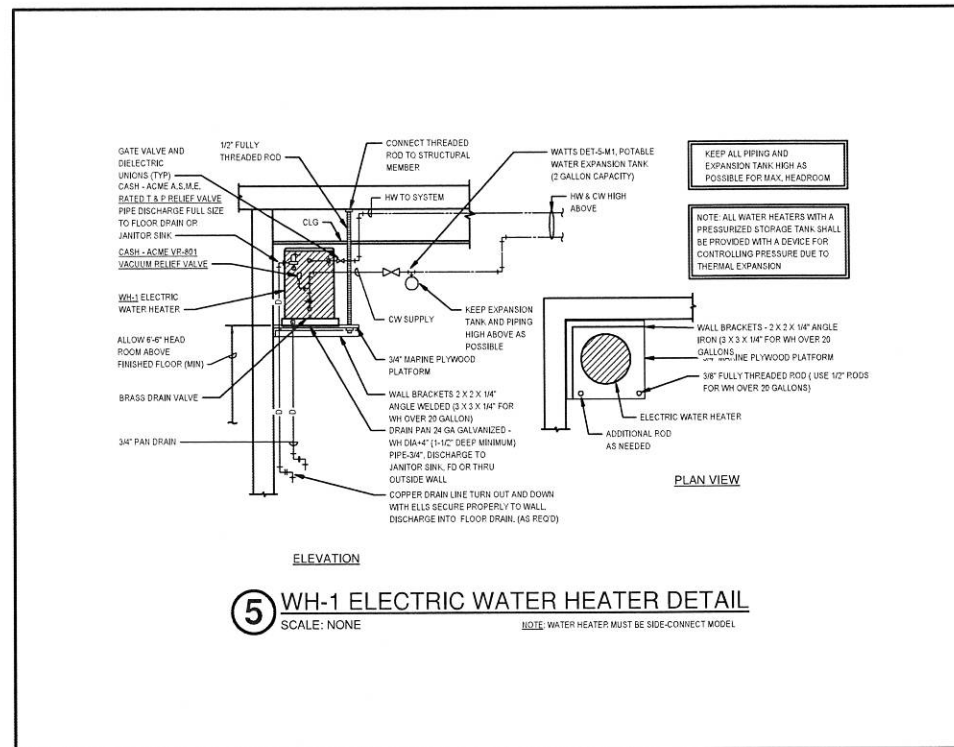
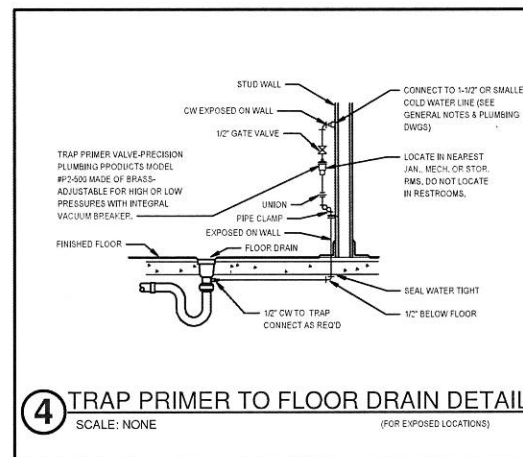
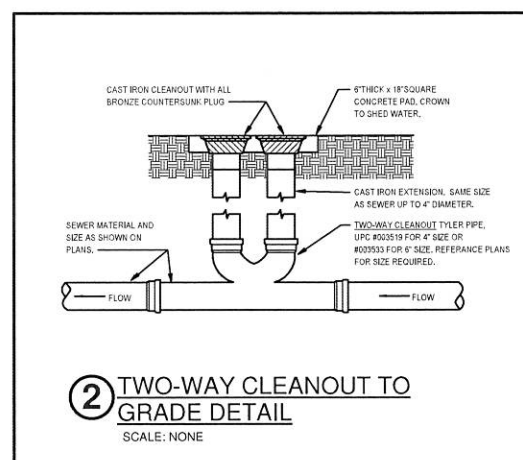
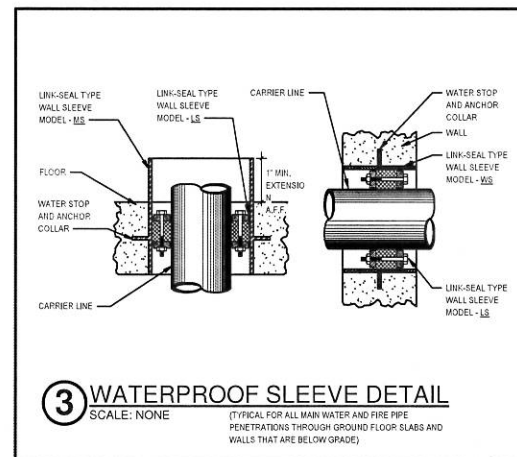
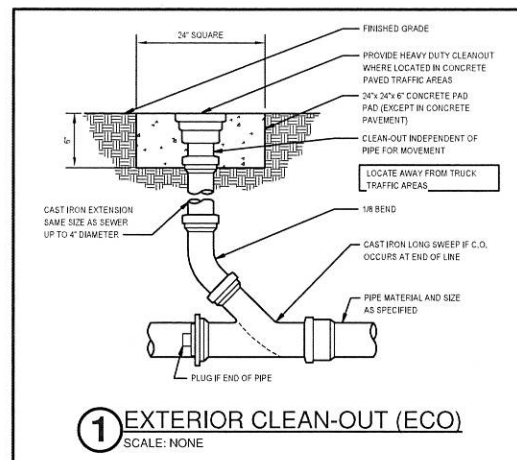
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**JONESBORO SHOOTING  
SPORTS COMPLEX**  
PHASE IIB  
Jonesboro, Arkansas





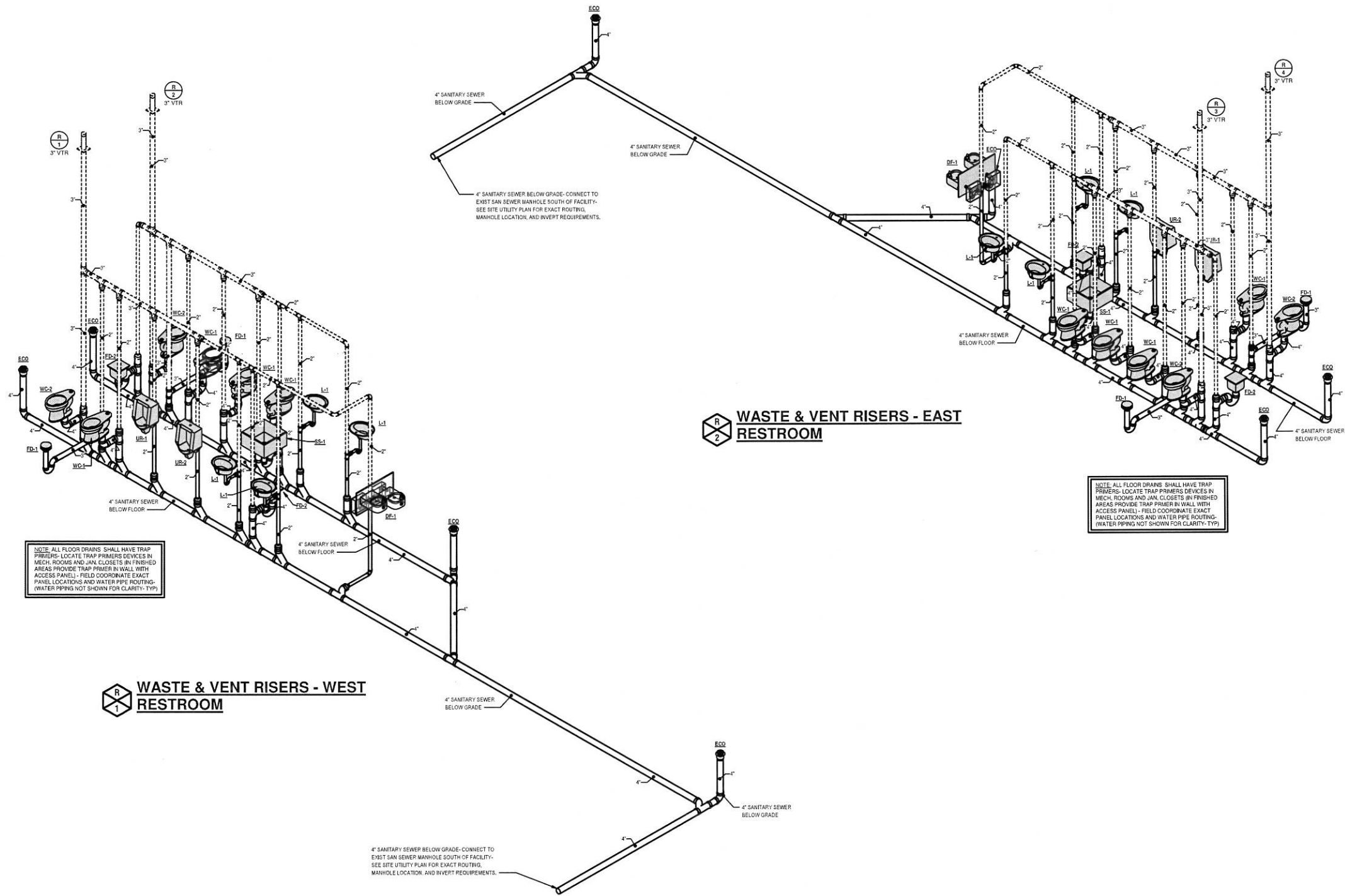


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NOTE: ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS. LOCATE TRAP PRIMERS DEVICES IN MECH. ROOMS AND JAN. CLOSETS. IN FINISHED AREAS PROVIDE TRAP PRIMER IN WALL WITH ACCESS PANEL. FIELD COORDINATE EXACT PANEL LOCATIONS AND WATER PIPE ROUTING. (WATER PIPING NOT SHOWN FOR CLARITY. TYP.)

NOTE: ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS. LOCATE TRAP PRIMERS DEVICES IN MECH. ROOMS AND JAN. CLOSETS. IN FINISHED AREAS PROVIDE TRAP PRIMER IN WALL WITH ACCESS PANEL. FIELD COORDINATE EXACT PANEL LOCATIONS AND WATER PIPE ROUTING. (WATER PIPING NOT SHOWN FOR CLARITY. TYP.)

### WASTE & VENT RISERS - WEST RESTROOM

### WASTE & VENT RISERS - EAST RESTROOM



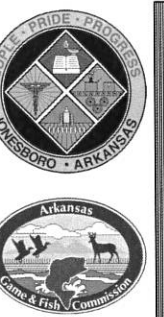
Commission Number  
12015-2DA  
**PM301**  
Date: September 23, 2020



Revision	Revision Schedule	Revision Description	Revision Date

**BRACKETT  
KRENNERICH**  
architects

CITY OF JONESBORO  
**JONESBORO SHOOTING  
SPORTS COMPLEX**  
PHASE IIB  
Jonesboro, Arkansas



HW: Eric Hampton-AVE: Ramey Dr. E-17: Hwy 165A - 10/16/2020 - 10/16/2020 - 10/16/2020

WASTE & VENT RISERS - PLUMBING



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**JONESBORO SHOOTING**  
**SPORTS COMPLEX**  
PHASE IIB  
Jonesboro, Arkansas

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PETTIT & PETTIT  
 CONSULTING ENGINEERS, INC.  
 Commission Number  
 12015-2BA  
*PM401*  
 Date: September 23, 2023

PLUMBING FIXTURE SCHEDULE										
TYPE MARK	MANUFACTURER	MODEL	DESCRIPTION	ADA COMPLIANT	TRIM	SUPPLIES	TRAP	GPM	SUPPORT	COMMENTS
DF-1	Haws	1119FR	Freeze proof, hi-lo, freeze resistant 18 gauge stainless steel, air operated, freeze resistant valve system for each fountain model STOW chrome brass bubler heads Model 6521FR pneumatic operated valves model 6462 strainer, 5881 PBA push button bottom plate with vandal resistant screws. Provide complete inside metal cabinet to enclose all valves and p-traps with removable stainless steel access panel inside building with vandal proof hardware and screws. Furnish floor mounted support carrier, heavy duty stops and traps.							
FWWH-1	Zum Industries	Z-1300	Ecotrol® anti-siphon, non-freeze, 3/4 inch size nickel bronze casing and all bronze interior parts and non-turning operating rod with free floating compression closure valve, polished nickel bronze face, integral backflow preventer, union elbow inlet, wall clamp and key handle. Box face and hinged cover shall be nickel bronze complete with operating key lock.							
HB-1	Zum Industries	Z-1330	Ecotrol® anti-siphon, moderate climate, 3/4 inch size nickel bronze casing and all bronze interior parts and non-turning operating rod with free floating compression closure valve, nickel bronze face, integral backflow preventer. Nickel bronze box and hinged cover with operating key lock and WATER samped on cover.							
L-1	Kohler	K-2196	Perivertigo® self-priming lavatory, 20 inch by 17 inch size, vitreous china, oval basin, front overflow, with 8 inch faucet drilling centers.	Yes	Sloan Model ET1-600 sensor operated faucet, 0.5 GPM sensor, McCue, 155-A grid and drain, perforated strainer and 1-1/4 inch tailpiece. Sloan below deck, MIX 125 thermostatic mixing valve. Model EL-154 transformer.	Mcquire H216LX 1/2 inch IPF heavy cast brass angle stop, loose key handle, armweld vertical tube, chrome plated cast brass set screw escutcheon, c.p. brass nipple to wall.	Mcquire 8872 (1-1/4 inch) polished chrome plated cast brass adjustable "P" trap with cleanout and 17-gage tubing to wall with C.P. cast brass set screw escutcheon.		Counter Mounted	
SS-1	Stem Williams	SB900	Secepter® Mop Sink, 24 inch x 24 inch x 12 inch, Precast Terrazzo, with one piece stainless steel cast integral cap on all four sides and Integral Cast Brass Drain with S.S. strainer, 3 inch outlet. Provide 1-40 mop hanger, 1-3/8 hose, and 3/4" stainless steel back splash panels.		1&S B-0665-B5GTIP faucet, polished chrome finish integral stops, top bra brake, lever handles, vacuum breaker, 8 inch centers.		Cast Iron 3 inch size, deep seal type below floor.		Floor Mounted	
UR-1	Kohler	K-4460-ET	Bardon™ urinal with top spud, vitreous china, wash out with 3/4 inch top spud, 2 inch I.P.S. outlet connection	No	Sloan Optima sensor operated flush valve with true mechanical override, model 111-0.5 ES-S-TMO (5 gpi). Provide model EL-154 transformer 120VAC/24VAC (one transformer to serve up to 10 water closets), wall flange, set screw.	Integral with Fixture			Zum Z-1222 "Rigid Plate System" having stool uprights with support plates, and bearing jacks on adjustable headers	
UR-2	Kohler	K-4460-ET	Bardon™ urinal with top spud, vitreous china, wash out with 3/4 inch top spud, 2 inch I.P.S. outlet connection	Yes	Sloan Optima sensor operated flush valve with true mechanical override, model 111-0.5 ES-S-TMO (5 gpi). Provide model EL-154 transformer 120VAC/24VAC (one transformer to serve up to 10 water closets), wall flange, set screw.	Integral with Fixture			Zum Z-1222 "Rigid Plate System" having stool uprights with support plates, and bearing jacks on adjustable headers	Note: ADA law for product operation and location. Fixture shall be mounted such that tip of fixture is set at 17 inches above finish floor.
WC-1	Kohler	K-4406	Wellworth® vitreous china, siphon jet, 1.28 gpi, 12 inch rough in, elongated rim, floor mounted, 1-1/2 inch top spud bowl, bolt cap; Osolrite 95-SG Industrial® Seat: finish white, extra heavy duty plastic for elongated bowl, open front with concealed check hinges, self-sustaining feature and stainless steel hinge post.	No	Sloan Optima sensor operated flush valve with true mechanical override, model 111-1.28-ES-S-TMO. Provide model EL-154 transformer 120VAC/24VAC (one transformer to serve up to 10 water closets), wall flange, set screw.	Integral with Fixture			Floor Mounted	
WC-2	Kohler	K-4405	Hignette® vitreous china, siphon jet, 1.28 gpi, 12 inch rough in, elongated rim, floor mounted, 1-1/2 inch top spud bowl, bolt cap; Osolrite 95-SG Industrial® Seat: finish white, extra heavy duty plastic for elongated bowl, open front with concealed check hinges, self-sustaining feature and stainless steel hinge post.	Yes	Sloan Optima sensor operated flush valve with true mechanical override, model 111-1.28-ES-S-TMO. Provide model EL-154 transformer 120VAC/24VAC (one transformer to serve up to 10 water closets), wall flange, set screw.	Integral with Fixture			Floor Mounted	Note: Control for handicap flush valve shall be mounted on wide side of the toilet area. In locations where this occurs to the right of the fixture, furnish and install Sloan 111-C1-YC-YK "Rogit" exposed flush valve.

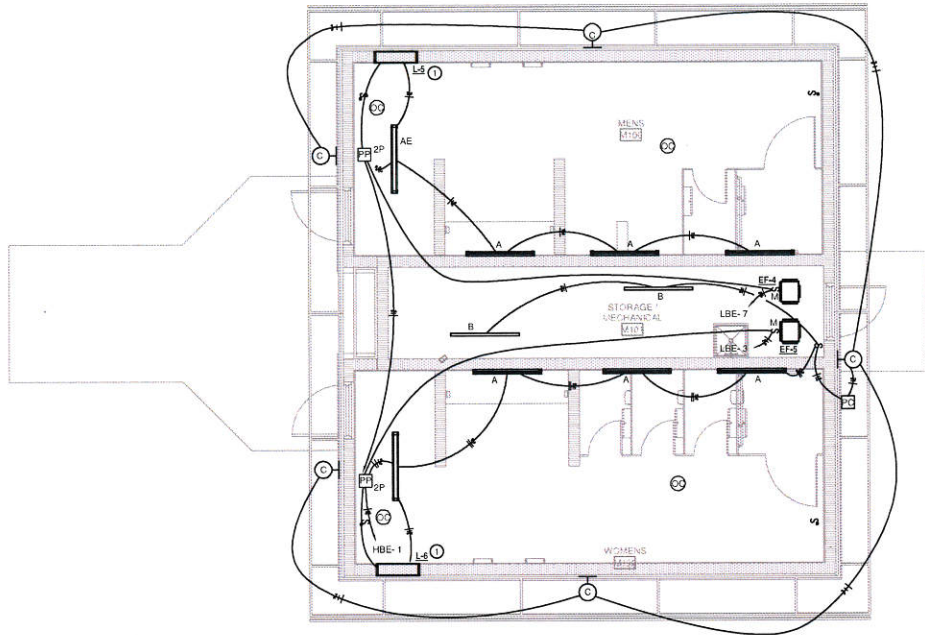
NOTE: Equipment (By Others): Rough-in and make final connections for equipment as indicated on plans. Furnish EBC, McGuire, or Koller straight stop (1/2 inch IPS) or female inlet and outlet and polished chrome plated cast brass: Kahler K-898 (1-1/4 inch) or K-9000 (1-1/2 inch). McGuire, or EBC polished chrome plated cast brass adjustable ground joint swivel pattern with cleanout and other trim as specified on plans. All exposed piping shall be chrome plated and escutcheons shall be C.P. cast brass set screw type.

PLUMBING EQUIPMENT SCHEDULE							
TYPE MARK	MANUFACTURER	MODEL	DESCRIPTION	HORSEPOWER	VOLTAGE	PHASE	COMMENTS
WH-1	A. O. Smith	DEL-20	Commercial Electric Water Heater. Heater shall be rated at 4.5 KW, 480 V, Three Phase, 60 Hz, and insulated by Underwriters Laboratories. Heater shall have a maximum working pressure of 150 psi. A nominal storage tank capacity of 20 gallons with a separate 3/4 inch tapping for relief valve installation and be equipped with entrained high density magnesium anode, internal surfaces exposed to water shall be glass lined, outer jacket of tanked enamel finish provided with full size control compartment for performance and maintenance through inspect front panels and tank encased with foam insulation. Elements shall be medium wall density with zinc plated copper sheath, controlled by individually mounted thermostat and high temperature cut off switch. Tank shall be 20 gallon capacity, brass drain valve with wheel handle, and A.W. Cash Valve Mfg. Corp., A.S.M.E. temperature and pressure relief valve. Units shall have manufacturer's three year warranty and shall meet the requirements of ASHRAE 90-A for energy				

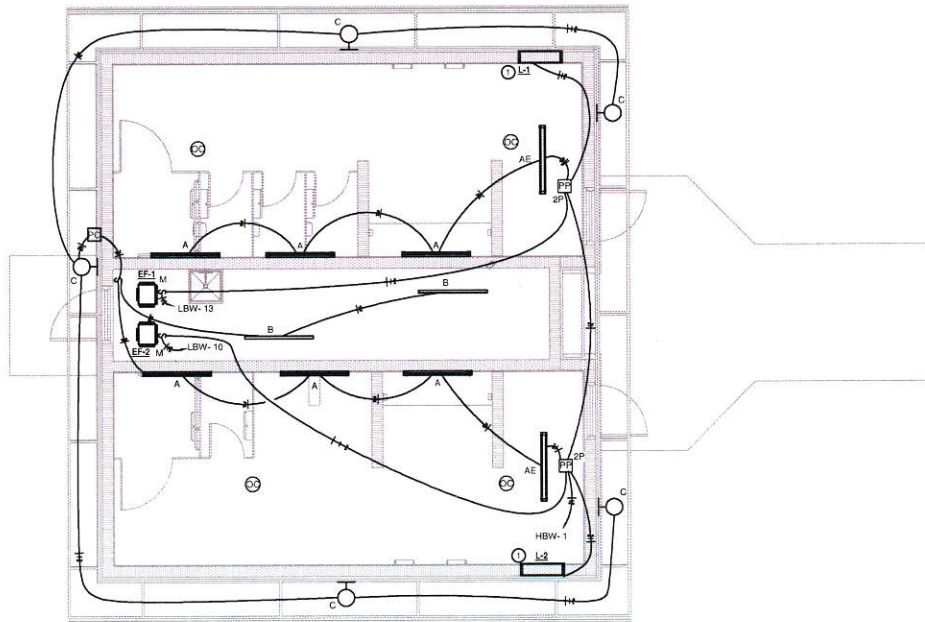
PLUMBING DRAIN SCHEDULE				
TYPE MARK	MANUFACTURER	MODEL	DESCRIPTION	COMMENTS
FD-1	Wade	1100-TY-STD7-5	Cast Iron Drain with Flange, Integral Reversible Clamping Collar, Seepage Openings, 1/2 inch Trap Primer Tap, 7 inch Diameter Nickel Bronze Strainer and Vandal Proof Service, Nickel Floor drains shall be accepted for Vandal proof installation and shall have trap primers.	
FD-2	Wade	9150-TY-1-16-5-6	Cast Iron 21inchx12inchx10inch Square Floor Sink with 10 inch sump, A.R.E. Interior, Aluminum Dome Strainer, and 3/4 Nickel Bronze Hinged Top. Note: All Floor sinks shall be accepted for vandal proof installation and shall have trap primers.	



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**FLOOR PLAN EAST - LIGHTING**  
SCALE: 1/4" = 1'-0"



**FLOOR PLAN WEST - LIGHTING**  
SCALE: 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE				
TYPE MARK	MANUFACTURER	MODEL	APPARENT LOAD	DESCRIPTION
A	LITHONIA	WL4 30L G21 LF835 NCC CBA	28 VA	4" SURFACE MOUNT
AE	LITHONIA	WL4 30L G21 LF835 NCC E27A CBA	28 VA	4" SURFACE MOUNT WITH BATTERY
B	LITHONIA	ZL1N L48 5000LM PST MVOLT 36K 80CRI CBA	34 VA	4" STRIPLIGHT
C	LITHONIA	WDFE3 LED P3 30K 80CRI R3 MVOLT SRM	71 VA	WALL PACK

- GENERAL NOTES**
- ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
  - CIRCUITS OF DIFFERENT PHASES MAY SHARE EQUIPMENT GROUND. EQUIPMENT GROUND CONDUCTOR SIZE SHALL NOT BE LESS THAN #12 AWG OR AS INDICATED ON THE DRAWINGS.
  - ALL CONDUCTORS #10 AND SMALLER SHALL BE SOLID COPPER THW, THHN, THWN, AND ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED COPPER USING BOLTED LUGS AT TERMINALS.
  - MINIMUM WIRE SIZE SHALL BE #12 AWG UNLESS OTHERWISE NOTED.
  - PULL ALL THE CONDUCTORS THROUGH RACEWAY AT THE SAME TIME.
  - MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS OTHERWISE NOTED. SEE SPECS FOR CONDUIT REQUIREMENTS. ALL CONDUIT SHALL BE CONCEALED UNLESS OTHERWISE NOTED.
  - 6'-0" MAXIMUM LENGTH ON FLEXIBLE CONDUIT.
  - USE COMPRESSION FITTINGS ON CONDUIT. SET SCREW FITTINGS ARE NOT ALLOWED.
  - PROVIDE PULL STRING AND PROTECTIVE BUSHINGS IN ALL SPARE CONDUITS.
  - LABEL ALL CIRCUITS ON PANEL SCHEDULES.
  - TURN ALL UNUSED CIRCUIT BREAKERS TO OFF POSITION.
  - FIRE PROOF ALL PENETRATIONS MADE THROUGH FIRE RATED WALLS.
  - ALL DEVICES SHALL BE RATED 20 AMP MINIMUM. VERIFY COLOR WITH ARCHITECT.
  - CONNECT DEVICES BY WRAPPING WIRE AROUND SCREW TERMINAL IN A CLOCKWISE DIRECTION AND TIGHTEN SCREW. BACK-CONNECTED SPRING DEVICES ARE NOT ALLOWED.
  - ALL BOXES SHALL BE INDEPENDENTLY SUPPORTED TO THE BUILDING STRUCTURE.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL ELEVATIONS AND MILLWORK DETAILS FOR EXACT LOCATIONS OF ALL WIRING DEVICES AND LIGHT FIXTURES.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL LAY-IN LIGHT FIXTURES.
  - THE SPECIFICATIONS ARE AS BINDING ON THE CONTRACTOR AS THE DRAWINGS. THE CONTRACTOR SHALL READ THE SPECIFICATIONS AND SHALL INCLUDE ALL ITEMS REQUIRED BY THE SPECIFICATIONS BEFORE SUBMITTING A BID.
  - ELECTRICAL CONTRACTOR SHALL CLOSELY COORDINATE WITH MECHANICAL AND PLUMBING CONTRACTORS FOR EXACT LOCATION OF HVAC AND PLUMBING EQUIPMENT.
  - ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SIZING OF ALL MOTOR OVERLOAD DEVICES (HEATERS) IN STARTERS BASED ON ACTUAL NAMEPLATE RATINGS ON THE MOTOR BEING INSTALLED.

- ELECTRICAL KEYED NOTES**
- MOTORIZED LOUVER. COORDINATE WITH HVAC CONTRACTOR
  - JBX FOR PLUMBING SENSORS. COORDINATE WITH PLUMBING CONTRACTOR

**PROJECT NOTE**

COORDINATE ALL INSTALLATION OF THE HVAC EQUIPMENT WITH THE GENERAL CONTRACTOR. NOTE: SOME OF THE EQUIPMENT IS RECESSED IN THE BLOCK WALL AND WILL REQUIRE CONDUIT TO BE INSTALLED IN THE BLOCK WALL.

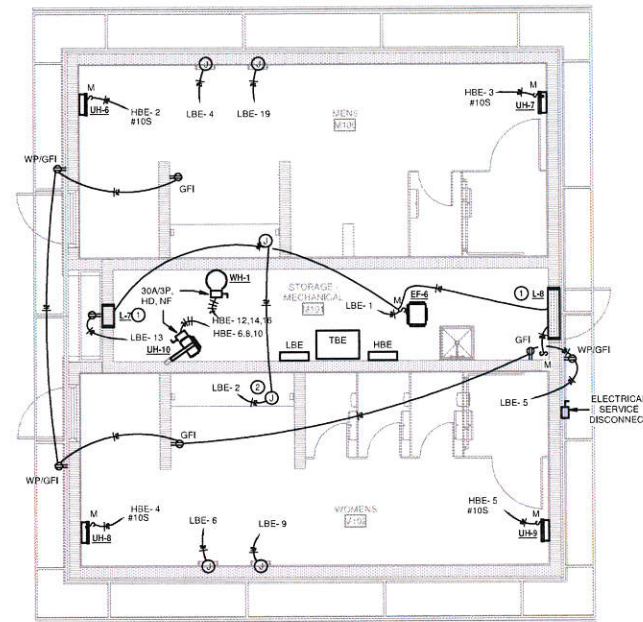
CITY OF JONESBORO  
**JONESBORO SHOOTING  
SPORTS COMPLEX**  
PHASE IIB  
Jonesboro, Arkansas

**BRACKETT  
KRENNERICH**  
architects

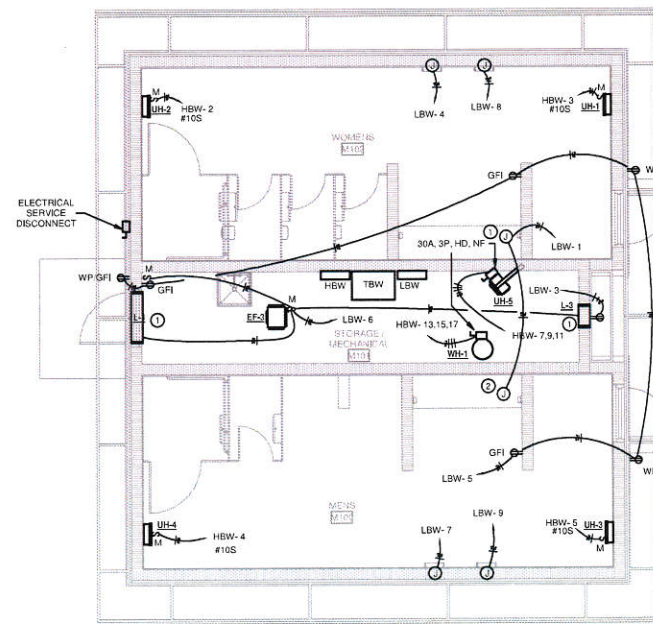
Revision	By	Date
1	AE	09/20/2020
2	AE	09/20/2020
3	AE	09/20/2020
4	AE	09/20/2020
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6	AE	09/20/2020
7	AE	09/20/2020
8	AE	09/20/2020
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13	AE	09/20/2020
14	AE	09/20/2020
15	AE	09/20/2020
16	AE	09/20/2020
17	AE	09/20/2020
18	AE	09/20/2020
19	AE	09/20/2020
20	AE	09/20/2020



Commission Number  
12015-28A  
**EM101**  
Date: September 23, 2020



**FLOOR PLAN EAST - POWER**  
SCALE: 1/4" = 1'-0"



**FLOOR PLAN WEST - POWER**  
SCALE: 1/4" = 1'-0"

## ELECTRICAL KEYED NOTES

- ① MOTORIZED LOUVER. COORDINATE WITH HVAC CONTRACTOR
- ② JBOX FOR PLUMBING SENSORS. COORDINATE WITH PLUMBING CONTRACTOR

## PROJECT NOTE

COORDINATE ALL INSTALLATION OF THE HVAC EQUIPMENT WITH THE GENERAL CONTRACTOR. NOTE, SOME OF THE EQUIPMENT IS RECESSED IN THE BLOCK WALL AND WILL REQUIRE CONDUIT TO BE INSTALLED IN THE BLOCK WALL.



**CITY OF JONESBORO**  
**JONESBORO SHOOTING**  
**SPORTS COMPLEX**  
PHASE IIB  
Jonesboro, Arkansas



BRACKETT  
KRENNERICH  
architects

[illegible]

Commission Number  
12015-2BA

*EM102*

Date: September 23, 2020

FIRST FLOOR PLAN - POWER

WWW.DKALCINS.COM

FAX 870-932-0975

100 East Huntington Ave., Suite D, P.O. Box 1655 870-932-0571



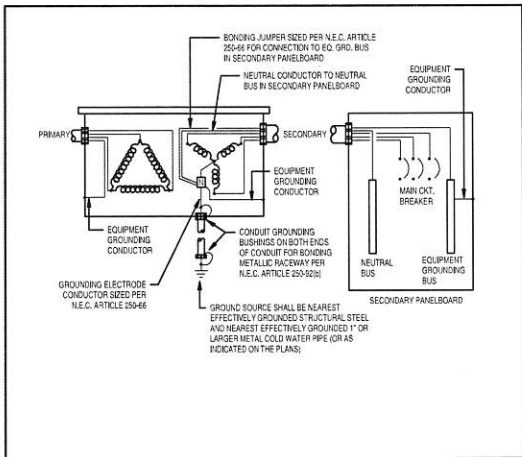
<b>Panelboard:</b>		HBW	VOLTAGE: 480/277 Wye		COPPER BUS RATING: 100 A		MANS TYPE: MCB	
LOCATION: STORAGE / MECHANICAL...		PHASE: 3		GROUND BUS:		MCB RATING: 100A		
MOUNTING: Surface		WIRES: 4		MINIMUM A.I.C. RATING:		FED FROM:		
ENCLOSURE: Type 1		MFR. AND TYPE:		SQUARE D NF		SUBFEED LUGS:		
NEUTRAL RATING:								
Circuit Number	Load Name	BRKR	A	B	C	BRKR	Load Name	
1	LIGHTING	20A/1P	649	4800		25A/1P	UH-2	
3	UH-1	25A/1P		4800	4800	25A/1P	UH-4	
5	UH-3	25A/1P			4800	1378		
7		15A/3P	1000	1380		50A/3P	TBW	
9	UH-5	15A/3P		1000	1280			
11					1000	0	20A/1P	
13			1500	0		20A/1P	SPARE	
15	WH-1	15A/3P		1500	0	20A/1P	SPARE	
17					1500	0	SPACE W/ BUS	
19	SPARE	20A/1P	0	0			SPACE W/ BUS	
21	SPARE	20A/1P		0	0		SPACE W/ BUS	
23	SPARE	20A/1P			0	0	SPACE W/ BUS	
Total Load:		9329 VA		13380 VA		8678 VA		
Total Amps:		34 A		49 A		31 A		
Load Classification		Connected Load	Demand Factor		Estimated Demand	Panel Totals		
Lighting	234 VA	125.00%	357 VA		Total Connected Load:		31327 VA	
Receptacles	1260 VA	100.00%	1260 VA		Total Estimated Demand:		31440 VA	
HVAC	778 VA	100.00%	778 VA		Total Connected Current:		38 A	
Power	9550 VA	100.00%	9550 VA		Total Est. Demand Current:		38 A	
Other	19555 VA	100.00%	19555 VA					
Motor	0 VA	0.00%	0 VA					
Heating	0 VA	0.00%	0 VA					
Existing Load	0 VA	0.00%	0 VA					
Notes:								

Panelboard:		LBE	VOLTAGE: 120/208 Wye		COPPER BUS RATING: 100 A		MANS TYPE: MCB		
LOCATION: STORAGE / MECHANICAL...		PHASE: 3		GROUND BUS:		MCB RATING: 100A			
MOUNTING: SURFACE		WIRES: 4		MINIMUM A.I.C. RATING:		FED FROM: TBE			
ENCLOSURE: Type 1		MFR. AND TYPE: SQUARE D NO		SUBFEED LUGS:		NEUTRAL RATING:			
Circuit Number	Load Name	BRKR	A	B	C	BRKR	Load Name	Circuit Number	
1	EF-6	20A/1P	0	0		20A/1P	PLUMBING SENSORS	2	
3	EF-5	20A/1P		100	500		HAND DRYER	4	
5	CONVENIENCE RECEIPTS	20A/1P			1080	500	HAND DRYER	6	
7	EF-4	20A/1P	100	178			HVAC EXHAUST FANS & LOUVER	8	
9	HAND DRYER	20A/1P		500	0		SPARE	10	
11	SPARE	20A/1P			0	0	20A/1P	SPARE	12
13	"EWG"	20A/1P	180	180			20A/1P	RECEPTS	14
15	SPARE	20A/1P		0	0		20A/1P	SPARE	16
17	SPARE	20A/1P			0	0	20A/1P	SPARE	18
19	HAND DRYER	20A/1P	500	0			20A/1P	SPARE	20
21	SPARE	20A/1P		0	0		20A/1P	SPARE	22
23	SPARE	20A/1P			0	0	20A/1P	SPARE	24
25	SPACE W/ BUS		0	0			SPACE W/ BUS	26	
27	SPACE W/ BUS			0	0		SPACE W/ BUS	28	
29	SPACE W/ BUS				0	0	SPACE W/ BUS	30	
31	SPACE W/ BUS		0	0			SPACE W/ BUS	32	
33	SPACE W/ BUS			0	0		SPACE W/ BUS	34	
35	SPACE W/ BUS				0	0	SPACE W/ BUS	36	
37	SPACE W/ BUS		0	0			SPACE W/ BUS	38	
39	SPACE W/ BUS			0	0		SPACE W/ BUS	40	
41	SPACE W/ BUS				0	0	SPACE W/ BUS	42	
Total Load:		1138 VA		1100 VA		1580 VA			
Total Amps:		10 A		9 A		13 A			
Load Classification		Connected Load		Demand Factor		Estimated Demand		Panel Totals	
Lighting		0 VA		0.00%		0 VA		Total Connected Load:	
Receptacles		1440 VA		100.00%		1440 VA		Total Estimated Demand:	
HVAC		378 VA		100.00%		378 VA		Total Connected Current:	
Power		2000 VA		100.00%		2000 VA		Total Est. Demand Current:	
Other		0 VA		0.00%		0 VA			
Motor		0 VA		0.00%		0 VA			
Heating		0 VA		0.00%		0 VA			
Existing Load		0 VA		0.00%		0 VA			
Notes:									
* DENOTES GFI BREAKER *									

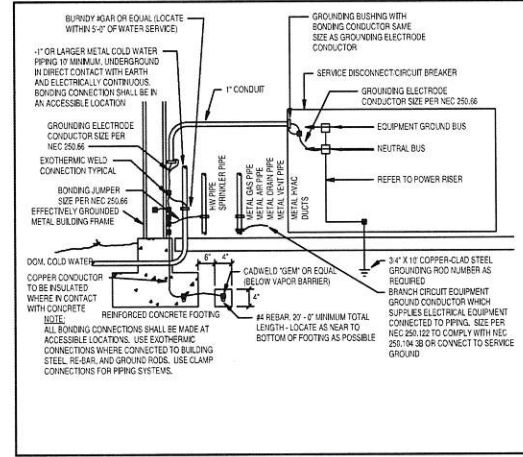
SYMBOL LEGEND	
	DUPLEX RECEPTACLE AT 18" A.F.F. GFI - GROUND FAULT CIRCUIT INTERRUPTER
	AC - MOUNTED ABOVE COUNTER
	BC - MOUNTED BELOW COUNTER
	WP - PROVIDED WITH WEATHERPROOF IN-USE TYPE COVER
	JUNCTION BOX
	SINGLE POLE TOGGLE SWITCH AT 48" A.F.F. TYPICAL
	2P - INDICATES 2-POLE TOGGLE
	M - MOTOR RATED TOGGLE
	OC - DUAL TECHNOLOGY OCCUPANCY SENSOR SWITCH
	WP - WEATHERPROOF COVER
	BRANCH CIRCUIT HOMERUN HOT-NEUTRAL-GROUND PANEL AND CIRCUIT NUMBER INDICATED ON PLAN
	PANELBOARD
	DISCONNECT SWITCH
	DRY-TYPE TRANSFORMER
	S D - SA AIR SAMPLING SUPPLY
	S D - RA AIR SAMPLING RETURN

<b>Panelboard:</b>		HBE	VOLTAGE: 480/277 Wye		COPPER BUS RATING: 100 A		MANS TYPE: MCB	
LOCATION: STORAGE / MECHANICAL...		PHASE: 3		GROUND BUS:		MCB RATING: 100A		
MOUNTING: Surface		WIRES: 4		MINIMUM A.I.C. RATING:		FED FROM:		
ENCLOSURE: Type 1		MFR. AND TYPE:		SQUARE D NF		SUBFEED LUGS:		
NEUTRAL RATING:								
Circuit Number	Load Name	BRKR	A	B	C	BRKR	Load Name	
1	LIGHTING	20A/1P	1177	4800		25A/1P	UH-6	
3	UH-7	25A/1P		4800	4800	25A/1P	UH-8	
5	UH-9	25A/1P			4800	1000		
7	TBE	15A/3P	1138	1000		15A/3P	UH-10	
9				1100	1000			
11					1580	1500		
13	SPARE	20A/1P	0	1500		15A/3P	WH-1	
15	SPARE	20A/1P		0	1500			
17	SPARE	20A/1P			0	0	SPACE W/ BUS	
19	SPARE	20A/1P	0	0			SPACE W/ BUS	
21	SPARE	20A/1P		0	0		SPACE W/ BUS	
23	SPARE	20A/1P			0	0	SPACE W/ BUS	
Total Load:		9615 VA		13200 VA		8880 VA		
Total Amps:		35 A		46 A		32 A		
Load Classification		Connected Load	Demand Factor	Estimated Demand	Panel Totals			
Lighting		322 VA	125.00%	402 VA	Total Connected Load:			
Receptacles		1440 VA	100.00%	1440 VA	Total Estimated Demand:			
HVAC		19578 VA	100.00%	19578 VA	Total Connected Current:			
Power		10000 VA	100.00%	10000 VA	Total Est. Demand Current:			
Other		355 VA	100.00%	355 VA				
Motor		0 VA	0.00%	0 VA				
Heating		0 VA	0.00%	0 VA				
Existing Load		0 VA	0.00%	0 VA				
Notes:								

Panelboard:			LBW	VOLTAGE: 120/208 Wye		COPPER BUS RATING: 100 A		MANS TYPE: MCB		
LOCATION: STORAGE / MECHANICAL...			PHASE: 3		GROUND BUS:			MCB RATING: 100A		
MOUNTING: SURFACE			WIRES: 4		MINIMUM A.I.C. RATING:			FED FROM: TBW		
ENCLOSURE: Type 1			MFR. AND TYPE:		SQUARE D NO		SUBFEED LUGS:		NEUTRAL RATING:	
Circuit Number	Load Name	BRKR	A	B	C	BRKR	Load Name	Circuit Number		
1	PLUMBING SENSORS	20A/1P	0	178			20A/1P	HVAC EXHAUST FANS & LOUVER	2	
3	EWG	20A/1P		180	500		20A/1P	HAND DRYER	4	
5	CONVENIENCE RECEIPTS	20A/1P			1080	200	20A/1P	EF-3	5	
7	HAND DRYER	20A/1P	500	500			20A/1P	HAND DRYER	8	
9	HAND DRYER	20A/1P		500	200		20A/1P	EF-2	10	
11	SPARE	20A/1P			0	0	20A/1P	SPARE	12	
13	EF-1	20A/1P	200	0			20A/1P	SPARE	14	
15	SPARE	20A/1P		0	0		20A/1P	SPARE	16	
17	SPARE	20A/1P			0	0	20A/1P	SPARE	18	
19	SPARE	20A/1P	0	0			20A/1P	SPARE	20	
21	SPARE	20A/1P		0	0		20A/1P	SPARE	22	
23	SPARE	20A/1P			0	0	20A/1P	SPARE	24	
25	SPACE W/ BUS		0	0				SPACE W/ BUS	26	
27	SPACE W/ BUS			0	0			SPACE W/ BUS	28	
29	SPACE W/ BUS				0	0		SPACE W/ BUS	30	
31	SPACE W/ BUS		0	0				SPACE W/ BUS	32	
33	SPACE W/ BUS			0	0			SPACE W/ BUS	34	
35	SPACE W/ BUS				0	0		SPACE W/ BUS	36	
37	SPACE W/ BUS		0	0				SPACE W/ BUS	38	
39	SPACE W/ BUS			0	0			SPACE W/ BUS	40	
41	SPACE W/ BUS				0	0		SPACE W/ BUS	42	
Total Load:			1378 VA		1380 VA		1280 VA			
Total Amps:			12 A		12 A		11 A			
Load Classification		Connected Load	Demand Factor		Estimated Demand		Panel Totals			
Lighting		0 VA	0.00%		0 VA		Total Connected Load:		4038 VA	
Receptacles		1260 VA	100.00%		1260 VA		Total Estimated Demand:		4038 VA	
HVAC		778 VA	100.00%		778 VA		Total Connected Current:		11 A	
Power		2000 VA	100.00%		2000 VA		Total Est. Demand Current:		11 A	
Other		0 VA	0.00%		0 VA					
Motor		0 VA	0.00%		0 VA					
Heating		0 VA	0.00%		0 VA					
Existing Load		0 VA	0.00%		0 VA					
Notes:										
* DENOTES GFI BREAKER *										



① TRANSFORMER GROUNDING AND BONDING DETAIL  
SCALE: 1/8" = 1'-0"



-----Original Message-----

From: Patti Lack <pglack@suddenlink.net>

Sent: Tuesday, December 1, 2020 3:35 PM

To: John Street <jwstreet@sbcglobal.net>

Cc: City Clerk <CityClerk@jonesboro.org>; Aldermen <Aldermen@jonesboro.org>; Harold Perrin <HPerrin@jonesboro.org>

Subject: Resolution 20:035- for Public Works Meeting Today

Hello John Street,

I would appreciate it if the following concerns and questions can be answered concerning Resolution 20:235

\*A Resolution for the City to enter into a Change Order NO. 4 with Ramsons, Inc. for the Jonesboro Shooting Sports Complex Phase 1C.

Several months ago, we added more money to the Shooting Range. That's when all the uproar was about the \$500,000.00 bathrooms!

On the attachment to this resolution today, there was a previous change order for \$71,129.00 and now today, there is another change order in the amount of \$498,312.00.

When the City gave Ramson's Inc. the contract to start this job earlier this year, I remember that they came in just under 2 million dollars (\$1.9) And now, within this year, the total amount has gone too \$2,547,248.00.

So my questions are:

1. Where is this extra money coming from to keep adding to these Change Orders? Was it budgeted in the Parks fund for 2020? Are we taking from the reserves?
2. At what point do we need to stop adding money and open up this facility and make a little bit of money?
3. Don't get me wrong, I think that this Shooting Range will be a real plus for our City. I think citizens are not seeing this vision yet.  
But they do see a lot of their dollars being poured into this project.

Just a Note: I remember having a discussion with Craig Light about the contractor that was in charge of the sidewalk along Craighead Forest Road and Lincoln Drive.

That contractor, from what Craig said, never accepts a job with the city unless there are change orders available. Craig at that time stated that the City doesn't need to sign anymore contract orders that have change orders to them because the cost of the project can increase quickly.

I think that's what the shooting range is starting to look like.

I hope we can get an good explanation for this resolution and the necessity for the projects to be complete right now.

Thank you.

Patti

Thank you for taking this question. I'll be watching instead of calling in.





# City of Jonesboro

300 S. Church Street  
Jonesboro, AR 72401

## Legislation Details (With Text)

<b>File #:</b>	RES-20:236	<b>Version:</b>	1	<b>Name:</b>	ACCEPT THE DONATION OF PROPERTY LOCATED AT LOT 7 OF SYLVAN HILLS ESTATES 2ND ADDITION FROM THE FRIERSON CORPORATION
<b>Type:</b>	Resolution	<b>Status:</b>			Recommended to Council
<b>File created:</b>	11/24/2020	<b>In control:</b>			Public Works Council Committee
<b>On agenda:</b>		<b>Final action:</b>			
<b>Title:</b>	A RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS TO ACCEPT THE DONATION OF PROPERTY LOCATED AT LOT 7 OF SYLVAN HILLS ESTATES 2ND ADDITION FROM THE FRIERSON CORPORATION				
<b>Sponsors:</b>	Mayor's Office				
<b>Indexes:</b>					
<b>Code sections:</b>					
<b>Attachments:</b>	<a href="#">Frierson Land Donation Map</a> <a href="#">Frierson Land Donation Documents</a>				

Date	Ver.	Action By	Action	Result
12/1/2020	1	Public Works Council Committee		

A RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS TO ACCEPT THE DONATION OF PROPERTY LOCATED AT LOT 7 OF SYLVAN HILLS ESTATES 2<sup>ND</sup> ADDITION FROM THE FRIERSON CORPORATION

WHEREAS, the Frierson Corporation has offered a donation of property located at Lot 7 of Sylvan Hills Estates 2<sup>nd</sup> Addition to the City of Jonesboro.

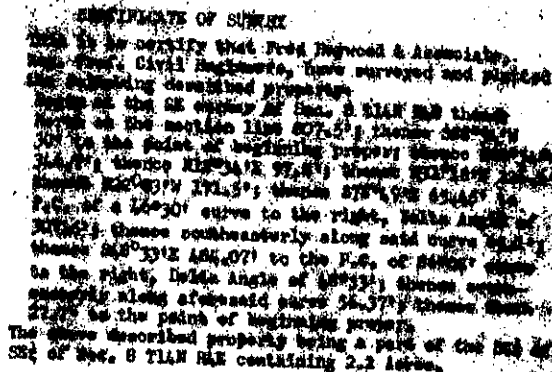
NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL FOR THE CITY OF JONESBORO, ARKANSAS THAT:

SECTION 1: The City of Jonesboro, Arkansas shall accept the donation of property located at Lot 7 of Sylvan Hills Estates 2<sup>nd</sup> Addition by the Frierson Corporation.

SECTION 2: A copy of the Warranty Deed and a resolution of the Board of the Corporation is attached hereto.

SECTION 3: The Mayor and City Clerk are hereby authorized by the City Council for the City of Jonesboro to execute all documents necessary to effectuate this donation.





By James H. [illegible]



Secretary

Chas. F. ...

THIS INSTRUMENT PREPARED BY:  
CHARLES FRIERSON, III, ATTORNEY  
600 S MAIN  
JONESBORO, AR 72401

## WARRANTY DEED CORPORATION

KNOW ALL MEN BY THESE PRESENTS:

THAT Frierson Corporation, by its designated officer, duly authorized by proper resolution of its Board of Directors, for and in consideration as a donation gift without compensation, does hereby grant, bargain, sell and convey unto the City of Jonesboro, Arkansas, Grantee, and to its successors and assigns forever, the following described land situated in the City of Jonesboro, County of Craighead, Arkansas, to wit:

Lot 7 of Sylvan Hills Estates 2<sup>nd</sup> Addition to the City of Jonesboro, Arkansas, as shown by plat in Deed Record 158, Page 30, being subject to easements as shown on the recorded plat.


Subject to assessments, building lines, easements, mineral reservations, and/or conveyances, restrictions, and any other matters of record.

TO HAVE AND TO HOLD the same unto the Grantee and unto its successors and assigns forever, with all appurtenances thereunto belonging.

And Frierson Corporation hereby covenants with said Grantee that it will forever warrant and defend the title to said land against all claims whatsoever.

IN TESTIMONY WHEREOF, the name of the Grantor is hereunto affixed by its designated officer this 23<sup>rd</sup> day of October, 2020.

Frierson Corporation

By   
Charles Frierson, President/Chairman of the Board

NO STAMPS REQUIRED  
I CERTIFY UNDER PENALTY OF FALSE SWEARING THAT AT LEAST THE  
LEGALLY CORRECT AMOUNT OF DOCUMENTARY STAMPS HAVE BEEN  
PLACED ON THIS INSTRUMENT.

\_\_\_\_\_  
GRANTEE OR AGENT

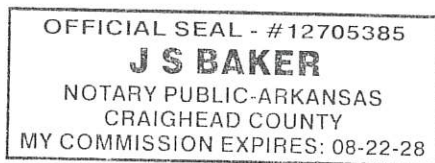
\_\_\_\_\_  
GRANTEE'S ADDRESS


## CORPORATE ACKNOWLEDGEMENT

State of Arkansas  
County of Craighead

BE IT REMEMBERED that on this day came before me the undersigned, a Notary Public, duly commissioned, qualified and acting, within and for the State and County, in person the within named Charles Frierson, to me personally well known, who stated that he is the President/Chairman of the Board of Frierson Corporation, and is duly authorized in this capacity as sole stockholder and chairman of the board, to execute the foregoing instrument for and in the name and behalf of said corporation, and further stated and acknowledged that he had signed said foregoing instrument for the consideration and purposes therein set forth.

IN TESTIMONY WHEREOF I have hereunto set my hand and official seal this 23<sup>rd</sup> day of October, 2020.



  
\_\_\_\_\_  
Notary Public

## RESOLUTION

WHEREAS, Frierson Corporation's sole stockholder is the undersigned, Charles Frierson, who currently serves as President/Chairman of the Board, with no other officers, and the Corporation is the owner of the following real estate in the City of Jonesboro, Arkansas:

Lot 7 of Sylvan Hills Estates 2<sup>nd</sup> Addition to the City of Jonesboro, Arkansas, as shown by plat in Deed Record 158, Page 30, being subject to easements as shown on the recorded plat.

(1) That the Corporation agrees to transfer title to this property to the City of Jonesboro, Arkansas for no monetary consideration, the only consideration being for the use and benefit of the City.

(2) The undersigned, as President and sole officer of the Corporation is hereby authorized to sign for the Corporation the required deed of conveyance, and all documents necessary to accomplish the transfer of title.

(3) As stated the sole officer is Charles Frierson, 600 South Main St., Jonesboro, AR 72401.

ADOPTED this 9<sup>th</sup> day of October, 2020.



Charles Frierson  
President and Chairman of the Board.



## Legislation Details (With Text)

File #:	RES-20:238	Version:	1	Name:	TO CONTRACT WITH JONESBORO OVERHEAD DOOR FOR SPONSORSHIP OF ONE ATHLETIC FIELD AT THE JOE MACK CAMPBELL SPORTS COMPLEX
Type:	Resolution	Status:	Recommended to Council		
File created:	12/2/2020	In control:	Finance & Administration Council Committee		
On agenda:	Final action:				
Title:	A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS TO CONTRACT WITH JONESBORO OVERHEAD DOOR FOR SPONSORSHIP OF ONE ATHLETIC FIELD AT THE JOE MACK CAMPBELL SPORTS COMPLEX				
Sponsors:	Parks & Recreation, Mayor's Office				
Indexes:	Contract				
Code sections:					
Attachments:	<a href="#">Jonesboro Overhead Door -JMCP 2020 - Soccer Field 13</a>				

Date	Ver.	Action By	Action	Result
12/8/2020	1	Finance & Administration Council Committee		

A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS TO CONTRACT WITH JONESBORO OVERHEAD DOOR FOR SPONSORSHIP OF ONE ATHLETIC FIELD AT THE JOE MACK CAMPBELL SPORTS COMPLEX

WHEREAS, the City of Jonesboro, Arkansas owns and maintains Joe Mack Campbell Sports Complex located at 3021 Dan Avenue; and,

WHEREAS, Jonesboro Overhead Door is seeking sponsorship recognition on one soccer field at the Joe Mack Campbell Sports Complex; and,

WHEREAS Jonesboro Overhead Door is sponsoring the field for the sum of \$12,500 for a period of 5 years.

NOW, THEREFORE BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS

SECTION 1: That the City of Jonesboro, Arkansas shall contract with Jonesboro Overhead Door for the sponsorship of a field at Joe Mack Campbell Sports Complex. A copy of said contract is attached as Exhibit A.

SECTION 2: The Mayor, Harold Perrin and City Clerk, Donna Jackson are hereby authorized by the City Council for the City of Jonesboro to execute all documents necessary to effectuate the agreement.



# EXHIBIT A

## SPONSORSHIP AGREEMENT FOR BASEBALL FIELD LOCATED AT JOE MACK CAMPBELL PARK

This Agreement is made by and between **Jonesboro Overhead Door** (SPONSOR) and the CITY OF JONESBORO PARKS AND RECREATION DEPARTMENT ("CITY"), on this **18th** Day of **November, 2020** (the "Effective Date").

WHEREAS, the CITY is the owner of that certain public park amenities known as the "Joe Mack Campbell Park", and hereafter referred to as the "Facilities"; and

WHEREAS, SPONSOR and the CITY desire to enter this agreement for the purpose of evidencing the agreement of the parties with regard to sponsorship of the Facilities by SPONSOR and the respective obligations of the parties regarding the sponsorship and maintenance of the Facilities;

NOW, THEREFORE in consideration of the promises and the reciprocated covenants and obligations contained herein, the parties agree as follows:

### I. Term

- (a) The term of this Agreement is for a period of five (5) years commencing on the Effective Date and ending at midnight on the **31st of December, 2025**.

### II. Sponsorship of Facilities

- 1) It is agreed between the parties hereto, in return for the covenants and conditions set forth herein that the SPONSOR'S name shall be put on a sign to be erected on a designated athletic field (Soccer Field #13) at the FACILITY. The designated field, once SPONSOR enters into the Agreement, shall be known thereafter by the name to be designated by the SPONSOR and said sign and name shall remain for a period of **five years**.
- 2) It is agreed between the parties that the SPONSOR shall pay over a period of **5** years for the erected sign and sponsorship the total sum of **\$12,500**.
  - A sum of **\$2,500** shall be paid on **January 1, 2021**.
  - A sum of **\$2,500** shall be paid on **January 1, 2022**.
  - A sum of **\$2,500** shall be paid on **January 1, 2023**.
  - A sum of **\$2,500** shall be paid on **January 1, 2024**.

Agreement shall be construed as if such invalid, illegal, or unenforceable provision had never been contained herein.

- 5) Each party represents to the other that the individual signing this Agreement below has been duly authorized to do so by its respective governing body and that this Agreement is binding and enforceable as to each party.

IN WITNESS WHEREOF, the parties have executed this Agreement on the day and year set forth below.

JONESBORO OVERHEAD DOOR

By: Greg Vance  
Name: GREG VANCE  
Title: Controller  
Date: 11/18/20

CITY OF JONESBORO

By: \_\_\_\_\_  
Name: Harold Perrin  
Title: Mayor  
Date: \_\_\_\_\_

ATTEST

\_\_\_\_\_  
City Clerk's Office



## Legislation Details (With Text)

<b>File #:</b>	RES-20:239	<b>Version:</b>	1	<b>Name:</b>	ENTER INTO AGREEMENT WITH SCRUB TRENDS AS A COVID-19 SMALL BUSINESS EMERGENCY GRANT SUBRECIPIENT OF THE 2020 COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM (CDBG)
<b>Type:</b>	Resolution	<b>Status:</b>			Recommended to Council
<b>File created:</b>	12/3/2020	<b>In control:</b>			Finance & Administration Council Committee
<b>On agenda:</b>		<b>Final action:</b>			
<b>Title:</b>	A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO AGREEMENT WITH SCRUB TRENDS AS A COVID-19 SMALL BUSINESS EMERGENCY GRANT SUBRECIPIENT OF THE 2020 COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM (CDBG).				
<b>Sponsors:</b>	Grants, Mayor's Office				
<b>Indexes:</b>					
<b>Code sections:</b>					
<b>Attachments:</b>	<a href="#">Agreement Scrub Trends</a>				

Date	Ver.	Action By	Action	Result
12/8/2020	1	Finance & Administration Council Committee		

A RESOLUTION OF THE CITY OF JONESBORO, ARKANSAS AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO AGREEMENT WITH SCRUB TRENDS AS A COVID-19 SMALL BUSINESS EMERGENCY GRANT SUBRECIPIENT OF THE 2020 COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM (CDBG).

WHEREAS, the City of Jonesboro, Arkansas was awarded \$362,524 from the U.S. Department of Housing and Urban Development through a CDBG-CV1 allocation for COVID-19 relief activities; and,

WHEREAS, all CDBG-CV1 funding was allocated towards COVID-19 Small Business Emergency Grants, reference RES-20:060; and,

WHEREAS, the City has allotted \$10,000 for Scrub Trends to carry out the stated objectives for the COVID-19 Small Business Emergency Grant program as prescribed in the scope of service within the said agreement; and,

WHEREAS, the City assists the small business in job creation and/or retention activities that benefit underserved area or low-and moderate-income (LMI) persons; and,

WHEREAS, the small business receives emergency funding to reimburse approved expenses in order to offset the financial hardships of the COVID-19 pandemic; and,

WHEREAS, the Subrecipient assumes responsibility for administering Federal funds in a manner consistent with underlying agreements, program objectives, and the terms and conditions of the Community Development Block Grant Program as described in this agreement.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JONESBORO,



ARKANSAS:

SECTION 1: The COVID-19 Small Business Emergency Grant agreement for Scrub Trends, attached hereto, is hereby approved by the City Council.

SECTION 2: The Mayor and City Clerk are hereby authorized to execute all documents necessary to effectuate the said agreements.



**City of Jonesboro**  
**Community Development Block Grant Program (CDBG)**  
**COVID-19 Small Business Emergency Grant**  
**Agreement**

THIS AGREEMENT, entered this 15 day of Dec, 20\_\_ by and between the **City of Jonesboro**, Arkansas (herein after referred to as "Grantee") and **Scrub Trends** (Hereinafter referred to as "Subrecipient").

WHEREAS, the Grantee has applied for and received funds from the United States Government under Title I of the Housing and Community Development Act of 1974, as amended (HCD Act), Public Law 93-383; and

WHEREAS, the Grantee wishes to engage the Subrecipient to assist the Grantee in utilizing such funds; and

WHEREAS, the Grantee assists the small business to undertake economic opportunities, job creation and/or retention activities that benefit underserved area or low-and moderate-income (LMI) persons; and

NOW, THEREFORE, It is agreed by the parties in exchange of the mutual covenants and agreements set forth herein:

**I. NATIONAL OBJECTIVES**

All activities funded with Community Development Block Grant (CDBG) funds must meet one of the CDBG program's National Objectives: (1) benefit low- and moderate-income (LMI) persons; (2) aid in the prevention or elimination of slums or blight; or (3) meet community development needs having a particular urgency, as defined in *24 CFR § 570.208*. The Subrecipient certifies that the activity (ies) carried out under this Agreement will meet the National Objective (1) benefit low- and moderate-income persons.

**NATIONAL BENEFIT OBJECTIVES**

The goal of City of Jonesboro is to alleviate the hardships invoked on small businesses in Jonesboro due to the COVID-19 pandemic and to promote job retention and creation for low-income residents.

Job Creation: Subrecipient must document that at least 51% of the jobs will be held by, or will be available to, LMI persons. For further LMI determination, the employee can reside in LMI census tract where at least 70% of its residents are LMI.

Job Retention: Subrecipient must provide sufficient information documenting that the jobs would have been lost without the CDBG assistance and that one or both of the following applies to at least 51 percent of the jobs: (1) the job is held by a LMI

person; (2) the job can reasonably be expected to turn over within the following two years and steps will be taken to ensure that the job will be filled by, or made available to, a LMI person.

Under the category of LMI Limited Clientele if economic activity includes Job Creation or Retention where jobs must be available to or held by at least 51% LMI person; in addition, if the owner of the business is LMI and provide income information and other documentation indicating income status. The LMI Area Benefit category may be fulfill if economic activities benefit an LMI area or business is located in a city designated LMI area where 51% of the neighborhood is LMI.

## **II. SCOPE OF ACTIVITY**

### **A. Project Description**

The Subrecipient has requested and been approved for payroll, rent, PPE and utility cost reimbursement. The Subrecipient has also agreed to create a part-time cashier position and will be reimbursed for this expense. The aforementioned items are among the approved COVID-19 expenses outlined in the City of Jonesboro's Request for Proposal.

### **B. Terms**

The Subrecipient has elected to receive their COVID-19 grant amount in monthly reimbursement payments. They have elected to turn in monthly expense reports and must have all funds exhausted by June 30, 2021. The Subrecipient agrees to provide receipts or proof of payment for the amount to be reimbursed, and acknowledges that they will only receive payment for the expenses outlined in the budget that they can provide proof of payment for. If the Subrecipient does not request reimbursement by the end of the fiscal year on June 30, 2021, they forfeit their unused funding and it will be reallocated to another CDBG qualifying cause.

### **C. Levels of Accomplishments: Objectives and Performances**

In addition to the general administrative services required as part of this Agreement, the Subrecipient agrees to provide the following levels of project services. The levels of accomplishment may include such measures as persons or households assisted and should also include time frames for performance.

#### Project Name

#### Activity

COVID-19 Relief

Creating Cashier Position

### **D. Key Personnel**

Lakita Lawson-Wade, Owner.

Subrecipient must immediately notify the Grantee with any changes in the assigned Key Personnel or their general responsibilities under this project.

E. Budget

<u>Budget Line Items</u>	<u>Approved Amounts</u>
Salary	\$4,130
Rent	\$4,000
PPE Expenses	\$750
Utility Costs	\$1,120
 TOTAL	 \$10,000

The Grantee may require a more detailed budget breakdown than the one contained herein, and the Subrecipient shall provide such supplementary budget information in a timely fashion in the form and content prescribed by the Grantee.

Modifications to approved budget line items are allowable, but must be directly related to changes in project services and activities and may not increase the budget total. Subrecipient must submit a written request identifying reason for the adjustment to the Grantee within 30 days. The Grantee has the authority to grant or deny requests for budget revisions. Granted funds may not be expended prior to budget amendment approval.

**III. PAYMENT**

The total amount to be paid by the Grantee under this Agreement shall not exceed \$10,000. Reimbursement payment for eligible expenses shall be made according to budget categories/line items specified in Paragraph II E herein.

Payments may be contingent upon certification of the Subrecipient's financial management system in accordance with the standards specified in 2 *CFR Part 200* and 24 *CFR § 84.21*.

The Grantee retains fiscal responsibility of said funds prior to disbursement. The Subrecipient will submit for reimbursement of eligible costs incurred pertaining directly to budgeted line items listed in the approved budget. Reimbursements will be made to the Subrecipient by the Grantee upon submission of quarterly report and eligible expenditures. Advance Payment method must be approved by the Grantee with justification arranged under specific circumstances.

**IV. TIME OF PERFORMANCE**

A. Program Year

Subrecipient may request a reimbursement for any approved expenses for the months between November 2020 and June 2021. Reimbursement requests may be made any time until the program year ends on June 30, 2021. No program income is expected with this project.

B. Reporting

Expenditure Reports are due every 15<sup>th</sup> of each month after grant awarded. Expenditure reports cover the expended budget line items approved. Each report must include proof of payment such receipts, invoices, cleared checks and/or bank statements. Funds being used for salary must include timesheets and payroll statement as proof of payment.

Subrecipient must submit Expenditure reports no later than deadlines set. Failure to submit reports and adequate supportive documentation may result in suspension or cancelation of fund reimbursement.

V. NOTICES

Notices required by this Agreement shall be in writing and delivered via mail, commercial courier, personal delivery, sent by facsimile, or other electronic means. Any notice delivered or sent as aforesaid shall be effective on the date of delivery. All written communications under this Agreement shall be addressed to the authorized official of the organization indicated below, unless otherwise stated through written notification.

Communication and details concerning this Agreement shall be directed to the following:

Grantee  
City of Jonesboro  
Grants & Community Development  
300 S. Church St.  
P.O. Box 1845  
Jonesboro, AR 72403-1845  
Tel. (870) 932-1052  
Fax (870) 933-4626

Subrecipient  
Scrub Trends  
206 Melrose Suite G  
Jonesboro, AR 72401  
Tel. 870-206-8011  
scrubtrends@gmail.com

VI. COMPLIANCE

The Grantee will monitor the performance of the Subrecipient against goals and performance standards required herein. Substandard performance as determined by

the Grantee will constitute non-compliance with this Agreement. Substandard performance includes not submitting required documentation. If action to correct such substandard performance is not taken by the Subrecipient within a 30 day period of time after being notified by the Grantee, Agreement suspension or termination procedures will be initiated.

The Grantee reserves the right to inspect at any time during normal business hours any projects conducted under this Agreement to ensure adherence to applicable laws, regulations, and the terms of this Agreement. If for any reason, any term of this Agreement is breached by the Subrecipient, the Grantee may require full repayment of any amounts advanced under this Agreement pursuant to Section VIII (Remedies on Default).

## **VII. SPECIAL CONDITIONS**

The Subrecipient agrees to comply with the requirements of Title 24 of the Code of Federal Regulations, Part 570 (the Housing and Urban Development regulations concerning Community Development Block Grants (CDBG)) including subpart K of these regulations, except that (1) the Subrecipient does not assume the recipient's environmental responsibilities described in *24 CFR § 570.604* and (2) the Subrecipient does not assume the recipient's responsibility for initiating the review process under the provisions of *24 CFR Part 52*.

## **VIII. GENERAL CONDITIONS**

### **A. General Compliance**

The Subrecipient also agrees to comply with all other applicable Federal, state and local laws, regulations, and policies governing the funds provided under this Agreement. *The Subrecipient further agrees to utilize funds available under this Agreement to supplement rather than supplant funds otherwise available.*

### **B. "Independent Contractor"**

Nothing contained in this Agreement is intended to, or shall be construed in any manner, as creating or establishing the relationship of employer/employee between the parties. The Subrecipient shall at all times remain an "independent contractor" with respect to the services to be performed under this Agreement. The Grantee shall be exempt from payment of all Unemployment Compensation, FICA, retirement, life and/or medical insurance and Workers' Compensation Insurance, as the Subrecipient is an independent Subrecipient.

### **C. Hold Harmless**

The Subrecipient shall hold harmless, defend and indemnify the Grantee, its agents, and employees from suits and actions: including attorney's fees, all cost of litigation, and



judgment brought against the Grantee as a result of loss, damage or injury to persons or property arising out of or resulting from the Subrecipient's direct use and operation of programs in connection with the Subrecipient's performance or nonperformance of the services or subject matter called for in this Agreement only if as a result of the Subrecipient's negligent or intentional acts.

D. Worker's Compensation

The Subrecipient shall provide Workers' Compensation insurance coverage for all of its employees involved in the performance of this Agreement.

E. Insurance & Bonding

The Subrecipient shall carry sufficient insurance coverage to protect Agreement assets from loss due to theft, fraud, and/or undue physical damage, and as a minimum shall purchase a blanket fidelity bond covering all employees in an amount equal to cash advances from the Grantee.

The Subrecipients shall comply with the bonding and insurance requirements of *24 CFR § 84.31* and *§ 84.48*, Bonding and Insurance and *2 CFR § 200.304* Bonds, *§ 200.310* Insurance Coverage, and *200.447* Insurance and Indemnification.

F. Grantor Recognition

The Subrecipient shall insure recognition of the role of the Grantor agency in providing services through this Agreement. All activities, facilities, and items utilized pursuant to this Agreement shall be prominently labeled as to funding source. In addition, the Subrecipient will include a reference to the support provided herein in all publication and media presentations made possible with funds made available under this Agreement.

G. Amendments

The Grantee may, in its discretion, amend this Agreement to conform to Federal, State or Local laws and regulations, or for other reasons. If such amendments result in a change in the funding, the scope of services, or schedule of the activities to be undertaken as part of the Agreement, such modifications will be incorporated only by written amendment and signed by both Grantee and Subrecipient.

H. Suspension or Termination

In accordance with *24 CFR § 85.43*, either party may terminate this Agreement at any time by giving written notice to the other party of such termination and specifying the effective date thereof at least 30 days before the effective date of such termination. Partial terminations of the Scope of Service in Paragraph 1 (A) above may only be undertaken with the prior approval of the Grantee. In the event of any termination for convenience, all finished or unfinished documents, data, studies, surveys, maps, models,

photographs, reports, or other materials prepared by the Subrecipient under this Agreement shall, at the option of the Grantee, become the property of the Grantee, and the Subrecipient shall be entitled to receive just and equitable compensation for any satisfactory work completed on such documents or materials prior to the termination.

In accordance with 24 CFR § 85.44, the Grantee may also suspend or terminate this Agreement, in whole or in part, if the Subrecipient materially fails to comply with any term of this Agreement, or with any of the rules, regulations or provisions referred to herein; and the Grantee may declare the Subrecipient ineligible for any further participation in the Grantee's contracts, in addition to other remedies as provided by law. In the event there is probable cause to believe the Subrecipient is in noncompliance with any applicable rules or regulations, the Grantee may withhold up to fifteen (15) percent of said Agreement funds until such time as the Subrecipient is found to be in compliance by the Grantee, or is otherwise adjudicated to be in compliance.

In accordance with 2 CFR § 200.213, Non-federal entities are subject to the non-procurement debarment and suspension regulations that strict awards, sub-awards, and contracts with certain parties that are debarred, suspended, or otherwise excluded from or ineligible for participation in CDBG programs or activities. Subrecipient under this Agreement shall be registered with System for Award Management prior to funds procurement. Costs to the non-Federal entity resulting from obligations incurred by the non-Federal entity during a suspension or after termination of a Federal award or sub-award are not allowable unless the Federal awarding agency or pass-through entity expressly authorizes them in the notice of suspension or termination or subsequently. However, costs during suspension or after termination are allowable as specified in 2 CFR § 200.342.

I. Authorization to Enter Agreement

The undersigned person signing as an officer on behalf of the Subrecipient, a party to this Agreement, hereby severally warrants and represents that said person has authority to enter this Agreement on behalf of said Subrecipient and to bind the same to this Agreement, and further that said Subrecipient has authority to enter into this Agreement and that there are no restrictions or prohibitions contained in any article of incorporation or bylaw against entering into this Agreement. It is agreed that the Subrecipient will provide a copy of the board minutes designating said authority, which is to be attached as a permanent part of this agreement.

**IX. ADMINISTRATIVE REQUIREMENTS**

A. Financial Management

1. Accounting Standards

The Subrecipient agrees to comply with 24 CFR § § 84.21-28 and 2 CFR § 200.419, and agrees to adhere to the accounting principles and

procedures required herein, utilize adequate internal controls, and maintain necessary source documentation for all costs incurred.

2. Cost Principles

The Subrecipient shall administer its project in conformance with 2 *CFR* § 200 subpart E, "Cost Principles". These principles shall be applied for all costs incurred whether charged on a direct or indirect basis.

B. Documentation and Record-Keeping

1. Records to be Maintained

The Subrecipient shall maintain all records required by the Federal regulations specified in 24 *CFR* Part 570.506 that are pertinent to the activities to be funded under this Agreement. Such records shall include but not limited to:

- a. Records providing a full description of each activity undertaken;
- b. Records demonstrating that each activity undertaken meets one of the National Objective of the CDBG program;
- c. Records required to determine the eligibility of activities and recipients of said activities;
- d. Records required to determine the low income eligibility;
- e. Records required to document the acquisition, improvement, use or disposition of real property acquired or improved with CDBG assistance;
- f. Records documenting compliance with the fair housing and equal opportunity components of the CDBG program;
- g. Financial records as required by 24 *CFR* Part 570.502, 24*CFR* 84.21-28, and 2 *CFR* § § 200.333-200.337; and
- h. Other records necessary to document compliance with Subpart K of 24 *CFR* § 570.

2. Retention

The Subrecipient shall retain all records pertinent to expenditures incurred under this Agreement for a period of five (5) years after the termination of all activities funded under this Agreement. Records for non-expendable property acquired with funds under this Agreement shall be retained for five (5) years after final disposition of such property. Records for any displaced person must be kept for five (5) years after he/she has received final payment. Notwithstanding the above, if there is litigation, claims, audits, negotiations or other actions that involve any of the records cited and that have started before the expiration of the five (5) year period, then such records must be retained until completion of the actions and resolution of all issues, or the expiration of the five (5) year period, whichever occurs later.

3. Client Data

The Subrecipient shall maintain client data demonstrating client eligibility for services provided. Such data shall include, but not be limited to, client name, social security, income level or other basis for determining eligibility, and description of service provided. Such information shall be made available to Grantee monitors or their designees for review upon request.

4. Disclosure

The Subrecipient understands that client information collected under this Agreement is private and the use or disclosure of such information, when not directly connected with the administration of the Grantee's or Subrecipient's responsibilities with respect to services provided under this Agreement, is prohibited unless written consent is obtained from such person receiving service and, in the case of a minor, that of a responsible parent/guardian.

5. Property Records

The Subrecipient shall maintain real property inventory records which clearly identify properties purchased, improved or sold. Properties retained shall continue to meet eligibility criteria and shall conform to the "changes in use" restrictions in *24 CFR Parts 570.503(b) (8)*, as applicable.

6. Close-Outs

The Subrecipient's obligation to the Grantee shall not end until all close-out requirements are completed. Activities during this close-out period shall include, but are not limited to making final payments, disposing of program assets (including the return of all unused materials, equipment, unspent cash advances, program income balances, and accounts receivable to the Grantee), and determining the custodianship of records. Notwithstanding the foregoing, the terms of this Agreement shall remain in effect during any period that the Subrecipient has control over CDBG funds, including program income.

7. Audits & Inspections

All Subrecipient records with respect to any matters covered by this Agreement shall be made available to the Grantee, grantor agency, their designees or the Federal Government, at any time during normal business hours, as often as deems necessary, to audit, examine, and make excerpts or transcripts of all relevant data. **Any deficiencies noted in audit reports must be fully cleared by the Subrecipient within 60 days after receipt by the Subrecipient. Failure of the Subrecipient to comply with the above audit requirements will constitute a violation of this Agreement and may result in the withholding of future payments.** The Subrecipient hereby agrees to have an annual agency audit

conducted in accordance with current Grantee policy concerning Subrecipient audits and as specified in *2 CFR Part 200*.

C. Reporting and Payment Procedures

1. Program Income

The Subrecipient shall report quarterly all program income as defined in *24 CFR § 570.500(a)* generated by activities carried out with CDBG funds made available under this Agreement. The use of program income by the Subrecipient shall comply with the requirements set forth at *24 CFR § 570.504*. By way of further limitations, the Subrecipient may use such income during the Agreement period for activities permitted under this Agreement and shall reduce requests for additional funds by the amount of any such program income balance on hand. All unused program income shall be returned to the Grantee at the end of the Agreement period. Any interest earned on cash advances from the U.S. Treasury is not program income and shall be remitted promptly to the Grantee.

**This project is not allowed to generate program income.**

2. Indirect Costs

If indirect costs are charged, the Subrecipient will develop an indirect cost allocation plan for determining the appropriate Subrecipient's share of administrative costs and shall submit such plan to the Grantee for approval, in a form specified by the Grantee.

3. Payment Procedures

The Grantee will pay to the Subrecipient funds available under this Agreement based upon information submitted by the Subrecipient and consistent with any approved budget and Grantee policy concerning payments. With exception of certain advances, payments will be made for eligible expenses actually incurred by the Subrecipient, and not to exceed actual cash requirements. Payments will be adjusted by the Grantee in accordance with advance funds and program income balances available in Subrecipient accounts as applicable. In addition, the Grantee reserves the right to liquidate funds available under this Agreement for costs incurred by the Grantee on behalf of the Subrecipient.

D. Use and Reversion of Assets

The use and disposition of real property and equipment under this Agreement shall be in compliance with the requirements of *24 CFR Part 84, § 570.502, 570.503, and § 570.504*, and *2 CFR Part 200*, as applicable, which include but are not limited to the following:

1. The Subrecipient shall transfer to the Grantee any CDBG funds on hand and

any accounts receivable attributable to the use of funds under this Agreement at the time of expiration, cancellation, or termination.

2. Real property under the Subrecipient's control that was acquired or improved, in whole or in part, with funds under this Agreement in excess of \$25,000 shall be used to meet one of the CDBG National Objectives pursuant to 24 *CFR* § 570.208 until five (5) years after expiration of this Agreement. If the Subrecipient fails to use CDBG-assisted real property in a manner that meets a CDBG National Objective for the prescribed period of time, the Subrecipient shall pay the Grantee an amount equal to the current fair market value of the property less any portion of the value attributable to expenditures of non-CDBG funds for acquisition of, or improvement to, the property. Such payment shall constitute program income to the Grantee. The Subrecipient may retain real property acquired or improved under this Agreement after the expiration of the five-year period.
3. In all cases in which equipment acquired, in whole or in part, with funds under this Agreement is sold, the proceeds shall be program income (prorated to reflect the extent to that funds received under this Agreement were used to acquire the equipment). Equipment not needed by the Subrecipient for activities under this Agreement shall be (a) transferred to the Grantee for the CDBG program or (b) retained after compensating the Grantee [an amount equal to the current fair market value of the equipment less the percentage of non-CDBG funds used to acquire the equipment].

## **X. PERSONNEL & PARTICIPANT CONDITIONS**

### **A. Civil Rights**

#### **1. Compliance**

The Subrecipient agrees to comply with Title VI of the Civil Rights Act of 1964 as amended, Title VIII of the Civil Rights Act of 1968 as amended, Section 104(b) and Section 109 of Title 1 of the Housing and Community Development Act of 1974 as amended, Section 504 of the Rehabilitation Act of 1973, the Americans with Disabilities Act of 1990, the Age Discrimination Act of 1975, Executive Order 11063, and with Executive Order 11246 as amended by Executive Orders 11375 and 12086.

#### **2. Nondiscrimination**

The Subrecipient agrees to comply with the non-discrimination in employment and contracting opportunities laws, regulations, and executive orders referenced in 24 *CFR* § 570.607, as revised by Executive Order 13279. The applicable non-discrimination provisions in Section 109 of the HCDA are still applicable.



3. Section 504

The Subrecipient agrees to comply with any Federal regulations issued pursuant to compliance with Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 706), which prohibits discrimination against those with disabilities in any Federally assisted program.

B. Affirmative Action

1. Approved Plan

The Subrecipient agrees that it shall be committed to carry out pursuant to the Grantee's specifications an Affirmative Action Program in keeping with the principles as provided in President's Executive Order 11246 of September 24, 1966. Section 109 of the Act requires that no person in the United States shall on the ground of race, color, religion, national origin or gender, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under, any program or activity funded in whole or in part with community development funds.

2. Women-and Minority-Owned Businesses (W/MBE)

The Subrecipient will use its best efforts to afford minority - and women-owned business enterprises the maximum practicable opportunity to participate in the performance of this Agreement. As used in this Agreement, the term "minority and female business enterprise" means a business at least fifty-one (51) percent owned and controlled by minority group members or women. For the purpose of this definition, "minority group members" are Afro-Americans, Spanish-speaking, Spanish surnamed or Spanish-heritage Americans, Asian-Americans, and American Indians. The Subrecipient may rely on written representations by businesses regarding their status as minority and female business enterprises in lieu of an independent investigation.

3. Access to Record

The Subrecipient shall furnish and cause each of its own subrecipients or subcontractors to furnish all information and reports required hereunder and will permit access to its books, records, and accounts by the Grantee, HUD or its agent, or other authorized Federal officials for purposes of investigation to ascertain compliance with the rules, regulations, and provisions stated herein.

4. Notifications

The Subrecipient will send to each labor union or representative of workers with which it has a collective bargaining agreement or other contract or understanding, a notice, to be provided by the agency's contracting officer, advising the labor

union or worker's representative of the Subrecipient's commitments hereunder, and shall post copies of the notice in conspicuous places available to employees and applicants for employment.

5. Equal Employment Opportunity and Affirmative Action (EEO/AA) Statement

The Subrecipient will, in all solicitations or advertisements for employees placed or on behalf of the Subrecipient, state that it is an Equal Opportunity or Affirmative Action employer.

6. Subcontract Provisions

The Subrecipient will include the provisions of Paragraphs X(A), Civil Rights, and (B), Affirmative Action, in every subcontract or purchase order, specifically or by reference, so that such provisions will be binding upon each of its own subrecipients or subcontractors.

C. Employment Restrictions

1. Prohibited Activity

The Subrecipient is prohibited from using funds provided herein or personnel employed in the administration of the program for political activities, sectarian or inherently religious activities, lobbying, political patronage, and nepotism activities.

2. Labor Standards

The Subrecipient agrees to comply with the requirements of the Secretary of Labor in accordance with the provisions of Contract Work Hours and Safety Standards Act, the Copeland "Anti-Kickback" Act (40 U.S.C. 276a-276a-5; 40 USC 327 and 40 USC 276c) and all other applicable Federal, State and Local laws and regulations pertaining to labor standards insofar as those acts apply to the performance of this Agreement. The Subrecipient shall maintain documentation which demonstrates compliance with hour and wage requirements of this part. Such documentation shall be made available to the Grantee for review upon request.

3. "Section 3" Clause

a. Compliance

Compliance with the provisions of Section 3, the regulations set forth in 24 CFR 135, and all applicable rules and orders issued hereunder prior to the execution of this Agreement, shall be a condition of the Federal

financial assistance provided under this Agreement and binding upon the Grantee, the Subrecipient and any of the Subrecipient's subrecipients and subcontractors. Failure to fulfill these requirements shall subject the Grantee, the Subrecipient and any of the Subrecipient's subrecipients and subcontractors, their successors and assigns, to those sanctions specified by the Agreement through which Federal assistance is provided. The Subrecipient certifies and agrees that no contractual or other disability exists which would prevent compliance with those requirements.

The Subrecipient further agrees to comply with these "Section 3" requirements and to include the following language in all subcontracts executed under this Agreement:

"The work to be performed under this Agreement is a project assisted under a program provided direct Federal financial assistance from HUD and is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701. Section 3 requires that to the greatest extent feasible opportunities for training and employment be given to low- and very low-income residents of the project area and contracts for work in connection with the project be awarded to business concerns that provide economic opportunities for low- and very low-income persons residing in the metropolitan area in which the project is located."

The Subrecipient certifies and agrees that no contractual or other legal incapacity exists which would prevent compliance with these requirements.

b. Notifications

The Subrecipient agrees to send to each labor organization or representative of workers with which it has a collective bargaining agreement or other contract or understanding, if any, a notice advising said labor organization or worker's representative of its commitments under this Section 3 clause and shall post copies of the notice in conspicuous places available to employees and applicants for employment or training.

c. Subcontracts

The Subrecipient will include this Section 3 clause in every subcontract and will take appropriate action pursuant to the subcontract upon finding that the subcontractor is in violation of regulations issued by the grantor agency. The Subrecipient will not subcontract with any entity where it has notice or knowledge that the latter has been found in violation of regulations under *24 CFR Part 135* and will not let any subcontract unless the entity has first provided it with a preliminary statement of ability to

comply with the requirements of these regulations.

D. Conduct

1. Assignability

The Subrecipient shall not assign or transfer any interest in this Agreement without the prior written consent of the Grantee thereto; provided, however, that claims for money due or to become due to the Subrecipient from the Grantee under this Agreement may be assigned to a bank, trust company, or other financial institution without such approval. Notice of any such assignment or transfer shall be furnished promptly to the Grantee.

2. Subcontracts

a. Approvals

The Subrecipient shall not enter into any subcontracts with any agency or individual in the performance of this Agreement without the written consent of the Grantee prior to the execution of such agreement.

b. Monitoring

The Subrecipient will monitor all subcontracted services on a regular basis to assure Agreement compliance. Results of monitoring efforts shall be summarized in written reports and supported with documented evidence of follow-up actions taken to correct areas of noncompliance.

c. Content

The Subrecipient shall cause all of the provisions of this Agreement in its entirety to be included in and made a part of any subcontract executed in the performance of this Agreement.

d. Selection Process

The Subrecipient shall undertake to insure that all subcontracts let in the performance of this Agreement shall be awarded on a fair and open competition basis. Executed copies of all subcontracts shall be forwarded to the Grantee along with documentation concerning the selection process.

3. Hatch Act

The Subrecipient agrees that no funds provided, nor personnel employed under this Agreement, shall be in any way or to any extent engaged in the conduct of political activities in violation of Chapter 15 of Title V United States Code.

4. Conflict of Interest

The Subrecipient agrees to abide by the provisions of 24 CFR § 570.611 with respect to conflicts of interest, and covenants that it presently has no financial interest and shall not acquire any financial interest, direct or indirect, which would conflict in any manner or degree with the performance of this Agreement. No person having such a financial interest shall be employed or retained by the Subrecipient hereunder.

These conflict of interest provisions apply to any person who is an employee, agent, consultant, officer, or elected official or appointed official of the Grantee, or of any designated public agencies or Subrecipients which are receiving funds under the CDBG Entitlement program.

5. Lobbying

The Subrecipient hereby certifies that:

- a. No Federal appropriated funds have been paid or will be paid, by or on behalf of it, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement;
- b. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, it will complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions;
- c. It will require that the language of paragraph (d) of this certification be included in the award documents for all sub awards at all tiers (including subcontracts, sub grants, and contracts under grants, loans, and cooperative agreements) and that all Subrecipients shall certify and disclose accordingly;
- d. Lobbying Certification

This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered



into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by section 1352, title 31, U.S. Code. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.

6. Copyright

If this Agreement results in any copyrightable material or inventions, the Grantee and/or grantor agency reserves the right to royalty-free, non-exclusive and irrevocable license to reproduce, publish or otherwise use and to authorize others to use, the work or materials for government purposes.

7. Religious Organization

The Subrecipient agrees that funds provided under this Agreement will not be utilized for religious activities, to promote religious interests, or for the benefit of a religious organization in accordance with the Federal regulations specified in 24 CFR § 570.200(j).

**XII. SEVERABILITY**

If any provision of this Agreement is held invalid, the remainder of the Agreement shall not be affected thereby and all other parts of this Agreement shall nevertheless be in full force and effect.

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the date of Council Approval:

**City of Jonesboro**

**Subrecipient**

\_\_\_\_\_  
Harold Perrin, Mayor



Title: Owner

Date: \_\_\_\_\_

Date: 11/19/2020

\_\_\_\_\_  
Donna Jackson, City Clerk

\_\_\_\_\_  
Title:

Date: \_\_\_\_\_

Date: \_\_\_\_\_



## Legislation Details (With Text)

<b>File #:</b>	RES-20:240	<b>Version:</b>	1	<b>Name:</b>	MAKE APPOINTMENTS AND REAPPOINTMENTS TO BOARDS AND COMMISSIONS AS RECOMMENDED BY MAYOR HAROLD PERRIN
<b>Type:</b>	Resolution	<b>Status:</b>			Recommended to Council
<b>File created:</b>	12/8/2020	<b>In control:</b>			Nominating and Rules Committee
<b>On agenda:</b>		<b>Final action:</b>			
<b>Title:</b>	RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS TO MAKE APPOINTMENTS AND REAPPOINTMENTS TO BOARDS AND COMMISSIONS AS RECOMMENDED BY MAYOR HAROLD PERRIN				
<b>Sponsors:</b>	Mayor's Office				
<b>Indexes:</b>	Appointment/Reappointment				
<b>Code sections:</b>					
<b>Attachments:</b>					

Date	Ver.	Action By	Action	Result
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12/8/2020	1	Nominating and Rules Committee		
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RESOLUTION BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS TO MAKE APPOINTMENTS AND REAPPOINTMENTS TO BOARDS AND COMMISSIONS AS RECOMMENDED BY MAYOR HAROLD PERRIN

WHEREAS, the following appointments/reappointments have been recommended by Mayor Harold Perrin

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL FOR THE CITY OF JONESBORO, ARKANSAS, that the following appointments/reappointments be confirmed:

### ADVERTISING & PROMOTIONS COMMISSION

Reappoint David McClain to a four-year term to expire on December 31, 2024

### JONESBORO PARKS AND RECREATION PLANNING AND ADVISORY COMMITTEE

Reappointment of Tina Cook, Dr. Len Frey, Doug Imrie and Marilyn Copeland to three year terms to expire December 31, 2023

### JONESBORO URBAN FORESTRY COUNCIL

Reappointment of Brandon Thiesse to a three-year term to expire December 31, 2023

### LAND USE ADVISORY COMMITTEE

Appointment of Dr. Karen Curtner (Nettleton Superintendent) as the School Board Representative to a five-year term to expire December 31, 2025.



## Legislation Details (With Text)

<b>File #:</b>	RES-20:237	<b>Version:</b>	1	<b>Name:</b>	ENTRY INTO AN AGREEMENT TO ISSUE BONDS FOR THE PURPOSE OF ASSISTING IN THE FINANCING OF INDUSTRIAL FACILITIES WITHIN THE CITY OF JONESBORO, ARKANSAS, TO BE LEASED TO NICE-PAK PRODUCTS, INC. OR ITS AFFILIATE, PURSUANT TO THE AUTHORITY OF THE LAWS OF THE ST
<b>Type:</b>	Resolution	<b>Status:</b>			Recommended to Council
<b>File created:</b>	12/2/2020	<b>In control:</b>			Finance & Administration Council Committee
<b>On agenda:</b>		<b>Final action:</b>			
<b>Title:</b>	A RESOLUTION AUTHORIZING THE ENTRY INTO AN AGREEMENT TO ISSUE BONDS FOR THE PURPOSE OF ASSISTING IN THE FINANCING OF INDUSTRIAL FACILITIES WITHIN THE CITY OF JONESBORO, ARKANSAS, TO BE LEASED TO NICE-PAK PRODUCTS, INC. OR ITS AFFILIATE, PURSUANT TO THE AUTHORITY OF THE LAWS OF THE STATE OF ARKANSAS, INCLUDING PARTICULARLY AMENDMENT 65 TO THE ARKANSAS CONSTITUTION AND THE MUNICIPALITIES AND COUNTIES INDUSTRIAL DEVELOPMENT REVENUE BOND LAW.				
<b>Sponsors:</b>	Finance, Mayor's Office				
<b>Indexes:</b>	Bonds - revenue/development				
<b>Code sections:</b>					
<b>Attachments:</b>	<a href="#">Agreement to Issue Bonds (Nice-Pak)</a>				

Date	Ver.	Action By	Action	Result
12/8/2020	1	Finance & Administration Council Committee		

A RESOLUTION AUTHORIZING THE ENTRY INTO AN AGREEMENT TO ISSUE BONDS FOR THE PURPOSE OF ASSISTING IN THE FINANCING OF INDUSTRIAL FACILITIES WITHIN THE CITY OF JONESBORO, ARKANSAS, TO BE LEASED TO NICE-PAK PRODUCTS, INC. OR ITS AFFILIATE, PURSUANT TO THE AUTHORITY OF THE LAWS OF THE STATE OF ARKANSAS, INCLUDING PARTICULARLY AMENDMENT 65 TO THE ARKANSAS CONSTITUTION AND THE MUNICIPALITIES AND COUNTIES INDUSTRIAL DEVELOPMENT REVENUE BOND LAW.

WHEREAS, the City of Jonesboro, Arkansas, is authorized under the provisions of Amendment 65 to the Arkansas Constitution and the Municipalities and Counties Industrial Development Revenue Bond Law, Ark. Code Ann. §§ 14-164-201 et seq. (the "Act"), to own, acquire, construct, equip, and lease facilities to secure and develop industry and to assist in the financing thereof by the issuance of bonds payable from the revenues derived from such facilities; and,

WHEREAS, Nice-Pak Products, Inc. (the "Company"), has evidenced its interest in acquiring, constructing, and equipping an industrial facility within the City if the permanent financing can be provided through the issuance of bonds (the "Bonds") under the authority of the Act; and,

WHEREAS, the City desires to assist the Company in order to secure and develop industry within the City, and to aid in the financing thereof under the provisions of the Act; and,

WHEREAS, it is desirable that the City enter into an Agreement to Issue Bonds for such purpose.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JONESBORO, ARKANSAS THAT:

Section 1. The Mayor and the City Clerk of the City are hereby authorized to enter into an Agreement to Issue Bonds in substantially the form and substance attached as Exhibit A.

Section 2. Subject to compliance with the statutory notice requirements, a Payment in Lieu of Taxes Agreement (a "PILOT Agreement") shall be considered for approval at the meeting of the City Council at which the ordinance authorizing the issuance of the Bonds is considered for approval.

Section 3. The City shall hold a public hearing on the question of the issuance of the Bonds on January 5, 2021 at \_\_\_\_\_p.m.. The City Clerk and bond counsel shall coordinate the publication of the notice of public hearing.

Section 4. Severability. In the event any title, section, paragraph, item, sentence, clause, phrase, or word of this resolution is declared or adjudged to be invalid or unconstitutional, such declaration or adjudication shall not affect the remaining portions of this resolution, which shall remain in full force and effect as if the portion so declared or adjudged invalid or unconstitutional was not originally a part of this resolution.

Section 5. Repealer. All ordinances or resolutions of the City in conflict herewith are hereby repealed to the extent of such conflict.



## Legislation Details (With Text)

<b>File #:</b>	ORD-20:053	<b>Version:</b>	1	<b>Name:</b>	VACATE AND ABANDON A 15' UTILITY EASEMENT ACROSS PARCEL Number: 01-144154-00910 OWNED BY JONESBORO 2015, LLC; BEING LOCATED WEST OF THE PROSPECT FARMS SUBDIVISION AND EAST OF WOLF MEADOWS SUBDIVISION IN JONESBORO, ARKANSAS AS REQUESTED ON BEHALF OF JONESB
<b>Type:</b>	Ordinance	<b>Status:</b>			Second Reading
<b>File created:</b>	11/12/2020	<b>In control:</b>			City Council
<b>On agenda:</b>	12/1/2020	<b>Final action:</b>			
<b>Title:</b>	AN ORDINANCE TO VACATE AND ABANDON A 15' UTILITY EASEMENT ACROSS PARCEL Number: 01-144154-00910 OWNED BY JONESBORO 2015, LLC; BEING LOCATED WEST OF THE PROSPECT FARMS SUBDIVISION AND EAST OF WOLF MEADOWS SUBDIVISION IN JONESBORO, ARKANSAS AS REQUESTED ON BEHALF OF JONESBORO 2015, LLC				
<b>Sponsors:</b>					
<b>Indexes:</b>	Abandonment				
<b>Code sections:</b>					
<b>Attachments:</b>	<a href="#">Notice</a> <a href="#">Abandonment concurrence Marshall - Wolf Meadow - Prospect Farms</a> <a href="#">Petition Executed[29203]</a> <a href="#">Jonesboro 2015 parcel</a> <a href="#">Utility Letters</a>				

Date	Ver.	Action By	Action	Result
12/1/2020	1	City Council		

AN ORDINANCE TO VACATE AND ABANDON A 15' UTILITY EASEMENT ACROSS PARCEL Number: 01-144154-00910 OWNED BY JONESBORO 2015, LLC; BEING LOCATED WEST OF THE PROSPECT FARMS SUBDIVISION AND EAST OF WOLF MEADOWS SUBDIVISION IN JONESBORO, ARKANSAS AS REQUESTED ON BEHALF OF JONESBORO 2015, LLC

BE IT ORDAINED by the City Council of the City of Jonesboro, Arkansas, that:

SECTION ONE: The City of Jonesboro, Arkansas, hereby releases, vacates and abandons all of its rights, together with the rights of the public generally, in and to the drainage and utility easement designated as follows:

A FIFTEEN (15) FOOT UTILITY EASEMENT LYING NORTH AND PARALLEL OF THE ORIGINAL RIGHT OF WAY ALIGNMENT OF YUKON DRIVE AND WEST OF THE INTERSECTION OF YUKON DRIVE AND PROSPECT FARM LANE; RUNNING SOUTHWESTERLY BETWEEN LOT 99 AND LOT 120 OF PROSPECT FARMS SUBDIVISION PHASE IV, AS DEPICTED IN PLAT CABINET C AT PAGE 298 IN THE OFFICE OF THE CIRCUIT CLERK FOR CRAIGHEAD COUNTY IN JONESBORO, ARKANSAS.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.



SECTION TWO: A copy of the ordinance duly certified by the City Clerk shall be filed in the office of the recorder of Craighead County, Arkansas and shall be filed in the Deed Records of such office.

## NOTICE OF PUBLIC HEARING

There will be a public hearing regarding the abandonment of a 15' utility easement across Parcel Number: 01-144154-00910 owned by JONESBORO 2015, LLC; being located west of the Prospect Farms Subdivision and east of Wolf Meadows Subdivision in Jonesboro, Arkansas.

A FIFTEEN (15) FOOT UTILITY EASEMENT LYING NORTH AND PARALLEL OF THE ORIGINAL RIGHT OF WAY ALIGNMENT OF YUKON DRIVE AND WEST OF THE INTERSECTION OF YUKON DRIVE AND PROSPECT FARM LANE; RUNNING SOUTHWESTERLY BETWEEN LOT 99 AND LOT 120 OF PROSPECT FARMS SUBDIVISION PHASE IV, AS DEPICTED IN PLAT CABINET C AT PAGE 298 IN THE OFFICE OF THE CIRCUIT CLERK FOR CRAIGHEAD COUNTY IN JONESBORO, ARKANSAS.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

This matter will be heard before the City Council at \_\_\_\_\_ o'clock p.m. on \_\_\_\_\_ in Council Chambers, located at 300 S. Church St., Jonesboro, Arkansas. All comments will be heard at this time.

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CITY CLERK OF JONESBORO



September 11, 2020

Jason Marshall  
1233 CR 759  
Jonesboro, AR 72405

RE: Abandonment of Easement – Wolf Meadows Phase 3

Dear Mr. Marshall:

The City of Jonesboro Engineering and Planning Departments concur with the abandonment of the utility easement between Lots 99 and 120 of Prospect Farms Subdivision in lieu of newly dedicated easement running along a newly built city street as illustrated and described within the attached Exhibit.

Please call if more information is needed.

Sincerely,

A handwritten signature in blue ink, appearing to read 'C. Light', is positioned above the typed name of the City Engineer.

Craig Light, PE, CFM  
City Engineer

A handwritten signature in black ink, appearing to read 'Derrel Smith', is positioned above the typed name of the City Planner.

Derrel Smith  
City Planner

September 10, 2020

City of Jonesboro  
Engineering  
Department  
300 S. Church St.  
Jonesboro, AR. 72401

**RE: WOLF MEADOWS PHASE 3**  
**Drainage Easement Abandonment Concurrence Letter Request**

To Whom it may Concern,

Please accept this letter as a formal request to concur with the abandonment of a utility easement between Lots 99 and 120 of Prospect Farms Subdivision in lieu of newly dedicated easement running along a newly built city street. I have obtained releases on behalf of all utilities serving the area and will present them with my Petition. This abandoned easement as well as the new easement are both illustrated and described within the attached Exhibit.

Please provide a letter to the city clerk, Donna Jackson, indicating City of Jonesboro Planning Department concurs with the request.

Please reply by letter to Nikki Nottingham in Donna Jackson's office by email. Also, please send a copy to me at [jasonemarshall@outlook.com](mailto:jasonemarshall@outlook.com).

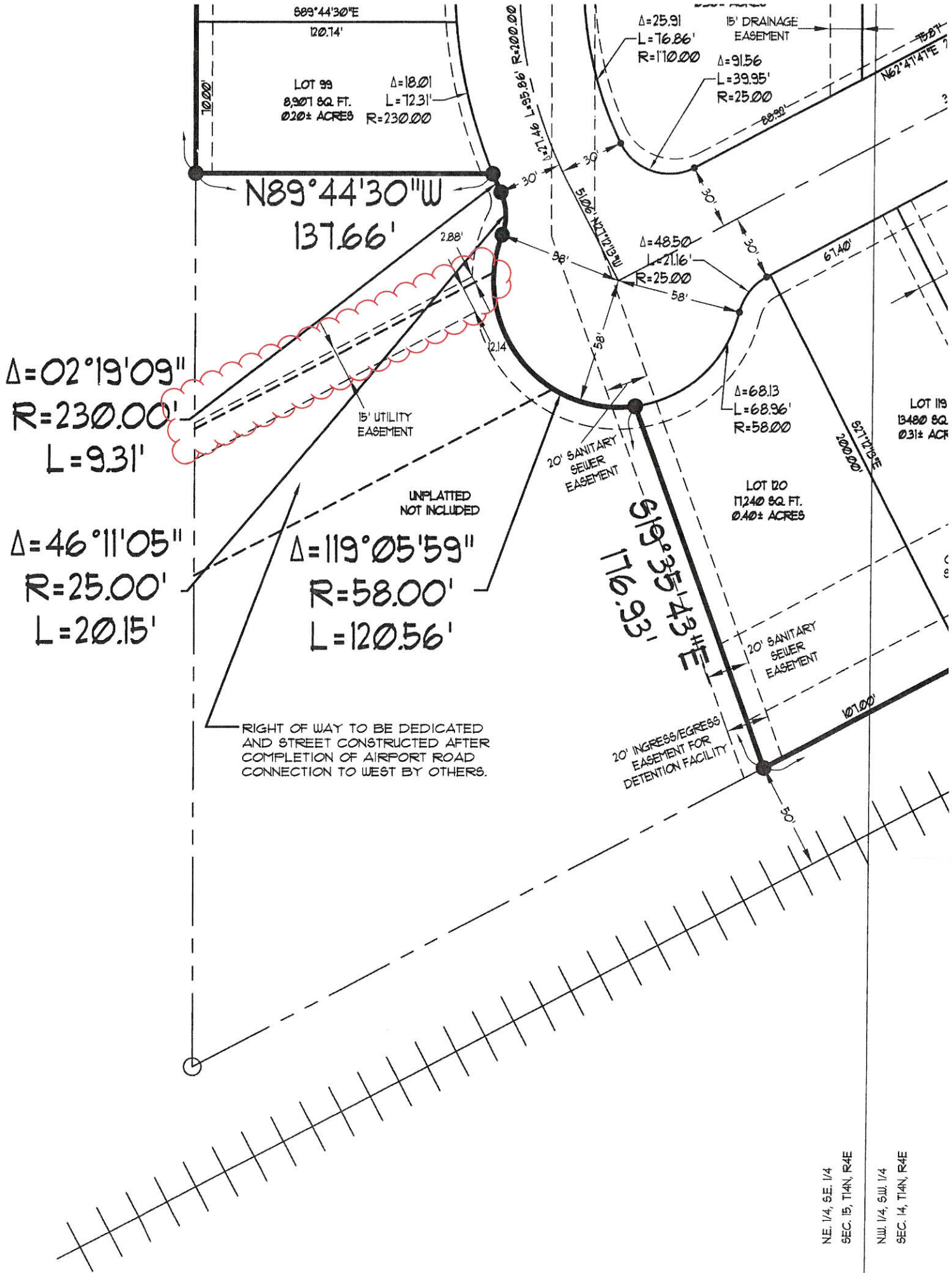
Thanks for your assistance.

If you have any questions, contact me at (870) 243-2119 or by email.

Sincerely,



Jason Marshall



N.E. 1/4, S.E. 1/4  
SEC. 15, T14N, R4E  
N.W. 1/4, S.W. 1/4  
SEC. 14, T14N, R4E



TO: Honorable Harold Perrin, Mayor, and members of the City Council of The City of Jonesboro, Arkansas.

PETITION to abandonment a 15' utility easement across Parcel Number: 01-144154-00910 owned by JONESBORO 2015, LLC; such parcel located contiguous to the Prospect Farms Subdivision in Jonesboro, Arkansas.

We the undersigned, being the owners of all property adjoining to the following described Drainage and Utility Easement located in the City of Jonesboro, Arkansas, described as follows:

A FIFTEEN (15) FOOT UTILITY EASEMENT LYING NORTH AND PARALLEL OF THE ORIGINAL RIGHT OF WAY ALIGNMENT OF YUKON DRIVE AND WEST OF THE INTERSECTION OF YUKON DRIVE AND PROSPECT FARM LANE; RUNNING SOUTHWESTERLY BETWEEN LOT 99 AND LOT 120 OF PROSPECT FARMS SUBDIVISION PHASE IV, AS DEPICTED IN PLAT CABINET C AT PAGE 298 IN THE OFFICE OF THE CIRCUIT CLERK FOR CRAIGHEAD COUNTY IN JONESBORO, ARKANSAS.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

Herewith file and present this petition to the City Council of the City of Jonesboro, Arkansas to have all of the drainage and utility easement described above legally closed.

DATED this 29<sup>th</sup> day of October, 2020.

PROPERTY OWNER: Jonesboro 2015, LLC  
4058 N. College Ave.  
Suite 300  
Fayetteville, AR 72703

David C Frye

DAVID C. FRYE - Manager

Subscribed and Sworn to me on this 29<sup>th</sup> day of October 2020.

Heather Henley

NOTARY

Expiration Date: 2-12-2030



MEADOWVIEW  
W MHP LLC

Wolf Grove Ln

Wolf Den Dr

Prospect Farm Ln

Goldrush Ln

Prospect Farm Rd

Prospect Trail

Yukon Dr

WMPOF LLC

ARK  
MORRIS  
CONSTRUCTION LLC

JON  
ESBORO ...



**Owner**

JONESBORO 2015 LLC



2020R-022462

FILED

JONESBORO DISTRICT

CRAIGHEAD COUNTY, ARKANSAS

CANDACE EDWARDS, CLERK & RECORDER

10/01/2020 08:43:03 AM

FEE: 30.00

PAGES: 4

JAMIE HUNNICUTT

Type of Instrument:

Grantor(s): City Water & Light Plant  
of the City of Jonesboro, Arkansas

Grantee(s): Record Owners of Title

This Instrument Prepared By:

Waddell, Cole & Jones, P.A.

Attorneys at Law

P.O. Box 1700

Jonesboro, AR 72403

After Recording, Return To:

City Water & Light Plant

of the City of Jonesboro, Arkansas

400 East Monroe

PO Box 1289

Jonesboro, AR 72403-1289

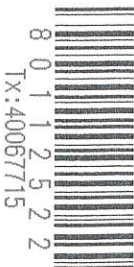
### **QUITCLAIM DEED FOR RELINQUISHMENT OF EASEMENT**

KNOW ALL MEN BY THESE PRESENTS:

That, CITY WATER & LIGHT PLANT OF THE CITY OF JONESBORO, ARKANSAS, a consolidated municipal improvement district, Grantor, by its Manager, duly authorized by its Board of Directors, for good and valuable consideration, the sufficiency of which is hereby acknowledged, does hereby grant, convey, sell and quitclaim unto the record owners of title to the Property (as defined below) ("Grantee"), and unto their heirs, successors and assigns forever, all its right, title, interest and claim in and to the lands lying in Craighead County, Arkansas, and more particularly described in the **Exhibit "A"** attached hereto and incorporated herein by reference (the "Property"), with the intent that any easement of Grantor in the Property shall be forever extinguished, and the Grantee, its successors, heirs and assigns, shall have and enjoy the Property, free and absolutely discharged from any easement of Grantor in the Property.

To have and to hold the same unto the said Grantee, and unto their heirs, successors and assigns forever, with all appurtenances thereunto belonging.

IN TESTIMONY WHEREOF, this instrument is hereby executed by the aforescribed officer of Grantor this 14<sup>TH</sup> day of SEPTEMBER, 2020



CITY WATER & LIGHT PLANT  
OF THE CITY OF JONESBORO, ARKANSAS

By: [Signature]  
Name: Jake Rice III  
Title: Manager

ACKNOWLEDGMENT

STATE OF ARKANSAS  
COUNTY OF CRAIGHEAD

On this day before me, the undersigned, a Notary Public, within and for the County and State aforesaid, duly qualified, commissioned and acting, personally appeared Jake Rice, to me well known, and who subscribed to the foregoing instrument and stated and acknowledged that he was the Manager of City Water & Light Plant of the City of Jonesboro, Arkansas, a corporation, and that he as such corporate officer, being authorized so to do, had signed, executed, and delivered the foregoing instrument for the consideration, uses, and purposes therein contained, by signing himself as such officer and executing on behalf of the corporation as such officer.

WITNESS my hand and seal on this 14<sup>th</sup> day of SEPTEMBER, 2020.

[Signature]  
Notary Public

My Commission Expires:  
3-2-2025



AMOUNT OF TAX \$ 0  
I certify under penalty of false swearing that the legally correct amount of documentary stamps have been placed on this instrument. Exempt or no consideration paid if none shown.

[Signature: Jason Marshall]  
Grantee or Agent

Grantee's Address: 1233 CR 759  
Jonesboro, AR 72405



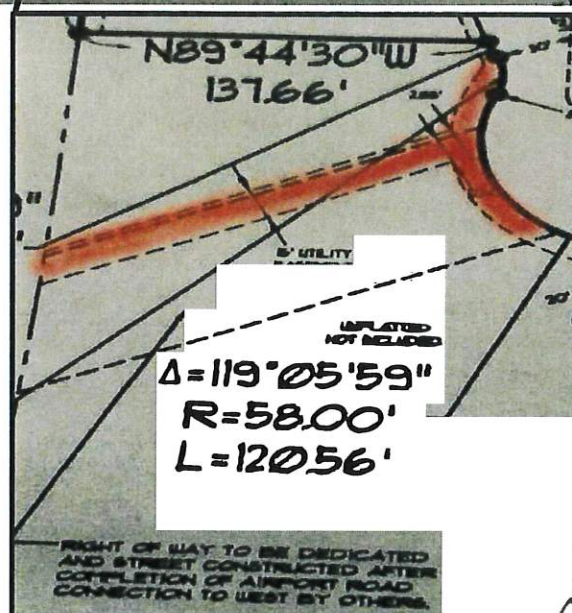
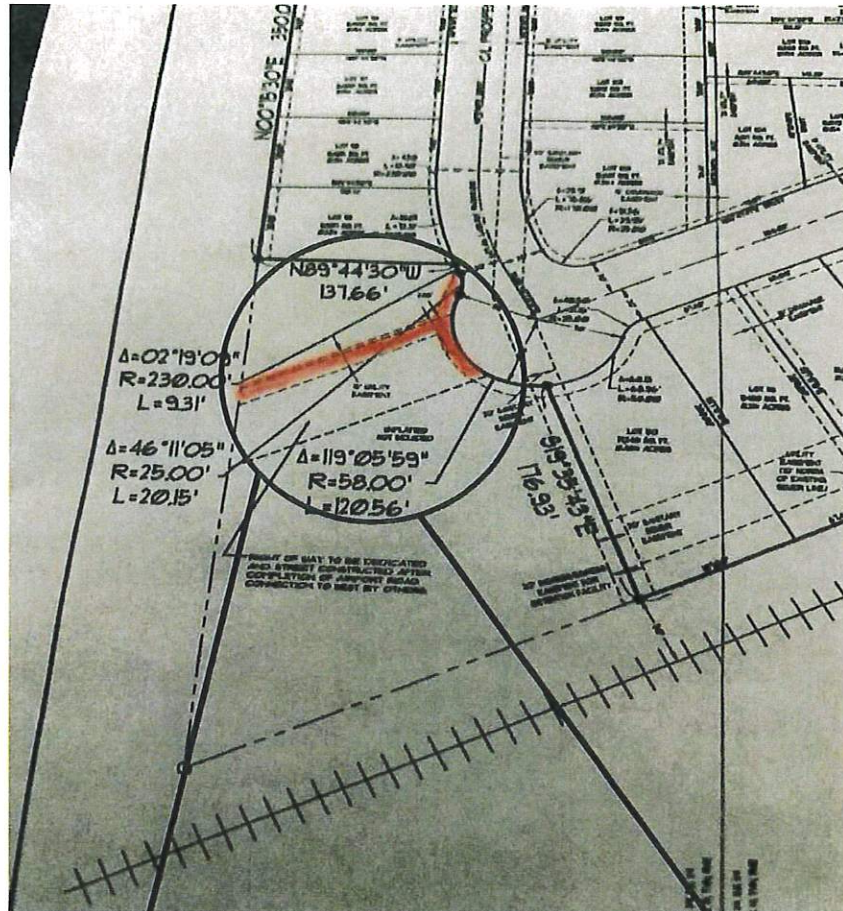
**Exhibit "A"**

SEE ATTACHMENT

# PROSPECT FARMS SUBDIVISION PHASE IV

15' UTILITY EASEMENT BETWEEN LOTS 99 AND  
120 OF PROSPECT FARMS SUBDIVISION PH IV

## Exhibit A



T14N  
R4E  
S15

## UTILITY RELEASE FORM

General Utility Easement, Public Access Easement, Alley, Street, R.O.W.

Utility Company: AT&T

Date: 6/19/2019

Requested Abandonment: Utility Easement

Legal Description:

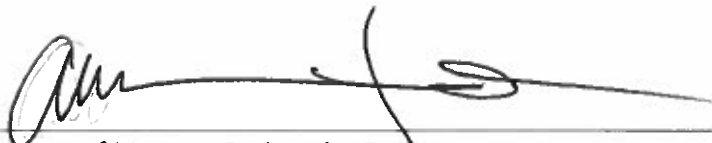
Utility easement between Lots 99 and 120 of Prospect Farms Subdivision. The utility easement to be abandoned is located where Yukon Drive will connect between Prospect Farm Lane and Wolf Den Drive. Further description of this easement can be seen in the attached Exhibit A.

### UTILITY COMPANY COMMENTS:

☒ No objections to the abandonment(s) described above.

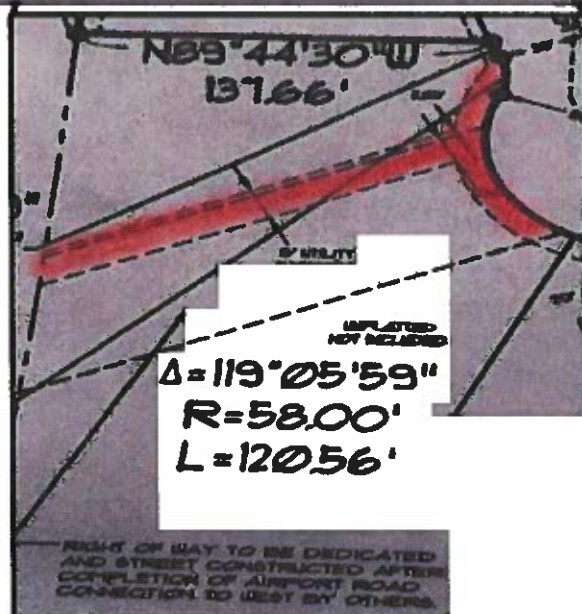
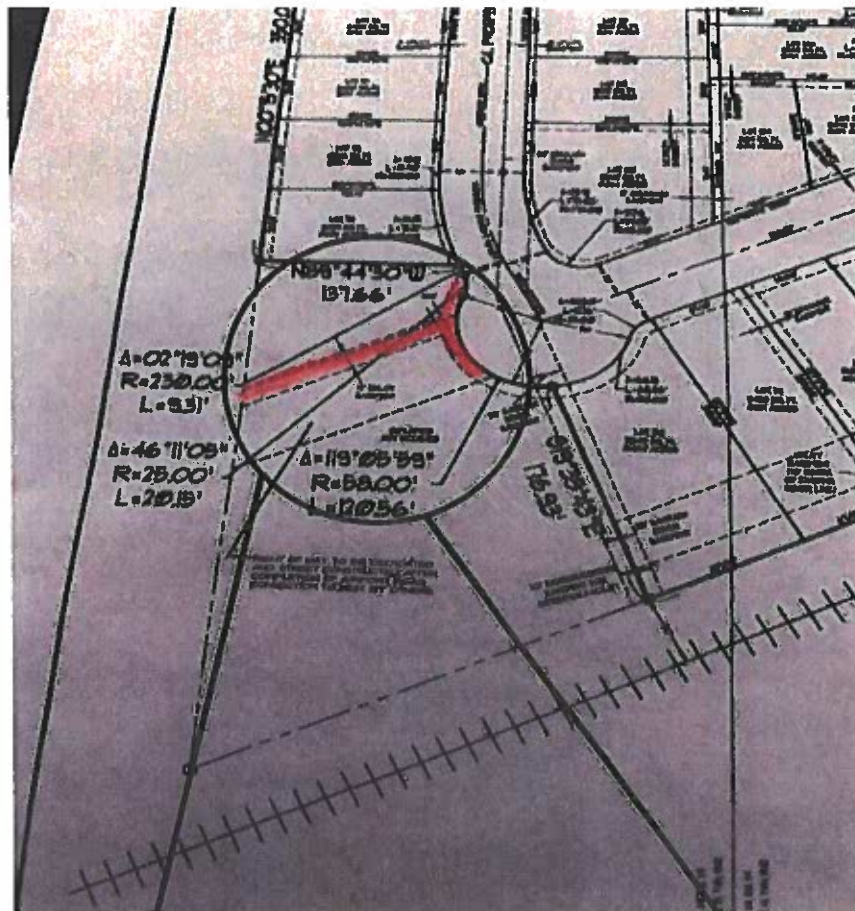
☐ No objections to the abandonment (s) described above, provided the following easements are retained (Exhibit A).

☐ Objects to the abandonment(s) described above, reason described below.



Signature of Manager-Engineering Design  
Anthony W. Martinez

# Exhibit A





## UTILITY RELEASE FORM

General Utility Easement, Public Access Easement, Alley, Street, R.O.W.

Utility Company: SUDDENLINK

Date: 6/21/2019

Requested Abandonment: Utility Easement

Legal Description:

Utility easement between Lots 99 and 120 of Prospect Farms Subdivision. The utility easement to be abandoned is located where Yukon Drive will connect between Prospect Farm Lane and Wolf Den Drive. Further description of this easement can be seen in the attached Exhibit A.

### UTILITY COMPANY COMMENTS:

☒ No objections to the abandonment(s) described above.

☐ No objections to the abandonment (s) described above, provided the following easements are retained (Exhibit A).

☐ Objects to the abandonment(s) described above, reason described below.

  
\_\_\_\_\_  
Signature of Utility Company Representative

\_\_\_\_\_  
TITLE

M. ALEXANDER

VP, ENGINEERING & CONSTRUCTION



## UTILITY RELEASE FORM

General Utility Easement, Public Access Easement, Alley, Street, R.O.W.

Utility Company: RITTER COMMUNICATIONS Date: 6/19/2019

Requested Abandonment: Utility Easement

Legal Description:

Utility easement between Lots 99 and 120 of Prospect Farms Subdivision. The utility easement to be abandoned is located where Yukon Drive will connect between Prospect Farm Lane and Wolf Den Drive. Further description of this easement can be seen in the attached Exhibit A.

### UTILITY COMPANY COMMENTS:

☒ No objections to the abandonment(s) described above.

☐ No objections to the abandonment (s) described above, provided the following easements are retained (Exhibit A).

☐ Objects to the abandonment(s) described above, reason described below.

Alice Martin

Signature of Utility Company Representative

Engi Supv

TITLE



CenterPoint Energy  
401 W. Capitol, Suite 600  
Little Rock, AR 72201  
CenterPointEnergy.com

### UTILITY RELEASE FORM

General Utility Easement, Public Access Easement, Alley, Street, R.O.W.

Utility Company: CenterPoint Energy Date: 6/19/2019

Requested Abandonment: Utility Easement

Legal Description:

Utility easement between Lots 99 and 120 of Prospect Farms Subdivision. The utility easement to be abandoned is located where Yukon Drive will connect between Prospect Farm Lane and Wolf Den Drive. Further description of this easement can be seen in the attached Exhibit A.

#### UTILITY COMPANY COMMENTS:

☒ No objections to the abandonment(s) described above.

☐ No objections to the abandonment (s) described above, provided the following easements are retained (Exhibit A).

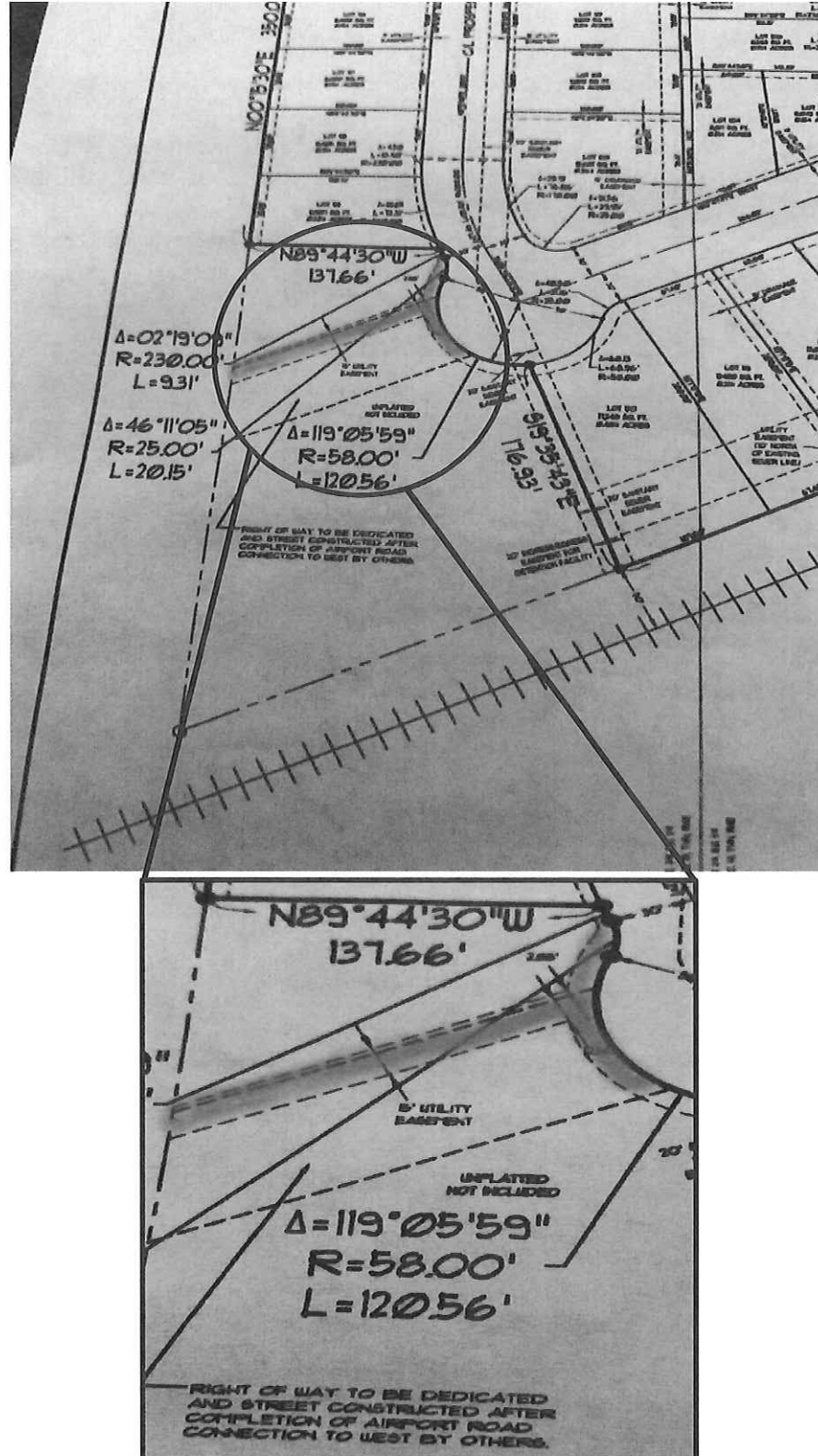
☐ Objects to the abandonment(s) described above, reason described below.

Described  
reasons for  
objection or  
easements to be  
retained.

Bronce Goulb  
Signature of Utility Company Representative

Engineer  
Title

## Exhibit A





## Legislation Details (With Text)

<b>File #:</b>	ORD-20:043	<b>Version:</b>	1	<b>Name:</b>	TO PLACE VARIOUS TRAFFIC SIGNS AT DESIGNATED LOCATIONS AS DETERMINED BY THE TRAFFIC CONTROL COMMITTEE
<b>Type:</b>	Ordinance	<b>Status:</b>			Third Reading
<b>File created:</b>	10/14/2020	<b>In control:</b>			Public Safety Council Committee
<b>On agenda:</b>		<b>Final action:</b>			
<b>Title:</b>	AN ORDINANCE TO THE CITY OF JONESBORO TO PLACE VARIOUS TRAFFIC SIGNS AT DESIGNATED LOCATIONS AS DETERMINED BY THE TRAFFIC CONTROL COMMITTEE				
<b>Sponsors:</b>	Engineering, Streets				
<b>Indexes:</b>	Parking & Traffic				
<b>Code sections:</b>					
<b>Attachments:</b>					

Date	Ver.	Action By	Action	Result
12/1/2020	1	City Council		
11/17/2020	1	City Council	Postponed Temporarily	Pass
11/5/2020	1	City Council	Held at one reading	
10/20/2020	1	Public Safety Council Committee		

AN ORDINANCE TO THE CITY OF JONESBORO TO PLACE VARIOUS TRAFFIC SIGNS AT DESIGNATED LOCATIONS AS DETERMINED BY THE TRAFFIC CONTROL COMMITTEE NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL FOR THE CITY OF JONESBORO, ARKANSAS to make the following changes as recommended by the Traffic Control Committee:

### Section 1: ESTABLISH 25 MPH SPEED LIMIT AT THE FOLLOWING LOCATIONS:

- Glendale Street
- Prospect Farms Subdivision - All current and future phases
- Savannah Hill's Phase IV and all future phases
- Julia Lane

### Section 2: CHANGE SPEED LIMIT FROM 35 MPH TO 45 MPH AT THE FOLLOWING LOCATION:

- Easley Lane - From Pacific to Highland Drive (Highway 18)

### Section 3: INCREASE SPEED LIMIT FROM 30 MPH TO 35 MPH AT THE FOLLOWING LOCATION:

- Windover from Brown's Lane to Hwy 1B (Harrisburg Road)

### Section 4: INSTALL STOP SIGNS AT THE FOLLOWING LOCATIONS:

- Prospect Trail at Prospect Farm Road
- Prospect Trail at Prospector Drive
- Lazare Drive at Craighead Forest Road
- Keeneland Drive at Longcrest Drive
- Keeneland Drive at Saddlecrest Drive

- f. Hargis Drive at Keeneland Drive
- g. Julia Lane at Evan Drive





# City of Jonesboro

300 S. Church Street  
Jonesboro, AR 72401

## Legislation Details (With Text)

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**File #:** COM-20:078    **Version:** 1    **Name:** NOVEMBER 2020 FINANCIAL REPORTS  
**Type:** Other Communications    **Status:** To Be Introduced  
**File created:** 12/10/2020    **In control:** City Council  
**On agenda:**    **Final action:**  
**Title:** NOVEMBER 2020 FINANCIAL REPORTS  
**Sponsors:** Finance  
**Indexes:** Financial reports and other communications  
**Code sections:**  
**Attachments:** [Financial Overview November 2020](#)  
[Observations Regarding November 2020 Financial Statements](#)  
[Statement of Changes in FB, Required Reserve and STIP Balance November 2020](#)  
[Deposit Collateralization Report November 2020](#)  
[Revenue Report November 2020](#)  
[Expenditure Report November 2020](#)  
[Sales Tax Report \(Combined\) November 2020](#)  
[State Turnback Report \(Combined\) November 2020](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

NOVEMBER 2020 FINANCIAL REPORTS

City of Jonesboro  
 Overview of Observations Regarding Financial Statements  
 November 2020

Select Data - Year to Date	Actual	Budget	\$ Variance	% Change	Status
Revenue	\$ 62,988,194	\$ 56,207,028	\$ 6,781,167	12%	Favorable
Expense	61,535,903	63,468,600	(1,932,697)	-3%	Favorable
Surplus (Deficit)	\$ 1,452,291	\$ (7,261,572)	\$ 8,713,864		Favorable
Select Data - Year to Date	Actual	Budget	\$ Variance	% Change	Status
Sales Tax (Combined)	\$ 32,972,426	\$ 31,191,931	\$ 1,780,495	6%	Favorable
State Turnback (Combined)	4,091,179	3,927,880	163,298	4%	Favorable
State Highway 1/2 Cent Sales Tax	1,512,752	1,420,833	91,918	6%	Favorable
Fuel Purchases	696,361	1,102,031	(405,671)	-37%	Favorable
Select Data - Year to Date	Curr Yr	Prev Yr	\$ Variance	% Change	Status
Franchise Fee	\$ 1,513,252	\$ 1,648,415	\$ (135,163)	-8%	Unfavorable
A & P Tax	522,014	631,334	(109,320)	-17%	Unfavorable
Alcohol Beverage Tax	369,212	441,337	(72,125)	-16%	Unfavorable

Overview:

- 10 measurable goals - 7 are Favorable comparing to budget. 3 are Unfavorable comparing to previous year.
- Projections forecasted a budget deficit of (\$7.3) million through November. Actual performance is a surplus of \$1.5 million, resulting in a favorable variance of approximately \$8.7 million through 11 months.
- Current surplus includes unbudgeted revenue of \$1.2 million resulting from settlement of insurance claims relating to tornado destruction of City property, and \$2.6 million resulting from Covid Grant money. Approximately \$240,000 in expenses relating to the tornado destruction have been incurred. Considering this, surplus is approximately \$5.1 million favorable compared to budget for 11 months of 2020. Considering this non-recurring activity, revised Revenue & Expense % change would be 5% and (3%), respectively.
- Revenue distributions from sales activities continue to perform better than year-to-date budget projections. The current month Sales Tax Distribution, representing tax activity from two months prior, continue the previous trend of revenues exceeding the same month of the previous year; however, we continue to monitor for COVID-19 impact in sales tax revenues.
- This report illustrates continuing pressure on A&P and Alcohol Beverage Tax YTD.



## ***Observations Regarding November 2020 Financial Statements***

- 1) Operation and Maintenance Fund Revenues exceeded expenditures by \$2,469,325 year to date. Other Funds Revenues were less than Expenditures by (\$1,017,034) year to date, resulting in a net All Funds Ending Balance increase of \$1,452,291 through November.
- 2) Operation and Maintenance Fund Balances totaled \$29.9 million through November.
- 3) Operation and Maintenance Fund Revenues for November were \$958,971 higher than budget. All Funds Revenues for November were \$3,516,832 higher than budget. Operation and Maintenance Fund Revenues YTD have increased 12% compared to prior year.
- 4) Operation and Maintenance Fund Expenditures for November were (\$238,311) higher than budget. All Funds Expenditures for November were (\$278,080) higher than budget. Operation and Maintenance Fund Expenditures YTD have increased 8.1% compared to prior year.
- 5) Combined Sales Tax Revenues for November were \$346,875, or 12.2% higher than the prior year. The amount was \$350,665, or 12.3% higher than budget. Year to date increases were 6.1% and 5.7%, respectively comparing previous year actual and current year budget.
- 6) Combined State Turnback Revenues for November were \$18,132, or 5.5% higher than prior year. The amount was \$5,437, or 1.6% higher than budget. Year to date increases were 4.1% and 4.2%, respectively comparing previous year actual and current year budget. State Highway 1/2 Percent Sales Tax Revenues for November were \$8,872, or 6.4% higher than prior year. The amount was \$17,380, or 13.5% higher than budget. Year to date increases were 2.0% and 6.5%, respectively comparing previous year actual and current year budget.
- 7) Franchise Tax Revenues for November decreased (\$10,076), or (21.9%) compared to prior year.
- 8) Advertising and Promotion Tax Revenues (Hotel/Motel) for November decreased (\$17,290), or (24.6%) compared to prior year. Year to date receipts were (17.3%) lower than prior year.
- 9) Alcohol Beverage Tax Revenues for November decreased (\$1,639), or (3.9%) compared to prior year. Year to date receipts were (16.3%) lower than prior year.
- 10) Fuel Purchases for November decreased \$14,106, or 16% compared to prior year. Purchases were \$26,038, or 26% lower than budget. Gallons purchased for November increased (4,194) gallons, or (9.6%) compared to prior year. Year to date The City of Jonesboro has spent \$255,476 or 26.8% less in Fuel while purchasing 32,956 or 7% fewer gallons compared to prior year.
- 11) Balances in the old (frozen) Non-Uniform and new 401A Non-Uniform pension Fund at previous month-end were \$10,362,808 and \$2,123,835, respectively. The balances decreased (\$151,006) in the old plan and (\$9,709) in the new 401A plan from the prior month.

City of Jonesboro, Arkansas  
Changes in FB, Required Reserves and STIP Balances  
November 2020

Changes in Fund Balance- Cash Basis

Funds	Year to Date Revenues	Year to Date Expenditures	\$ Variance	Beginning Fund Balances	Ending Fund Balances
General	\$ 48,450,905	\$ 44,211,250	\$ 4,239,656	\$ 20,186,597	\$ 24,426,253
Street	6,761,059	8,638,673	(1,877,614)	6,043,971	4,166,357
Emergency 911	1,385,490	1,307,541	77,949	472,554	550,503
Cemetery	40,141	10,806	29,334	749,099	778,434
<b>Operations &amp; Maintenance Funds Totals</b>	<b>\$ 56,637,595</b>	<b>\$ 54,168,270</b>	<b>\$ 2,469,325</b>	<b>\$ 27,452,222</b>	<b>\$ 29,921,547</b>
Capital Improvement	\$ 224,049	\$ 3,119,575	\$ (2,895,526)	\$ 4,548,446	\$ 1,652,920
Advertising & Promotion	529,855	505,775	24,081	394,924	419,004
Federal Grant Funds	3,854,608	1,643,119	2,211,489	118,085	2,329,575
Community Development Block Grant	677,433	715,897	(38,464)	55,252	16,789
Metropolitan Planning Organization	130,029	120,114	9,914	124,054	133,968
Jonesboro Economical Transportation System	754,640	1,183,387	(428,747)	140,851	(287,897)
Non-Federal Grant Funds	179,985	79,766	100,219	27,386	127,605
<b>Other Funds Totals</b>	<b>\$ 6,350,599</b>	<b>\$ 7,367,633</b>	<b>\$ (1,017,034)</b>	<b>\$ 5,408,997</b>	<b>\$ 4,391,963</b>
<b>All Funds Grand Totals</b>	<b>\$ 62,988,194</b>	<b>\$ 61,535,903</b>	<b>\$ 1,452,291</b>	<b>\$ 32,861,219</b>	<b>\$ 34,313,510</b>

Required Reserves

Funds	Fund Balances	Required Reserves	\$ Variance
General	\$ 24,426,253	\$ 6,637,243	\$ 17,789,010
Street	4,166,357	964,915	3,201,442
Emergency 911	550,503	215,951	334,552
Cemetery	778,434	2,294	776,140
<b>O &amp; M Funds Reserve Totals</b>	<b>\$ 29,921,547</b>	<b>\$ 7,820,403</b>	<b>\$ 22,101,144</b>

STIP Balances

Description	Job Number	Total Set Aside	Amount Expended	Balance
Hwy.1- Hwy. 1B (Jonesboro) (S)	895	\$ 160,000	\$ 145,164	\$ 14,836
Parker Rd. - South (Hwy. 18) (Jonesboro) (S)	881	400,000	286,576	113,424
Hwy. 18/Main St./Highland Dr. Inters. Impvts. (Jonesboro) (S)	872	1,000,000	1,163,895	(163,895)
BNSF Railroad Overpass (Hwy.18) (Jonesboro) (S)	824	3,100,000	3,100,000	-
I-555 - Hwy. 49 (Commerce Dr. Ext.)(Jonesboro)(S)	657	-	-	-
I-555/Hwy. 49 Intchg. Impvts. (Red Wolf Blvd.) (Jonesboro) (S)	837	1,400,000	1,400,000	-
Hwy. 49/Parker Rd. Int. Impvts.(Jonesboro)(S)	879	200,000	195,367	4,633
Jonesboro City Limits - Hwy. 63 (Jonesboro)(S)	938	-	-	-
Hwy. 226S- L.M. 1.94 (Jonesboro)(S)	xxx	-	-	-
BNSF Railroad- Hwy. 49 (Airport Rd.) (Jonesboro)(S)	899	150,000	68,983	81,017
Hwy. 351 RR Overpass (Airport Rd.) (Jonesboro)(S)	942	1,400,000	-	1,400,000
<b>Total</b>		<b>\$ 7,810,000</b>	<b>\$ 6,359,985</b>	<b>\$ 1,450,015</b>

**City of Jonesboro, Arkansas**  
**Deposit Collateralization Report**  
**November 2020**

**Centennial Bank**

<b>Account Description</b>	<b>Balance</b>
General	\$ 10,500,856.29
General Certificates of Deposit	8,716,881.50
Jonesboro Softball	787.30
Capital Improvements	1,654,581.73
Federal Grant Funds	2,630,858.86
Cemetery Fund	779,231.28
Non Federal Grants	377,860.27
Operating/AP Clearing	2,105,133.29
Payroll Tax Clearing	510,876.38
Payroll Clearing	36,592.43
Credit Card	8,270.14
Street	4,633,027.00
E-911	550,503.49
Advertising & Promotion	419,004.18
C.D.B.G.	116,788.54
MPO	133,967.84
J.E.T.S.	2,103.24
Non Uniform Pension Payee	47,039.02
<b>Total Bank Balances</b>	<b>\$ 33,224,362.78</b>

Irrevocable Letters of Credit	\$ 32,000,000.00
Other Pledged Securites	\$ 3,250,000.00
FDIC Insurance	250,000.00
<b>Total Collateralized Balances</b>	<b>\$ 35,500,000.00</b>

**First Community**

<b>Account Description</b>	<b>Balance</b>
General Fund Certificates of Deposit	\$ 4,224,831.24
<b>Total Bank Balances</b>	<b>\$ 4,224,831.24</b>

Irrevocable Letters of Credit	\$ 4,100,000.00
FDIC Insurance	250,000.00
<b>Total Collateralized Balances</b>	<b>\$ 4,350,000.00</b>

**\*All City cash balances are properly collateralized.**



**City of Jonesboro, Arkansas**  
**Revenue vs. Budget (Cash Basis)**  
**November 2020**

Department / Fund	Actual	Budget	\$ Variance	YTD Actual	YTD Budget	\$ Variance
<b>Finance</b>						
Privilege Licenses	\$ 4,353	\$ 1,400	\$ 2,953	\$ 1,181,805	\$ 1,184,000	\$ (2,195)
<b>Police</b>						
Fingerprint/Background Reports	752	500	252	8,698	5,500	3,198
Miscellaneous Revenue	12,163	2,083	10,080	104,695	22,917	81,779
Misc. Police False Alarms	125	250	(125)	3,175	2,750	425
Police Training Revenue	-	667	(667)	26,115	7,333	18,782
Property Tax - LOPFI	253,723	232,000	21,723	703,434	620,000	83,434
10% of Fines - LOPFI Police	7,213	10,000	(2,787)	82,387	84,500	(2,113)
Act 1274 Child Seat Law	71	83	(12)	576	917	(340)
Accident Reports	4,091	6,667	(2,576)	103,414	73,333	30,081
<b>Fire</b>						
Miscellaneous Revenue	326	-	326	6,061	-	6,061
CWL Fire Truck Contribution	-	-	-	500,000	500,000	-
Property Tax - LOPFI	253,723	232,000	21,723	703,434	620,000	83,434
CWL - Fire Truck	1,753	1,667	87	19,285	18,333	951
CWL Fire Hydrant Maintenance	-	-	-	60,000	60,000	-
<b>SRO</b>						
SRO Reimbursement - Schools	-	-	-	852,962	862,125	(9,163)
<b>Inspections</b>						
Electrical Permits	6,392	12,000	(5,608)	107,029	119,000	(11,971)
Plumbing Permits	8,843	8,000	843	99,149	131,000	(31,851)
Building Permits	43,684	25,500	18,184	458,837	385,500	73,337
HVAC Permits	10,233	8,500	1,733	72,290	94,000	(21,710)
Demolition Permits	700	250	450	8,350	4,500	3,850
Cert of Occupancy Permits	400	500	(100)	15,400	5,500	9,900
<b>Animal Control</b>						
Dog Recovery	3,328	3,750	(423)	42,972	41,250	1,722
<b>Planning</b>						
Misc. MAPC/BZA Revenue	800	3,000	(2,200)	43,641	32,000	11,641
SFR Planning Review Fee	2,875	2,250	625	31,025	25,750	5,275
CBP Planning Review Fee	10,250	3,000	7,250	66,850	48,000	18,850
Subdivision Planning Fee	2,400	2,000	400	36,508	26,500	10,008
Signage Permit Fee	2,015	1,000	1,015	22,205	22,500	(295)
Mapping & Duplicating Fee	100	200	(100)	5,592	4,700	892
Right-of-way Fee	-	-	-	1,530	-	1,530
<b>Parking</b>						
Parking Fines	-	-	-	25	-	25
<b>Information Systems</b>						
Miscellaneous Revenue	20	-	20	6,523	-	6,523
<b>Court Services</b>						
Probation Fees Received	15,359	22,000	(6,641)	194,831	238,000	(43,169)
<b>Building Maintenance</b>						
Miscellaneous Revenue	93	-	93	326	-	326
<b>Code Enforcement</b>						
Miscellaneous Revenue	-	-	-	931	-	931
Mowing	1,365	800	565	34,819	40,500	(5,681)
<b>Sanitation-Administration</b>						
Miscellaneous Revenue	294	-	294	5,677	-	5,677

**City of Jonesboro, Arkansas**  
**Revenue vs. Budget (Cash Basis)**  
**November 2020**

Department / Fund	Actual	Budget	\$ Variance	YTD Actual	YTD Budget	\$ Variance
<b>Sanitation-Incinerator</b>						
Miscellaneous Revenue	-	-	-	880	-	880
Incinerator Tipping Fees	3,011	2,000	1,011	38,397	33,000	5,397
<b>Sanitation-Recycling</b>						
Recycling Proceeds	3,575	833	2,741	36,769	9,167	27,602
Sale of City Property	775	417	358	8,925	4,583	4,342
<b>Parks Administration</b>						
Miscellaneous Revenue	142	-	142	2,019	-	2,019
<b>Community Centers</b>						
Miscellaneous Revenue	-	-	-	467	-	467
E.B. Watson Center Revenue	620	300	320	2,960	5,600	(2,640)
Earl Bell Center Revenue	520	800	(280)	4,798	7,500	(2,703)
Allen Park Revenue	445	200	245	2,860	10,500	(7,640)
Parker Park Revenue	350	400	(50)	2,590	6,500	(3,910)
Tennis Court Fees	-	42	(42)	-	458	(458)
Contract Instructor Fees	22	100	(78)	1,683	1,900	(218)
<b>Miracle League</b>						
ML-Miscellaneous Revenue	-	42	(42)	112	458	(346)
ML-Youth League Concessions	-	200	(200)	-	3,250	(3,250)
ML-Sponsorships	-	200	(200)	2,700	6,500	(3,800)
ML-League Entry Fees	-	-	-	1,250	4,100	(2,850)
ML-Field Rental	-	-	-	100	-	100
ML-Donations	-	417	(417)	4,393	4,583	(190)
<b>Joe Mack Campbell Park</b>						
Joe Mack Campbell Park Revenue	30	350	(320)	15,910	14,650	1,260
JMC-Sponsorships	156,500	15,000	141,500	204,250	50,000	154,250
<b>Outside Maintenance</b>						
BBQ Fest Revenue	-	-	-	-	69,750	(69,750)
<b>Jonesboro Pool Center</b>						
JPC-Miscellaneous Revenue	-	-	-	806	-	806
JPC Concessions	-	-	-	23,200	20,000	3,200
JPC Admissions	-	-	-	29,524	33,000	(3,476)
JPC Rentals	-	-	-	6,620	12,000	(5,380)
<b>Craighead Forest Park</b>						
CFP-Miscellaneous Revenue	-	-	-	1,671	-	1,671
Pavilion Rentals	340	500	(160)	6,370	25,000	(18,630)
Campground Fees	9,182	6,000	3,182	98,069	80,000	18,069
<b>Winter Wonderland</b>						
WWL-Skating Rink Concession	110	700	(590)	129	750	(621)
WWL-Skating Rink Admissions	510	350	160	726	550	176
WWL-Skating Rink Rental	-	750	(750)	168	750	(582)
Winter Wonderland Donations	130	-	130	130	-	130
<b>Southside Softball</b>						
SS-Miscellaneous Revenue	-	-	-	5,791	-	5,791
SS-Youth Leage Concessions	2,665	-	2,665	19,865	45,000	(25,135)
SS-Youth Tournament Concession	4,484	-	4,484	37,378	75,000	(37,622)
SS-Adult League Concessions	1,838	-	1,838	20,500	12,000	8,500
SS-Adult Tournament Concession	2,244	-	2,244	27,719	10,000	17,719
SS-Sponsorships	1,500	1,000	500	9,900	5,000	4,900

**City of Jonesboro, Arkansas**  
**Revenue vs. Budget (Cash Basis)**  
**November 2020**

Department / Fund	Actual	Budget	\$ Variance	YTD Actual	YTD Budget	\$ Variance
SS-League Entry Fees	1,875	-	1,875	70,763	75,000	(4,237)
SS-Tournament Entry Fees	6,525	-	6,525	24,325	25,000	(675)
SS-Gate Fees	3,120	-	3,120	25,977	20,000	5,977
SS-Field Rental	200	-	200	8,235	2,500	5,735
<b>Cemetery Care</b>						
Burial Permits	2,430	3,500	(1,070)	39,678	32,000	7,678
<b>Urban Parks</b>						
UP-Miscellaneous Revenue	-	-	-	121	-	121
<b>Mayor</b>						
Miscellaneous Revenue	(16)	-	(16)	1,062	-	1,062
<b>Parks Sports Programs</b>						
SP-Miscellaneous Revenue	-	-	-	2,793	-	2,793
<b>General Admin</b>						
Civil Court Costs	2,776	18,750	(15,974)	66,171	206,250	(140,079)
Fines	54,202	84,000	(29,798)	867,565	890,000	(22,435)
State Turnback Funds	60,068	72,788	(12,721)	937,909	987,215	(49,306)
Interest Earned	22,515	15,538	6,976	456,839	373,142	83,698
Miscellaneous Revenue	1,448	500	948	85,460	48,500	36,960
Misc. Mun. Court Receipts	166	12,000	(11,834)	11,708	80,000	(68,292)
Domestic Refuse	278	333	(56)	3,090	3,667	(577)
Municipal Center Leases	11,778	7,612	4,166	95,036	83,732	11,304
Tower Rentals	-	-	-	4,725	-	4,725
County Sales Tax	1,421,045	1,233,203	187,842	14,558,456	13,445,801	1,112,655
City Sales Tax	1,769,801	1,606,978	162,823	18,413,979	17,746,127	667,852
Craighead County Court Rental	-	-	-	28,022	28,022	0
Franchise Tax Revenue	35,933	40,000	(4,067)	1,513,252	1,550,000	(36,748)
Liab Ins Equip Act 27-22-101	9,107	10,000	(893)	112,099	103,500	8,599
Alcohol Beverage Tax	40,605	40,000	605	368,828	420,000	(51,172)
Sale of City Property	1,495	800	695	18,758	19,000	(242)
District Court Jail Defrayment	10,714	1,667	9,047	128,478	18,333	110,144
<b>Communications</b>						
Miscellaneous Revenue	-	-	-	2,600	-	2,600
<b>Grants Administration</b>						
Miscellaneous Revenue	-	-	-	598	-	598
<b>Earmarked Funds</b>	1,064,587	962,000	102,587	4,374,201	2,962,000	1,412,201
<b>General Fund Totals</b>	<b>\$ 5,357,087</b>	<b>\$ 4,720,336</b>	<b>\$ 636,752</b>	<b>\$ 48,450,905</b>	<b>\$ 44,951,747</b>	<b>\$ 3,499,158</b>

<b>Street General Admin</b>						
State Turnback Funds	\$ 281,469	\$ 254,000	\$ 27,469	\$ 3,117,123	\$ 2,794,000	\$ 323,123
State Turnback Funds-Hwy Const	146,547	129,168	17,379	1,512,752	1,420,832	91,919
Interest Earned	4,387	12,500	(8,113)	74,162	137,500	(63,338)
Miscellaneous Revenue	740	-	740	48,211	20,000	28,211
County Road Tax	639,383	365,000	274,383	1,748,650	1,425,000	323,650
Natural Gas Severance Tax	4,021	13,333	(9,312)	36,747	146,667	(109,920)
<b>Street Department</b>						
Miscellaneous Revenue	-	-	-	1,808	-	1,808
Street Plate Fees	705	375	330	3,360	4,125	(765)
Barricade Fees	-	300	(300)	60	1,000	(940)
Asphalt Repair Fees	1,840	1,083	757	11,960	11,917	43

City of Jonesboro, Arkansas  
Revenue vs. Budget (Cash Basis)  
November 2020

Department / Fund	Actual	Budget	\$ Variance	YTD Actual	YTD Budget	\$ Variance
Sign & Post Fees	-	83	(83)	1,400	917	483
<b>Engineering</b>						
Miscellaneous Revenue	-	-	-	335	-	335
Floodplain Permits	5,025	100	4,925	12,691	4,450	8,241
Road/Lane Closure Permits	50	42	8	1,125	458	667
Residential Site Permits	1,550	1,500	50	17,825	14,500	3,325
Stormwater Grading Permits	7,448	1,500	5,948	69,491	45,000	24,491
Stormwater Management Permits	9,400	3,500	5,900	37,925	32,850	5,075
Driveway Permits	1,860	1,700	160	21,860	18,400	3,460
Stormwater Appeal Fees	-	-	-	200	-	200
Encroachment Permits	-	-	-	100	-	100
<b>Non-Budgetable Revenue</b>						
Insurance Claim Recovery	924	-	924	43,275	-	43,275
<b>Street Fund Totals</b>	<b>\$ 1,105,349</b>	<b>\$ 784,184</b>	<b>\$ 321,164</b>	<b>\$ 6,761,059</b>	<b>\$ 6,077,616</b>	<b>\$ 683,443</b>
<b>Emergency 911 Fund Totals</b>	<b>\$ 10,021</b>	<b>\$ 8,396</b>	<b>\$ 1,626</b>	<b>\$ 1,385,490</b>	<b>\$ 1,135,148</b>	<b>\$ 250,342</b>
<b>Cemetery Fund Totals</b>	<b>\$ 2,430</b>	<b>\$ 3,000</b>	<b>\$ (570)</b>	<b>\$ 40,141</b>	<b>\$ 32,000</b>	<b>\$ 8,141</b>
<b>O&amp;M FUNDS TOTALS</b>	<b>\$ 6,474,887</b>	<b>\$ 5,515,916</b>	<b>\$ 958,971</b>	<b>\$ 56,637,595</b>	<b>\$ 52,196,511</b>	<b>\$ 4,441,084</b>

City of Jonesboro, Arkansas  
Revenue vs. Budget (Cash Basis)  
November 2020

Department / Fund	Actual	Budget	\$ Variance	YTD Actual	YTD Budget	\$ Variance
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<b>Capital Improvement Fund Totals</b>	<b>\$ 14,914</b>	<b>\$ 14,914</b>	<b>\$ -</b>	<b>\$ 224,049</b>	<b>\$ 164,049</b>	<b>\$ 60,000</b>
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<b>A&amp;P Fund Totals</b>	<b>\$ 53,588</b>	<b>\$ 66,292</b>	<b>\$ (12,703)</b>	<b>\$ 529,855</b>	<b>\$ 622,208</b>	<b>\$ (92,353)</b>
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<b>Department Of Finance</b>						
Coronavirus Relief	\$ 2,664,808	-	\$ 2,664,808	\$ 2,664,808	-	\$ 2,664,808
Veterans Village	250,000	\$ 278,088	(28,088)	278,088	\$ 278,088	-
<b>FEMA</b>						
Flood Mitigation Grant	-	-	-	15,211	15,211	-
FY18 SAFER Grant	-	-	-	57,708	57,708	-
FY17 SAFER Grant	16,813	16,813	-	115,508	115,508	-
Department Of Justice						
Bullet Proof Vests Grant-DOJ	-	-	-	14,523	14,523	-
Body-Worn Camera Grant-DOJ	-	-	-	152,432	152,432	-
COPS Hiring Program (CHP)-DOJ	20,227	20,227	-	76,521	76,521	-
JAG Grant-DOJ	-	-	-	31,139	-	31,139
FY20 COPS Hiring Grant	55,352	55,352	-	55,352	55,352	-
COVID Emergency Supplemental	22,750	22,750	-	61,064	61,064	-
CRISI	-	-	-	-	-	-
STEP Grant-DOJ	5,543	5,543	-	52,609	52,609	-
Office of Victims of Crime	-	-	-	3,133	3,133	-
Project Safe Neighborhood Grant	9,899	9,899	-	73,923	73,923	-
<b>Department of Transportation</b>						
Craighead Forest Trail Phase 3	16,817	-	16,817	188,867	145,210	43,657
Craighead Forest Trail Phase 2	-	-	-	2,347		2,347
<b>Homeland Security</b>						
Covid-19 Emergency Solutions	2,300	2,300	-	2,300	2,300	-
Fire Prevention & Safety Grant	-	-	-	9,077	-	9,077
<b>Federal Grant Fund Totals</b>	<b>\$ 3,064,509</b>	<b>\$ 410,973</b>	<b>\$ 2,653,536</b>	<b>\$ 3,854,608</b>	<b>\$ 1,103,581</b>	<b>\$ 2,751,027</b>

<b>CDBG Fund Totals</b>	<b>\$ 8,099</b>	<b>\$ 75,000</b>	<b>\$ (66,901)</b>	<b>\$ 677,433</b>	<b>\$ 850,659</b>	<b>\$ (173,226)</b>
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<b>MPO Fund Totals</b>	<b>\$ 16,385</b>	<b>\$ 41,653</b>	<b>\$ (25,268)</b>	<b>\$ 130,029</b>	<b>\$ 228,868</b>	<b>\$ (98,839)</b>
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Interest Earned	\$ 34	\$ 208	\$ (175)	\$ 594	\$ 2,292	\$ (1,698)
Miscellaneous Revenue	(1,643)	-	(1,643)	1,224	-	1,224
Promotional Revenue	-	-	-	12,294	40,000	(27,706)
JET Pass Sales	2,454	1,500	954	12,565	15,500	(2,935)
JET Bus Fares	2,434	5,500	(3,066)	32,100	64,500	(32,400)
Other State Aid - AHTD	-	-	-	42,234	46,000	(3,766)
CPT-HSTP Revenue	-	-	-	-	1,500	(1,500)
Transit FTA 5307	68,127	55,000	13,127	651,246	700,000	(48,754)
Insurance Recovery	-	-	-	2,383	-	2,383
<b>JETS Fund Totals</b>	<b>\$ 71,405</b>	<b>\$ 62,208</b>	<b>\$ 9,197</b>	<b>\$ 754,640</b>	<b>\$ 869,792</b>	<b>\$ (115,152)</b>



City of Jonesboro, Arkansas  
Revenue vs. Budget (Cash Basis)  
November 2020

Department / Fund	Actual	Budget	\$ Variance	YTD Actual	YTD Budget	\$ Variance
<b>STEP Grant</b>						
State Grants Funding	-	-	-	\$ 2,892	\$ 2,892	-
<b>Skate Park at Allen Park</b>						
Private Funding	-	-	-	16,125	16,000	\$ 125
<b>Blue and You Grants</b>						
Blue & You Foundation Revenue	-	-	-	6,000	-	6,000
<b>Recycling Grants</b>						
Recycling Sorting - RSWMD	\$ 4,088	\$ 4,088	-	49,968	49,968	-
<b>Veteran's Village</b>						
Veteran's Village Revenue	-	-	-	100,000	100,000	-
<b>Other</b>						
Delta Covid-19 Relief Rev	-	-	-	2,500	2,500	-
20 Strong Southern Communities	-	-	-	2,500	-	2,500
<b>Non-Federal Grant Fund Totals</b>	<b>\$ 4,088</b>	<b>\$ 4,088</b>	<b>-</b>	<b>\$ 179,985</b>	<b>\$ 171,360</b>	<b>\$ 8,625</b>
<b>Other Funds Totals</b>	<b>\$ 3,232,988</b>	<b>\$ 675,128</b>	<b>\$ 2,557,860</b>	<b>\$ 6,350,599</b>	<b>\$ 4,010,517</b>	<b>\$ 2,340,082</b>
<b>ALL FUNDS GRAND TOTALS</b>	<b>\$ 9,707,875</b>	<b>\$ 6,191,044</b>	<b>\$ 3,516,832</b>	<b>\$ 62,988,194</b>	<b>\$ 56,207,028</b>	<b>\$ 6,781,167</b>

City of Jonesboro, Arkansas  
Expenditure Report Actual vs. Budget (Cash Basis)  
November 2020

Department / Fund	Actual	Budget	\$ Variance	YTD Actual	YTD Budget	\$ Variance
Finance	\$ 52,221	\$ 51,750	\$ (471)	\$ 504,152	\$ 530,682	\$ 26,530
Police	2,241,740	2,229,787	(11,953)	13,541,086	13,731,920	190,833
Fire	862,717	814,469	(48,248)	10,085,382	10,426,797	341,415
SROs	61,067	67,559	6,492	773,868	794,566	20,698
Inspections	31,374	32,637	1,262	333,153	343,568	10,415
Animal Control	38,313	47,908	9,595	435,271	506,605	71,334
City Clerk	17,759	18,135	376	227,314	243,351	16,037
City Attorney	31,949	33,544	1,595	354,757	362,135	7,378
Planning	33,566	33,657	91	312,914	328,315	15,401
Information Systems	78,699	70,888	(7,812)	1,144,832	1,173,281	28,449
Mosquito Control	36,833	36,833	-	405,167	405,167	-
Human Resources	17,876	22,936	5,060	208,598	224,520	15,922
Court Services	15,952	12,761	(3,191)	132,980	133,001	20
Building Maintenance	88,188	75,894	(12,294)	803,164	930,531	127,367
Code Enforcement	102,894	29,612	(73,282)	417,302	334,967	(82,335)
Sanitation - Administration	19,362	19,582	220	212,703	214,572	1,868
Sanitation - Incinerator	13,535	12,928	(606)	167,217	139,394	(27,823)
Sanitation - Residential	573,692	396,210	(177,483)	3,895,987	3,785,653	(110,334)
Sanitation - Recycling	13,676	17,316	3,639	189,710	215,298	25,588
Parks - Softball	42,886	26,493	(16,392)	493,870	561,117	67,247
Outside Maintenance	-	500	500	830,296	1,224,930	394,634
Mayor's Office	33,387	37,023	3,636	382,524	437,690	55,166
Council	17,231	18,578	1,346	191,236	204,357	13,121
Jail	186,334	186,326	(8)	2,049,779	2,049,583	(196)
General Admin	1,249	3,063	1,814	278,249	282,788	4,539
Communications	15,774	16,219	445	165,113	170,079	4,966
Land Bank	137	1,184	1,047	31,724	63,125	31,401
Earmarked Funds	1,038,711	962,773	(75,938)	3,454,280	2,970,507	(483,773)
Grants Administration	4,973	12,697	7,723	89,675	135,852	46,177
Parks	170,899	161,620	(9,279)	2,098,944	2,185,463	86,519
<b>GENERAL</b>	<b>\$ 5,842,995</b>	<b>\$ 5,450,881</b>	<b>\$ (392,114)</b>	<b>\$ 44,211,250</b>	<b>\$ 45,109,813</b>	<b>\$ 898,563</b>

Street	\$ 271,677	\$ 430,591	\$ 158,914	\$ 4,076,119	\$ 4,452,314	\$ 376,195
Street Engineering	80,948	105,610	24,662	1,583,984	1,627,080	43,096
Street Capital Improvement (STIP)	10,914	34,157	23,243	2,850,408	2,782,344	(68,064)
Insurance Claim Expense	2,351	-	(2,351)	128,163	-	(128,163)
<b>STREET</b>	<b>\$ 365,891</b>	<b>\$ 570,359</b>	<b>\$ 204,468</b>	<b>\$ 8,638,673</b>	<b>\$ 8,861,737</b>	<b>\$ 223,064</b>

<b>EMERGENCY 911</b>	<b>\$ 187,021</b>	<b>\$ 136,316</b>	<b>\$ (50,705)</b>	<b>\$ 1,307,541</b>	<b>\$ 1,363,475</b>	<b>\$ 55,934</b>
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<b>CEMETERY</b>	<b>\$ -</b>	<b>\$ 40</b>	<b>\$ 40</b>	<b>\$ 10,806</b>	<b>\$ 15,190</b>	<b>\$ 4,384</b>
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<b>O &amp; M FUNDS TOTALS</b>	<b>\$ 6,395,907</b>	<b>\$ 6,157,596</b>	<b>\$ (238,311)</b>	<b>\$ 54,168,270</b>	<b>\$ 55,350,215</b>	<b>\$ 1,181,946</b>
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City of Jonesboro, Arkansas  
Expenditure Report Actual vs. Budget (Cash Basis)  
November 2020

Department / Fund	Actual	Budget	\$ Variance	YTD Actual	YTD Budget	\$ Variance
CAPITAL IMPROVEMENTS	\$ 39,581	\$ 15,000	\$ (24,581)	\$ 3,119,575	\$ 3,299,421	\$ 179,846
A&P	132,650	30,000	(102,650)	505,775	570,750	64,975
Federal Grant Funds	359,813	359,813	-	1,643,119	1,643,119	-
CDBG	21,391	95,249	73,858	715,897	881,613	165,716
MPO	11,513	20,766	9,253	120,114	220,114	100,000
JETS	122,064	126,414	4,351	1,183,387	1,423,602	240,215
Non-Federal Grant Funds	10,415	10,415	-	79,766	79,766	-
<b>OTHER FUNDS TOTALS</b>	<b>\$ 697,427</b>	<b>\$ 657,657</b>	<b>\$ (39,770)</b>	<b>\$ 7,367,633</b>	<b>\$ 8,118,384</b>	<b>\$ 750,751</b>
<b>ALL FUNDS GRAND TOTALS</b>	<b>\$ 7,093,333</b>	<b>\$ 6,815,253</b>	<b>\$ (278,080)</b>	<b>\$ 61,535,903</b>	<b>\$ 63,468,600</b>	<b>\$ 1,932,697</b>

Surplus/(Deficit)

Department / Fund	Actual	Budget	\$ Variance	YTD Actual	YTD Budget	\$ Variance
<b>O&amp;M Fund</b>						
Revenue	\$ 6,474,887	\$ 5,515,916	\$ 958,971	\$ 56,637,595	\$ 52,196,511	\$ 4,441,084
Expense	6,395,907	6,157,596	(238,311)	54,168,270	55,350,215	1,181,946
<b>O&amp;M Surplus/(Deficit)</b>	<b>\$ 78,981</b>	<b>\$ (641,680)</b>	<b>\$ 720,661</b>	<b>\$ 2,469,325</b>	<b>\$ (3,153,705)</b>	<b>\$ 5,623,030</b>
<b>Other Funds</b>						
Revenue	\$ 3,232,988	\$ 675,128	\$ 2,557,860	\$ 6,350,599	\$ 4,010,517	\$ 2,340,082
Expense	697,427	657,657	(39,770)	7,367,633	8,118,384	750,751
<b>Other Funds Surplus/(Deficit)</b>	<b>\$ 2,535,561</b>	<b>\$ 17,470</b>	<b>\$ 2,518,091</b>	<b>\$ (1,017,034)</b>	<b>\$ (4,107,868)</b>	<b>\$ 3,090,834</b>
<b>All Funds</b>						
Revenue	\$ 9,707,875	\$ 6,191,044	\$ 3,516,832	\$ 62,988,194	\$ 56,207,028	\$ 6,781,167
Expense	7,093,333	6,815,253	(278,080)	61,535,903	63,468,600	1,932,697
<b>All Funds Surplus/(Deficit)</b>	<b>\$ 2,614,542</b>	<b>\$ (624,209)</b>	<b>\$ 3,238,751</b>	<b>\$ 1,452,291</b>	<b>\$ (7,261,572)</b>	<b>\$ 8,713,864</b>

**City of Jonesboro, Arkansas**  
**Combined Sales and Use Tax Report (Cash Basis)**  
**2020**

**Historical Data**

Month	2020	2019	2018	2017
January	\$ 3,008,452.17	\$ 2,803,397.11	\$ 2,658,011.12	\$ 2,651,799.92
February	3,456,786.92	3,447,195.59	3,286,150.16	3,177,384.62
March	2,660,437.30	2,603,503.74	2,325,261.31	2,374,452.60
April	2,779,178.10	2,501,123.04	2,293,365.88	2,523,794.70
May	2,828,107.81	2,762,975.02	2,708,770.62	2,649,183.78
June	2,709,308.02	2,807,389.92	2,620,304.52	2,478,931.99
July	3,028,106.54	2,772,110.08	2,748,198.13	2,711,611.45
August	3,133,687.29	2,816,929.81	2,792,195.98	2,762,199.11
September	3,159,705.08	2,798,085.00	2,682,894.91	2,481,872.39
October	3,017,810.08	2,912,348.94	2,761,956.37	2,673,364.18
November	3,190,846.58	2,843,972.03	2,697,420.51	2,687,633.13
December	-	2,837,421.78	2,705,891.32	2,599,411.00
<b>Totals</b>	<b>\$ 32,972,425.89</b>	<b>\$ 33,906,452.06</b>	<b>\$ 32,280,420.83</b>	<b>\$ 31,771,638.87</b>

**Comparison to Previous Periods**

Month	Current Year	Prior Year	\$ Variance	% Variance
January	\$ 3,008,452.17	\$ 2,803,397.11	\$ 205,055.06	7.3%
February	3,456,786.92	3,447,195.59	9,591.33	0.3%
March	2,660,437.30	2,603,503.74	56,933.56	2.2%
April	2,779,178.10	2,501,123.04	278,055.06	11.1%
May	2,828,107.81	2,762,975.02	65,132.79	2.4%
June	2,709,308.02	2,807,389.92	(98,081.90)	-3.5%
July	3,028,106.54	2,772,110.08	255,996.46	9.2%
August	3,133,687.29	2,816,929.81	316,757.48	11.2%
September	3,159,705.08	2,798,085.00	361,620.08	12.9%
October	3,017,810.08	2,912,348.94	105,461.14	3.6%
November	3,190,846.58	2,843,972.03	346,874.55	12.2%
December	-	N/A	N/A	N/A
<b>Totals</b>	<b>\$ 32,972,425.89</b>	<b>\$ 31,069,030.28</b>	<b>\$ 1,903,395.61</b>	<b>6.1%</b>

**Comparison to Budget**

Month	Actual	Budget	\$ Variance	% Variance
January	\$ 3,008,452.17	\$ 2,790,226.83	\$ 218,225.34	7.8%
February	3,456,786.92	3,443,567.18	13,219.74	0.4%
March	2,660,437.30	2,501,218.06	159,219.24	6.4%
April	2,779,178.10	2,616,223.27	162,954.83	6.2%
May	2,828,107.81	2,902,675.87	(74,568.06)	-2.6%
June	2,709,308.02	2,700,780.19	8,527.83	0.3%
July	3,028,106.54	2,842,936.76	185,169.78	6.5%
August	3,133,687.29	2,897,818.77	235,868.52	8.1%
September	3,159,705.08	2,795,953.53	363,751.55	13.0%
October	3,017,810.08	2,860,348.83	157,461.25	5.5%
November	3,190,846.58	2,840,181.48	350,665.10	12.3%
December	-	N/A	N/A	N/A
<b>Totals</b>	<b>\$ 32,972,425.89</b>	<b>\$ 31,191,930.78</b>	<b>\$ 1,780,495.11</b>	<b>5.7%</b>

\*The 2020 Combined budget for Sales Tax is \$34,014,000

City of Jonesboro, Arkansas  
Combined State Turnback Report (Cash Basis)  
2020

Historical Data

Month	2020	2019	2018	2017
January	\$ 469,699.36	\$ 412,629.34	\$ 394,568.20	\$ 405,309.49
February	370,909.40	338,293.81	350,775.61	342,763.87
March	349,095.11	332,015.27	311,023.59	307,802.64
April	347,982.01	336,115.56	330,166.14	348,422.61
May	346,486.32	347,671.01	349,524.66	349,539.77
June	316,169.87	353,147.84	345,702.12	350,143.12
July	461,765.33	464,517.52	458,148.49	474,350.69
August	396,156.22	339,191.76	321,997.82	339,311.09
September	337,754.04	344,944.51	337,504.99	341,734.36
October	349,603.35	333,285.93	345,673.36	345,733.34
November	345,557.61	327,425.45	324,522.68	325,033.95
December	-	336,366.65	334,873.30	323,678.82
<b>Totals</b>	<b>\$ 4,091,178.62</b>	<b>\$ 4,265,604.65</b>	<b>\$ 4,204,480.96</b>	<b>\$ 4,253,823.75</b>

Comparison to Previous Periods

Month	Current	Prior	\$ Variance	% Variance
January	\$ 469,699.36	\$ 412,629.34	\$ 57,070.02	13.8%
February	370,909.40	338,293.81	32,615.59	9.6%
March	349,095.11	332,015.27	17,079.84	5.1%
April	347,982.01	336,115.56	11,866.45	3.5%
May	346,486.32	347,671.01	(1,184.69)	-0.3%
June	316,169.87	353,147.84	(36,977.97)	-10.5%
July	461,765.33	464,517.52	(2,752.19)	-0.6%
August	396,156.22	339,191.76	56,964.46	16.8%
September	337,754.04	344,944.51	(7,190.47)	-2.1%
October	349,603.35	333,285.93	16,317.42	4.9%
November	345,557.61	327,425.45	18,132.16	5.5%
December	-	N/A	N/A	N/A
<b>Totals</b>	<b>\$ 4,091,178.62</b>	<b>\$ 3,929,238.00</b>	<b>\$ 161,940.62</b>	<b>4.1%</b>

Comparison to Budget

Month	Actual	Budget	\$ Variance	% Variance
January	\$ 469,699.36	\$ 410,974.58	\$ 58,724.78	14.3%
February	370,909.40	340,179.17	30,730.23	9.0%
March	349,095.11	340,168.41	8,926.70	2.6%
April	347,982.01	340,168.41	7,813.60	2.3%
May	346,486.32	340,155.00	6,331.32	1.9%
June	316,169.87	340,174.06	(24,004.19)	-7.1%
July	461,765.33	465,498.21	(3,732.88)	-0.8%
August	396,156.22	330,116.37	66,039.85	20.0%
September	337,754.04	340,154.95	(2,400.91)	-0.7%
October	349,603.35	340,169.93	9,433.42	2.8%
November	345,557.61	340,121.07	5,436.54	1.6%
December	-	N/A	N/A	N/A
<b>Totals</b>	<b>\$ 4,091,178.62</b>	<b>\$ 3,927,880.16</b>	<b>\$ 163,298.46</b>	<b>4.2%</b>

\*The 2020 Combined Turnback Budget is \$4,268,000

\*Combined State Turnback Report does not include money from the 1/2 cent Highway Sales Tax.